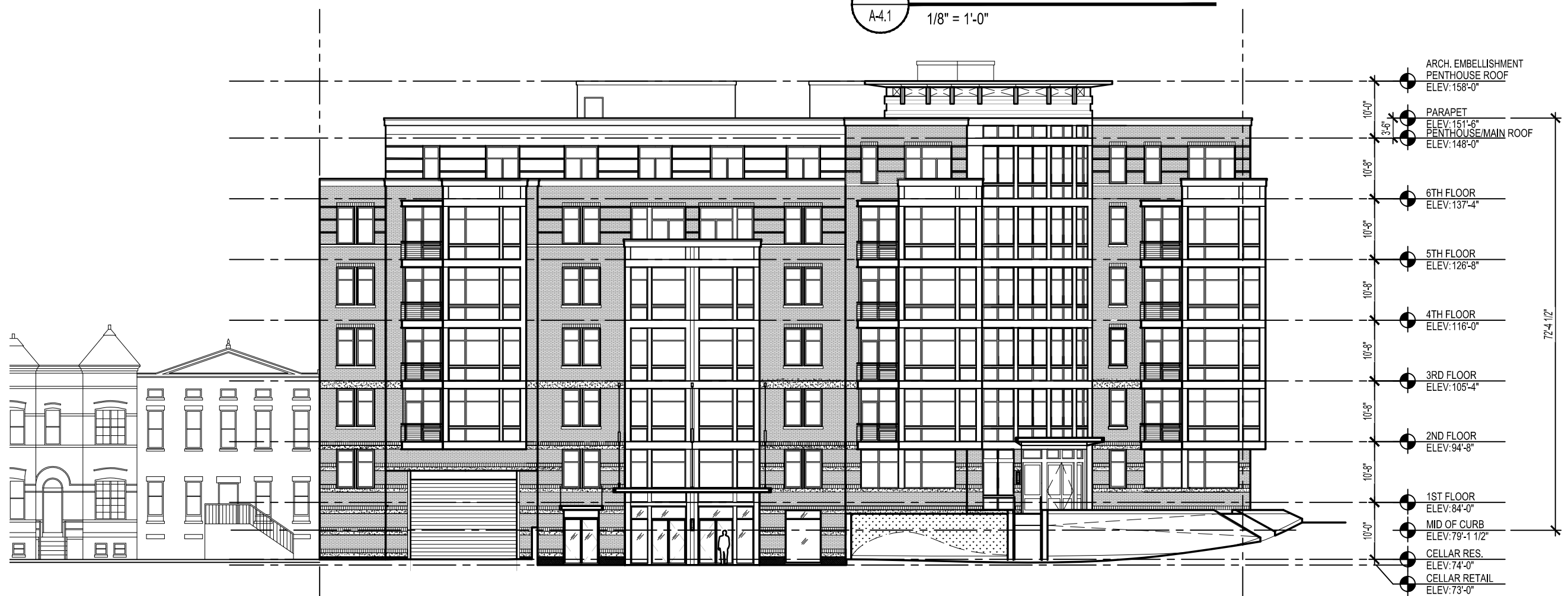


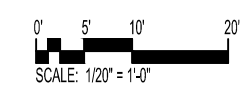
2 ENLARGED RETAIL ELEVATION  
A-4.1 1/8" = 1'-0"



- ARCH. EMBELLISHMENT  
PENTHOUSE ROOF  
ELEV: 158'-0"
- PARAPET  
ELEV: 151'-6"
- PENTHOUSE/MAIN ROOF  
ELEV: 148'-0"
- 6TH FLOOR  
ELEV: 137'-4"
- 5TH FLOOR  
ELEV: 126'-8"
- 4TH FLOOR  
ELEV: 116'-0"
- 3RD FLOOR  
ELEV: 105'-4"
- 2ND FLOOR  
ELEV: 94'-8"
- 1ST FLOOR  
ELEV: 84'-0"
- MID OF CURB  
ELEV: 79'-1 1/2"
- CELLAR RES.  
ELEV: 74'-0"
- CELLAR RETAIL  
ELEV: 73'-0"

SEE SHEET A-6.1 FOR MATERIALS

1 FLORIDA AVENUE ELEVATION  
A-4.1 1" = 20'



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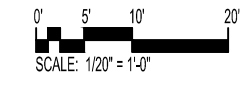
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1 NORTH CAPITOL ELEVATION  
A-4.2  
1" = 20'



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NORTH CAPITOL  
ELEVATION

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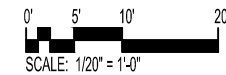


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**1**  
**A-4.3**  
**NORTH COURTYARD ELEVATION**  
 1" = 20'



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 ARCHITECTS

**NORTH COURTYARD ELEVATION**

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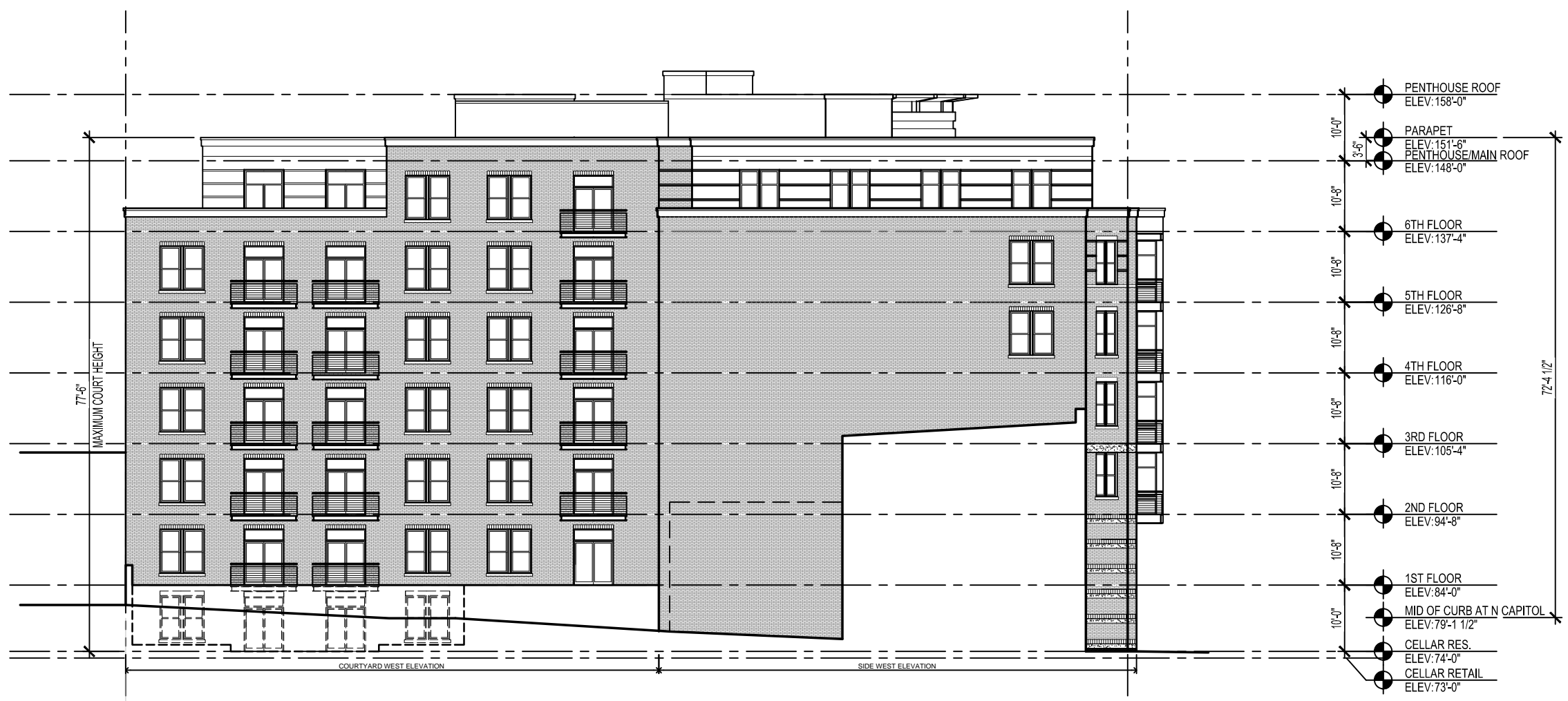
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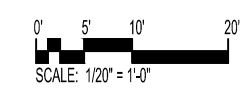
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**1 WEST COURTYARD ELEVATION**  
 A-4.4  
 1" = 20'



**Bonstra Haresign**  
 ARCHITECTS

WEST COURTYARD ELEVATION



1 NORTH CAPITOL STREET ELEVATION  
A-4.5 1" = 40'



1 FLORIDA AVENUE ELEVATION  
A-4.5 1" = 40'

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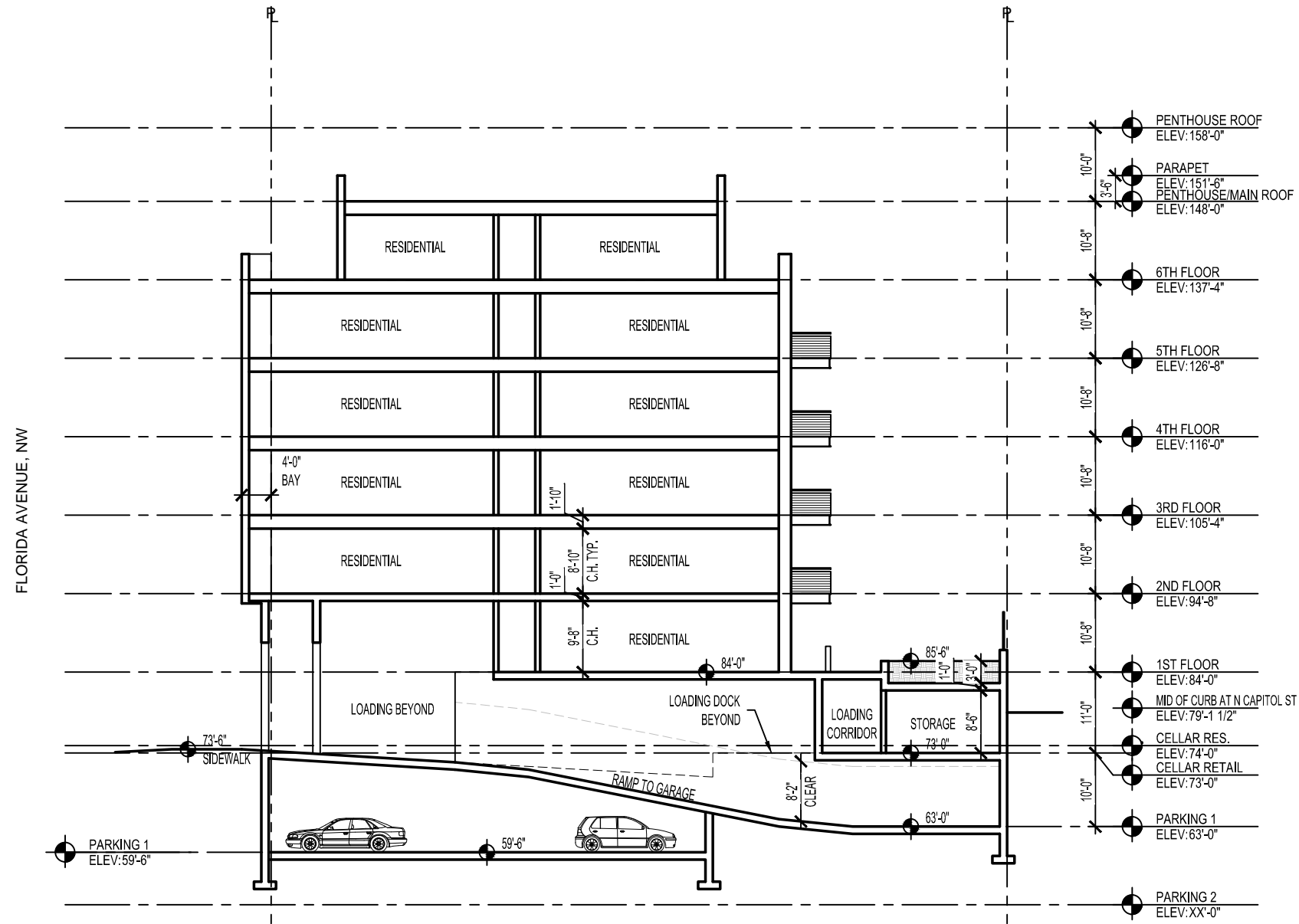
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STREET ELEVATIONS

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**A-4.5**

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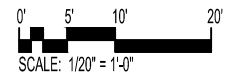


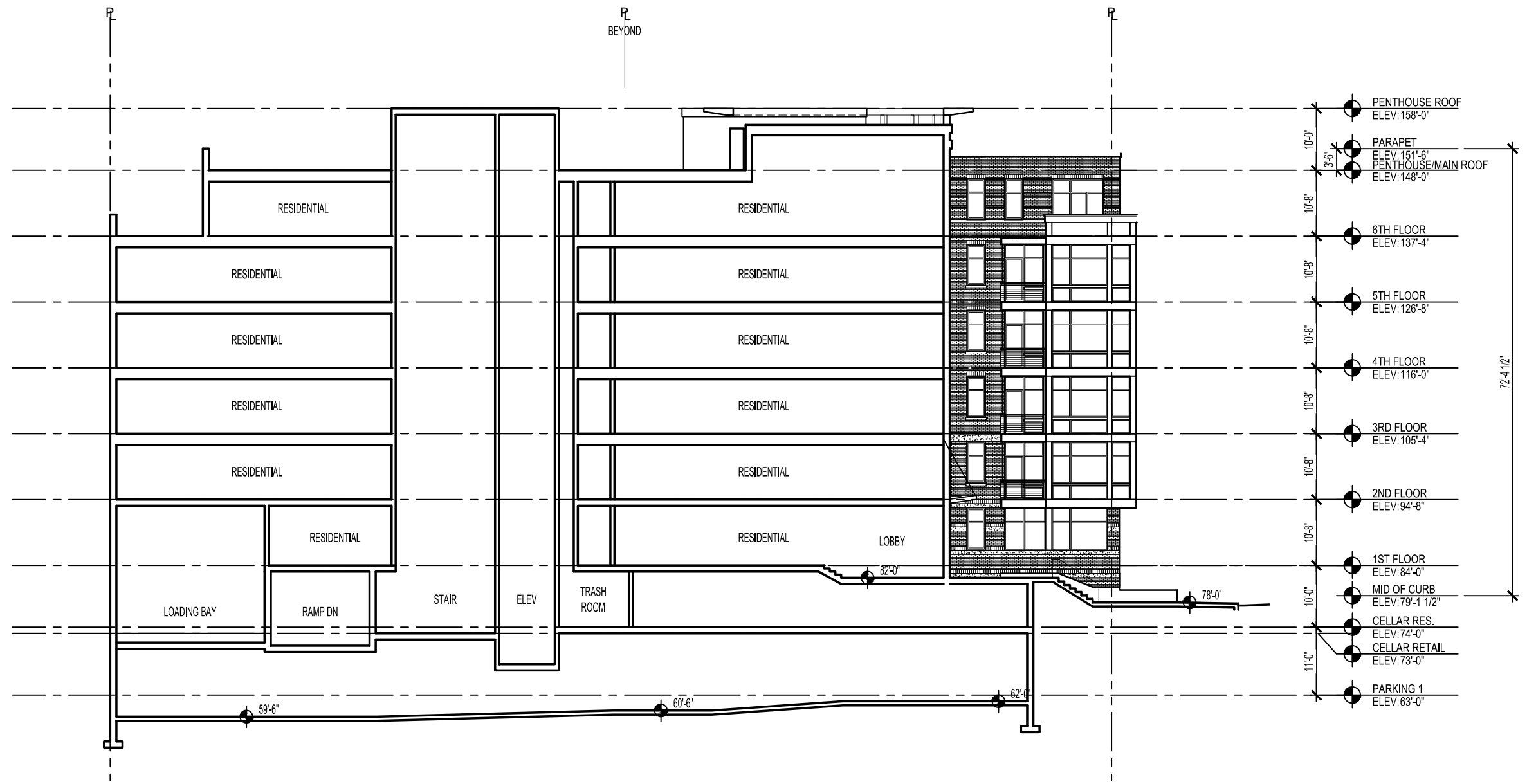
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**1**  
A-5.1 **BUILDING SECTION**  
 1" = 20'  
 SEE PLAN SHEETS A-3.1 - A-3.8 FOR LOCATION OF SECTION CUT





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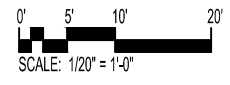
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**1 BUILDING SECTION**  
 A-5.2  
 1" = 20'  
 SEE PLAN SHEETS A-3.1 - A-3.8 FOR LOCATION OF SECTION CUT



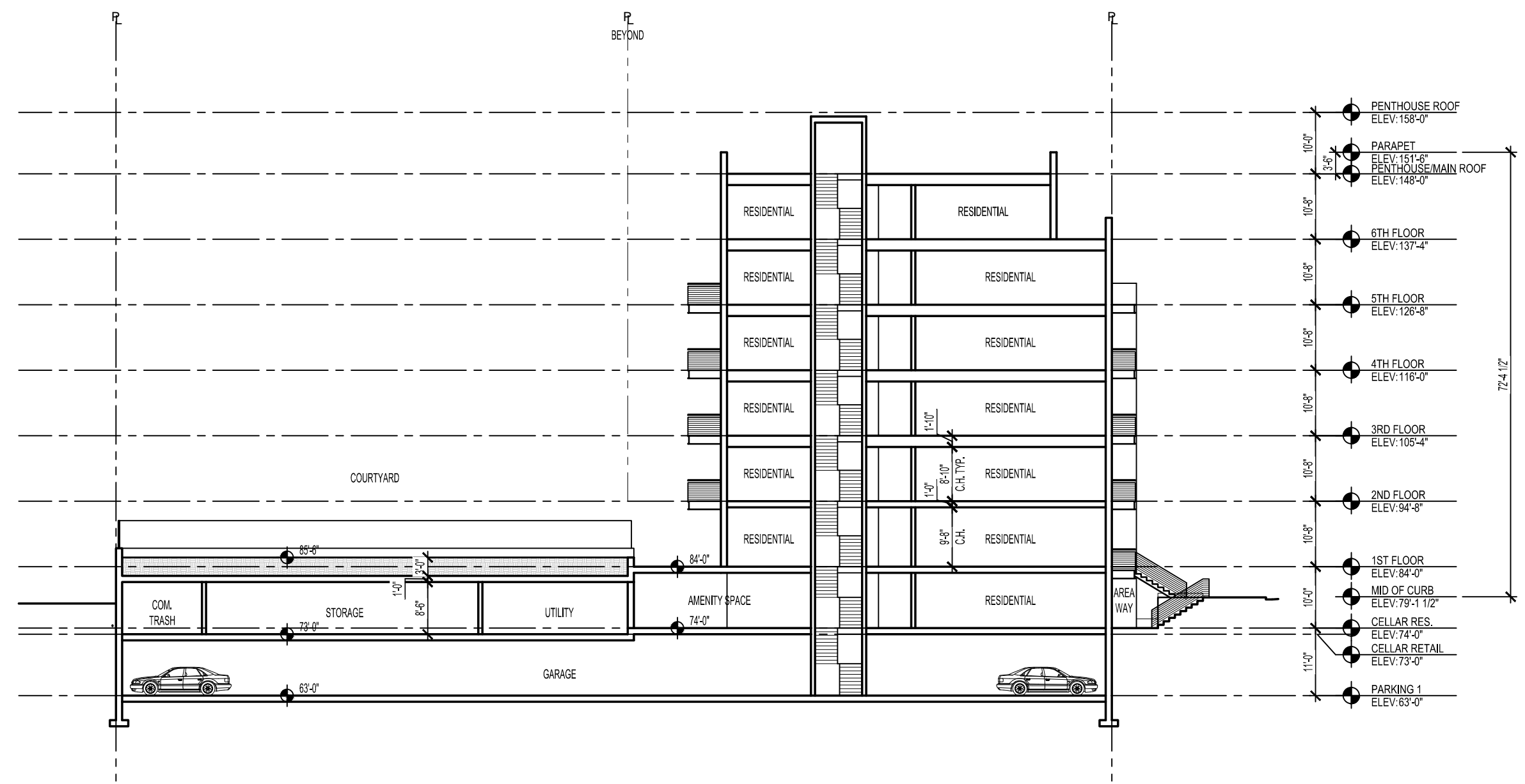
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BUILDING SECTION

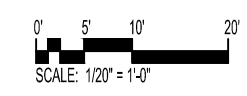
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**1 BUILDING SECTION**  
 A-5.3 1" = 20'  
 SEE PLAN SHEETS A-3.1 - A-3.8 FOR LOCATION OF SECTION CUT







- METAL PANEL COPING CEMENTITIOUS PANEL
- PRECAST STONE
- ACCENT BRICK, DARK OVER LIGHT
- METAL PANEL
- PRECAST STONE
- METAL PANEL
- LIGHT ACCENT BRICK
- ACCENT STONE
- ACCENT STONE
- FIELD BRICK
- GRANITE BASE



- METAL PANEL COPING CEMENTITIOUS PANEL
- PRECAST STONE
- ACCENT BRICK, DARK OVER LIGHT
- METAL PANEL
- FIELD BRICK
- ALUMINUM WINDOW
- PRECAST STONE
- LIGHT ACCENT BRICK
- ACCENT STONE
- ACCENT STONE
- FIELD BRICK

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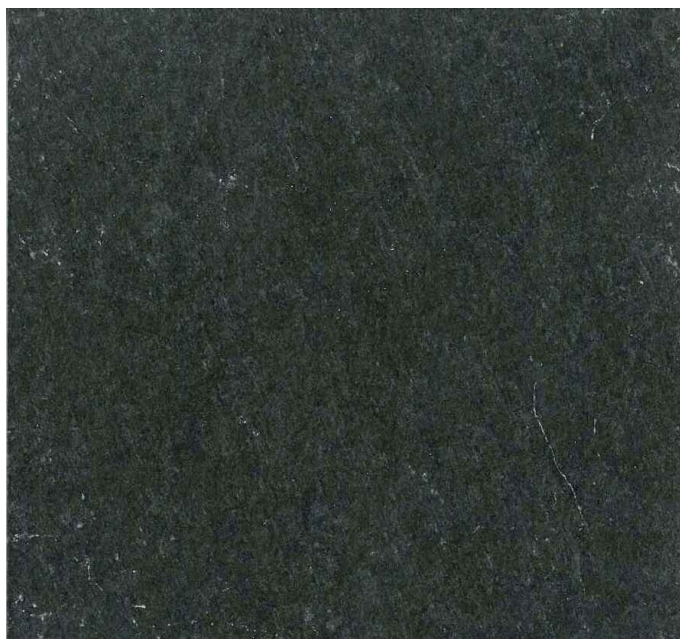




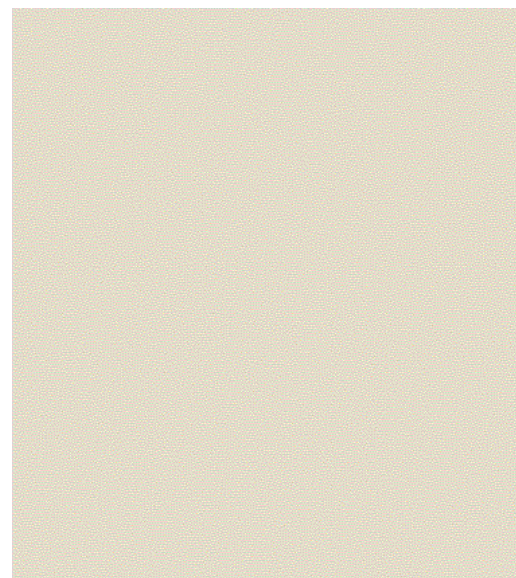
ACCENT STONE



PRECAST STONE



GRANITE BASE



METAL PANEL, CEMENTITIOUS PANEL



ALUMINUM WINDOW FRAME



BRICK

ACCENT BRICK

ACCENT BRICK

FIELD BRICK

CLIENT  
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LANDSCAPE ARCHITECT  
Landscape  
Architecture  
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DATE ENGINEER

LANDSCAPE ARCHITECT

CLIENT

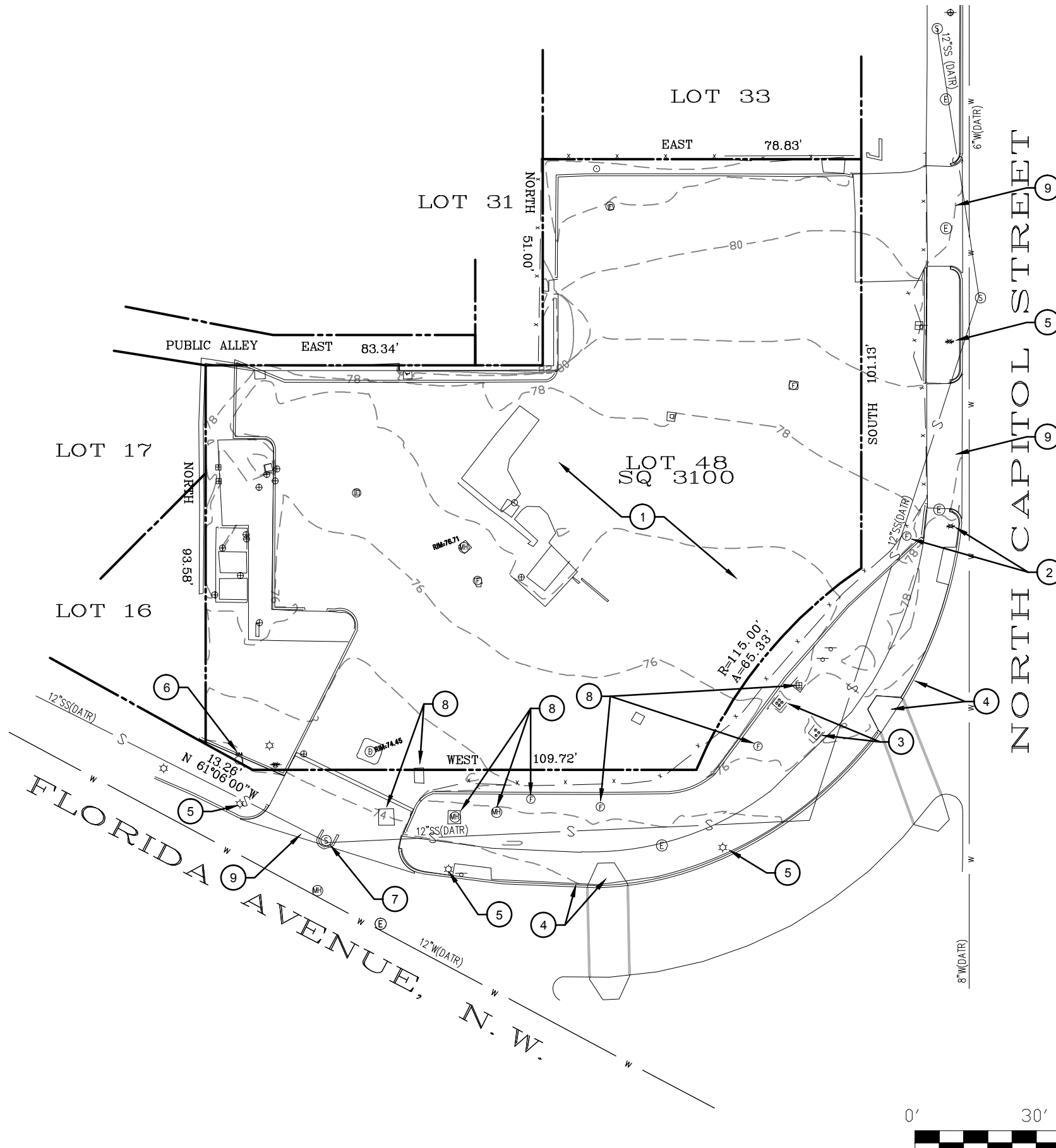
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**ABBREVIATIONS**

CONC	CONCRETE
INV	INVERT
TW=	TOP OF WALL
ACB	ASPHALT CURB
CCB	CONCRETE CURB
CCG	CONCRETE CURB & GUTTER
BLD	BUILDING
OHG	OVERHANG
OHC	OVERHEAD CABLE
CSW	CONCRETE SIDEWALK
BCOL	BRICK COLUMN
CLF	CHAIN LINK FENCE
MRAIL	METAL RAIL
MGRATE	METAL GRATE
CBX	CABLE BOX
PBX	PHONE PEDESTAL

**LEGEND**

○	METAL RAIL
✕	CHAIN LINK FENCE
LP	★ LIGHT POLE
UP	☆ UTILITY POLE
SDMH	① STORM DRAIN MANHOLE
GUY	⊙ GUY
SMH	⊙ SEWER MANHOLE
WMTR	⊙ WATER METER
TRAV	△ TRAVERSE CONTROL POINT
INLET	□ STORM DRAIN INLET
FH	HYDRANT
WMH	⊙ WATER MANHOLE
WV	⊙ WATER VALVE
15"	⊙ TREE/SIZE
FP	⊙ FLAG POLE
FCAP	⊙ MISC UTILITY STRUCTURE
⊙	BOLLARD
MON FD	■ MONUMENT FOUND
⊙	SIGN
○ 15" P	⊙ PINE TREE/SIZE
⊙ 15" MAP	⊙ MAPLE TREE/SIZE
BCOL	□ BRICK COLUMN

**SITE DEMOLITION KEY NOTES:**

- ① DEMOLISH ALL SURFACE FEATURES AND UTILITIES ON SITE. DEMOLISH ALL SURFACE FEATURES (DOES NOT INCLUDE SUB-SURFACE FEATURES) BETWEEN THE PROPERTY AND PUBLIC CURB UNLESS OTHERWISE NOTED
- ② TRAFFIC SIGNAL POLE & CABINET TO REMAIN
- ③ DEMOLISH UNUSED SIGN/POLE BASES
- ④ CURB RAMPS AND CURB & GUTTER TO REMAIN, TYP.
- ⑤ LIGHT POLES TO REMAIN
- ⑥ WATER SERVICE TO BE ABANDONED
- ⑦ STORM SEWER CONNECTION TO THE COMBINED SEWER MAIN TO BE REUSED WITH DCWATER APPROVAL
- ⑧ VERIFY EXISTING UTILITIES CAN BE ABANDONED, TYP.
- ⑨ VEHICLE ENTRANCE APRON TO BE REMOVED

**EXISTING CONDITIONS NOTES:**

1. EXISTING SURVEY MAPPING DEPICTED HEREON HAS BEEN PREPARED BY CURRIE AND ASSOCIATES AND PROVIDED BY THE CLIENT FOR USE IN THIS SITE DESIGN.
2. THIS EXISTING CONDITIONS PLAN HAS BEEN SUPPLEMENTED BY AMT, LLC WITH THE FOLLOWING INFORMATION:
  - WATER AND COMBINED SEWER PIPES SIZES PER DCWATER RECORD INFORMATION
  - WATER AND COMBINED SEWER PIPE LOCATIONS PER DCWATER RECORD INFORMATION WHERE LABELED "DATR" (DATA ACCORDING TO RECORD)
  - APPROXIMATE LOCATION OF FLORIDA AVENUE STREETSCAPE IMPROVEMENTS COMPLETED AFTER THE DATE OF THE SURVEY, INCLUDING LIGHT POLES, CURB RAMPS, AND SIDEWALK.

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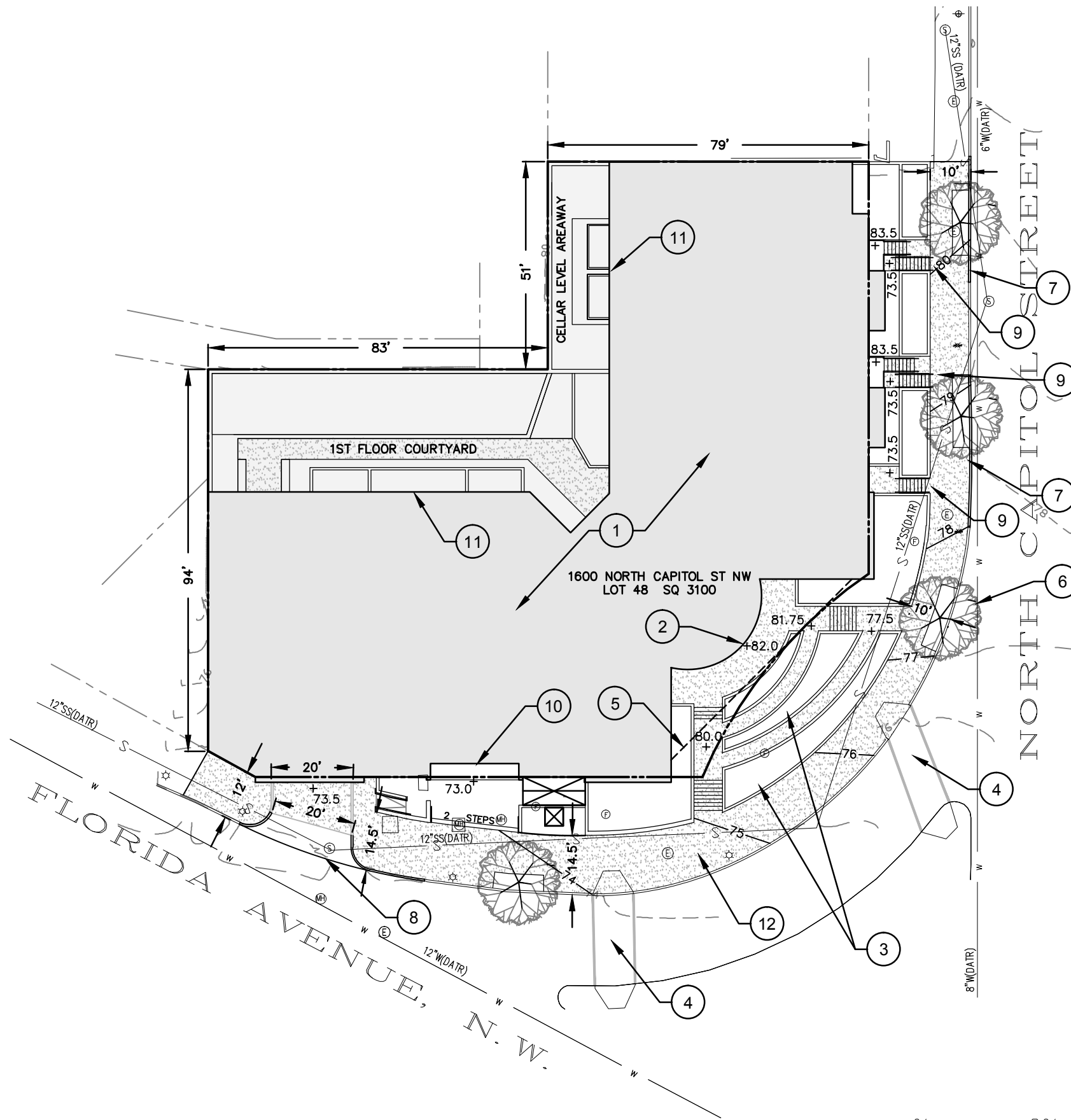
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EXISTING CONDITIONS & SITE DEMO PLAN

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**C1.0**



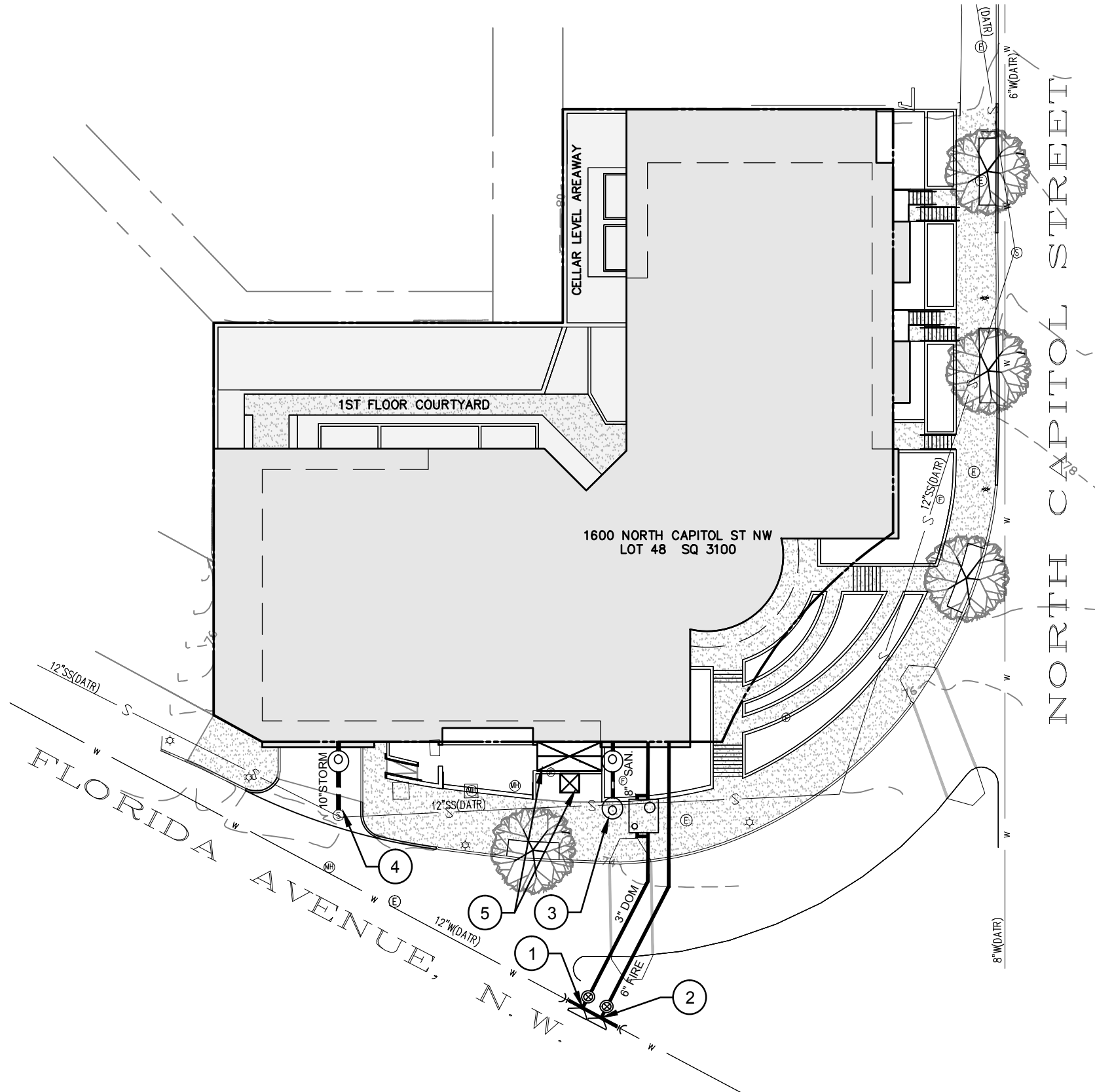
- SITE PLAN KEY NOTES:**
- ① BUILDING 1ST FLOOR (SHOWN DARK SHADED)
  - ② MAIN BUILDING ENTRANCE
  - ③ LANDSCAPE PLANTERS, TYP.
  - ④ EXISTING CURB RAMP & CROSSWALK
  - ⑤ LIMITS OF CELLAR LEVEL
  - ⑥ STREET TREE & PLANTER BOX, TYP.
  - ⑦ GRANITE CURB & BRICK GUTTER TO REPLACE DEMOLISHED VEHICLE ENTRANCES
  - ⑧ DDOT STD. VEHICLE ENTRANCE
  - ⑨ ENTRANCES FROM NORTH CAPITOL STREET FOR FIRST FLOOR AND CELLAR-LEVEL UNITS.
  - ⑩ CELLAR LEVEL BUILDING ENTRANCE
  - ⑪ BALCONIES ABOVE
  - ⑫ DDOT STD. CONCRETE SIDEWALK, TYP.



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- UTILITY KEYNOTES:**
- ① 3" DIP DOMESTIC WATER SERVICE:  
12" X 6" DIP TEE W/ CONCRETE THRUST BLOCK  
(DC WATER STD. W-40.01)  
6" GATE VALVE AND CASING  
(DC WATER STD. W-20.01)  
6" X 3" DIP REDUCER  
3" DOMESTIC WATER METER & VAULT  
(DC WATER STD. DG-23.01)  
3" DIP LATERAL CONNECTION TO BUILDING
  - ② 6" DIP FIRE SERVICE:  
12" X 6" DIP TEE W/ THRUST BLOCK  
(DC WATER STD W-40.01)  
6" GATE VALVE & CASING  
(DC WATER STD W-20.01)  
6" DIP LATERAL CONNECTION TO BUILDING
  - ③ 8" SCH40 PVC SANITARY SEWER SERVICE:  
DOGHOUSE MANHOLE ON EXISTING 12" COMBINED SEWER  
8" SCH40 PVC LATERAL  
CONCRETE CLEANOUT MANHOLE  
(DC WATER STD. S-20.01)  
8" SCH40 PVC LATERAL CONNECTION TO BUILDING
  - ④ 10" SCH40 PVC STORM SERVICE:  
10" CONNECTION TO EXISTING MANHOLE  
10" SCH40 PVC LATERAL  
CONCRETE CLEANOUT MANHOLE  
(DC WATER STD. S-20.01)  
10" SCH40 PVC LATERAL CONNECTION TO BUILDING
  - ⑤ ELECTRICAL SERVICE: TAP BOX STRUCTURE AND  
TRANSFORMER VAULT

**UTILITY NOTES:**

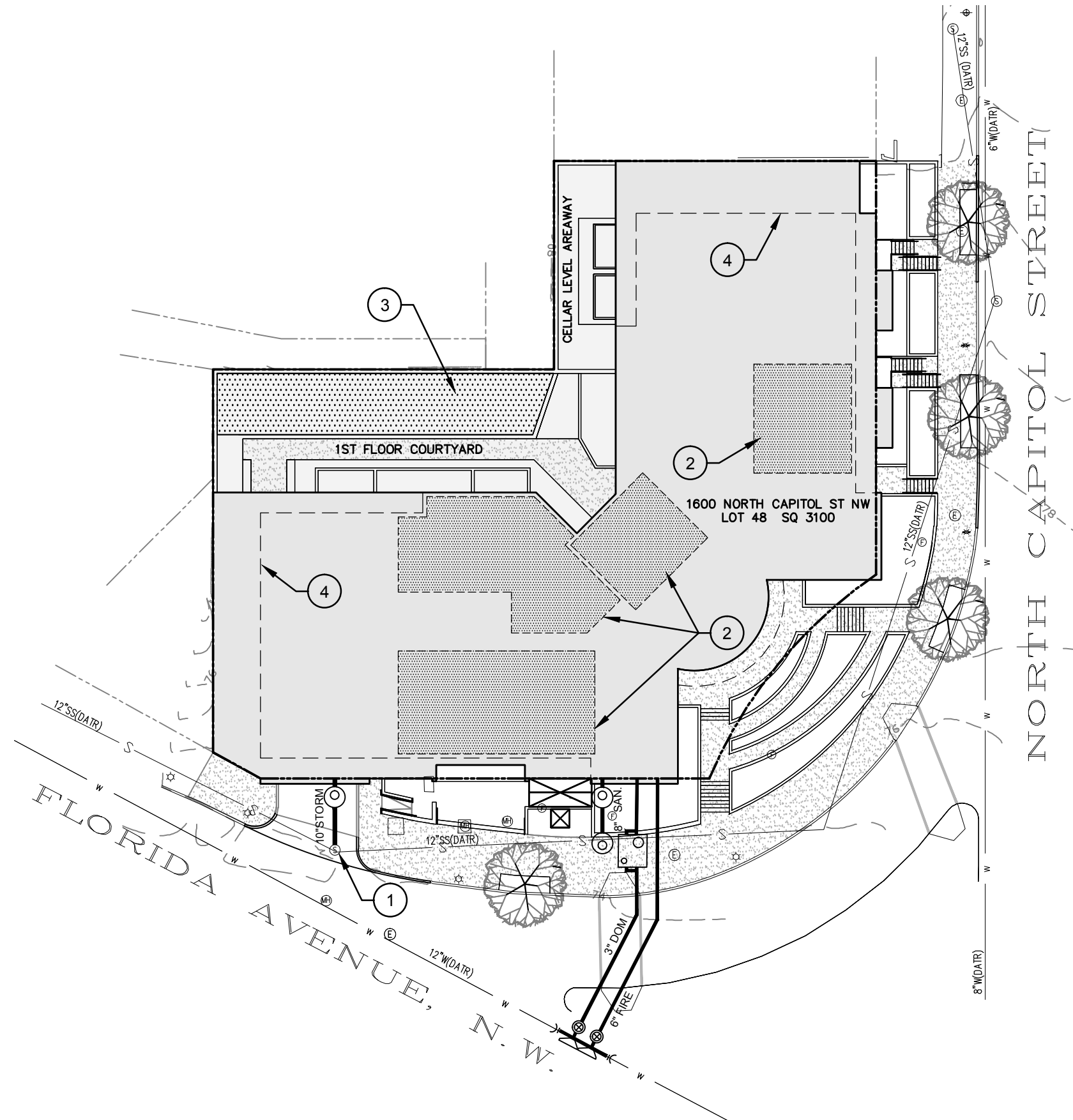
1. PROPOSED UTILITY DESIGN IS SCHEMATIC AND SUBJECT TO FINAL DESIGN AND AGENCY/UTILITY OWNER REVIEW. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE.



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**STORMWATER KEYNOTES:**

- ① 10" SCH40 PVC STORM SEWER CONNECTION TO EXISTING COMBINED SEWER MANHOLE
- ② GREEN ROOF. SEE LANDSCAPE PLAN
- ③ LANDSCAPE PLANTER FOR STORMWATER TREATMENT
- ④ 6TH FLOOR ROOF LIMITS

**STORMWATER MANAGEMENT NARRATIVE:**

STORMWATER MANAGEMENT WILL BE ACCOMMODATED THROUGH GREEN ROOF AREAS ON THE MAIN BUILDING ROOF AND LANDSCAPE PLANTERS IN THE REAR COURTYARD. ADDITIONAL STORMWATER MEASURES, IF REQUIRED BY FINAL CALCULATIONS, WILL BE ACCOMMODATED THROUGH STRUCTURAL STORMWATER FILTERS DESIGNED TO CURRENT DDOE STANDARDS.

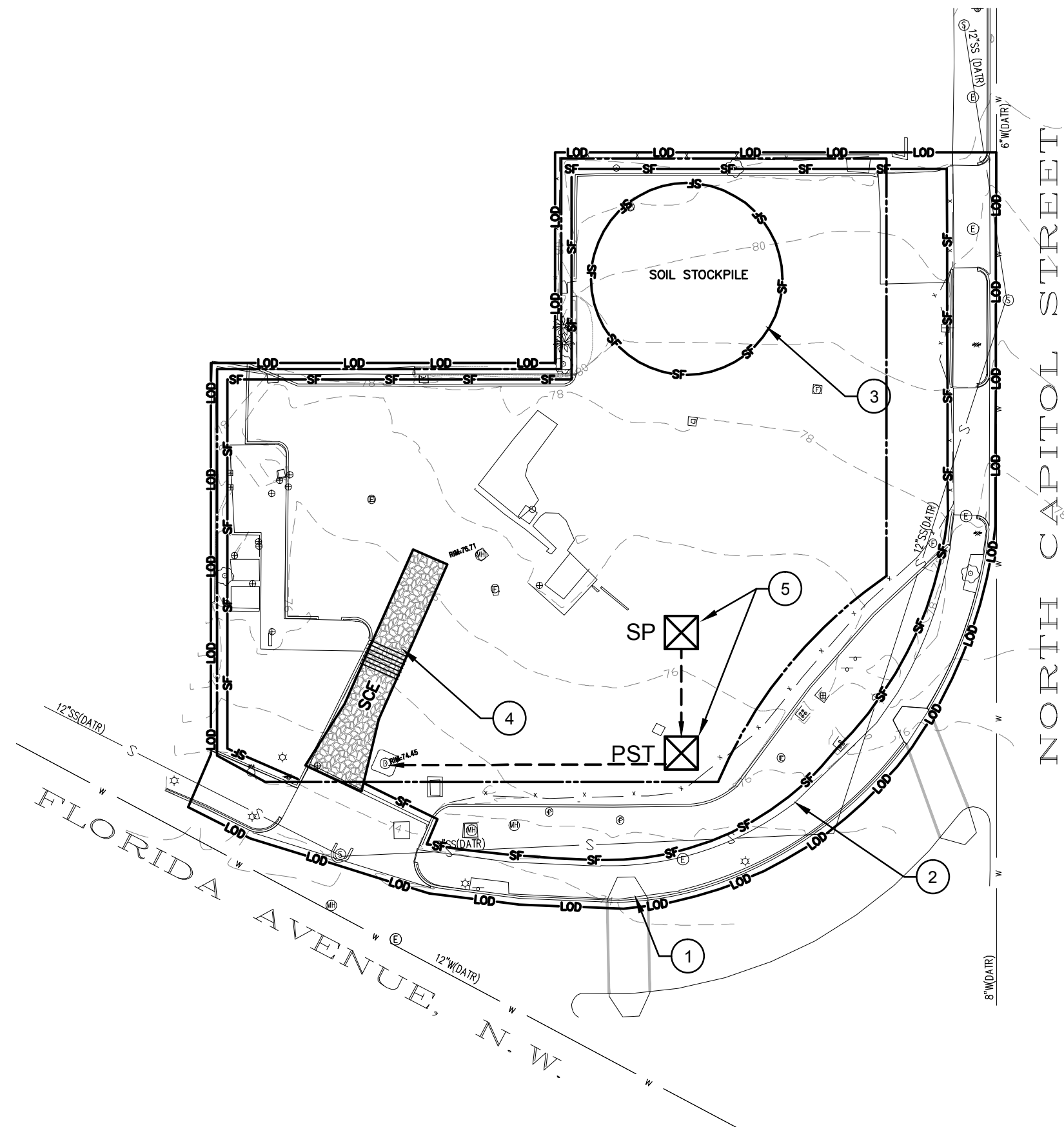
ESTIMATED QUANTITY OF STORMWATER (15 YR STORM)  
 $Q_{15} = C \times I \times A$   
 $= 0.77 \times 7.56 \times 0.44 \text{ AC}$   
 $= 2.56 \text{ CFS}$



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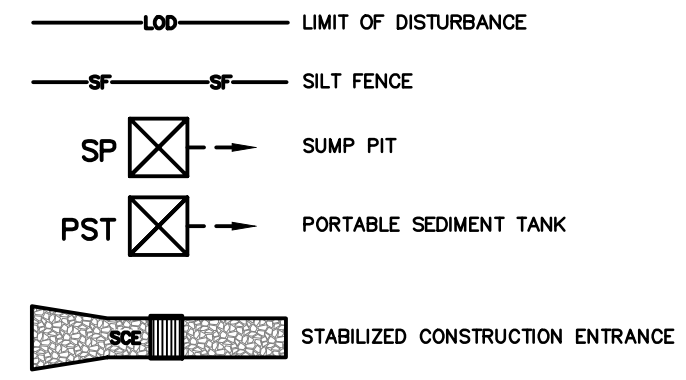
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**SEDIMENT CONTROL KEYNOTES**

- 1 LIMITS OF DISTURBANCE
- 2 SILT FENCE
- 3 APPROXIMATE LOCATION OF SOIL STOCKPILE AREA. RELOCATE AS REQUIRED TO ACCOMMODATE CONSTRUCTION PHASING.
- 4 LOCATION OF STONE CONSTRUCTION ENTRANCE SHOWN APPROXIMATE. LOCATE STONE CONSTRUCTION ENTRANCE(S) AT THE LOCATION OF SITE ACCESS AND COORDINATE WITH THE DDOE INSPECTOR. REINSTALL STONE CONSTRUCTION ENTRANCE AS REQUIRED FOR CONSTRUCTION PHASING.
- 5 TEMPORARY SUMP PIT AND PORTABLE SEDIMENT TANK FOR DEWATERING BUILDING EXCAVATION. DISCHARGE PORTABLE SEDIMENT TANK TO PUBLIC COMBINED SEWER.

**EROSION & SEDIMENT CONTROL LEGEND**



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