



9TH & M
14011

VIEW - CORNER OF 9TH & M

SCALE: 1/16" = 1'-0"
DATE: 11.11.15
ZONING COMMISSION
Dispersed
peter fillat architects
CASE NO. 15-32
EXHIBIT NO. 2A2

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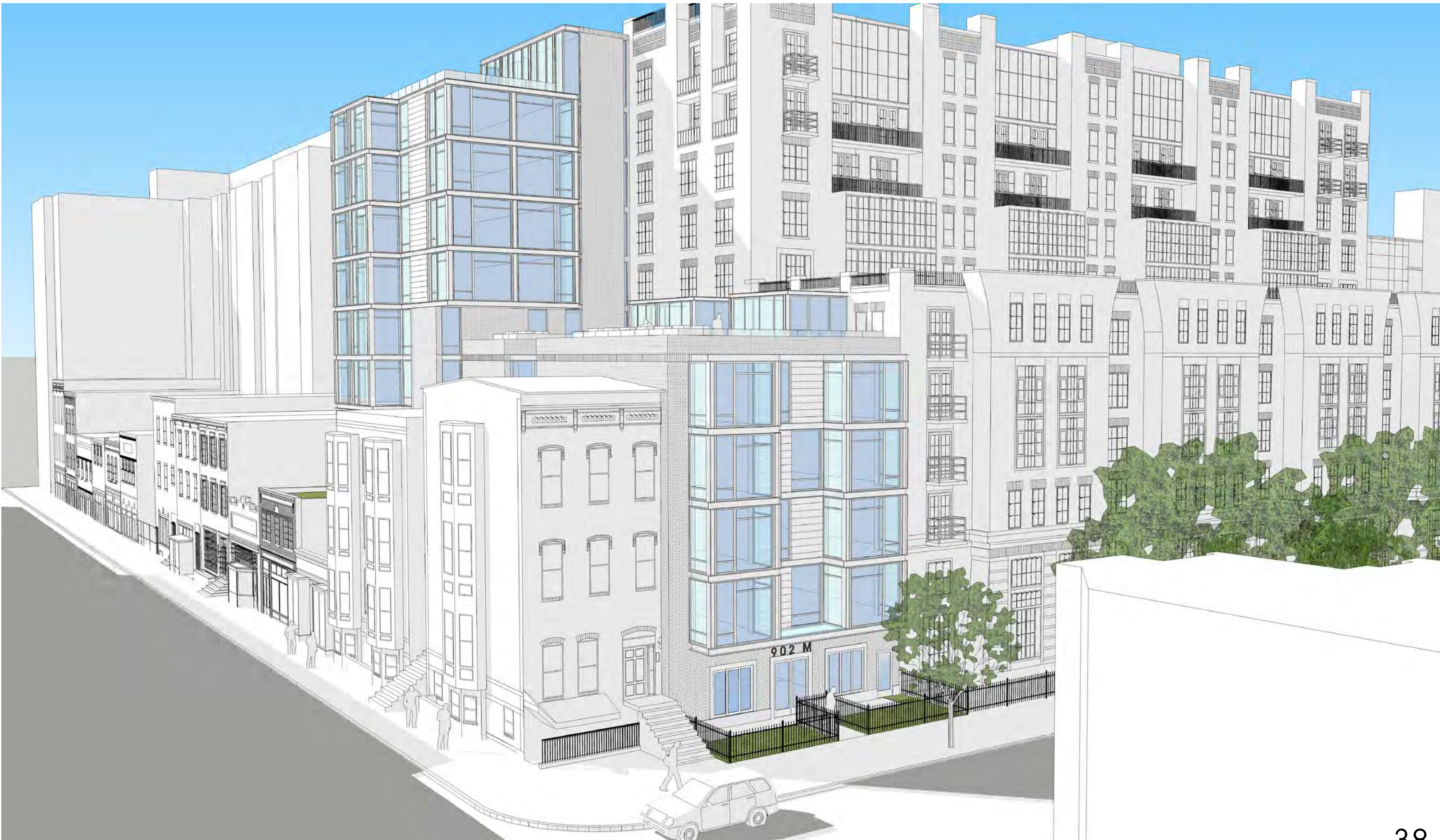
9TH & M
14011

VIEW - NORTH ON 9TH STREET

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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VIEW - AERIAL LOOKING SOUTH

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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9TH & M
14011

VIEW - EAST ON M STREET (CONVENTION CENTER)

SCALE: NO SCALE
DATE: 11.11.15

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LEED v4 for BD+C: New Construction and Major Renovation

Project Checklist

Project Name: 9th and M

Date: 15 11 9

Y ? N

1		Integrative Process	1	Assigned To
---	--	---------------------	---	-------------

10	6	16	Location and Transportation	16	
		16	LEED for Neighborhood Development Location	16	PFA
1			Sensitive Land Protection	1	PFA
	2		High Priority Site	2	PFA/HTA
2	3		Surrounding Density and Diverse Uses	5	PFA
5			Access to Quality Transit	5	PFA
1			Bicycle Facilities	1	PFA
1			Reduced Parking Footprint	1	PFA
1			Green Vehicles	1	PFA

7	3	0	Sustainable Sites	10	
Y			Construction Activity Pollution Prevention	Required	Century_Civil
1			Site Assessment	1	Century_Civil
	2		Site Development - Protect or Restore Habitat	2	Century_Civil
1			Open Space	1	Century_Civil
3			Rainwater Management	3	Century_Civil
2			Heat Island Reduction	2	PFA
1			Light Pollution Reduction	1	Century_Elec.

5	4	2	Water Efficiency	11	
Y			Outdoor Water Use Reduction	Required	Century_Civil
Y			Indoor Water Use Reduction	Required	Century_Plumb.
Y			Building-Level Water Metering	Required	Century_Plumb.
	2		Outdoor Water Use Reduction	2	Century_Plumb.
4	2		Indoor Water Use Reduction	6	Century_Plumb.
		2	Cooling Tower Water Use	2	Century_Mech.
1			Water Metering	1	Century_Plumb.

6	11	1	Energy and Atmosphere	33	
Y			Fundamental Commissioning and Verification	Required	
Y			Minimum Energy Performance	Required	
Y			Building-Level Energy Metering	Required	
Y			Fundamental Refrigerant Management	Required	
4	3		Enhanced Commissioning	6	HTA
2			Optimize Energy Performance	18	
1			Advanced Energy Metering	1	
2			Demand Response	2	
3			Renewable Energy Production	3	
1			Enhanced Refrigerant Management	1	
1	1		Green Power and Carbon Offsets	2	

6	7	0	Materials and Resources	13	
Y			Storage and Collection of Recyclables	Required	
Y			Construction and Demolition Waste Management Planning	Required	
	5		Building Life-Cycle Impact Reduction	5	
	2		Building Product Disclosure and Optimization - Environmental Product Declarations	2	
2			Building Product Disclosure and Optimization - Sourcing of Raw Materials	2	
2			Building Product Disclosure and Optimization - Material Ingredients	2	
2			Construction and Demolition Waste Management	2	

15	0	0	Indoor Environmental Quality	16	
Y			Minimum Indoor Air Quality Performance	Required	
Y			Environmental Tobacco Smoke Control	Required	
2			Enhanced Indoor Air Quality Strategies	2	
3			Low-Emitting Materials	3	
1			Construction Indoor Air Quality Management Plan	1	
2			Indoor Air Quality Assessment	2	
1			Thermal Comfort	1	
1			Interior Lighting	2	
3			Daylight	3	
1			Quality Views	1	
1			Acoustic Performance	1	

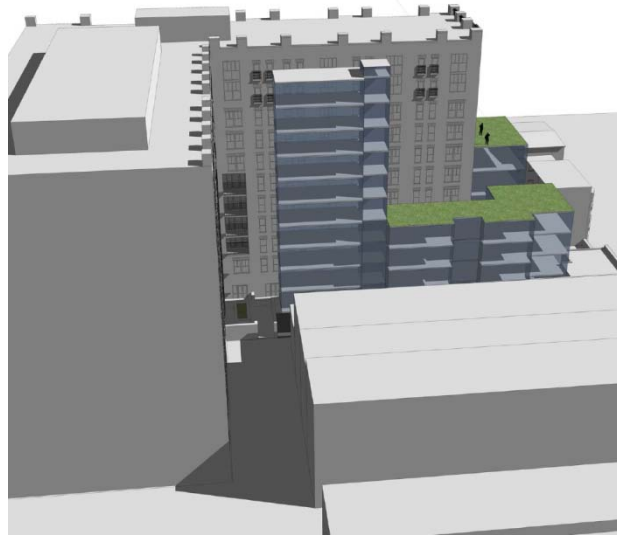
1	5	0	Innovation	6	
	5		Innovation	5	
1			LEED Accredited Professional	1	

0	4	0	Regional Priority	4	
	1		Regional Priority: Specific Credit	1	
	1		Regional Priority: Specific Credit	1	
	1		Regional Priority: Specific Credit	1	
	1		Regional Priority: Specific Credit	1	

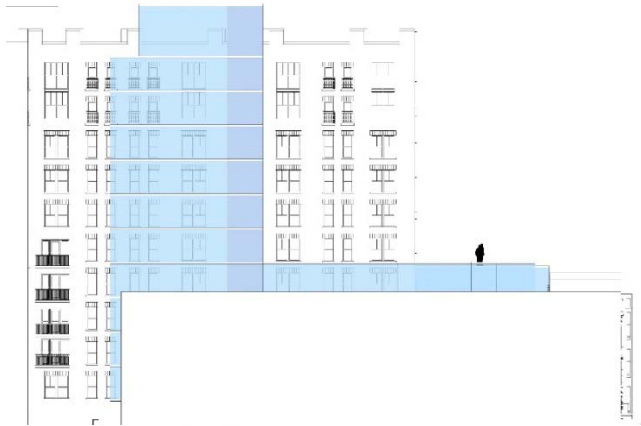
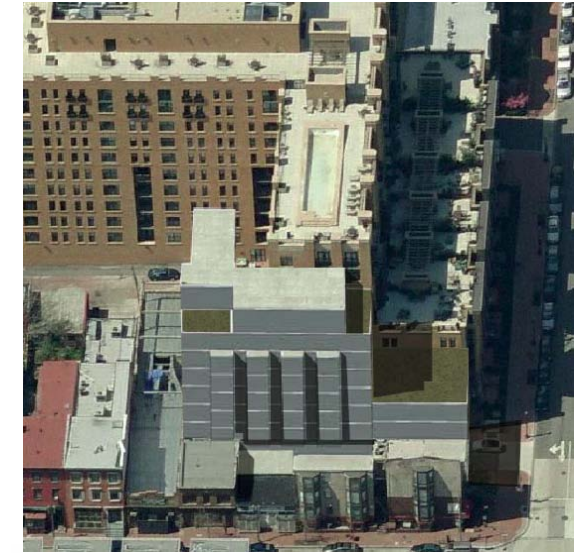
51	40	19	TOTALS	Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				

Minimizing the affect on our neighbors

Building as Currently Zoned

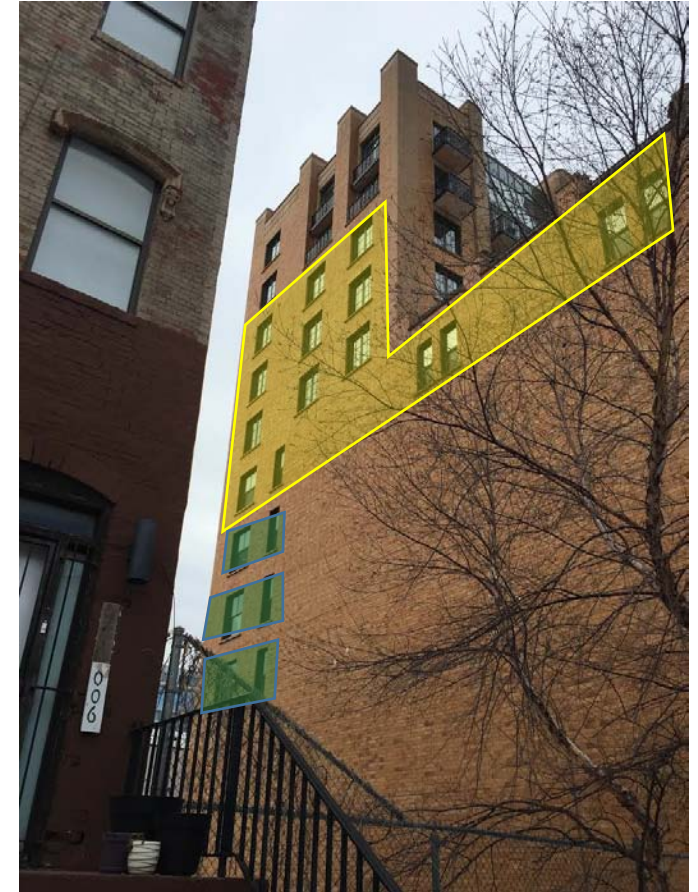


Initial Concept



42a

Application Proposal



Scenario	Units in Whitman Impacted
As Zoned	~35
Initial Proposal	8
Current Version	3*

* Discussions with these 3 impacted neighbors indicate willingness to support this version of design. Discussions are ongoing.

Project's original concept blocked all the windows in yellow. Developer has since incorporated approximately a dozen design iterations to maintain the windows highlighted in yellow and minimize overlap. The windows in green are the only at-risk windows being covered by this proposal (see note to right).

42b

M STREET, N.W.

ASPHALT
(90' WIDE PUBLIC STREET)

TABULATION OF DEVELOPMENT DATA:

LOTS: 880 (15, 35, 00B, & 00C)

SQUARE: 369

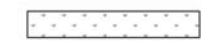





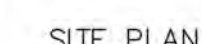
LOT AREA: 7,607 SF
EXISTING BUILDING LOT USE: 33%
PROPOSED BUILDING LOT USE: 84%

EXISTING USE: MULTILEVEL RETAIL

PROPOSED USE: RETAIL, OFFICE AND RESIDENTIAL

PARKING PROVIDED: 2 SPACES
(ALLEY ENTRANCE)
1 LOADING BERTH

SITE PLAN LEGEND

-  LANDSCAPED AREA
-  BRICK PAVEMENT
-  GREEN ROOF
-  BUILDING
-  FENCE WITH GATE
-  ROOF TERRACE
-  BUILDING FACE BELOW

SITE PLAN

- 1 BRICK SIDEWALK TO REPLACE CONCRETE ENTRANCE DRIVEWAY (DDOT STD.).
- 2 UNIT LOFT WITH ACCESS TO 6TH STORY ROOF TERRACE.
- 3 STAIRWAY AND ELEVATOR STRUCTURE FOR ACCESS TO ROOF.
- 4 SIXTH STORY GREEN ROOF, TYP.
- 5 COURTYARD AREA/ LIGHTWELL DOWN TO FIRST FLOOR ROOF
- 6 THIRD STORY GREEN ROOF, TYP.
- 7 TWO-8' X 22' PARALLEL PARKING SPACES
- 8 LOADING BERTH, TYP.
- 9 RAILING, TYP.
- 10 FENCE & GATE, TYP.
- 11 LANDSCAPED AREA, TYP.

GRAPHIC SCALE



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CONCEPT SITE PLAN

SCALE: AS SHOWN

DATE: 11.05.15

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M STREET, N.W.

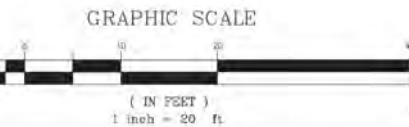
ASPHALT
(90' WIDE PUBLIC STREET)



VICINITY MAP
NOT TO SCALE

LEGEND:

- BUSH
- TREE
- GRATE INLET
- STORM MANHOLE
- DRAIN
- ROOF DRAIN
- POST
- SINGLE POST SIGN
- ELECTRIC MANHOLE
- LIGHT POLE
- POWER POLE WITH STREET LIGHT
- POWER POLE
- TRAFFIC SIGNAL POLE
- LAMP
- ELECTRIC BOX
- AIR CONDITIONER UNIT
- GROUND SHOT
- TOP OF WALL ELEVATION
- COMMUNICATION MANHOLE
- UNKNOWN UTILITY MANHOLE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- WATER METER
- SIAMESE CONNECTION
- GAS METER
- GAS VALVE
- BOLLARD
- TRAVERSE
- BENCHMARK
- CURB AND GUTTER
- OVERHEAD UTILITIES
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- CHAIN LINK FENCE
- (DATR) DATA ACCORDING TO RECORDS
- (RCP) REINFORCED CONCRETE PIPE
- (PVC) POLYVINYL CHLORIDE PIPE
- (MP) METAL PIPE
- (SUE) SUB-SURFACE UTILITY ENGINEERING
- FF FINISH FLOOR ELEVATION
- WIDTH DOOR
- BUILDING
- WALL



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



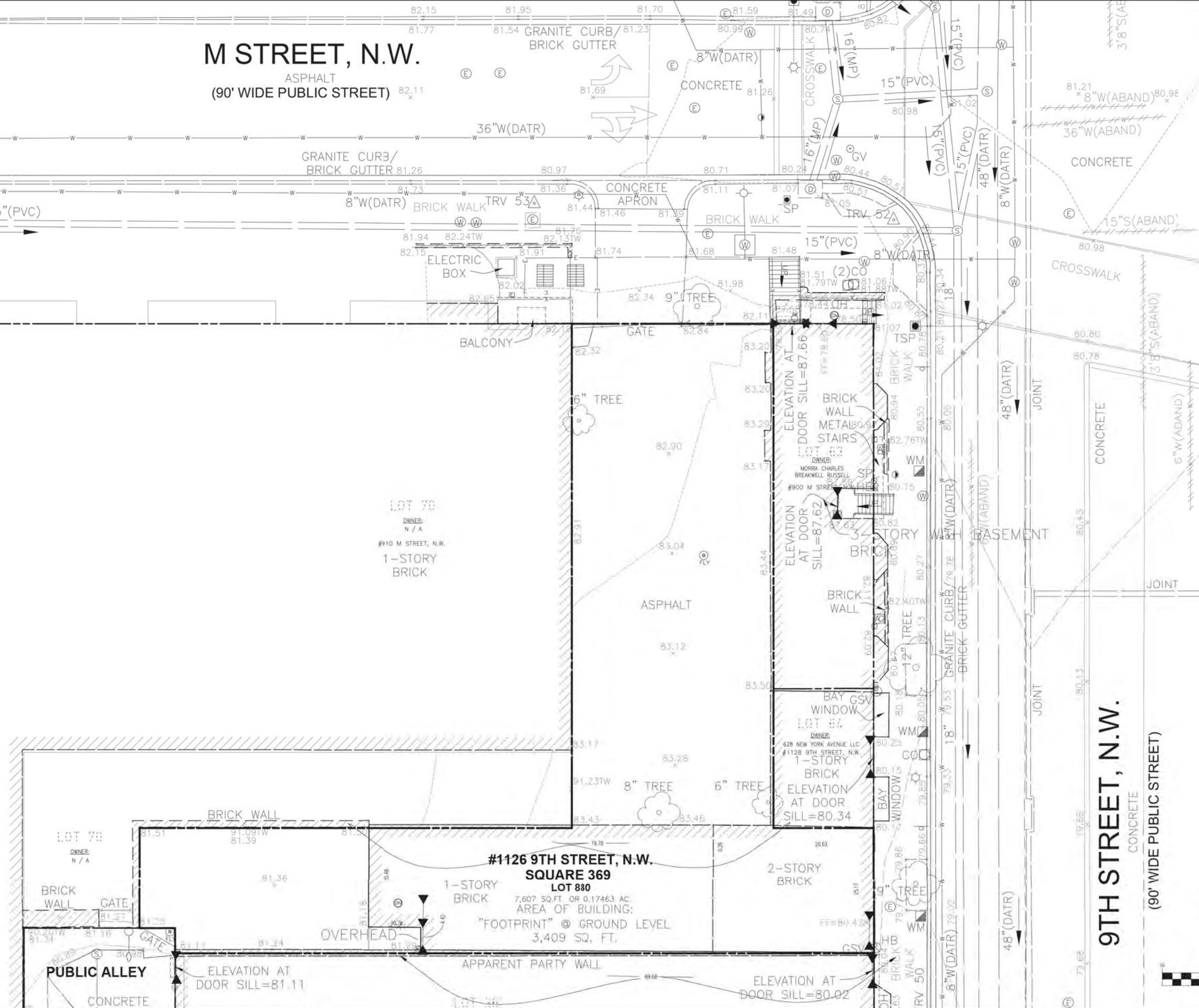
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DATE: 11.05.15

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EXISTING CONDITIONS PLAN

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LOT 78
OWNER:
N/A
1-STORY
BRICK

#1126 9TH STREET, N.W.
SQUARE 369
LOT 880

7,607 SQ. FT. OR 0.17463 AC.
AREA OF BUILDING:
"FOOTPRINT" @ GROUND LEVEL
3,409 SQ. FT.

2-STORY
BRICK

1-STORY
BRICK

LOT 84

BAY GSV
WINDOW

BRICK
WALL

BRICK
WALL

BRICK
WALL

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WALL

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M STREET, N.W.

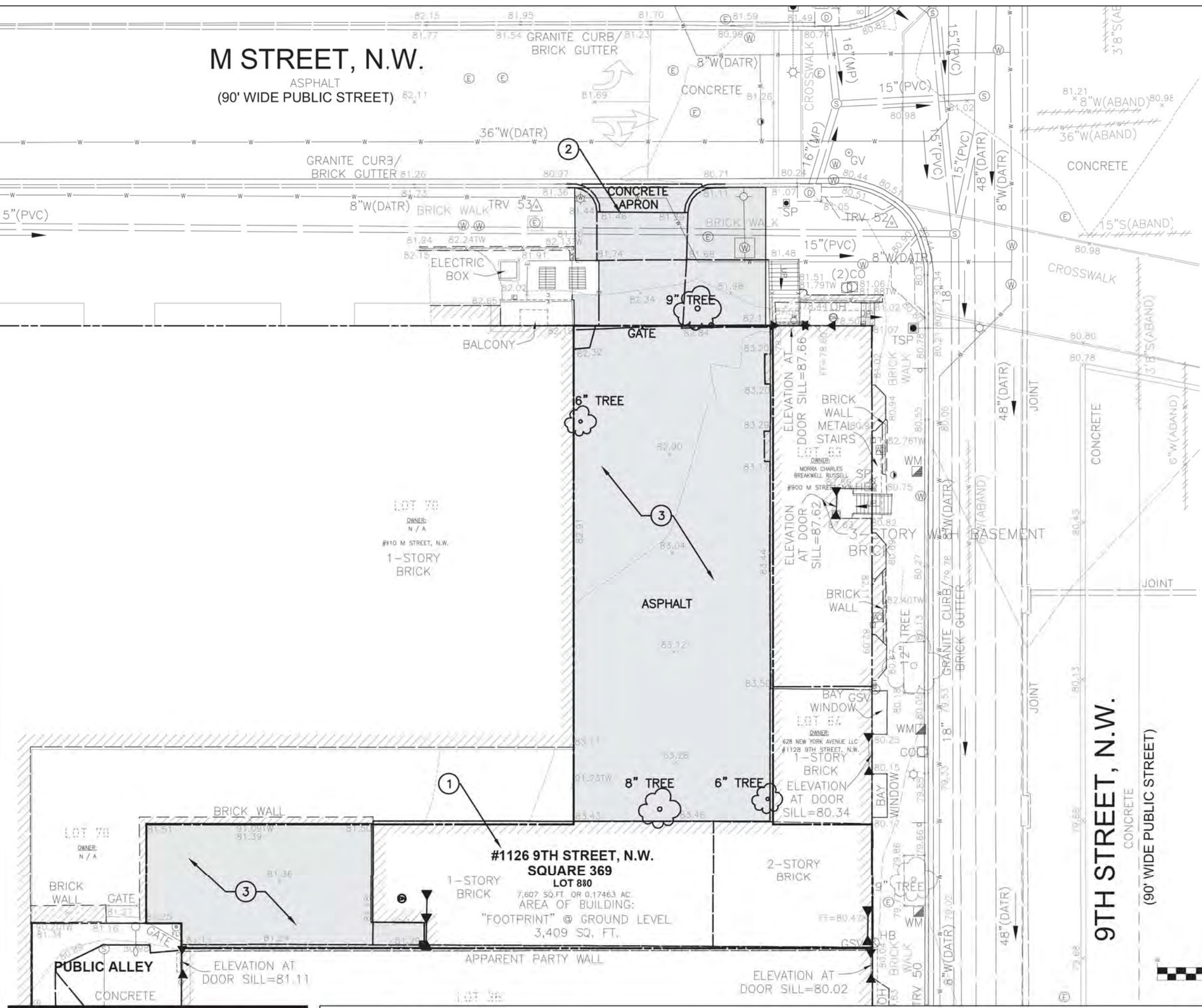
ASPHALT
(90' WIDE PUBLIC STREET)

SITE DEMOLITION PLAN

- 1 EXISTING BUILDING TO BE RENOVATED WITH BUILDING ADDITION.
- 2 VEHICLE ENTRANCE APRON TO BE REMOVED AND REPLACED WITH PAVING TO MATCH ADJACENT SIDEWALK.
- 3 DEMOLISH ALL SURFACE FEATURES ON VACANT PORTION OF LOT 880.

SITE DEMOLITION LEGEND

 APPROX. LIMITS OF SURFACE DEMOLITION



LOT 78
OWNER:
N/A
#910 M STREET, N.W.
1-STORY
BRICK

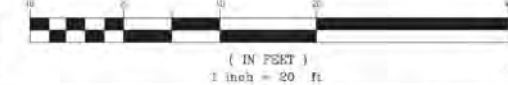
LOT 78
OWNER:
N/A
BRICK WALL
GATE
CONCRETE
PUBLIC ALLEY
ELEVATION AT DOOR SILL=81.11

#1126 9TH STREET, N.W.
SQUARE 369
LOT 880
1-STORY
BRICK
7,607 SQ. FT. OR 0.17463 AC.
AREA OF BUILDING:
"FOOTPRINT" @ GROUND LEVEL
3,409 SQ. FT.

LOT 84
OWNER:
628 NEW YORK AVENUE LLC
#1128 9TH STREET, N.W.
1-STORY
BRICK
ELEVATION AT DOOR SILL=80.34
2-STORY
BRICK

9TH STREET, N.W.
(90' WIDE PUBLIC STREET)

GRAPHIC SCALE



M STREET, N.W.

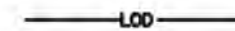
ASPHALT
(90' WIDE PUBLIC STREET)

PROVIDE INLET PROTECTION AT NEXT DOWNSTREAM CURB INLET

LEGEND



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE (SCE)



LIMIT OF DISTURBANCE



SILT FENCE



TREE PROTECTION FENCE



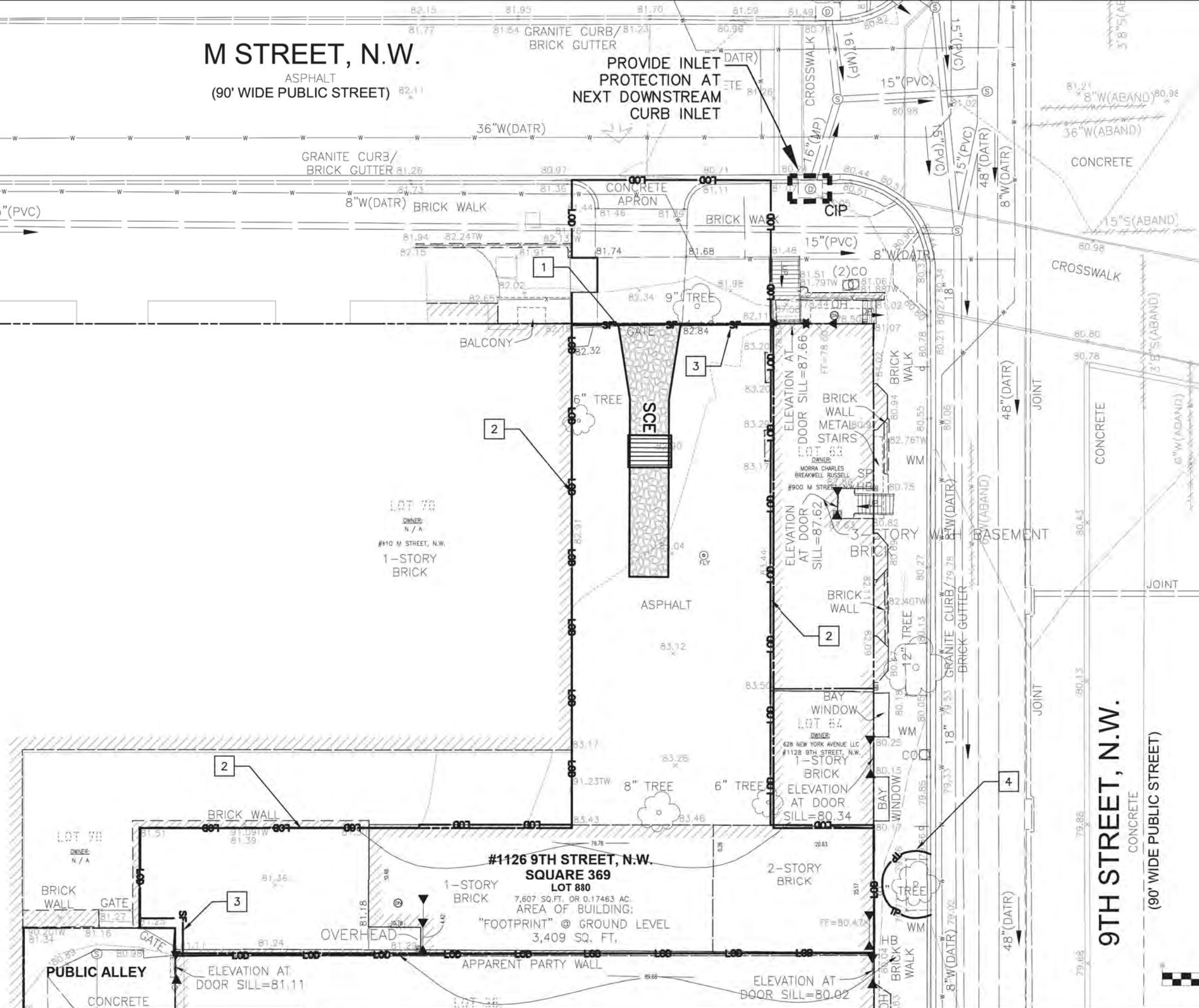
CURB INLET PROTECTION

SEDIMENT CONTROL PLAN KEYNOTES

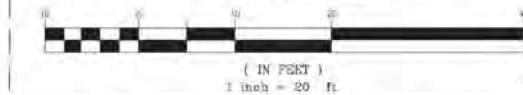
- 1 STABILIZED CONSTRUCTION ENTRANCE, LOCATION SHOWN APPROXIMATE.
- 2 LIMITS OF DISTURBANCE, TYP.
- 3 SILT FENCE TO BE LOCATED AT THE PROPERTY LINE.
- 4 TREE PROTECTION FENCE.

SITE TABULATION:

LOT AREA = 7,607 SF
BUILDING AREA = 6,420 SF
DISTURBED AREA = 8700 SF



GRAPHIC SCALE



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EROSION AND SEDIMENT CONTROL PLAN

SCALE: AS SHOWN
DATE: 11.05.15

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M STREET, N.W.

ASPHALT
(90' WIDE PUBLIC STREET)

UTILITY PLAN LEGEND

- COMBINED SEWER MANHOLE
- STORM SEWER
- FLOW ARROW
- 6" GATE VALVE AND CASING (DC WA W-20.01)
- SANITARY/STORM DRAIN CLEANOUT
- SANITARY SEWER
- 3" DOM
- WATER METER VAULT
- 48" STORM MANHOLE

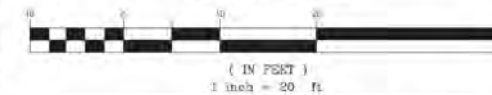
CONCEPT UTILITY PLAN

- 1 EXISTING PEPCO VAULT TO REMAIN
- 2 3" DIP DOMESTIC WATER SERVICE:
8"x6" DIP TEE W/ CONCRETE TRUST BLOCK
6" GATE VALVE AND CASING
6" X 3" DIP REDUCER
3" DOMESTIC WATER METER & VAULT
3" DIP LATERAL CONNECTION TO BUILDING
- 3 6" DIP FIRE SERVICE:
12" X 6" DIP TEE W/ THRUST BLOCK
6" GATE VALVE & CASING
6" DIP LATERAL CONNECTION TO BUILDING
- 4 6" PVC SANITARY SEWER SERVICE:
6" CONNECTION TO 48" DOGHOUSE MANHOLE
6" PVC LATERAL
6" CLEANOUT
6" PVC LATERAL CONNECTION TO BUILDING
- 5 8" PVC STORM SERVICE:
8" CONNECTION TO 48" DOGHOUSE MANHOLE
8" PVC LATERAL
8" CONNECTION TO 48" MANHOLE
8" PVC LATERAL CONNECTION TO BUILDING

UTILITY NOTES:
PROPOSED UTILITY DESIGN IS SCHEMATIC AND SUBJECT TO FINAL DESIGN AND AGENCY/UTILITY OWNER REVIEW. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE.

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CONCEPT UTILITY PLAN

SCALE: AS SHOWN
DATE: 11.05.15

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M STREET, N.W.

ASPHALT
(90' WIDE PUBLIC STREET)

STORMWATER MANAGEMENT NARRATIVE

DOEE STORMWATER MANAGEMENT AND GREEN AREA RATIO REQUIREMENTS WILL BE MET WITH A PROPOSED GREEN ROOF. PUBLIC SPACE STORMWATER MANAGEMENT WILL BE MET BY LID MEASURES AS OUTLINED IN THE DDOT GREEN INFRASTRUCTURE STANDARDS MANUAL.

AN 8" STORM DRAIN WILL CONNECT TO THE EXISTING 15" COMBINED SEWER MAIN IN M STREET, NW.

STORMWATER MANAGEMENT SUMMARY

IMPERVIOUS AREA, $A_i = 7607$ SF
 $R_i = 0.95$

SWRV REQUIRED = $1.2"/12' \times (A_i \times R_i)$






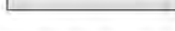

ON SITE SWRV REQUIRED: 723 CU FT

EXISTING ZONE: C-2-A

CONCEPT STORMWATER MANAGEMENT PLAN

- 1 8" PVC STORM SEWER CONNECTION TO EXISTING COMBINED SEWER.
- 2 SIXTH STORY GREEN ROOF, TYP.
- 3 THIRD STORY GREEN ROOF, TYP.
- 4 ELEVENTH STORY GREEN ROOF, TYP.

SITE PLAN LEGEND

-  LANDSCAPED AREA
-  BRICK PAVEMENT
-  GREEN ROOF
-  BUILDING
-  FENCE WITH GATE
-  ROOF TERRACE
-  BUILDING FACE BELOW

GRAPHIC SCALE



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CONCEPT STORMWATER PLAN

SCALE: AS SHOWN

DATE: 11.05.15

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Green Area Ratio Scoresheet

Address: 1126 9th Street NW
 Ward: 880 Lot: 369 Zoning District: C-2-A
 Other / BZA Order:
 Lot size (enter this value first) * 7,607
 enter sq ft of lot multiplier SCORE 0.410

Landscape Elements	Square Feet	Factor	Total
A. Landscaped areas (select one of the following for each area)			
1 Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.3	-
2 Landscaped areas with a soil depth of 24" or greater	enter sq ft 0	0.6	-
3 Bioretention facilities	enter sq ft 0	0.4	-
B. Plantings (credit for plants in landscaped areas from Section A)			
1 Groundcovers, or other plants less than 2' tall at maturity	enter sq ft 0	0.2	-
2 Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 0	0.3	-
3 Tree canopy for all new trees 2.5" to 6" in diameter or equivalent - calculated at 50 sq ft per tree	enter number of trees 0	0.5	-
4 Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees 0	0.6	-
5 Tree canopy for preservation of existing tree 6" to 12" in diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees 0	0.7	-
6 Tree canopy for preservation of existing tree 12" to 18" in diameter or larger or equivalent - calculated at 600 sq ft per tree	enter number of trees 0	0.7	-
7 Tree canopy for preservation of all existing trees 18" to 24" in diameter or equivalent - calculated at 1300 sq ft per tree	enter number of trees 0	0.7	-
8 Tree canopy for preservation of all existing trees 24" in diameter or larger or equivalent - calculated at 2000 sq ft per tree	enter number of trees 0	0.8	-
9 Vegetated wall, plantings on a vertical surface	enter sq ft 0	0.6	-
C. Vegetated or "green" roofs			
1 Over at least 2" and less than 8" of growth medium	enter sq ft 5,197	0.6	3,118.4
2 Over at least 8" of growth medium	enter sq ft 0	0.8	-
D. Permeable Paving***			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.4	-
2 Permeable paving over at least 24" of soil or gravel	enter sq ft 0	0.5	-
E. Other			
1 Enhanced tree growth systems***	enter sq ft 0	0.4	-
2 Renewable energy generation	enter sq ft 0	0.5	-
3 Approved water features	enter sq ft 0	0.2	-
H. Bonuses			
1 Native plant species	enter sq ft 0	0.1	-
2 Landscaping in food cultivation	enter sq ft 0	0.1	-
3 Harvested stormwater irrigation	enter sq ft 0	0.1	-
Green Area Ratio numerator =		3,118	

GAR RATIO REQUIREMENTS
 EXISTING ZONE: C-2-A
 GREEN AREA THRESHOLD RATIO: 0.30

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GAR SCORE CARD

SCALE: AS SHOWN
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