



1126 9TH STREET NW

APPLICATION FOR CONSOLIDATED PUD
ZONING MAP AMENDMENT

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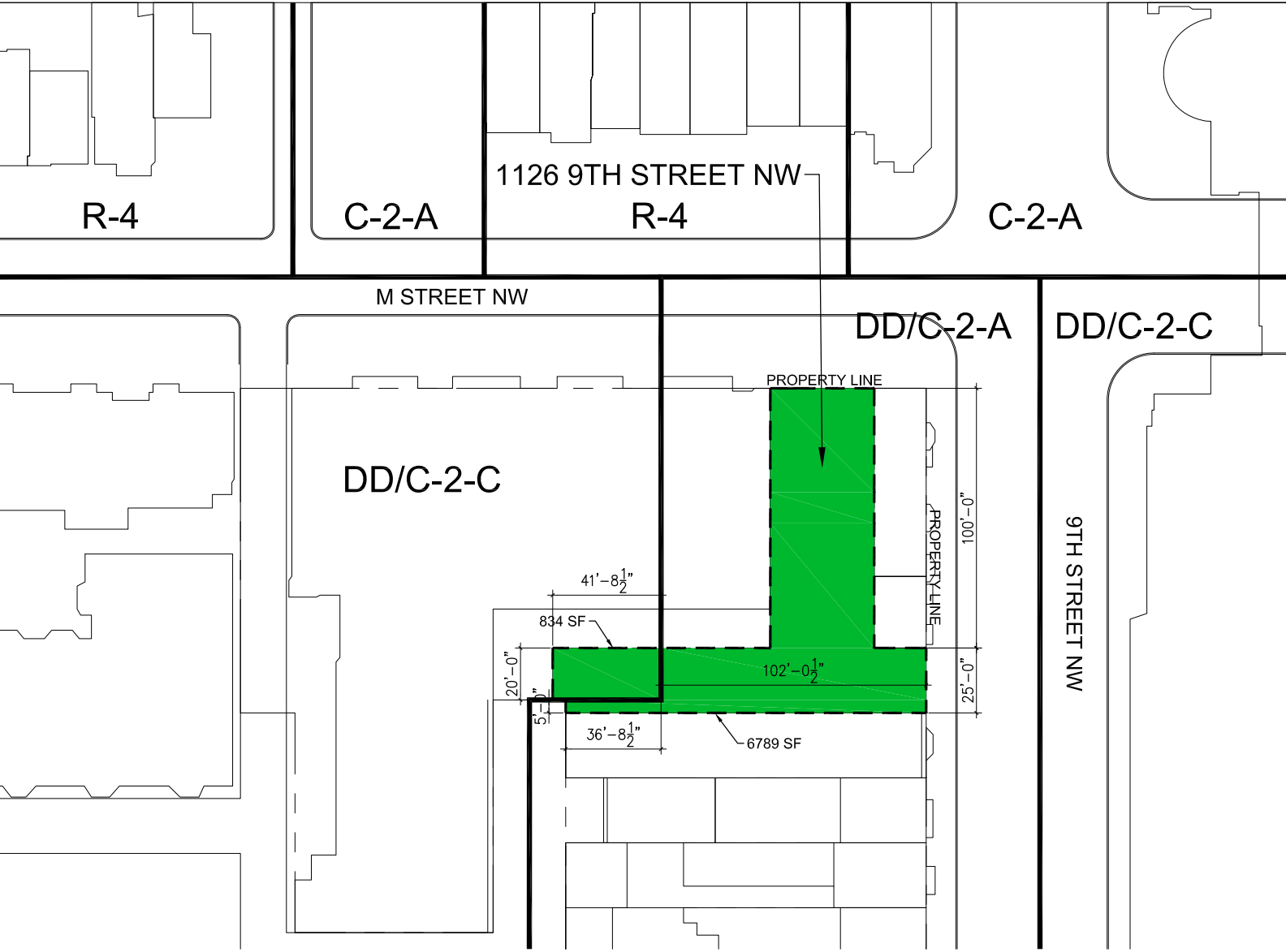
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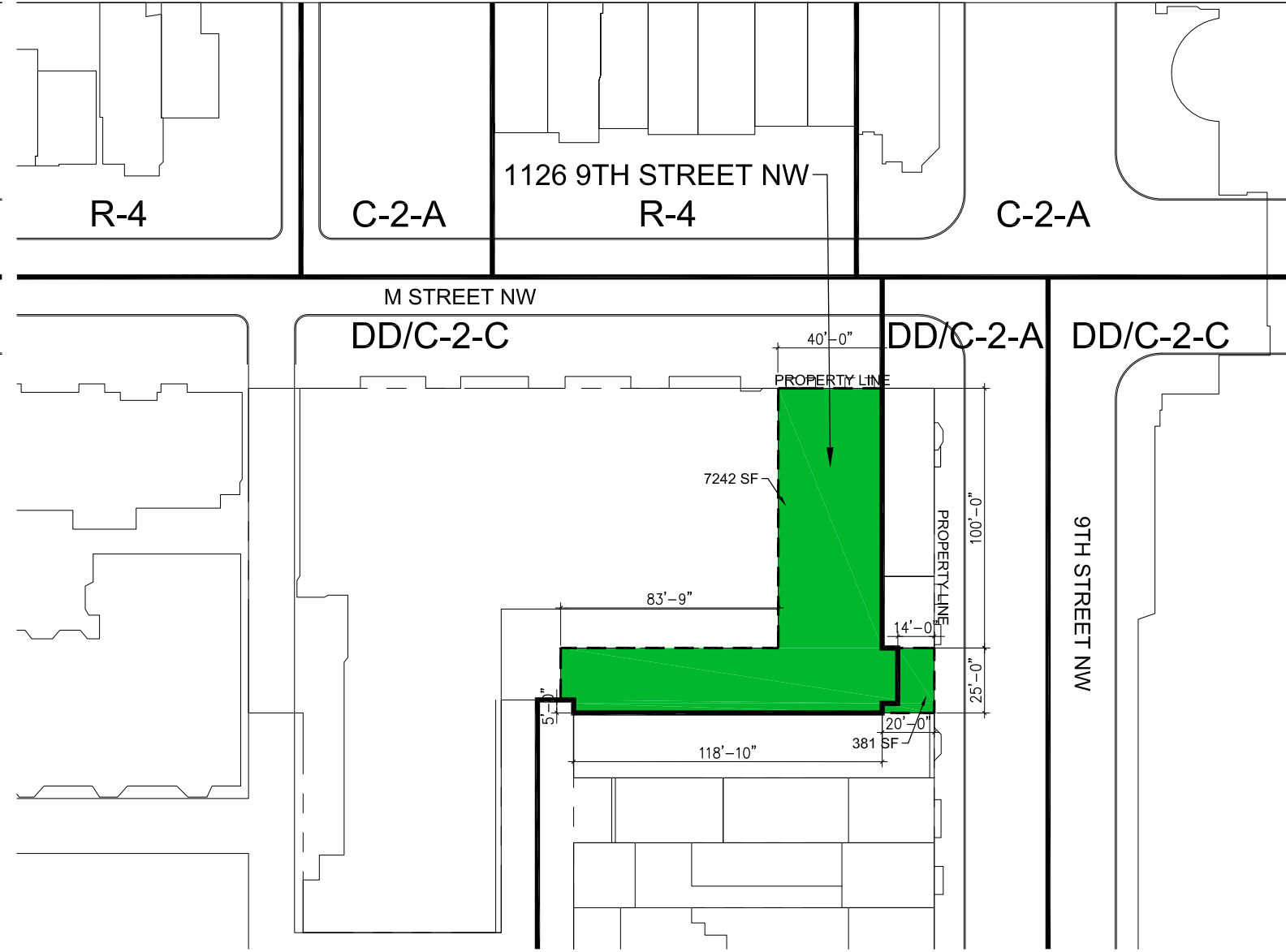


PROPOSED CONSOLIDATED PUD





CURRENT ZONING



PROPOSED ZONING

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ADDRESS: 1126 9TH STREET NW
 LEGAL DESCRIPTION: SQUARE 369, LOT 880
 LAND AREA: 7,610 SF

FRONTAGE: M STREET 40' (NORTH)
 9TH STREET 25' (EAST)

OVERLAY: DD
 ZONE: C-2-A/C-2-C
 PROPOSED USE: 32,646 SF RESIDENTIAL/7,644 SF OFFICE/RETAIL
 UNIT COUNT: 28 UNITS
 TOTAL GROSS SQUARE FOOTAGE: 40,290

PROPOSED UNIT MIX	
1 - STUDIO	3%
24 - 1 BEDROOM	86%
3 - 2 BEDROOM	11%
28 UNITS TOTAL	

FLOOR	S	1	2
2ND			
3RD		3	1
4TH		5	1
5TH		5	1
6TH		5	1
7TH	1	1	
8TH		2	
9TH		2	
10TH		2	
TOTAL:	1	24	3

DESCRIPTION	C-2-A REQUIRED/ALLOWED	C-2-C REQUIRED/ALLOWED	C-2-A PROPOSED	C-2-C PROPOSED	COMMENT
MAXIMUM BUILDING HEIGHT	50'-0"	110'-0"	24'-11"	100'-0"	
COMMERCIAL DENSITY RESIDENTIAL DENSITY TOTAL DENSITY	1.5 FAR (COMMERCIAL) 2.5 FAR (RESIDENTIAL) 2.5 FAR TOTAL	OVERALL: UNLIMITED W/RES. 4.5 FAR RES. REQ'D	610 GSF = 1.6 FAR (COM.)(EXIST.) 150 GSF = 0.39 FAR (RES.) 760 GSF = 2.0 FAR TOTAL	7,034 GSF = 0.97 FAR (COM.) 32,496 GSF = 4.5 FAR (RES.) 39,530 GSF = 5.5 FAR TOTAL	
COMMERCIAL DENSITY RESIDENTIAL DENSITY TOTAL DENSITY PER SITE		7,644 GSF = 1.0 FAR (COMMERCIAL) 32,646 GSF = 4.3 FAR (RESIDENTIAL) 40,290 GSF = 5.3 FAR TOTAL			
DD OVERLAY RESIDENTIAL REQUIREMENT	N/A	4.5 F.A.R. RES. REQ'D	N/A	32,496 GSF RES = 4.5 REQ'D FAR (1706.4 (b))	FOR C-2-C PORTION OF SITE
LOT OCCUPANCY	60% (RES.) 100% (COM.)	80% (RES.) 100% (COM.)	100% LOT OCCUPANCY (EXIST.)	80% LOT OCCUPANCY	CAN CONVERT EXISTING BUILDING TO RESIDENTIAL @ 100% OCCUPANCY
SIDE YARD	IF PROVIDED, 2" WIDTH/FT HEIGHT		NONE PROVIDED	NONE PROVIDED	
REAR YARD	15'		53'-10"		
OFF-STREET PARKING	C-2-A RES. = 1 PER 2 UNIT OFF. = 1 FOR 600 > 2000 RET. = 1 FOR 300 > 3000	C-2-C RES. = 1 PER 4 UNIT OFF. = 1 FOR 1800 > 2000 RET. = 1 FOR 750 > 3000	C-2-A RES. = 150 - 0 OFF. = 380 - 0 RET. = 230 - 0	C-2-C RES. = 28 - 7 OFF. = 6,820 - 3 RET. = 214 - 0 TOTAL SP. - 10 2 PARKING SPACES (NON-COMPLIANT)	RELIEF REQUEST
OFF-STREET LOADING	NOT REQUIRED		LOADING PROVIDED AT REAR 15' x 30'		
ROOF STRUCTURES					
AREA	MAXIMUM 0.37 FAR		NONE	0.10 FAR	
ENCLOSURE WALLS, HEIGHTS	ONE ENCLOSURE ENCLOSING WALLS OF EQUAL HEIGHT		NONE	ONE ENCLOSURE ENCLOSING WALLS OF EQUAL HEIGHT	
MAXIMUM HEIGHT PH	MAXIMUM PH HEIGHT 18.5 FT		NONE	14.0'	
SETBACK	SETBACK 1:1 RATIO (MINIMUM 14')		N/A	1:1 SETBACK WHERE POSSIBLE	RELIEF REQUEST
COURTS	COM: 3"/FT & 2X SQUARE OF WIDTH, LESS THAN 250', NO LESS THAN 12' RES: 4"/FT & 2X SQUARE OF WIDTH, LESS THAN 350', NO LESS THAN 15'		NONE PROPOSED	COURT #1 = 9' COURT #2 = 9' COURT #3 = 18'-5"	RELIEF REQUEST
GREEN AREA RATIO	0.3		0.325		

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 LEGAL DESCRIPTION: SQUARE 369, LOT 880
 LAND AREA: 7,610 SF

FRONTAGE: M STREET 40' (NORTH)
 9TH STREET 25' (EAST)

OVERLAY: DD
 ZONE: C-2-A/C-2-C
 PROPOSED USE: 36,567 SF RESIDENTIAL/3,723 SF OFFICE/RETAIL
 UNIT COUNT: 33 UNITS
 TOTAL GROSS SQUARE FOOTAGE: 40,290

PROPOSED UNIT MIX	
2 - STUDIO	7%
27 - 1 BEDROOM	81%
4 - 2 BEDROOM	12%
33 UNITS TOTAL	

FLOOR	S	1	2
2ND	1	3	1
3RD		3	1
4TH		5	1
5TH		5	1
6TH		5	1
7TH	1	1	
8TH		2	
9TH		2	
10TH		2	
TOTAL:	2	27	4

DESCRIPTION	C-2-A REQUIRED/ALLOWED	C-2-C REQUIRED/ALLOWED	C-2-A PROPOSED	C-2-C PROPOSED	COMMENT
MAXIMUM BUILDING HEIGHT	50'-0"	110'-0"	24'-11"	100'-0"	
COMMERCIAL DENSITY RESIDENTIAL DENSITY TOTAL DENSITY	1.5 FAR (COMMERCIAL) 2.5 FAR (RESIDENTIAL) 2.5 FAR TOTAL	OVERALL: UNLIMITED W/RES.	230 GSF = 0.6 FAR (COM.) 530 GSF = 1.4 FAR (RES.) 760 GSF = 2.0 FAR TOTAL	3,493 GSF = 0.5 FAR (COM.) 36,037 GSF = 5.0 FAR (RES.) 39,530 GSF = 5.5 FAR TOTAL	
COMMERCIAL DENSITY RESIDENTIAL DENSITY TOTAL DENSITY PER SITE	3,723 GSF = .5 FAR (COMMERCIAL) 36,567 GSF = 4.8 FAR (RESIDENTIAL) 40,290 GSF = 5.3 FAR TOTAL				
DD OVERLAY RESIDENTIAL REQUIREMENT	N/A	4.5 F.A.R. RES. REQ'D	N/A	36,037 GSF RES > 4.5 REQ'D FAR (1706.4 (b))	FOR C-2-C PORTION OF SITE
LOT OCCUPANCY	60% (RES.) 100% (COM.)	80% (RES.) 100% (COM.)	100% LOT OCCUPANCY (EXIST.)	80% LOT OCCUPANCY	CAN CONVERT EXISTING BUILDING TO RESIDENTIAL @ 100% OCCUPANCY
SIDE YARD	IF PROVIDED, 2' WIDTH/FT HEIGHT		NONE PROVIDED		
REAR YARD	15'		53'-10"		
OFF-STREET PARKING	C-2-A RES. = 1 PER 2 UNIT OFF. = 1 FOR 600 > 2000 RET. = 1 FOR 300 > 3000	C-2-C RES. = 1 PER 4 UNIT OFF. = 1 FOR 1800 > 2000 RET. = 1 FOR 750 > 3000	C-2-A RES. = 530 - 0 OFF. = 0 - 0 RET. = 230 - 0	C-2-C RES. = 33 - 8 OFF. = 3,279 - 1 RET. = 214 - 0 TOTAL SP. - 9 2 PARKING SP. PROVIDED (NON-COMPLIANT)	RELIEF REQUEST
OFF-STREET LOADING	NOT REQUIRED		LOADING PROVIDED AT REAR 15' x 30'		
ROOF STRUCTURES	/ / / / /				
AREA	MAXIMUM 0.37 FAR		NONE	0.10 FAR	
ENCLOSURE WALLS, HEIGHTS	ONE ENCLOSURE ENCLOSING WALLS OF EQUAL HEIGHT		NONE	ONE ENCLOSURE ENCLOSING WALLS OF EQUAL HEIGHT	
MAXIMUM HEIGHT PH	MAXIMUM PH HEIGHT 18.5 FT		NONE	14.0'	
SETBACK	SETBACK 1:1 RATIO (MINIMUM 14')		N/A	1:1 SETBACK WHERE POSSIBLE	RELIEF REQUEST
COURTS	COM: 3"/FT & 2X SQUARE OF WIDTH, LESS THAN 250', NO LESS THAN 12' RES: 4"/FT & 2X SQUARE OF WIDTH, LESS THAN 350', NO LESS THAN 15'		NONE PROPOSED	COURT #1 = 9' COURT #2 = 9' COURT #3 = 18'-5"	RELIEF REQUEST
GREEN AREA RATIO	0.3		0.325		

DIFFERENCE BETWEEN
2ND FLOOR OPTIONS

04a



VIEW A



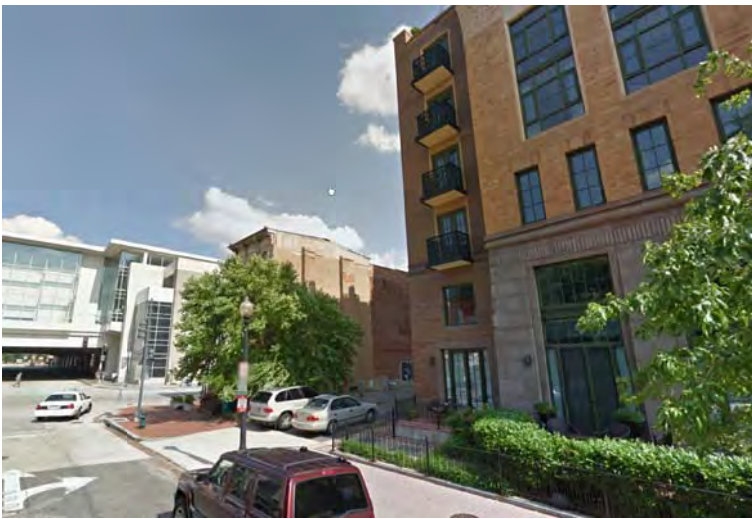
VIEW B



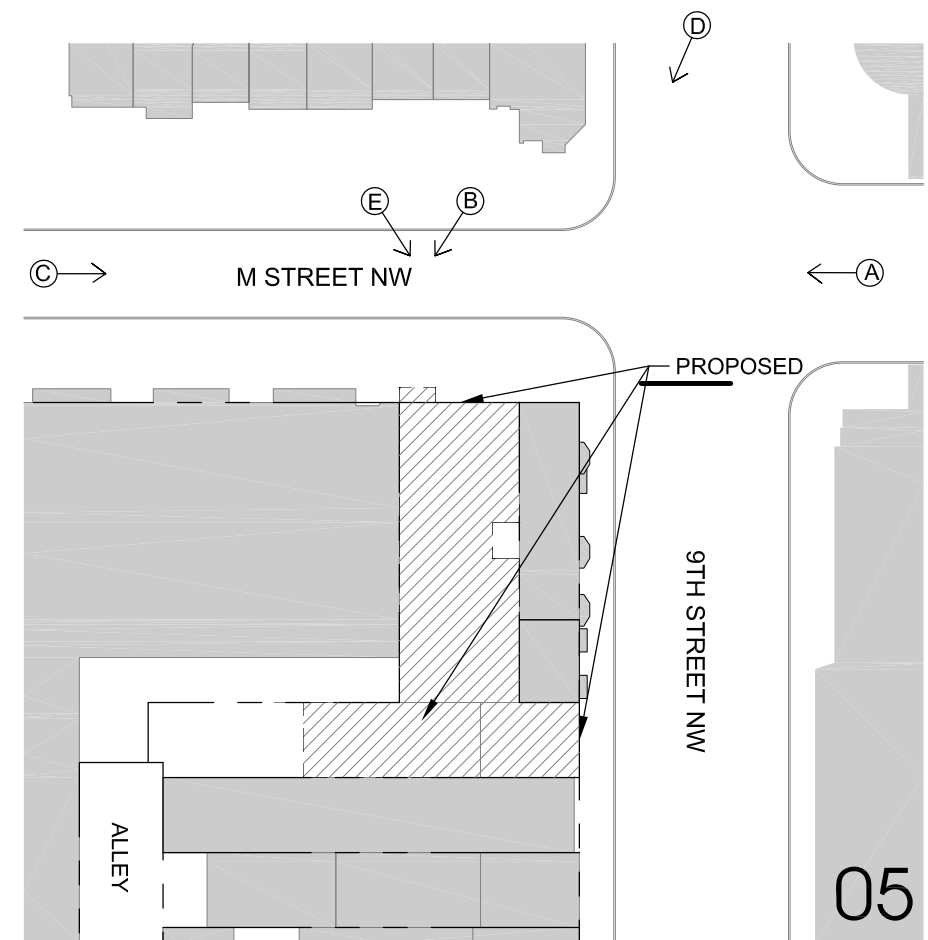
VIEW E



VIEW C

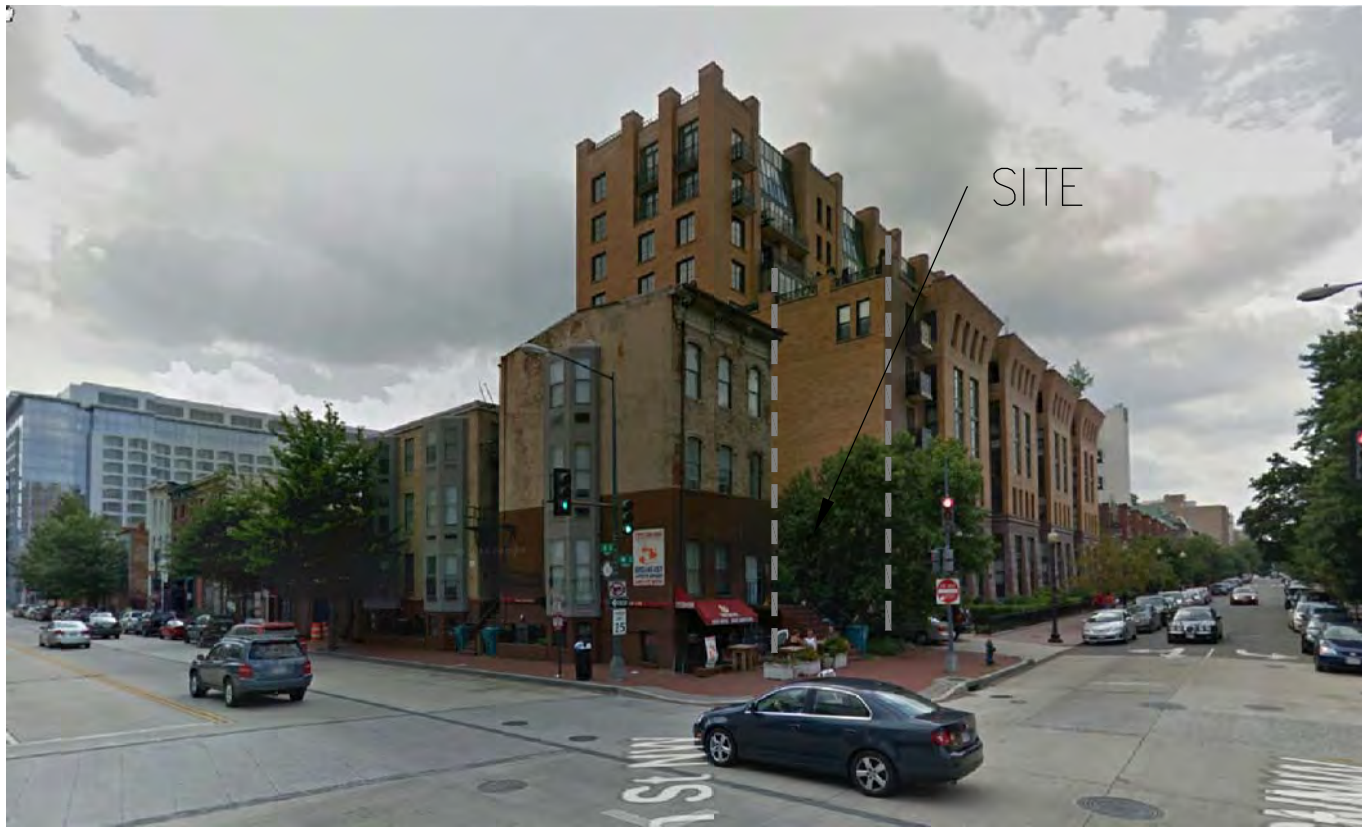


VIEW D



SCALE: NO SCALE
DATE: 11.11.15

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VIEW A



VIEW B



VIEW C



VIEW D



SCALE: NO SCALE
DATE: 11.11.15

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VIEW A



VIEW B



VIEW E



VIEW C



VIEW D



SCALE: NO SCALE
DATE: 11.11.15

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EXISTING CONTEXT PHOTOS

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M STREET NW

EXISTING SITE

9TH STREET NW

EXISTING 2-STORY BUILDING TO BE RENOVATED

EXISTING 1-STORY BUILDING TO BE RENOVATED

EXISTING 1-STORY SHED TO BE RENOVATED

M STREET NW

NEW 5 STORY BUILDING

9TH STREET NW

- EXISTING BUILDING - 2-STORY PORTION TO BE RETAINED AND RENOVATED
- 9 STORY ADDITION OVER EXISTING BUILDING
- 4 STORY ADDITION OVER EXISTING BUILDING
- EXISTING BUILDING - 1-STORY PORTION TO BE RETAINED AND RENOVATED
- EXISTING 1-STORY SHED TO BE RETAINED AND RENOVATED

09

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PROPOSED SITE PLAN

SCALE: 1/32" = 1'-0"

DATE: 11.11.15

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M STREET NW

10TH STREET NW

9TH STREET NW

1126 9TH ST.



10

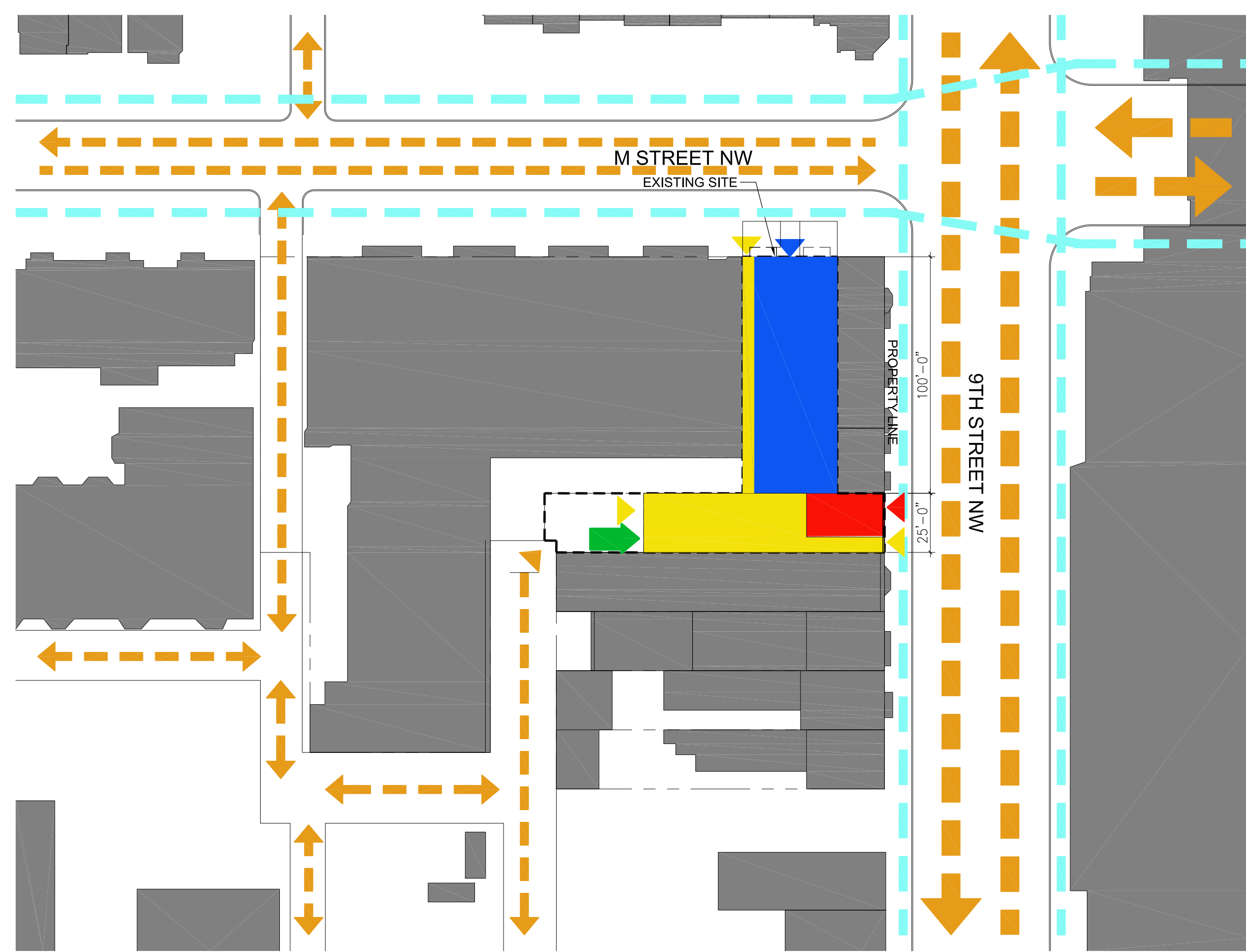
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AERIAL SITE PLAN

SCALE: NO SCALE
DATE: 11.11.15

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LEGEND

- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION
- RETAIL ENTRY
- OFFICE ENTRY
- RESIDENTIAL ENTRY / EXIT
- PARKING SERVICE ENTRY
- LOADING
- RESIDENTIAL
- RETAIL
- OFFICE

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SITE BLOCK CIRCULATION PLAN

SCALE: 1"=40'
DATE: 11.11.15

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EXISTING STREET TREES

EXISTING BRICK SIDE WALK

NEW GARDEN WITH WROUGHT IRON FENCE AND BRICK WALK WAY

PUBLIC SPACE MODIFIED

SITE

NEW PAVED PARKING APRON

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LANDSCAPE PLAN

SCALE: 1" = 20'-0"
DATE: 11.11.15

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M STREET LOOKING WEST



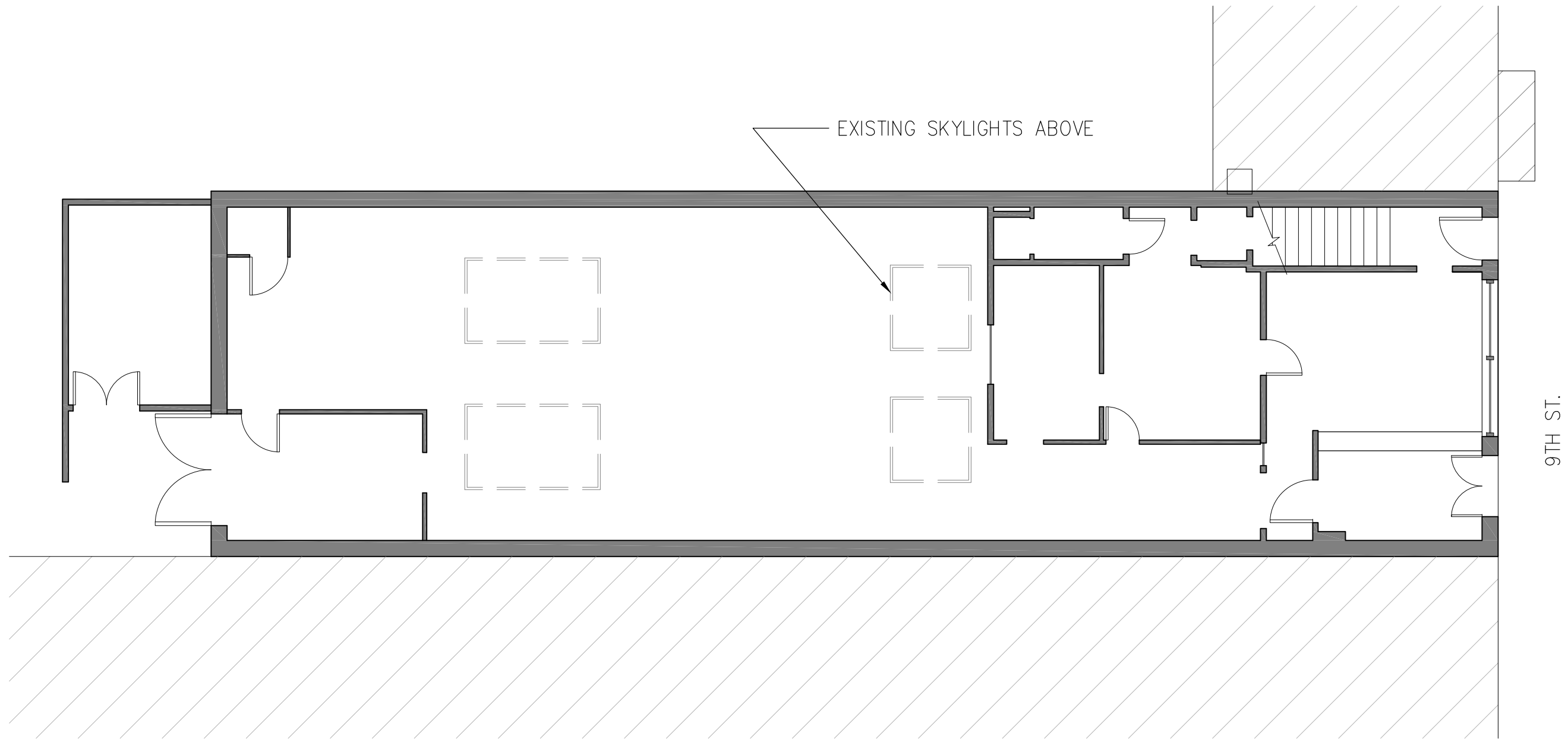
M STREET LOOKING EAST

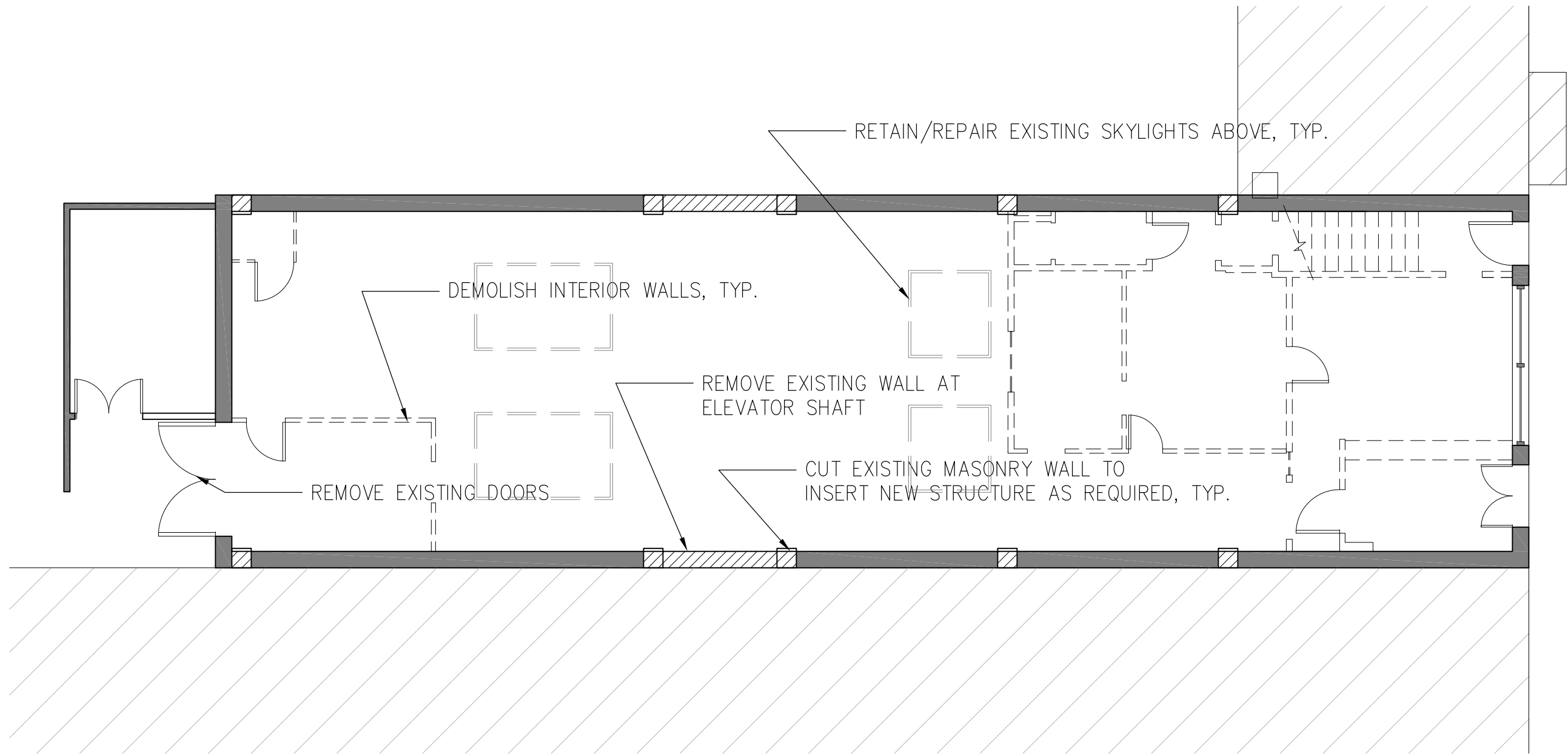


9TH STREET LOOKING SOUTH





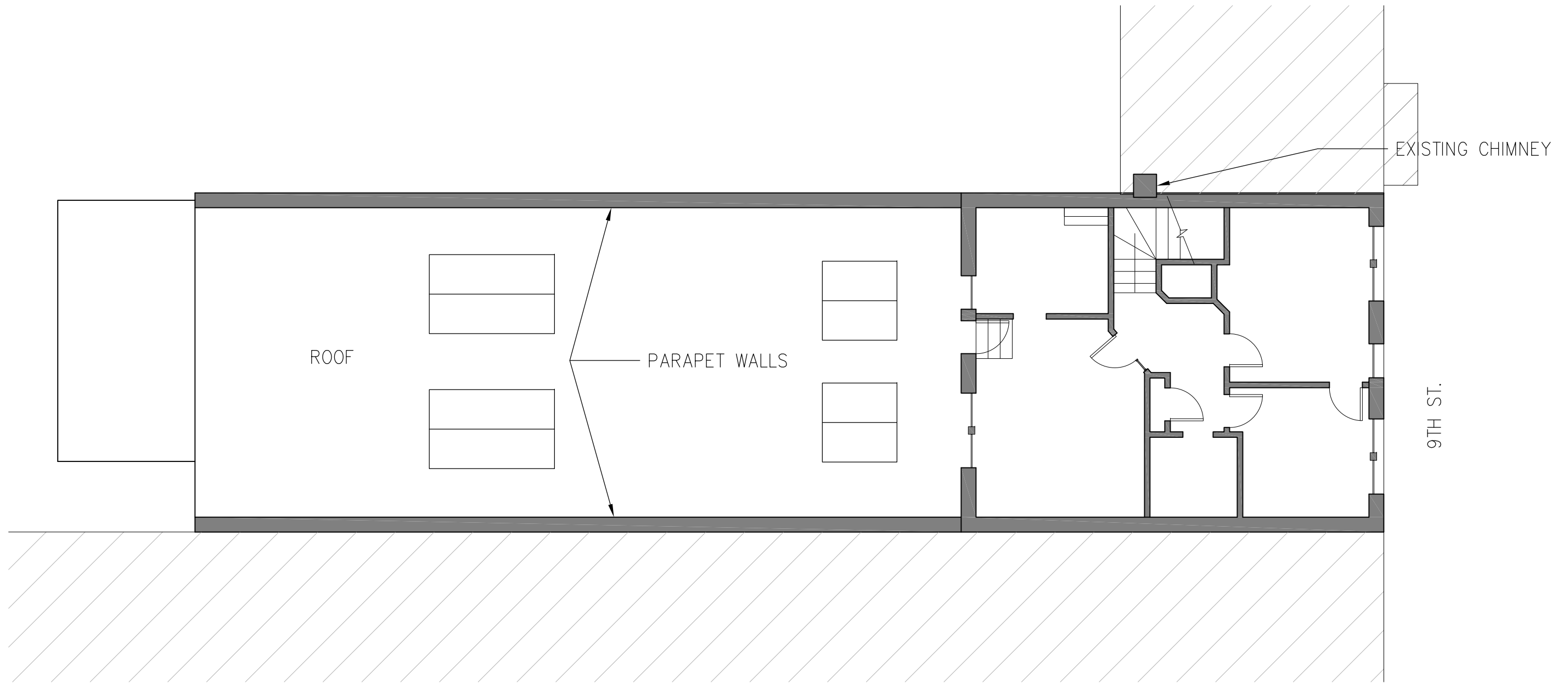
9TH STREET LOOKING NORTH

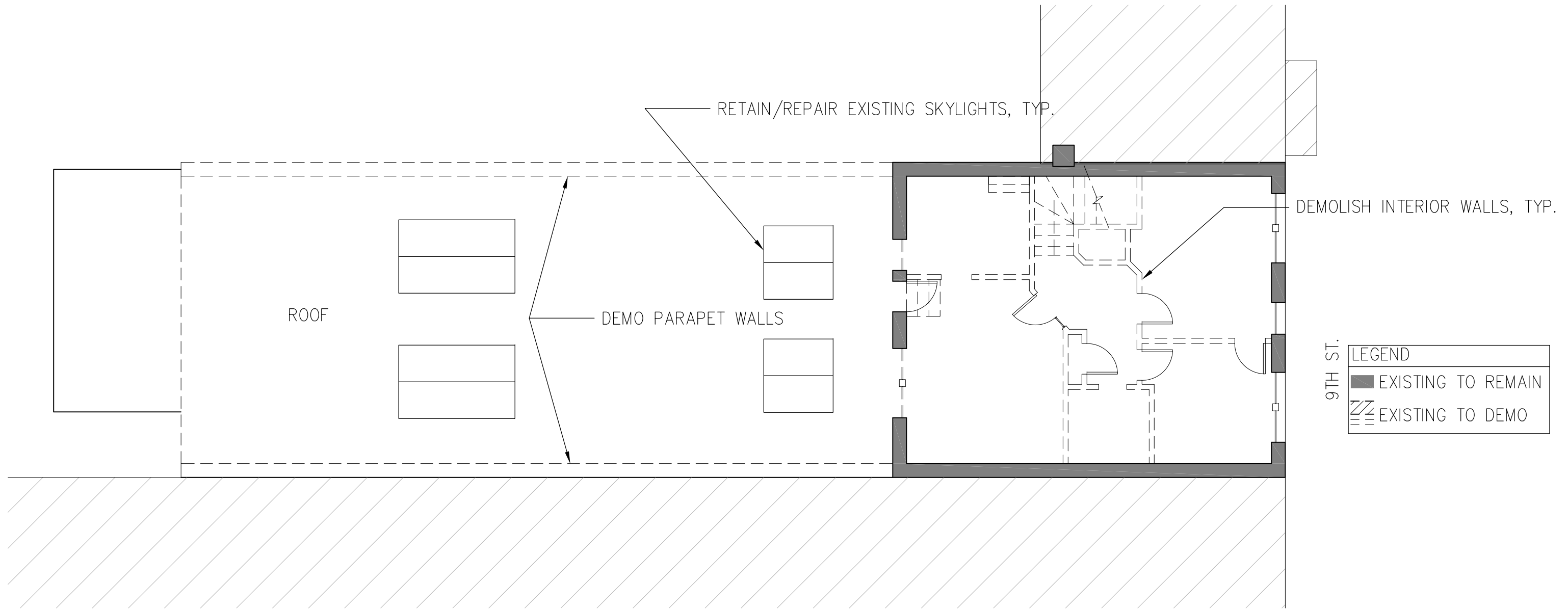




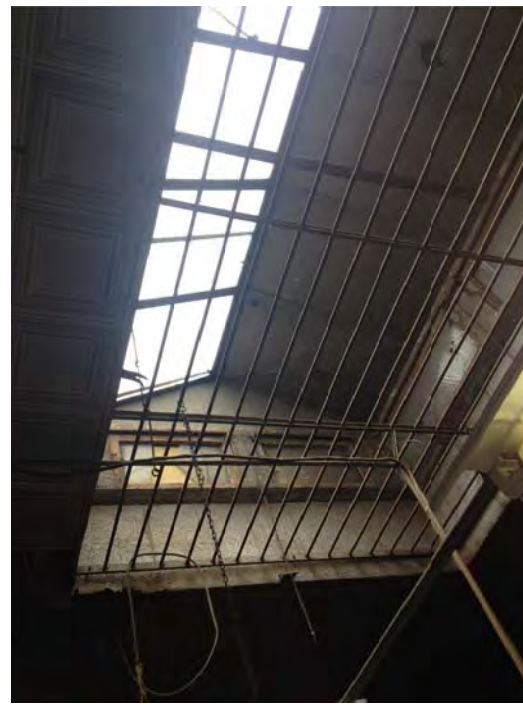
9TH ST.

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO





EXISTING SKYLIGHTS



EXISTING INTERIOR



M STREET NW

RESIDENTIAL ENTRY
40'-0"

RETAIL/OFFICE ENTRY

GARDEN

GARDEN

PROPERTY LINE

NEW SIDEWALK

Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

GROUND LVL

9TH STREET NW

100'-0"

RETAIL/OFFICE
3,279 SF

SKYLIGHT ABOVE

PROPERTY LINE
48'-0"

STAIR 1

30'-3"

20'-0"

22'-0"

22'-0"

2 SPACES

STOR.

SKYLIGHT ABOVE

RESIDENTIAL LOBBY
1,431 SF

RETAIL/OFFICE
444 SF

LOADING ZONE

25'-0"

ELEV. 1

RETAIL/OFFICE ENTRY

LEGEND

- EXISTING TO REMAIN
- EXISTING TO DEMO

RESIDENTIAL ENTRY



19

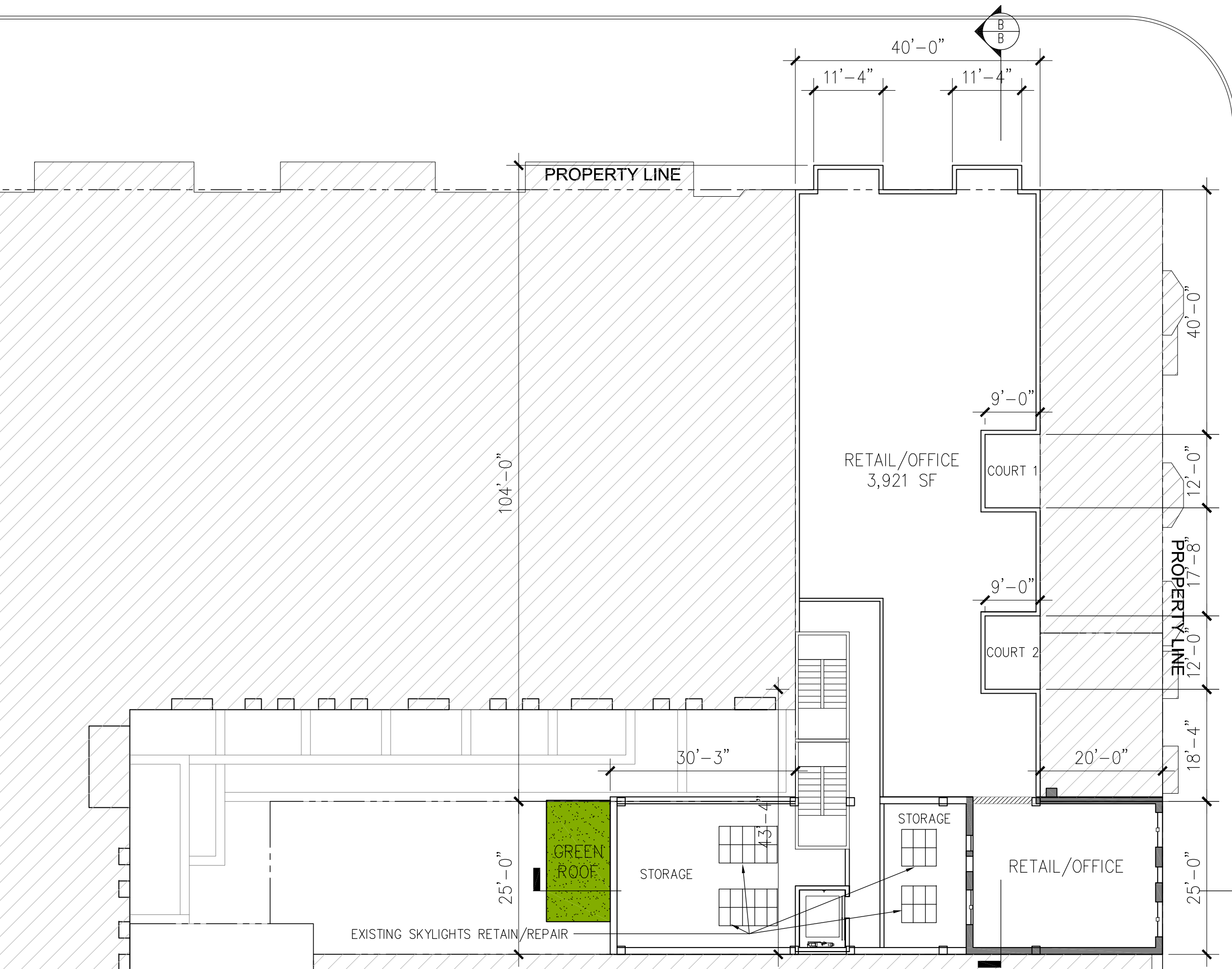
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GROUND LEVEL PLAN

SCALE: 1/16" = 1'-0"

DATE: 11.11.15

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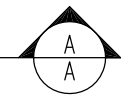
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Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

LEVEL 2

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	TERRACE



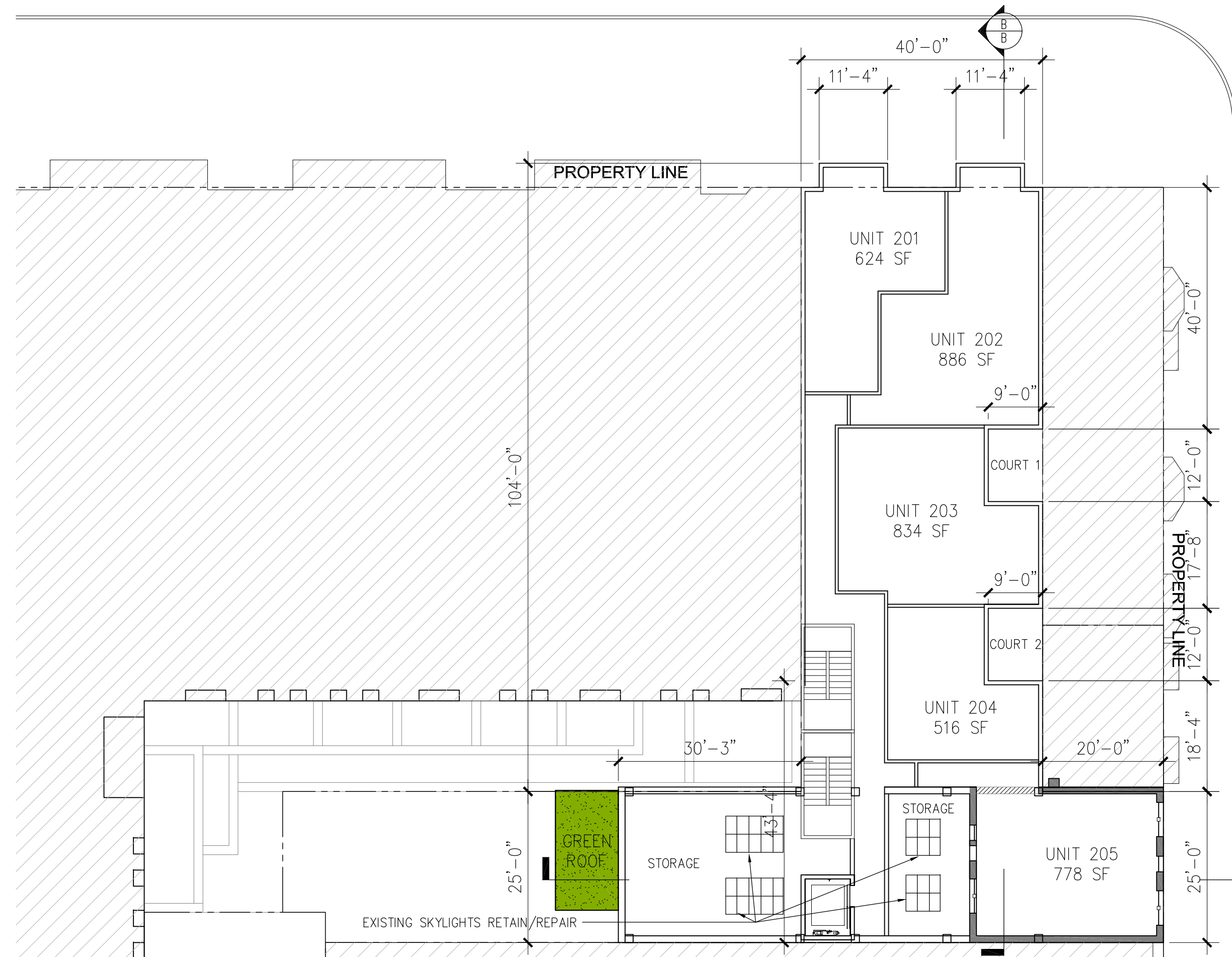
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LEVEL 2 - OFFICE/RETAIL LAYOUT

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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LEVEL 2

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	TERRACE

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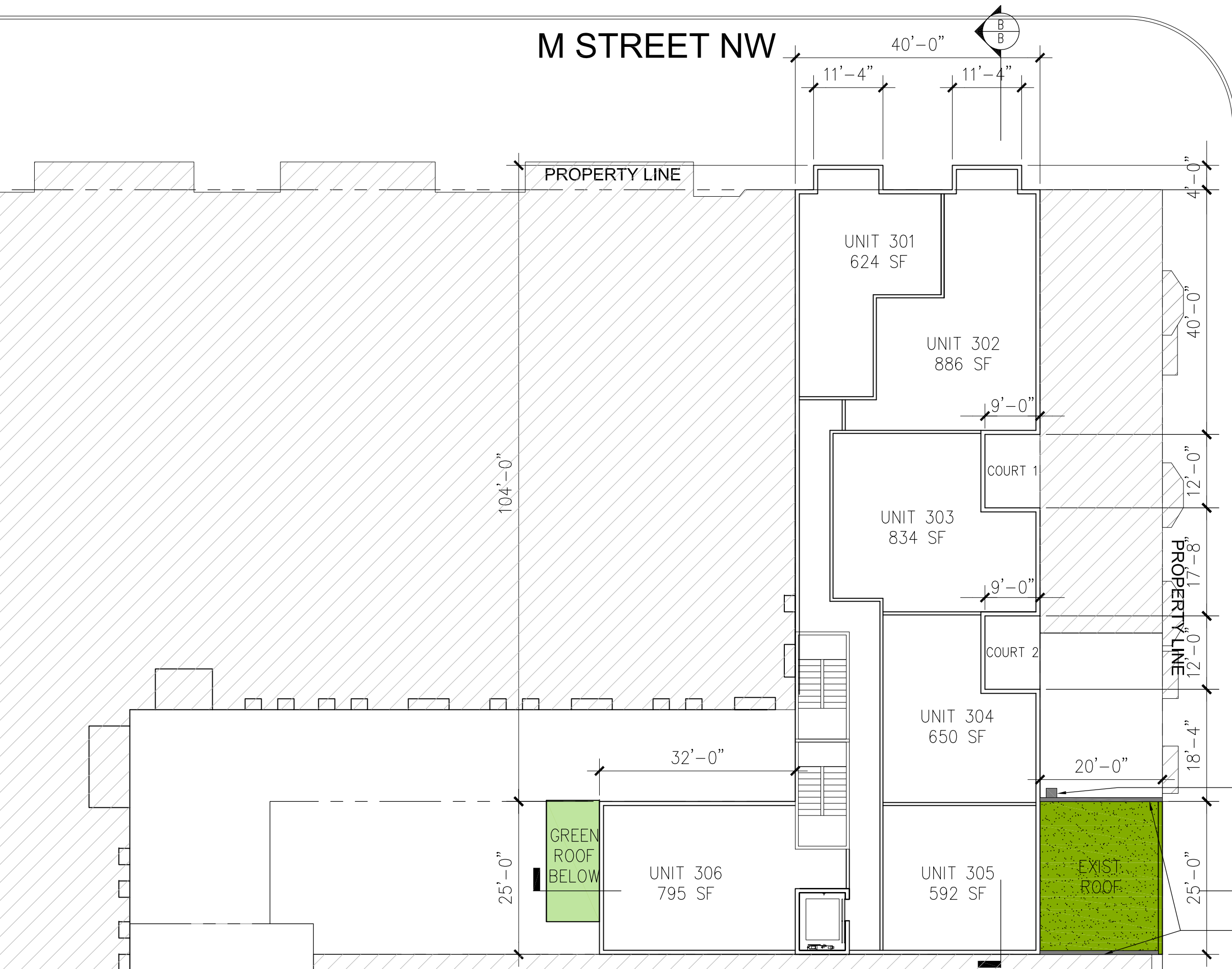
LEVEL 2 - RESIDENTIAL UNIT LAYOUT

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

20a
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M STREET NW



Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

Location of green roof areas and configuration of trellis and other roof improvements are illustrative only and subject to change on final plan.

LEVEL 3, 4

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE

EXISTING CHIMNEY TO REMAIN

EXISTING PARAPET TO REMAIN

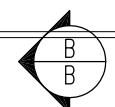
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LEVEL 3-4

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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M STREET NW



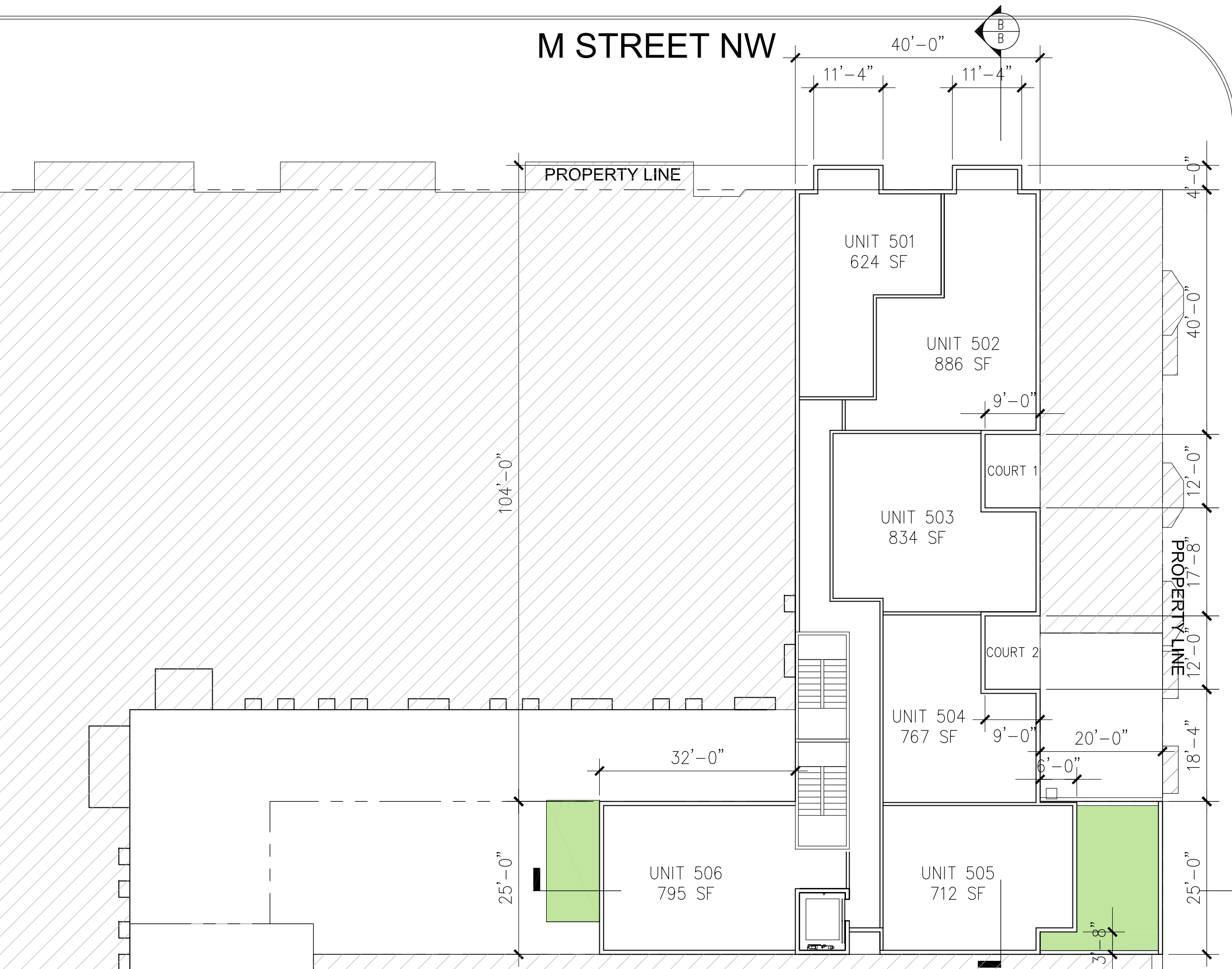
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LEVEL 5

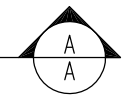
9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE



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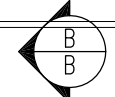
LEVEL 5



SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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M STREET NW



Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

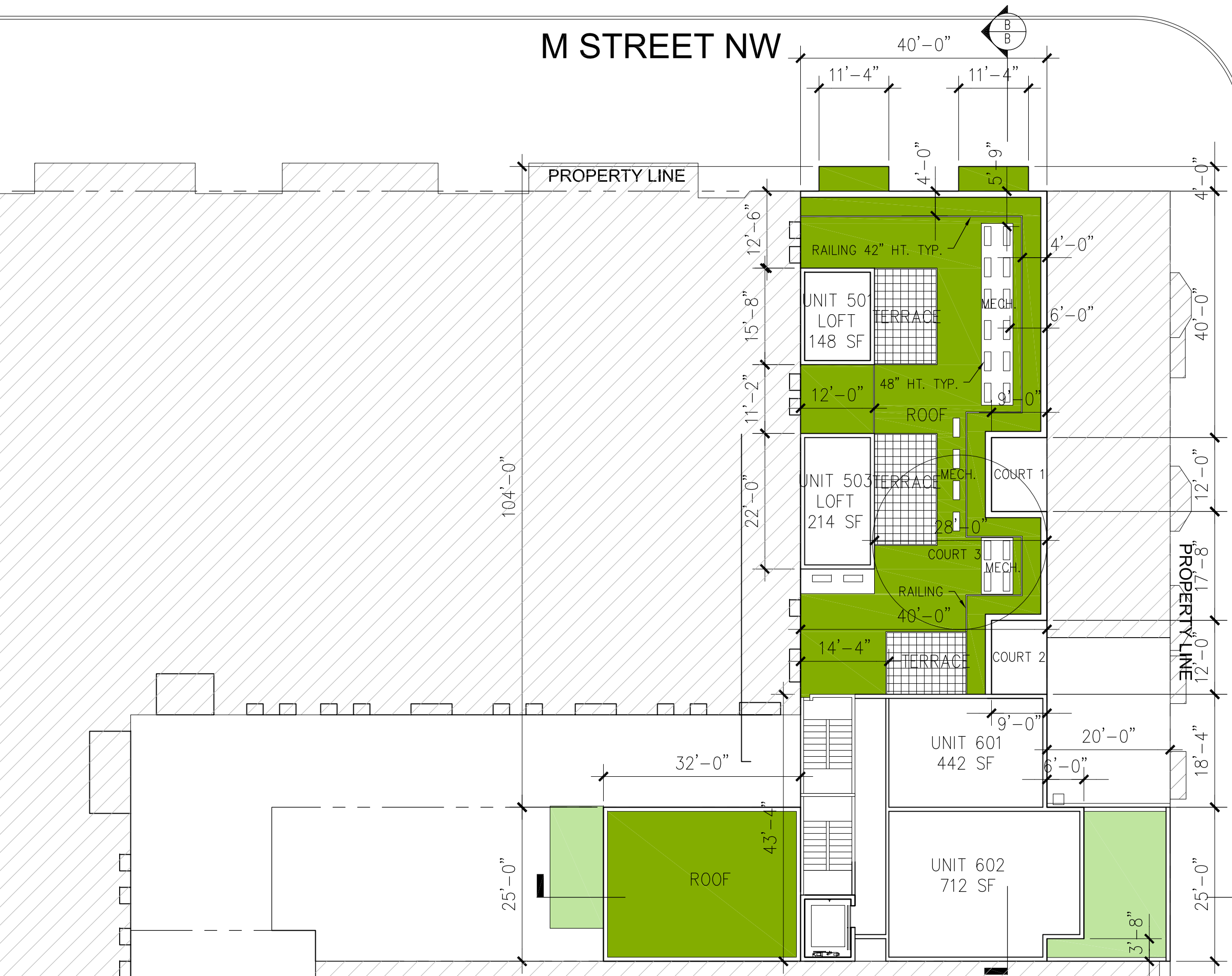
Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

Location of green roof areas and configuration of trellis and other roof improvements are illustrative only and subject to change on final plan.

LEVEL 6

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE



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LEVEL 6

SCALE: 1/16" = 1'-0"
DATE: 11.11.15



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M STREET NW



Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

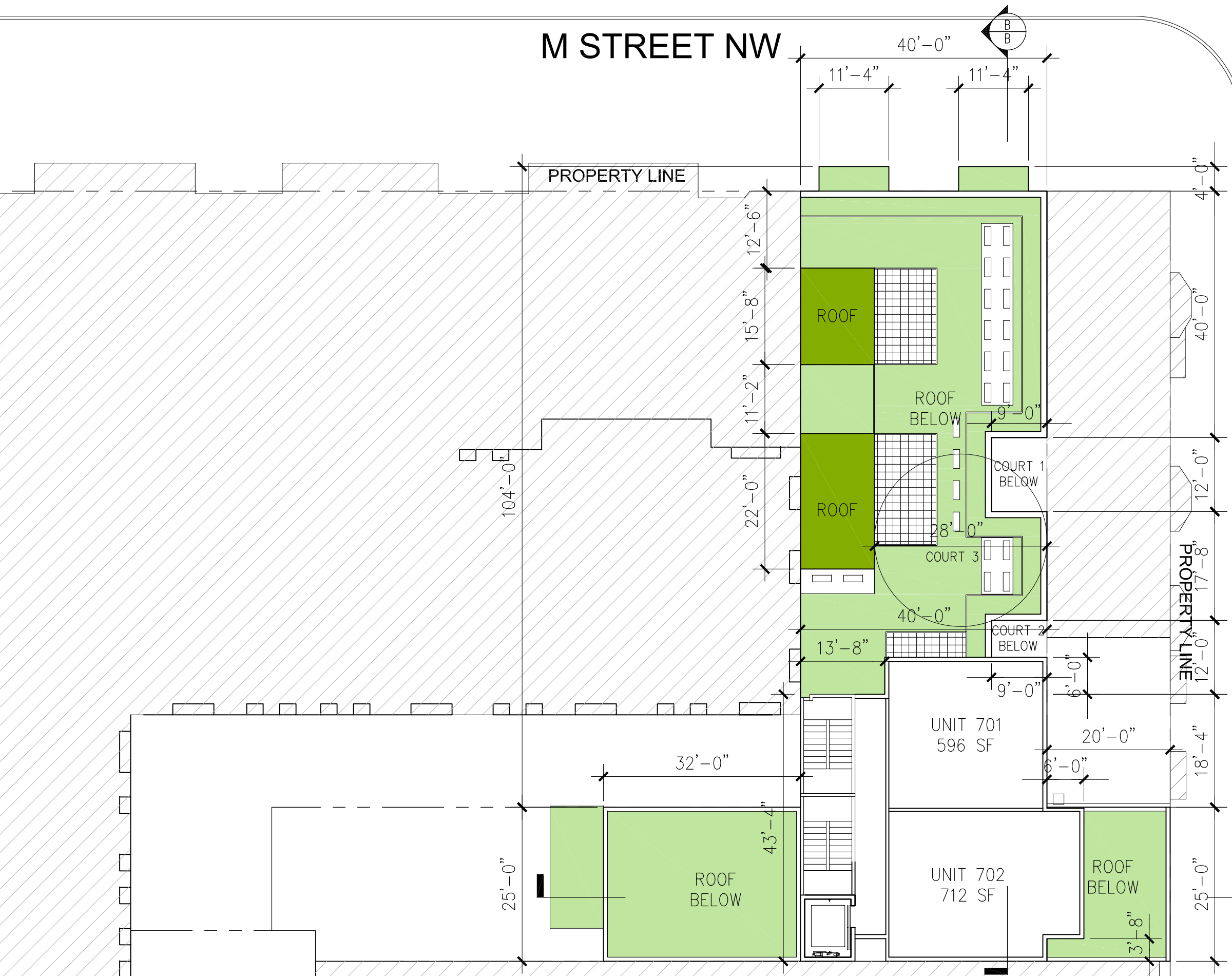
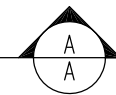
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LEVELS 7-10

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE



Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

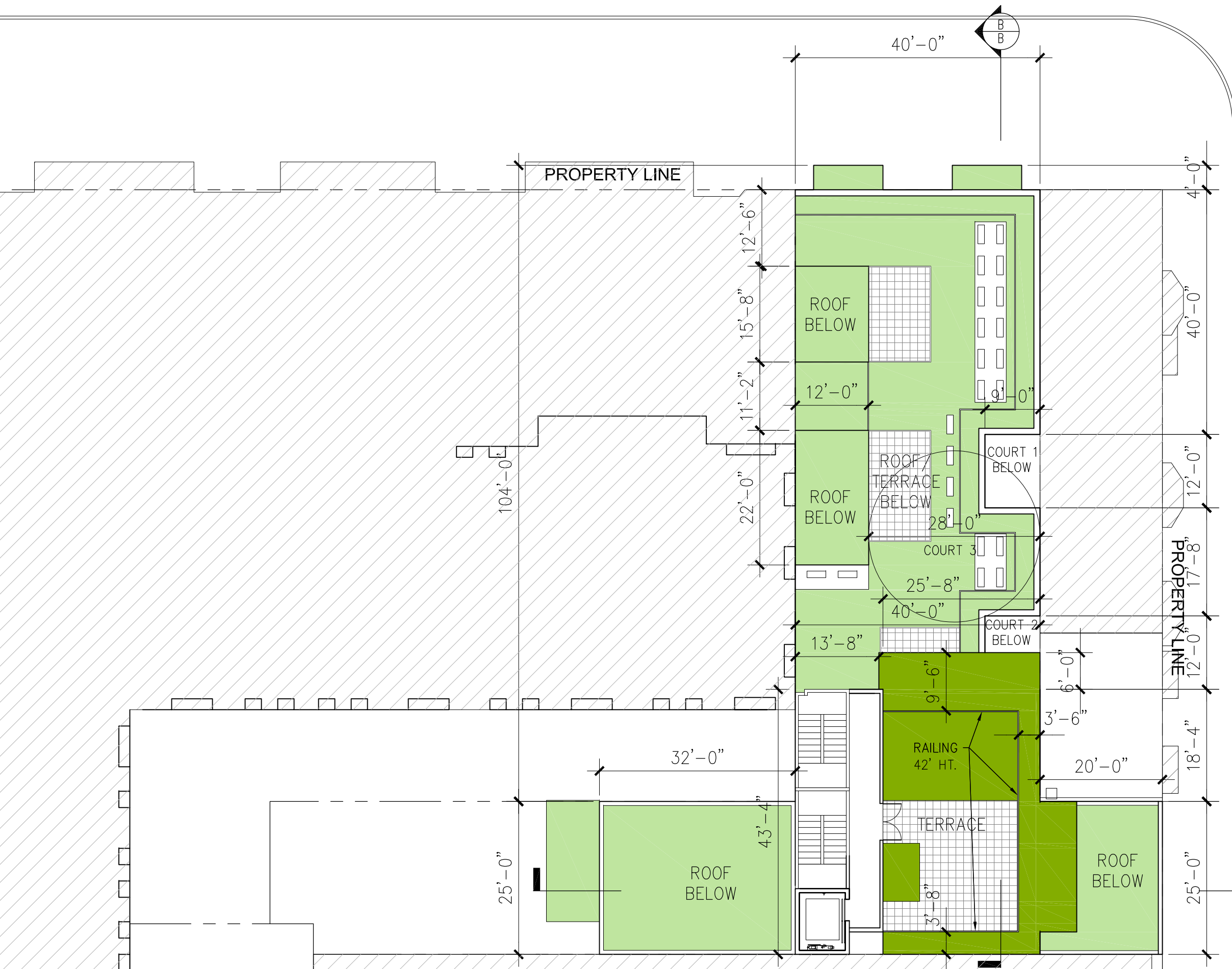
Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

Location of green roof areas and configuration of trellis and other roof improvements are illustrative only and subject to change on final plan.

ROOF/ TERRACE

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE



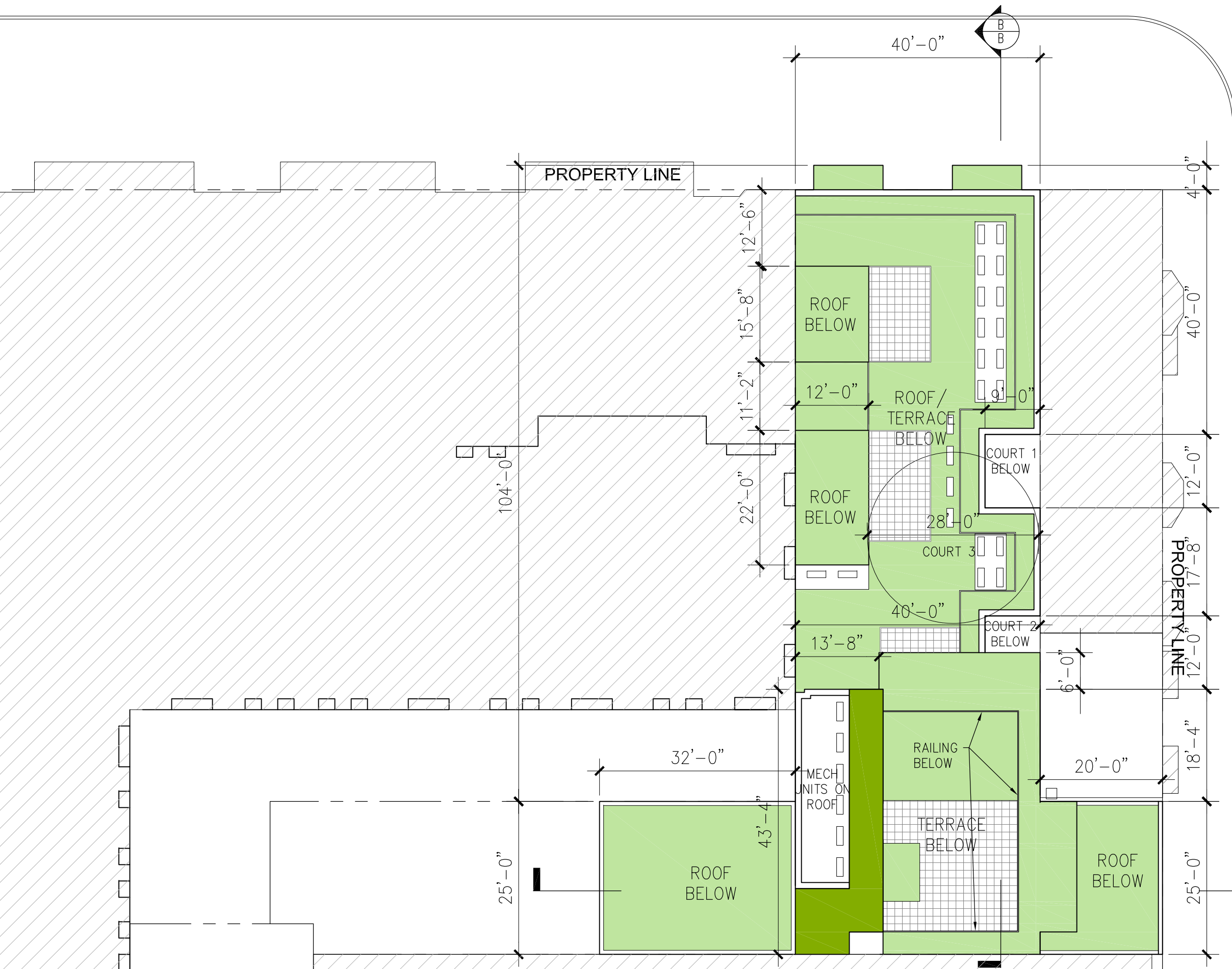
9TH & M
14011

ROOF/TERRACE PLAN

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

25
peter fillat architects
ARCHITECTURE | INTERIORS | URBAN DESIGN

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Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

Location of green roof areas and configuration of trellis and other roof improvements are illustrative only and subject to change on final plan.

ROOF/ TERRACE

9TH STREET NW

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO
	GREEN ROOF
	GREEN ROOF BELOW
	TERRACE

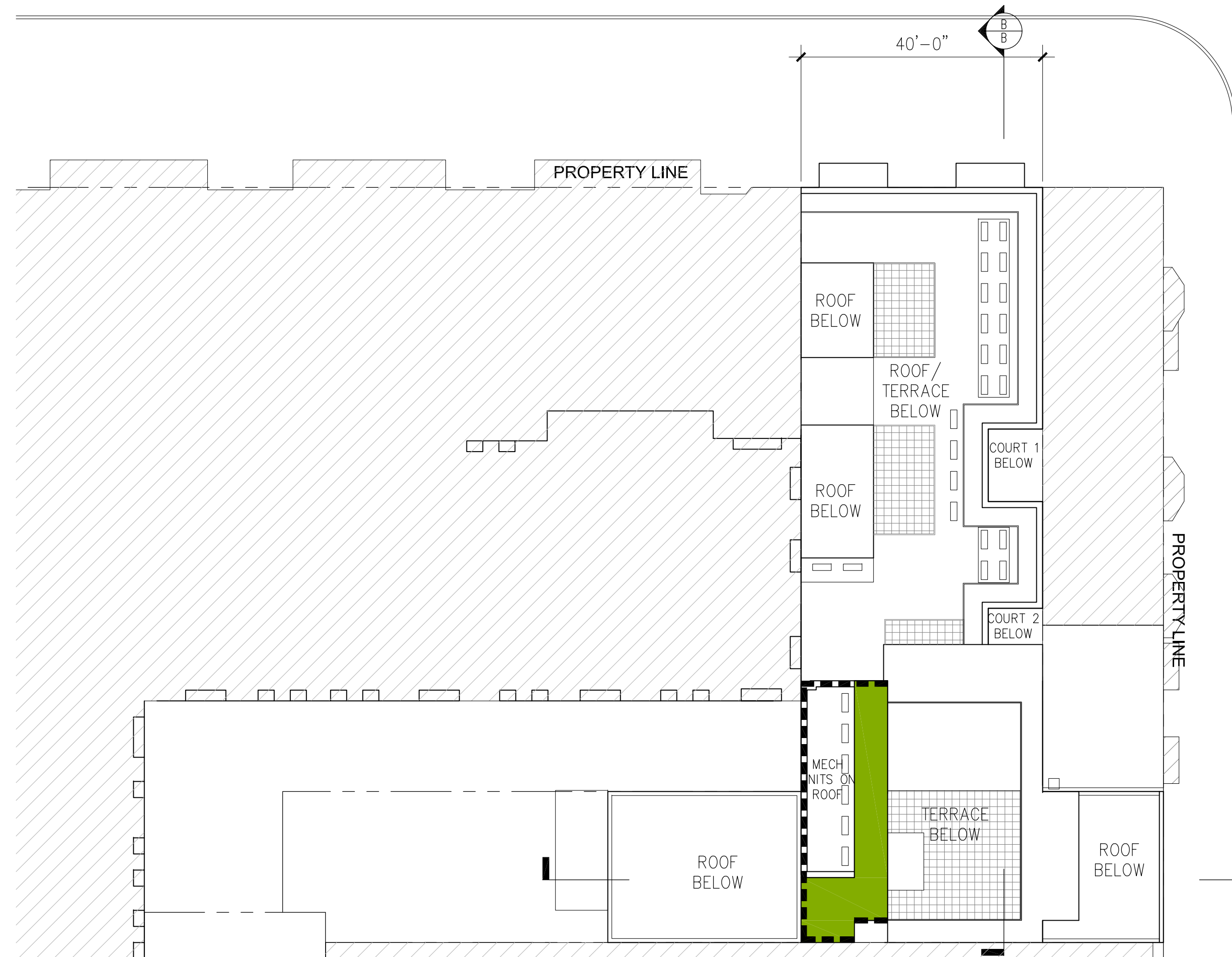
9TH & M
14011

PENTHOUSE ROOF PLAN

SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

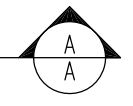
Location of green roof areas and configuration of trellis and other roof improvements are illustrative only and subject to change on final plan.

ROOF/ TERRACE

9TH STREET NW

LEGEND

■ SETBACK RELIEF

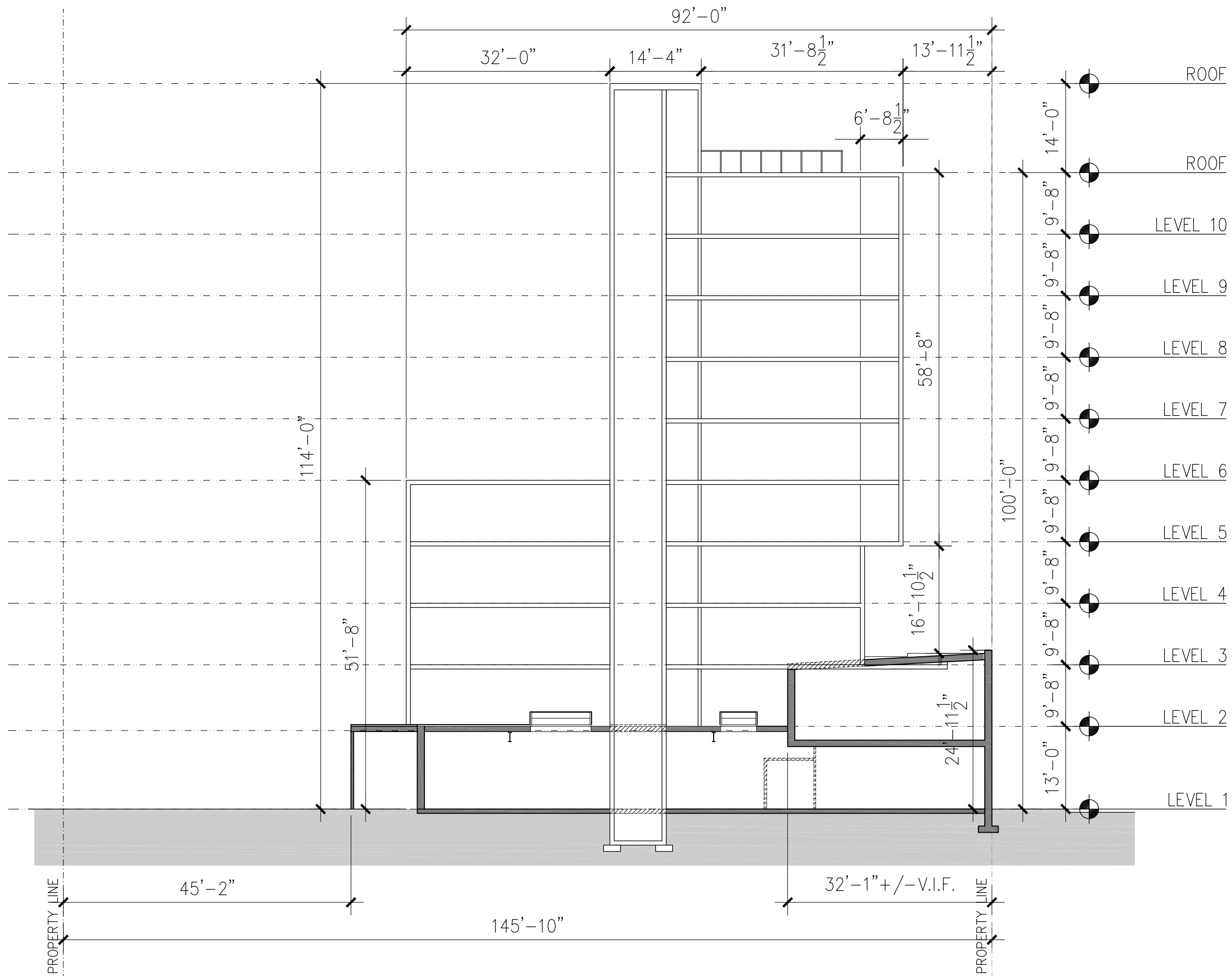


9TH & M
14011



SETBACK RELIEF PLAN

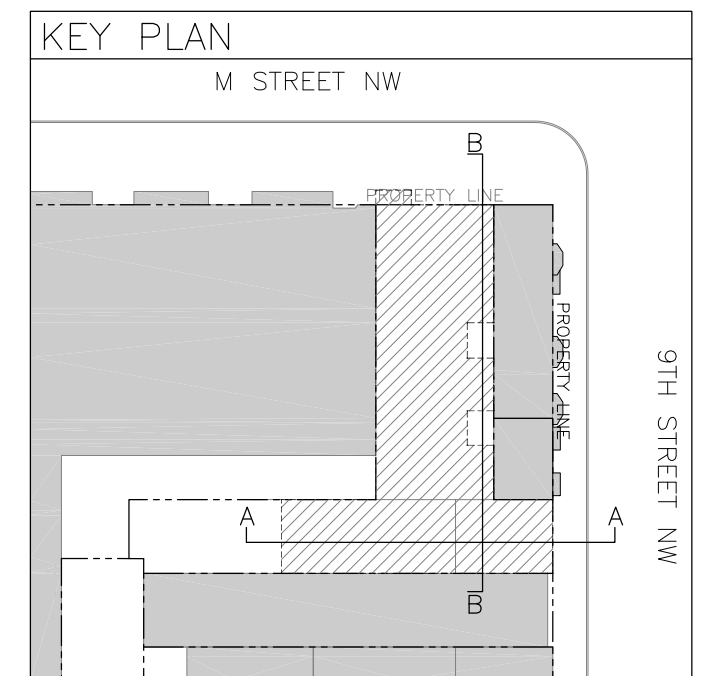
SCALE: 1/16" = 1'-0"
DATE: 11.11.15

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Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

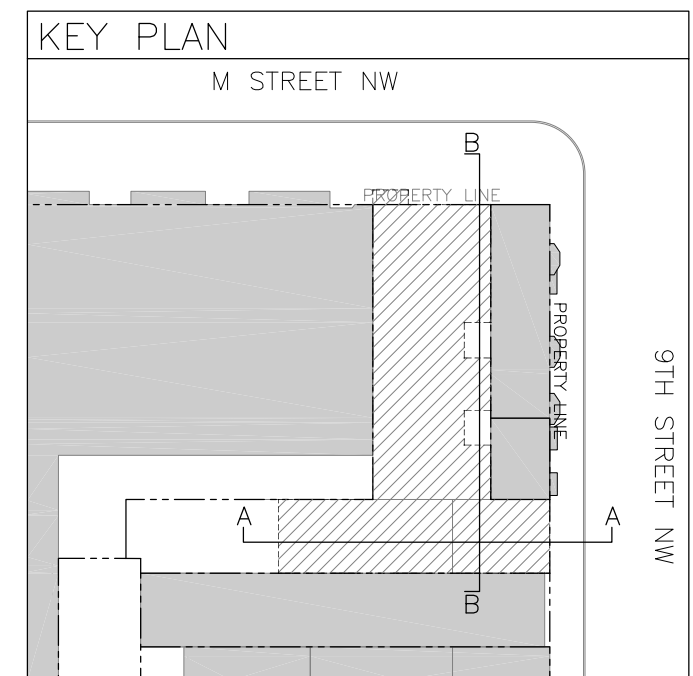
LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO

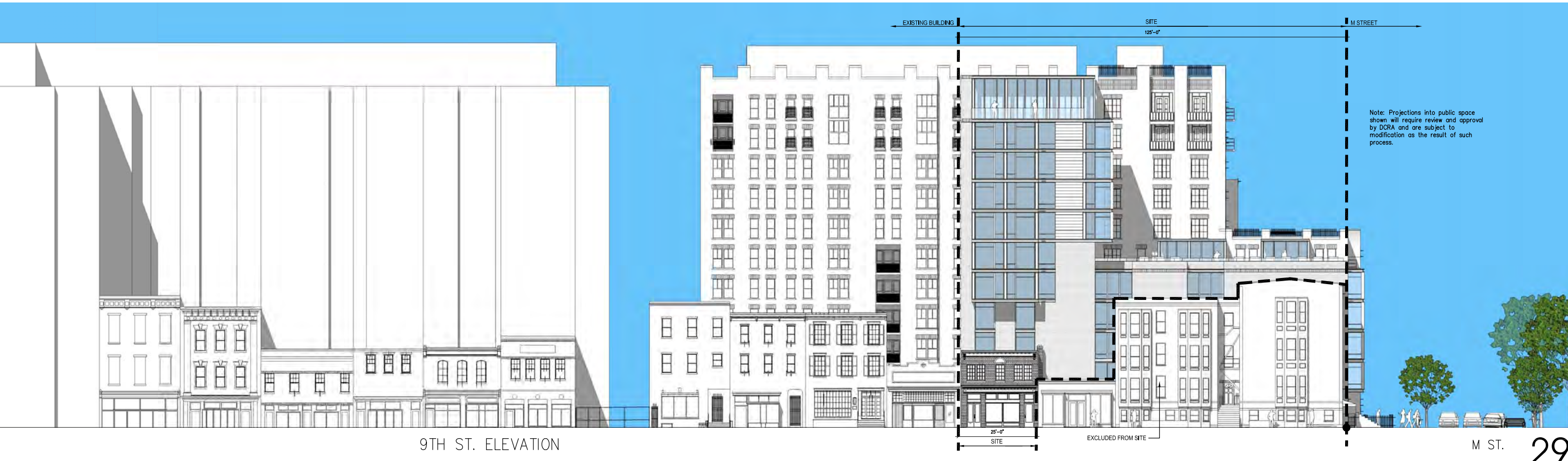


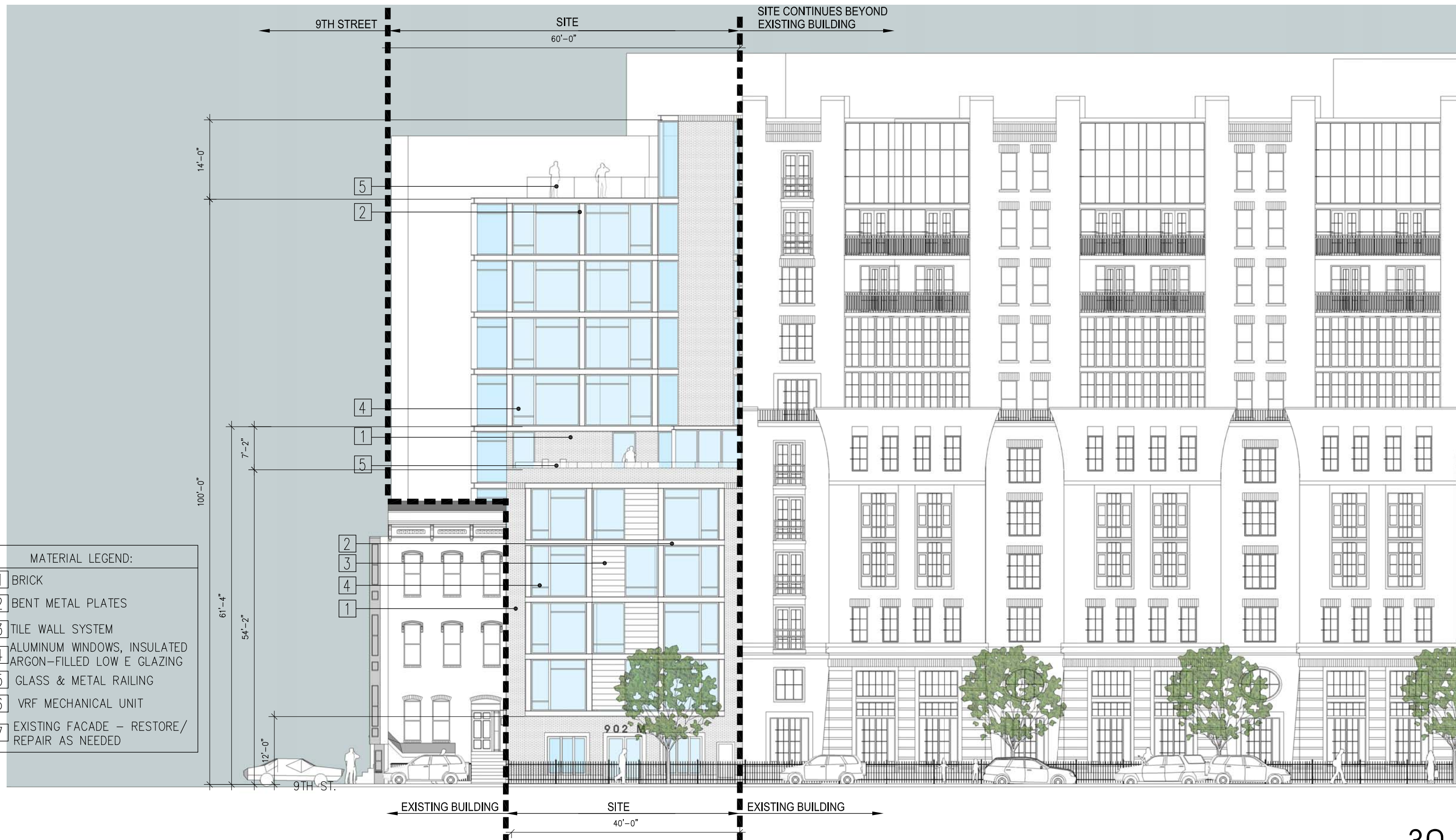


Note: The exterior elevations, including door and window sizes and locations, the interior partition locations, the number, size, and locations of residential units, outdoor space, stairs, and elevators are shown for illustrative purposes only and subject to change on the final plan.

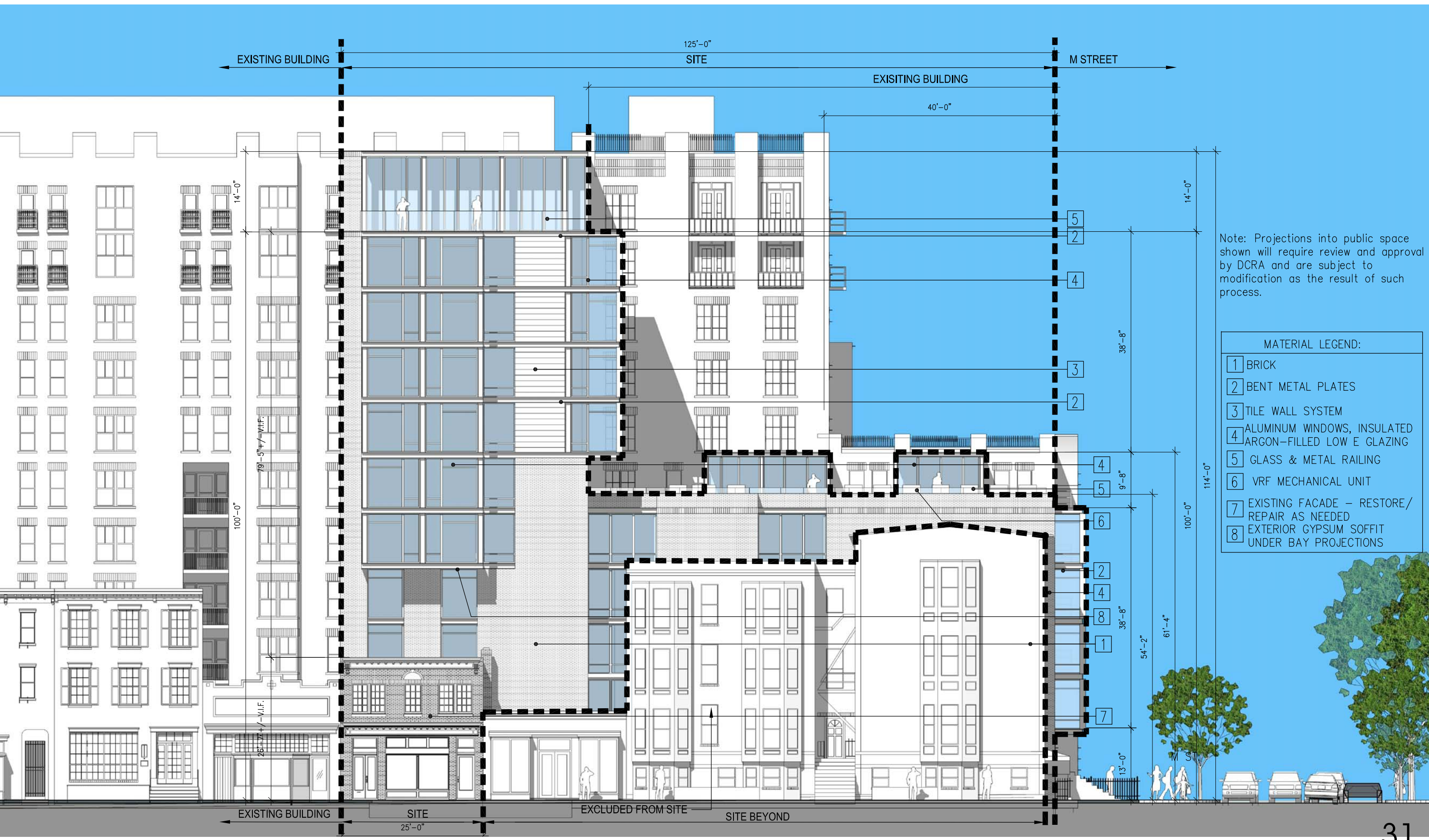
LEGEND	
	EXISTING TO REMAIN
	EXISTING TO DEMO







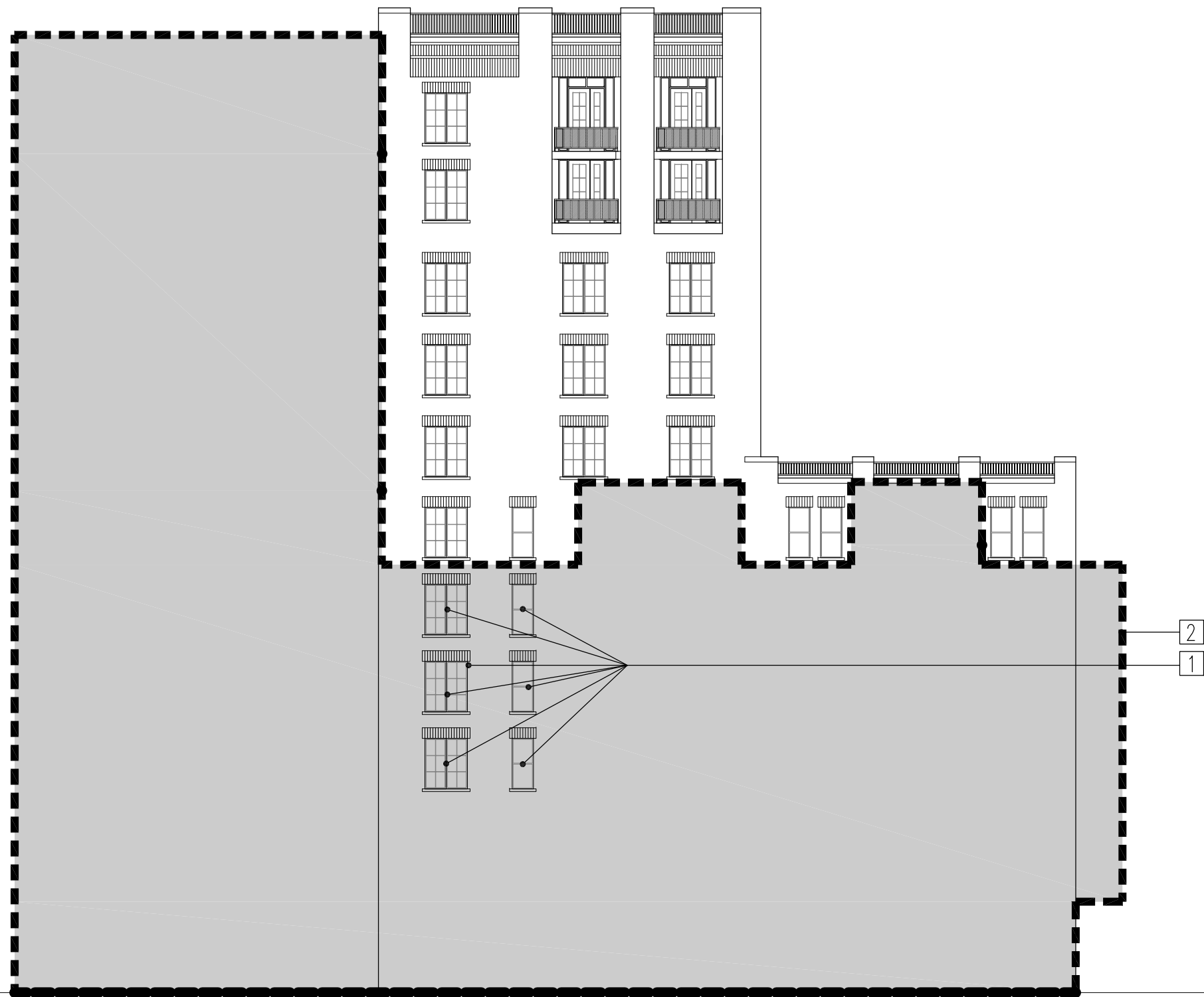
- MATERIAL LEGEND:
- 1 BRICK
 - 2 BENT METAL PLATES
 - 3 TILE WALL SYSTEM
 - 4 ALUMINUM WINDOWS, INSULATED ARGON-FILLED LOW E GLAZING
 - 5 GLASS & METAL RAILING
 - 6 VRF MECHANICAL UNIT
 - 7 EXISTING FACADE - RESTORE/REPAIR AS NEEDED



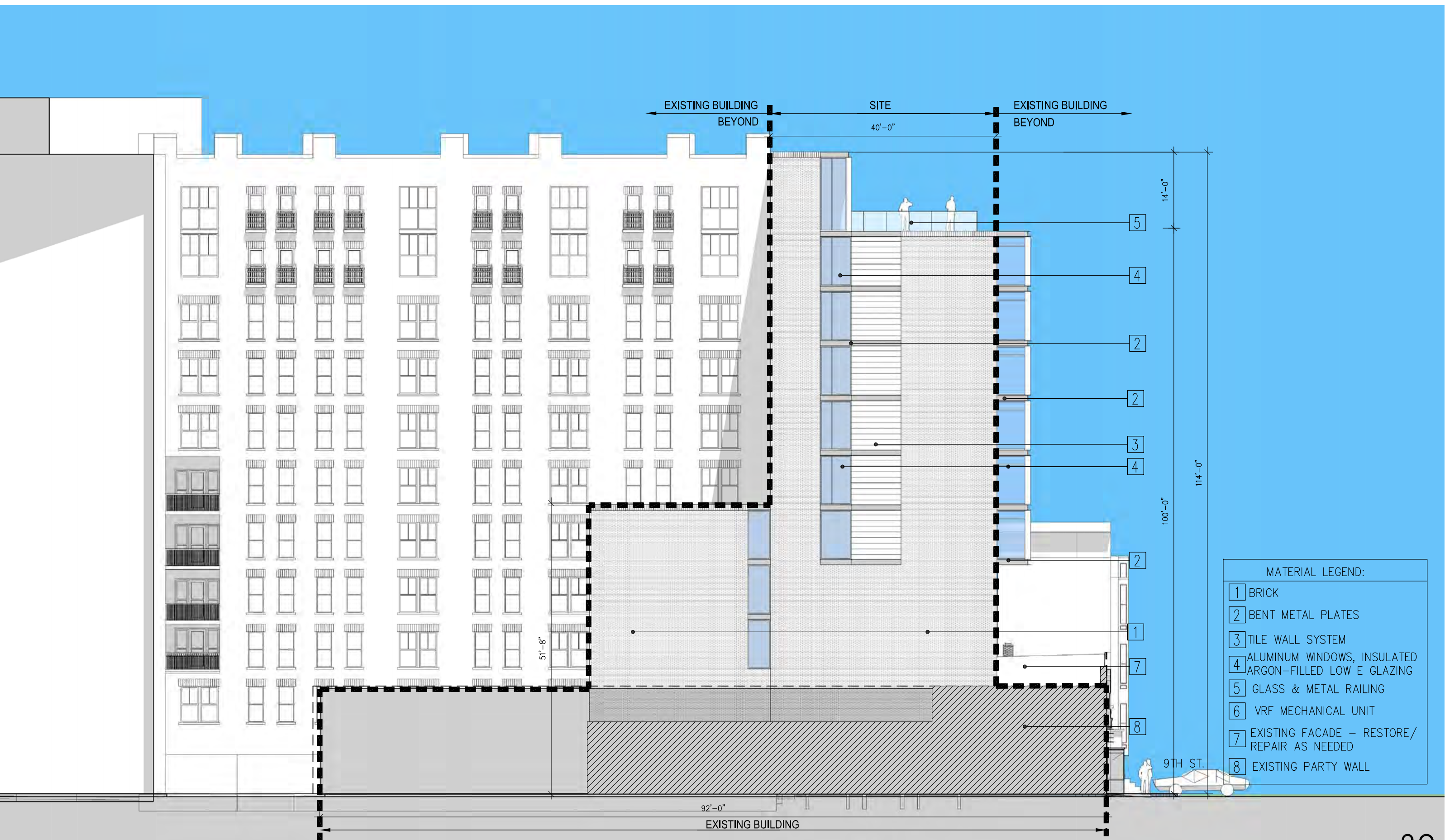
Note: Projections into public space shown will require review and approval by DCRA and are subject to modification as the result of such process.

MATERIAL LEGEND:

1	BRICK
2	BENT METAL PLATES
3	TILE WALL SYSTEM
4	ALUMINUM WINDOWS, INSULATED ARGON-FILLED LOW E GLAZING
5	GLASS & METAL RAILING
6	VRF MECHANICAL UNIT
7	EXISTING FACADE – RESTORE/REPAIR AS NEEDED
8	EXTERIOR GYPSUM SOFFIT UNDER BAY PROJECTIONS



LEGEND:
 1 AT RISK WINDOWS TO BE CLOSED
 2 OUTLINE OF PROPOSED BLDG.



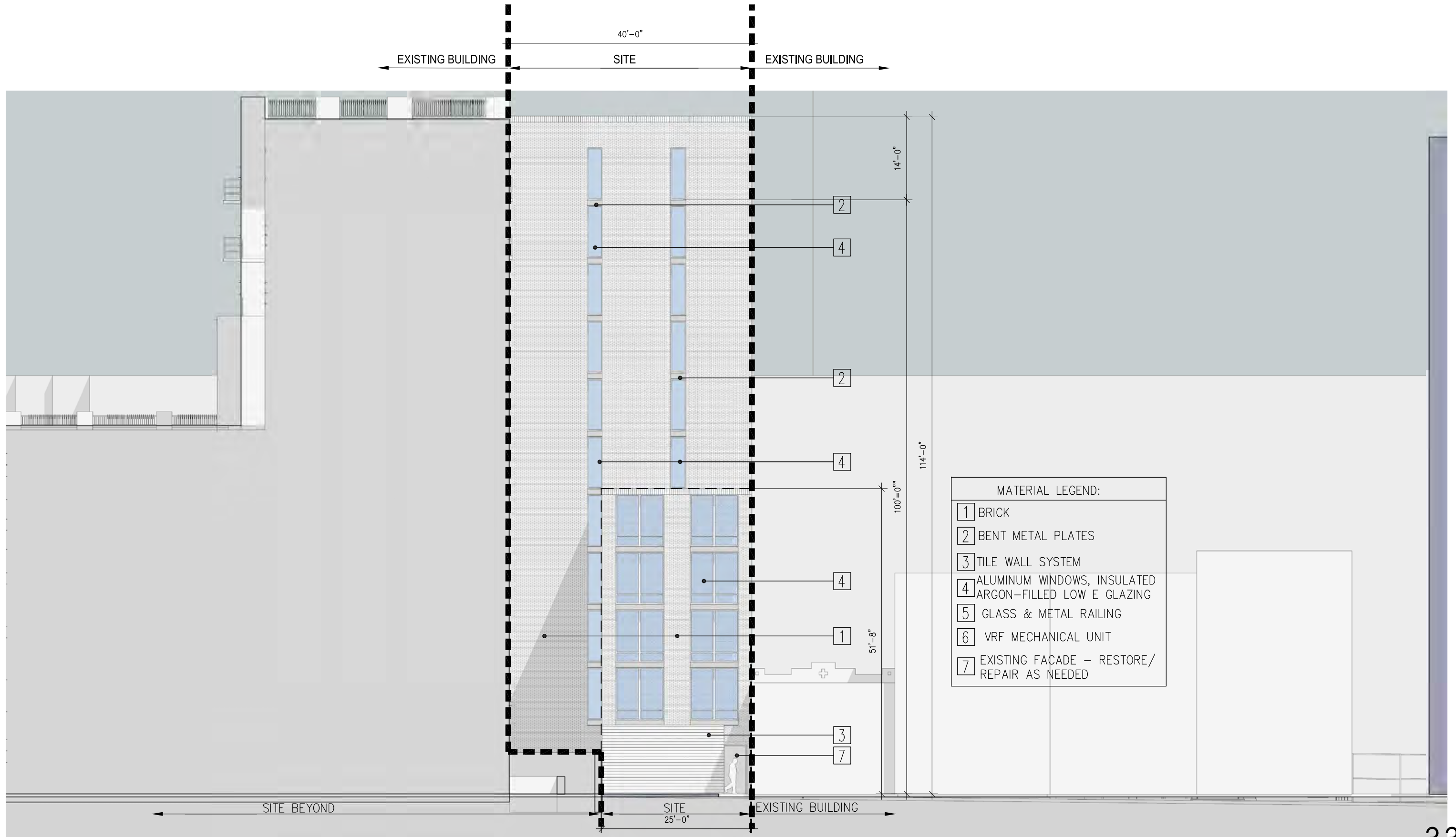
EXISTING BUILDING BEYOND SITE 40'-0" EXISTING BUILDING BEYOND

14'-0"
114'-0"
100'-0"

51'-8"

92'-0"
EXISTING BUILDING

MATERIAL LEGEND:	
1	BRICK
2	BENT METAL PLATES
3	TILE WALL SYSTEM
4	ALUMINUM WINDOWS, INSULATED ARGON-FILLED LOW E GLAZING
5	GLASS & METAL RAILING
6	VRF MECHANICAL UNIT
7	EXISTING FACADE – RESTORE/REPAIR AS NEEDED
8	EXISTING PARTY WALL



MATERIAL LEGEND:

1	BRICK
2	BENT METAL PLATES
3	TILE WALL SYSTEM
4	ALUMINUM WINDOWS, INSULATED ARGON-FILLED LOW E GLAZING
5	GLASS & METAL RAILING
6	VRF MECHANICAL UNIT
7	EXISTING FACADE - RESTORE/REPAIR AS NEEDED

NOTE: EXISTING FACADE IS TO BE RETAINED/REPAIRED TO MATCH ORIGINAL.
 IF EXISTING FEATURES ARE DETERIORATED SUCH THAT THEY ARE BEYOND REPAIR, EXISTING WILL BE REPLACED TO MATCH ORIGINAL.

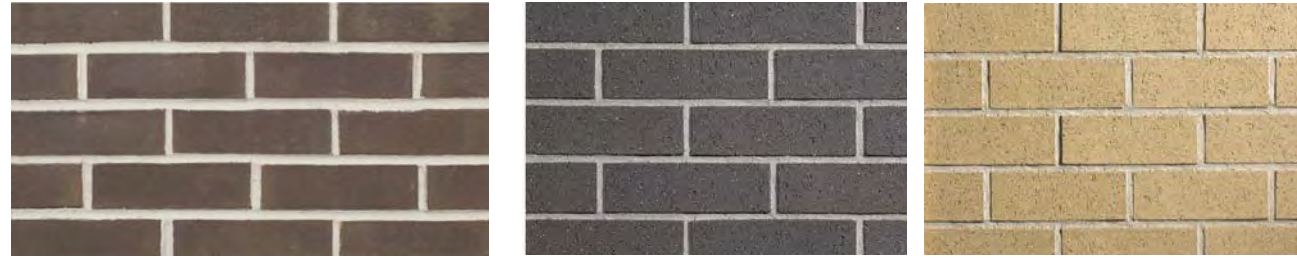


OPT. 1

OPT. 2

OPT. 3

1. BRICK

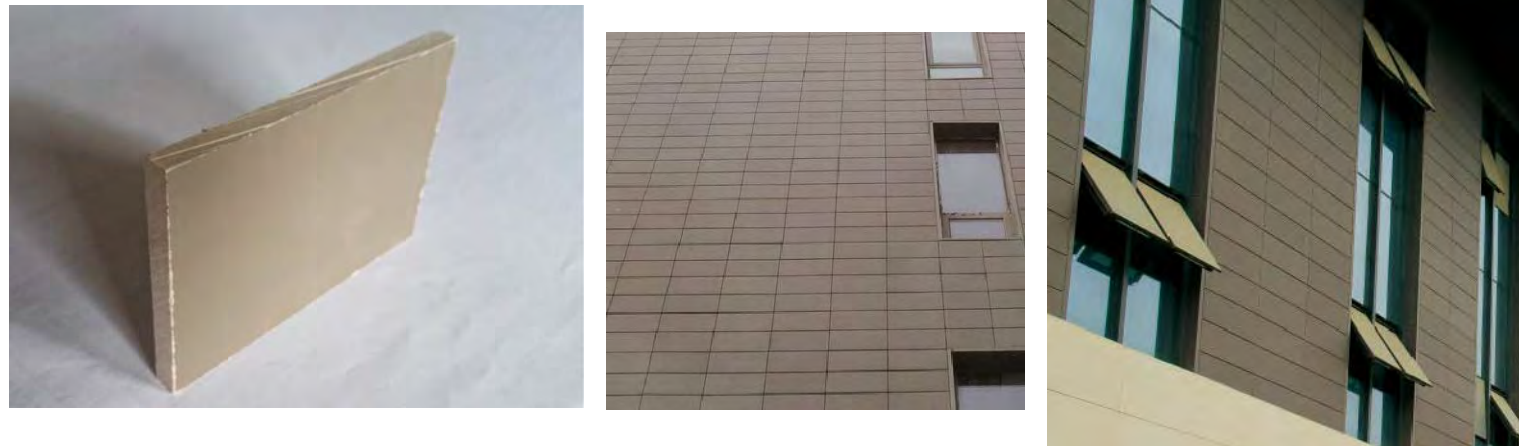


Note: The exterior material selections & colors are conceptual and subject to change on the final plan.

2. BENT METAL PLATES



3. TILE WALL SYSTEM



4. ALUMINUM WINDOWS



5. GLASS AND METAL RAIL



6. EXTERIOR GYP. SOFFIT

