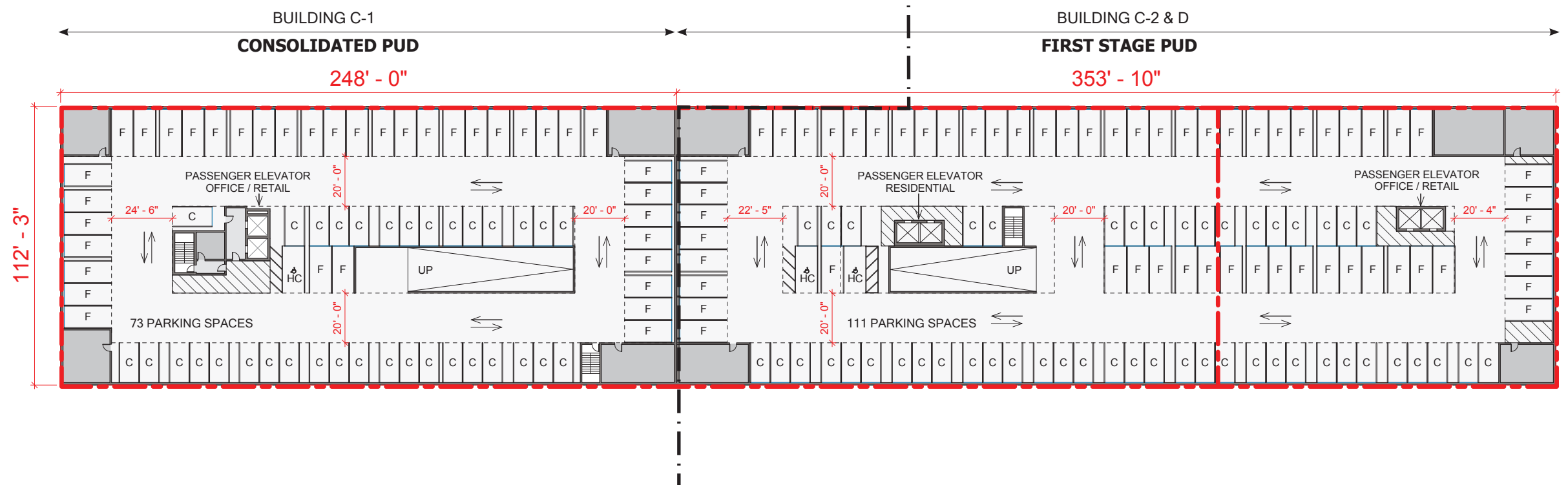


- — — — STAGE LINE
- — — — THEORETICAL LOT LINE
- Retail
- Office
- Lobby
- Residential
- Support Space
- Parking / Loading
- Amenity / Misc

Parking Schedule - Level B02	
Building	# of Spaces
C-1	73
C-2 / D	65
<b>Total</b>	<b>111</b>



\*Parking layout shown is schematic and shown for illustrative purpose only. Final configuration of parking may vary and is subject to change. Applicant may allocate the use of provided parking spaces between the different uses as market conditions warrant.

Second Stage PUD to be submitted at a later date.

- Notes:
- All Full size spaces to be 19' x 9'
  - All Compact spaces to be 16' x 8'
  - All Handicapped spaces to be 8' x 19' + 5' Access Aisle
  - All Handicapped Van spaces to be 11' x 19' + 5' Access Aisle
  - All drive aisles to be 20'-0"
  - Parking for Building B to be provided in Building A-1/A-2
  - Refer to detailed parking schedule

**PARKING B02 - CONSOLIDATED AND FIRST STAGE PUD**

SCALE: 1" = 50'-0"

OCTOBER 30TH, 2015





CONSOLIDATED PUD FIRST STAGE PUD

**NOTES:**  
 -OVERALL LAYOUT TO BE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSE ONLY. FINAL DESIGN OF PUBLIC SPACE TO BE SUBJECT TO CHANGE BASED ON APPROVAL BY PUBLIC SPACE OFFICIALS. SERVICE ALLEY TO BE COORDINATED W/ DMPED. PARKING RAMP TO BE SHARED WITH FIRST STAGE PUD BUILDING A-2.  
 -REFER TO PARKING PLANS FOR LAYOUT.  
 -REFER TO LANDSCAPE PLANS FOR SITE LAYOUT.

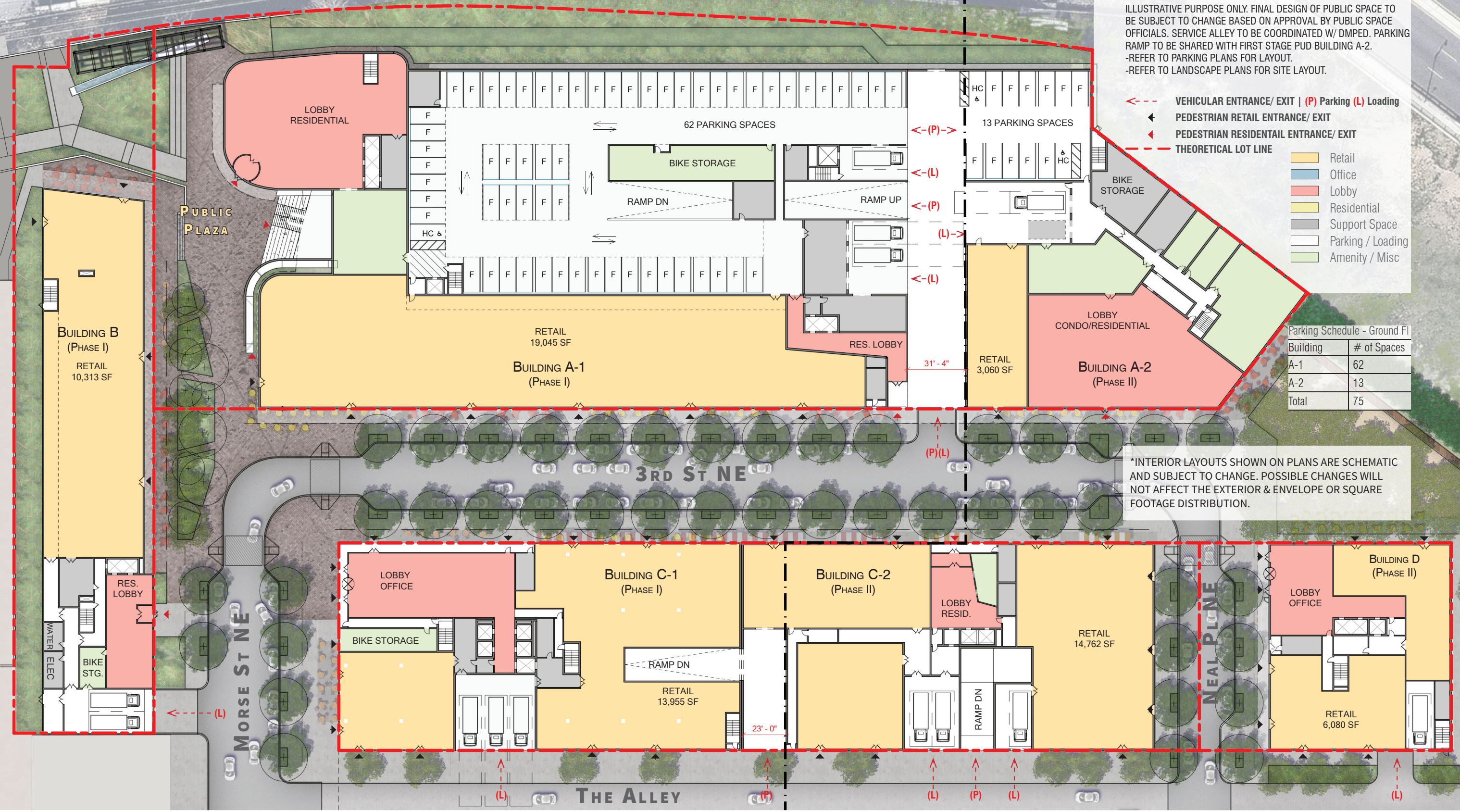
- ← - - VEHICULAR ENTRANCE/ EXIT | (P) Parking (L) Loading
- ← PEDESTRIAN RETAIL ENTRANCE/ EXIT
- ← PEDESTRIAN RESIDENTIAL ENTRANCE/ EXIT
- - - THEORETICAL LOT LINE

- Retail
- Office
- Lobby
- Residential
- Support Space
- Parking / Loading
- Amenity / Misc

Parking Schedule - Ground Fl

Building	# of Spaces
A-1	62
A-2	13
Total	75

\*INTERIOR LAYOUTS SHOWN ON PLANS ARE SCHEMATIC AND SUBJECT TO CHANGE. POSSIBLE CHANGES WILL NOT AFFECT THE EXTERIOR & ENVELOPE OR SQUARE FOOTAGE DISTRIBUTION.



GROUND FLOOR P01 - CONSOLIDATED AND FIRST STAGE PUD

SCALE: 1" = 50'-0"

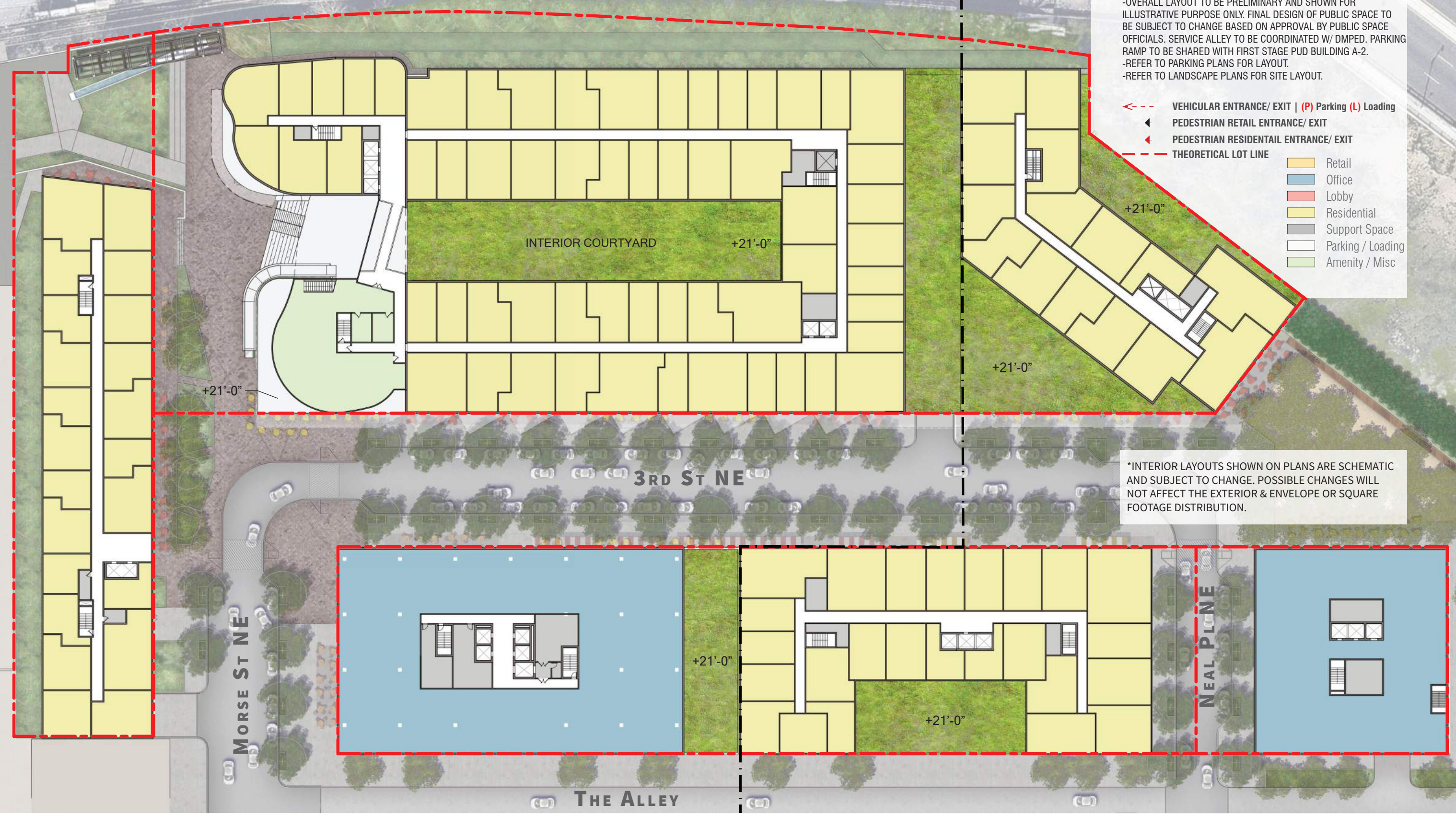
OCTOBER 30TH, 2015



CONSOLIDATED PUD FIRST STAGE PUD

**NOTES:**  
 -OVERALL LAYOUT TO BE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSE ONLY. FINAL DESIGN OF PUBLIC SPACE TO BE SUBJECT TO CHANGE BASED ON APPROVAL BY PUBLIC SPACE OFFICIALS. SERVICE ALLEY TO BE COORDINATED W/ DMPED. PARKING RAMP TO BE SHARED WITH FIRST STAGE PUD BUILDING A-2.  
 -REFER TO PARKING PLANS FOR LAYOUT.  
 -REFER TO LANDSCAPE PLANS FOR SITE LAYOUT.

- ← - - - VEHICULAR ENTRANCE/ EXIT | (P) Parking (L) Loading
  - ◀ PEDESTRIAN RETAIL ENTRANCE/ EXIT
  - ◀ PEDESTRIAN RESIDENTIAL ENTRANCE/ EXIT
  - - - - THEORETICAL LOT LINE
- |   |
|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #f0e68c; border: 1px solid black;"></span> Retail            |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4682b4; border: 1px solid black;"></span> Office            |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #f08080; border: 1px solid black;"></span> Lobby             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #fff2cc; border: 1px solid black;"></span> Residential       |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #d3d3d3; border: 1px solid black;"></span> Support Space     |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #e0e0e0; border: 1px solid black;"></span> Parking / Loading |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #c8e6c9; border: 1px solid black;"></span> Amenity / Misc    |



\*INTERIOR LAYOUTS SHOWN ON PLANS ARE SCHEMATIC AND SUBJECT TO CHANGE. POSSIBLE CHANGES WILL NOT AFFECT THE EXTERIOR & ENVELOPE OR SQUARE FOOTAGE DISTRIBUTION.

SECOND FLOOR - CONSOLIDATED AND FIRST STAGE PUD

SCALE: 1" = 50'-0"

OCTOBER 30TH, 2015



**CONSOLIDATED PUD    FIRST STAGE PUD**

**NOTES:**  
 -OVERALL LAYOUT TO BE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSE ONLY. FINAL DESIGN OF PUBLIC SPACE TO BE SUBJECT TO CHANGE BASED ON APPROVAL BY PUBLIC SPACE OFFICIALS. SERVICE ALLEY TO BE COORDINATED W/ DMPED. PARKING RAMP TO BE SHARED WITH FIRST STAGE PUD BUILDING A-2.  
 -REFER TO PARKING PLANS FOR LAYOUT.  
 -REFER TO LANDSCAPE PLANS FOR SITE LAYOUT.

- ← - - - VEHICULAR ENTRANCE/ EXIT | (P) Parking (L) Loading
  - ◀ PEDESTRIAN RETAIL ENTRANCE/ EXIT
  - ◀ PEDESTRIAN RESIDENTIAL ENTRANCE/ EXIT
  - - - - THEORETICAL LOT LINE
- |   |
|---|
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #f0e68c; border: 1px solid black;"></span> Retail            |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #4682b4; border: 1px solid black;"></span> Office            |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #f08080; border: 1px solid black;"></span> Lobby             |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #fff2cc; border: 1px solid black;"></span> Residential       |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #d3d3d3; border: 1px solid black;"></span> Support Space     |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span> Parking / Loading |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Amenity / Misc    |



\*INTERIOR LAYOUTS SHOWN ON PLANS ARE SCHEMATIC AND SUBJECT TO CHANGE. POSSIBLE CHANGES WILL NOT AFFECT THE EXTERIOR & ENVELOPE OR SQUARE FOOTAGE DISTRIBUTION.

OCTOBER 30TH, 2015

SCALE: 1" = 50'-0"

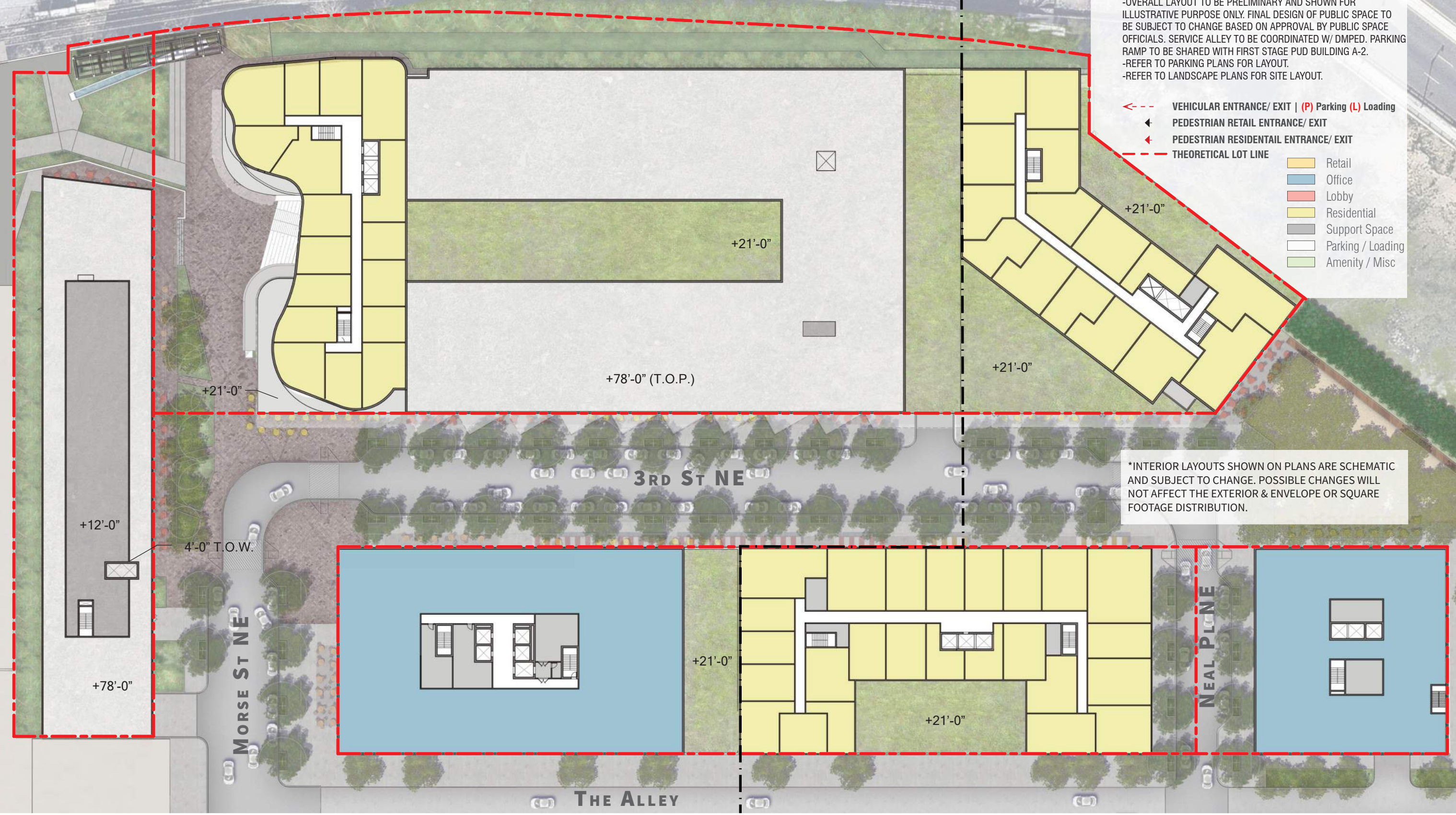
**3RD-6TH FLOOR - CONSOLIDATED AND FIRST STAGE PUD**



**NOTES:**  
 -OVERALL LAYOUT TO BE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSE ONLY. FINAL DESIGN OF PUBLIC SPACE TO BE SUBJECT TO CHANGE BASED ON APPROVAL BY PUBLIC SPACE OFFICIALS. SERVICE ALLEY TO BE COORDINATED W/ DMPED. PARKING RAMP TO BE SHARED WITH FIRST STAGE PUD BUILDING A-2.  
 -REFER TO PARKING PLANS FOR LAYOUT.  
 -REFER TO LANDSCAPE PLANS FOR SITE LAYOUT.

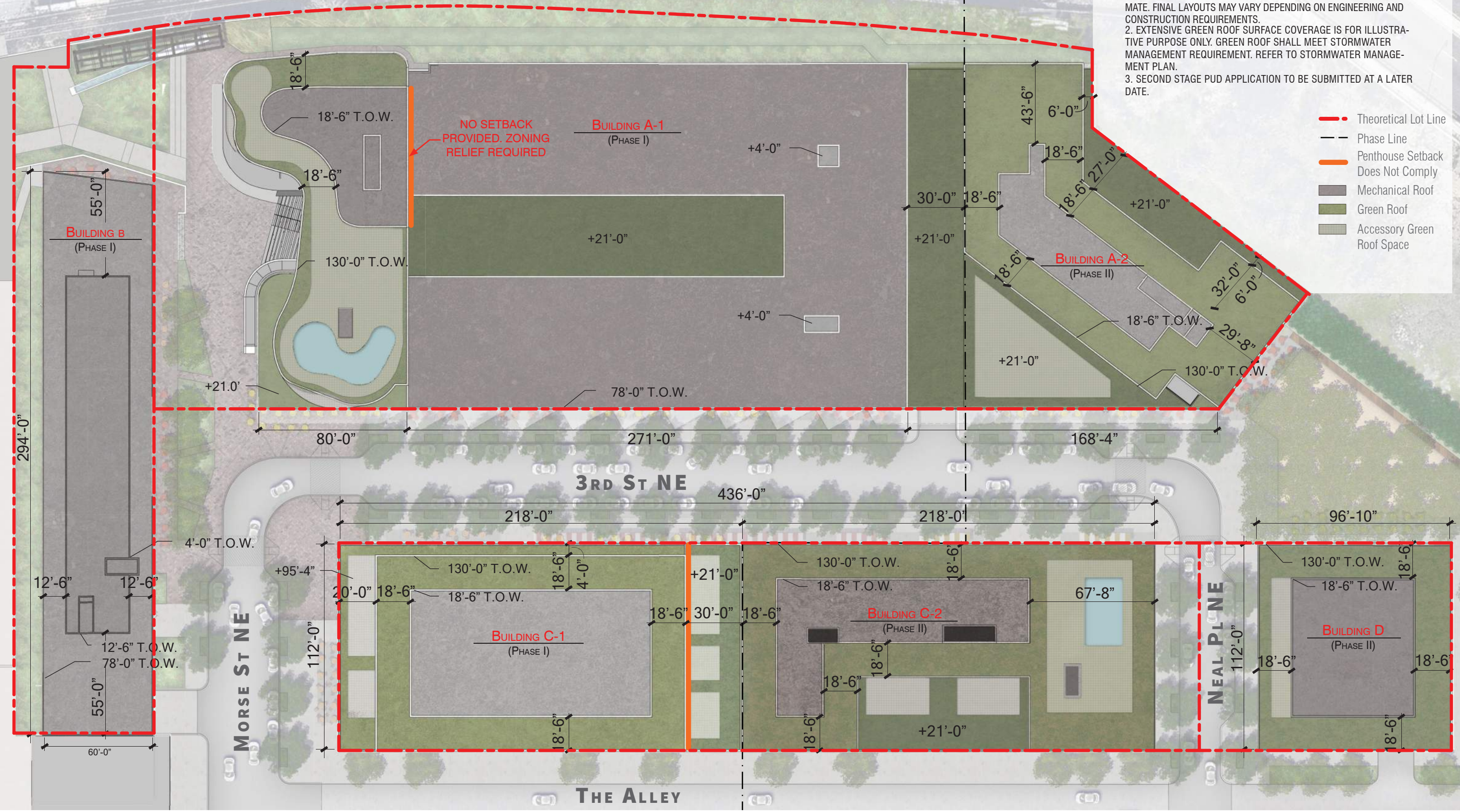
- ← - - - VEHICULAR ENTRANCE/ EXIT | (P) Parking (L) Loading
  - ◀ PEDESTRIAN RETAIL ENTRANCE/ EXIT
  - ◀ PEDESTRIAN RESIDENTIAL ENTRANCE/ EXIT
  - - - THEORETICAL LOT LINE
- |   |
|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFD700; border: 1px solid black;"></span> Retail            |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Office            |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF6347; border: 1px solid black;"></span> Lobby             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFFF00; border: 1px solid black;"></span> Residential       |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #A9A9A9; border: 1px solid black;"></span> Support Space     |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFFFFF; border: 1px solid black;"></span> Parking / Loading |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Amenity / Misc    |

\*INTERIOR LAYOUTS SHOWN ON PLANS ARE SCHEMATIC AND SUBJECT TO CHANGE. POSSIBLE CHANGES WILL NOT AFFECT THE EXTERIOR & ENVELOPE OR SQUARE FOOTAGE DISTRIBUTION.



**NOTES:**  
 1. MECHANICAL PENTHOUSE LOCATIONS AND SIZES ARE APPROXIMATE. FINAL LAYOUTS MAY VARY DEPENDING ON ENGINEERING AND CONSTRUCTION REQUIREMENTS.  
 2. EXTENSIVE GREEN ROOF SURFACE COVERAGE IS FOR ILLUSTRATIVE PURPOSE ONLY. GREEN ROOF SHALL MEET STORMWATER MANAGEMENT REQUIREMENT. REFER TO STORMWATER MANAGEMENT PLAN.  
 3. SECOND STAGE PUD APPLICATION TO BE SUBMITTED AT A LATER DATE.

- - - Theoretical Lot Line
- - - Phase Line
- Penthouse Setback Does Not Comply
- Mechanical Roof
- Green Roof
- Accessory Green Roof Space

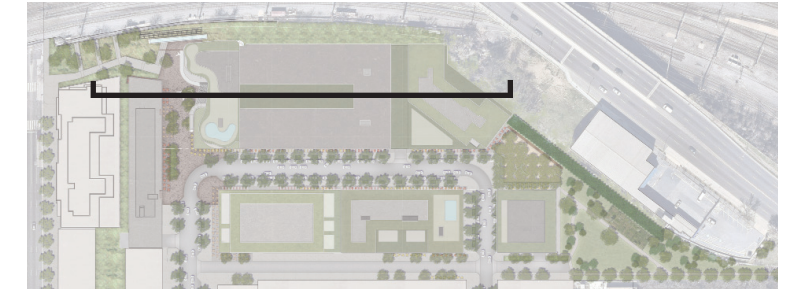


# DIAGRAM KEY

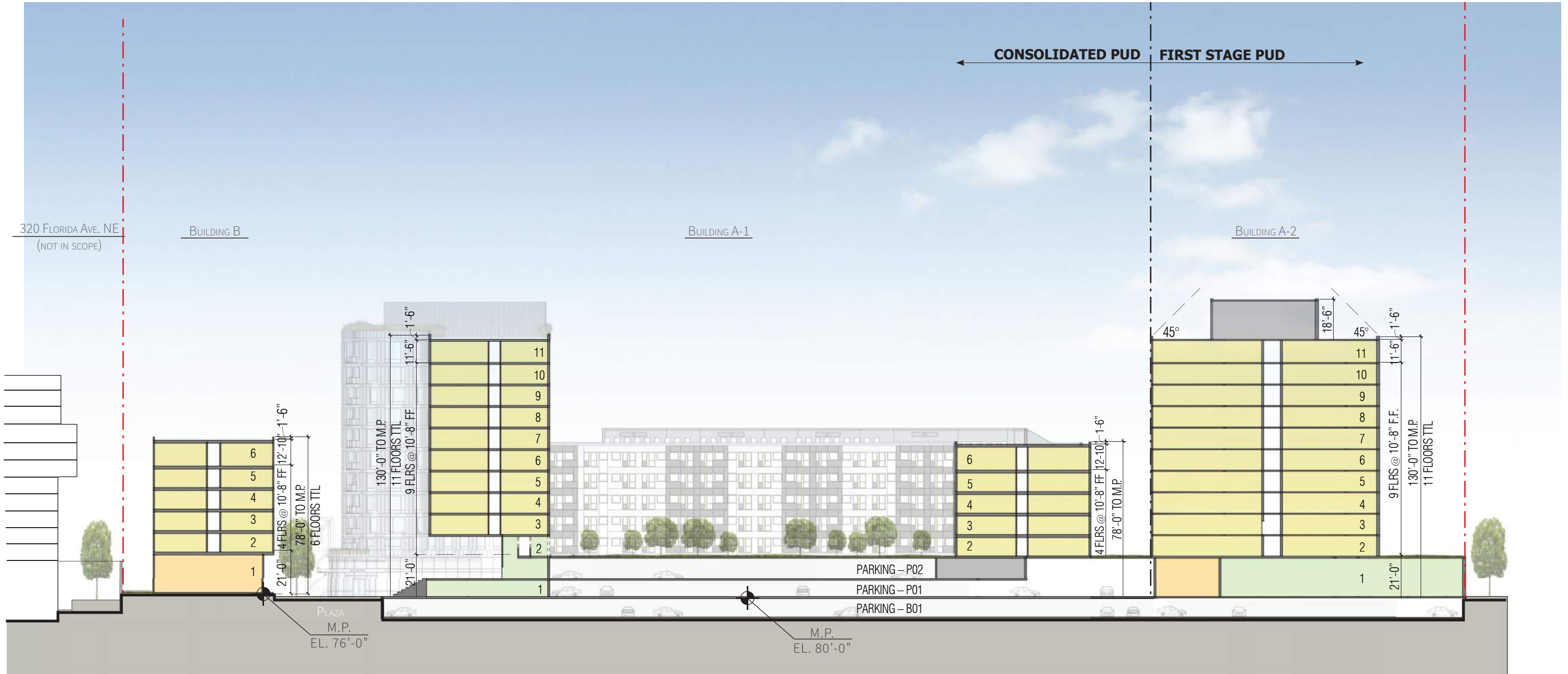
- - - LOT LINE
- - - PHASE LINE
- RESIDENTIAL
- AMENITY
- RETAIL
- OFFICE
- SUPPORT SPACE
- LOBBY

**NOTE:**  
 REFERE TO ZONING DIAGRAMS FOR LOCATION OF MEASURING POINTS.  
 SPOT ELEVATIONS FOR THOSE DRAWINGS ARE ASSUMED TO BE +0.00' AND TAKEN FROM THE FOLLOWING MEASURING POINTS

BUILDINGS A-1 & A-2: 80.0' (THIRD STREET NE)  
 BUILDING B: 76.0' (SECTION THIRD STREET NE & MORSE STREET NE)  
 BUILDINGS C-1 & C-2: 78.0' (MORSE STREET NE)  
 BUILDING D: 84.0' (NEAL PLACE NE)



KEY PLAN



OVERALL N-S SECTION 1

SCALE: 1" = 50'-0"

OCTOBER 30TH, 2015

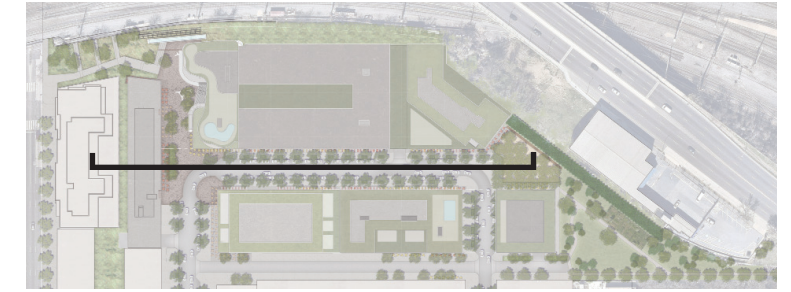


# DIAGRAM KEY

- - - LOT LINE
- - - PHASE LINE
- RESIDENTIAL
- AMENITY
- RETAIL
- OFFICE
- SUPPORT SPACE
- LOBBY

**NOTE:**  
 REFERE TO ZONING DIAGRAMS FOR LOCATION OF MEASURING POINTS.  
 SPOT ELEVATIONS FOR THOSE DRAWINGS ARE ASSUMED TO BE +0.00' AND TAKEN FROM  
 THE FOLLOWING MEASURING POINTS

- BUILDINGS A-1 & A-2: 80.0' (THIRD STREET NE)
- BUILDING B: 76.0' (SECTION THIRD STREET NE & MORSE STREET NE)
- BUILDINGS C-1 & C-2: 78.0' (MORSE STREET NE)
- BUILDING D: 84.0' (NEAL PLACE NE)



KEY PLAN



OCTOBER 30TH, 2015

SCALE: 1" = 50'-0"

OVERALL N-S SECTION 2

# DIAGRAM KEY

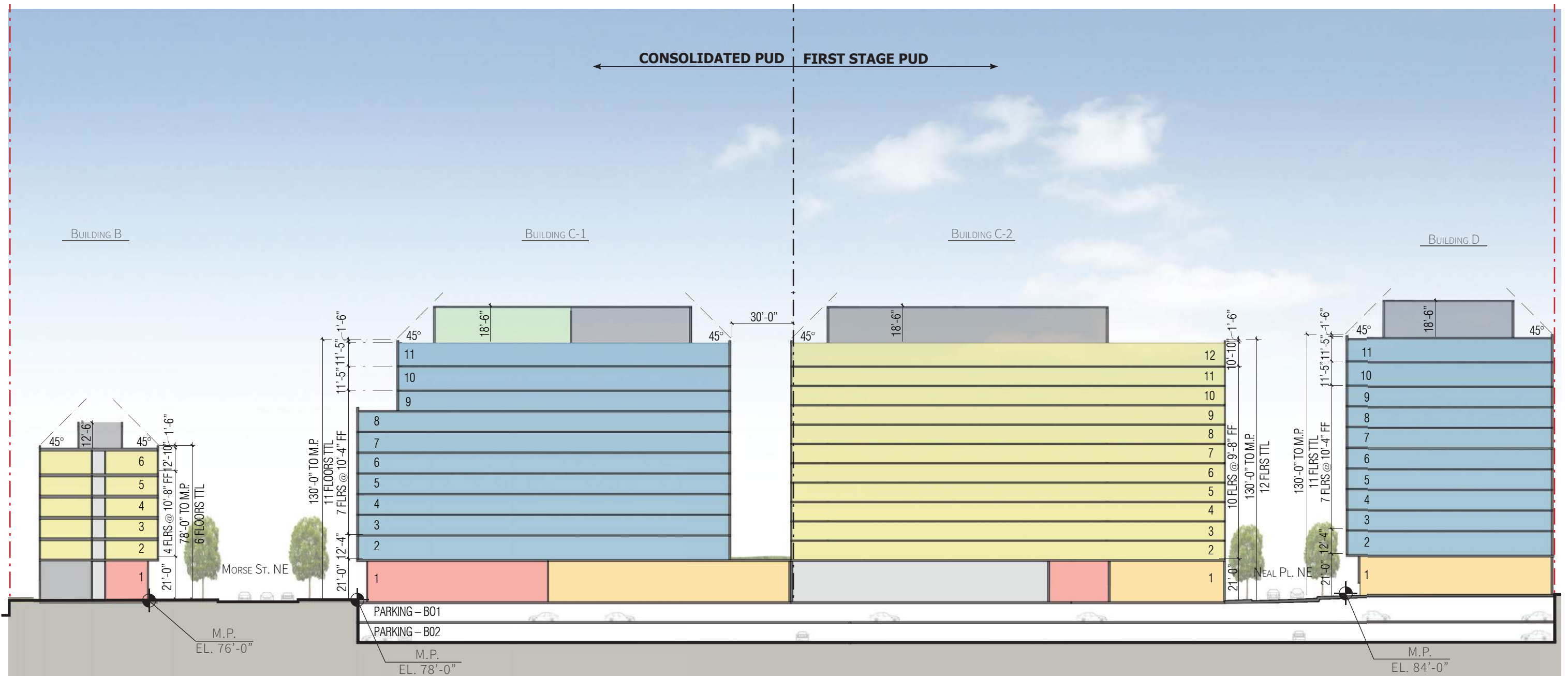
- - - LOT LINE
- - - PHASE LINE
- RESIDENTIAL
- AMENITY
- RETAIL
- OFFICE
- SUPPORT SPACE
- LOBBY

**NOTE:**  
 REFERE TO ZONING DIAGRAMS FOR LOCATION OF MEASURING POINTS.  
 SPOT ELEVATIONS FOR THOSE DRAWINGS ARE ASSUMED TO BE +0.00' AND TAKEN FROM THE FOLLOWING MEASURING POINTS

BUILDINGS A-1 & A-2: 80.0' (THIRD STREET NE)  
 BUILDING B: 76.0' (SECTION THIRD STREET NE & MORSE STREET NE)  
 BUILDINGS C-1 & C-2: 78.0' (MORSE STREET NE)  
 BUILDING D: 84.0' (NEAL PLACE NE)



KEY PLAN



## OVERALL N-S SECTION 3

SCALE: 1" = 50'-0"

OCTOBER 30TH, 2015

# DIAGRAM KEY

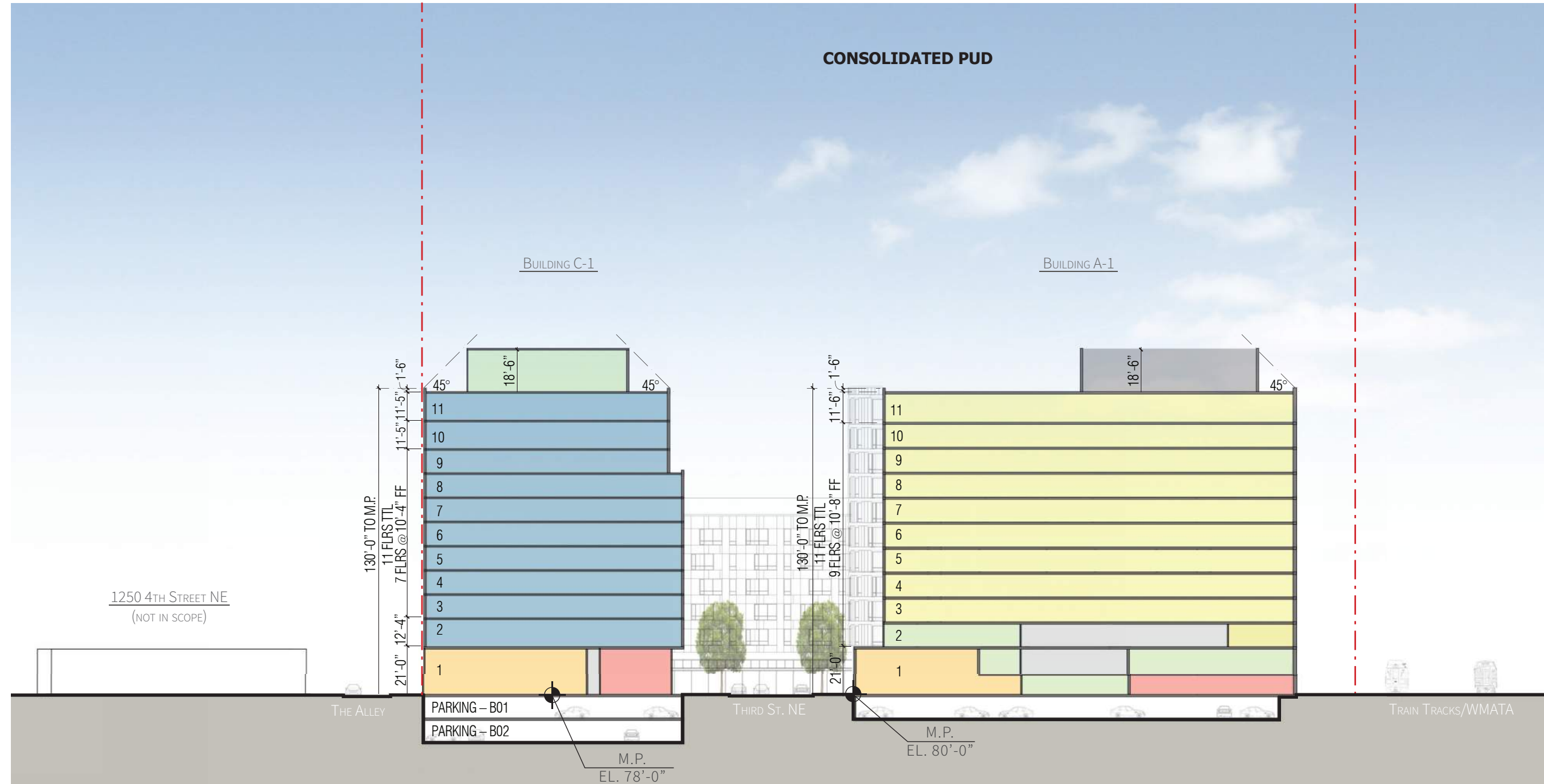
- - - LOT LINE
- - - PHASE LINE
- RESIDENTIAL
- AMENITY
- RETAIL
- OFFICE
- SUPPORT SPACE
- LOBBY

**NOTE:**  
 REFERE TO ZONING DIAGRAMS FOR LOCATION OF MEASURING POINTS.  
 SPOT ELEVATIONS FOR THOSE DRAWINGS ARE ASSUMED TO BE +0.00' AND TAKEN FROM THE FOLLOWING MEASURING POINTS

- BUILDINGS A-1 & A-2: 80.0' (THIRD STREET NE)
- BUILDING B: 76.0' (SECTION THIRD STREET NE & MORSE STREET NE)
- BUILDINGS C-1 & C-2: 78.0' (MORSE STREET NE)
- BUILDING D: 84.0' (NEAL PLACE NE)



KEY PLAN



OCTOBER 30TH, 2015

SCALE: 1" = 50'-0"

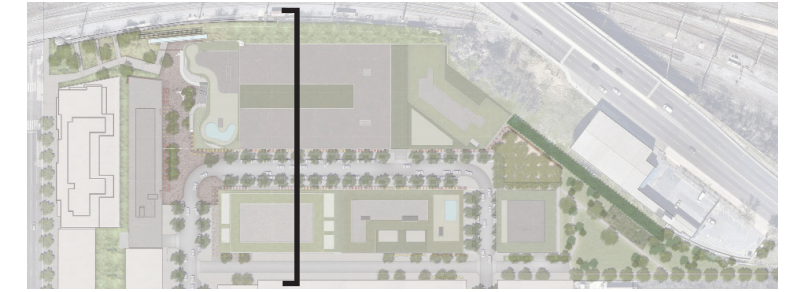
OVERALL E-W SECTION 1

# DIAGRAM KEY

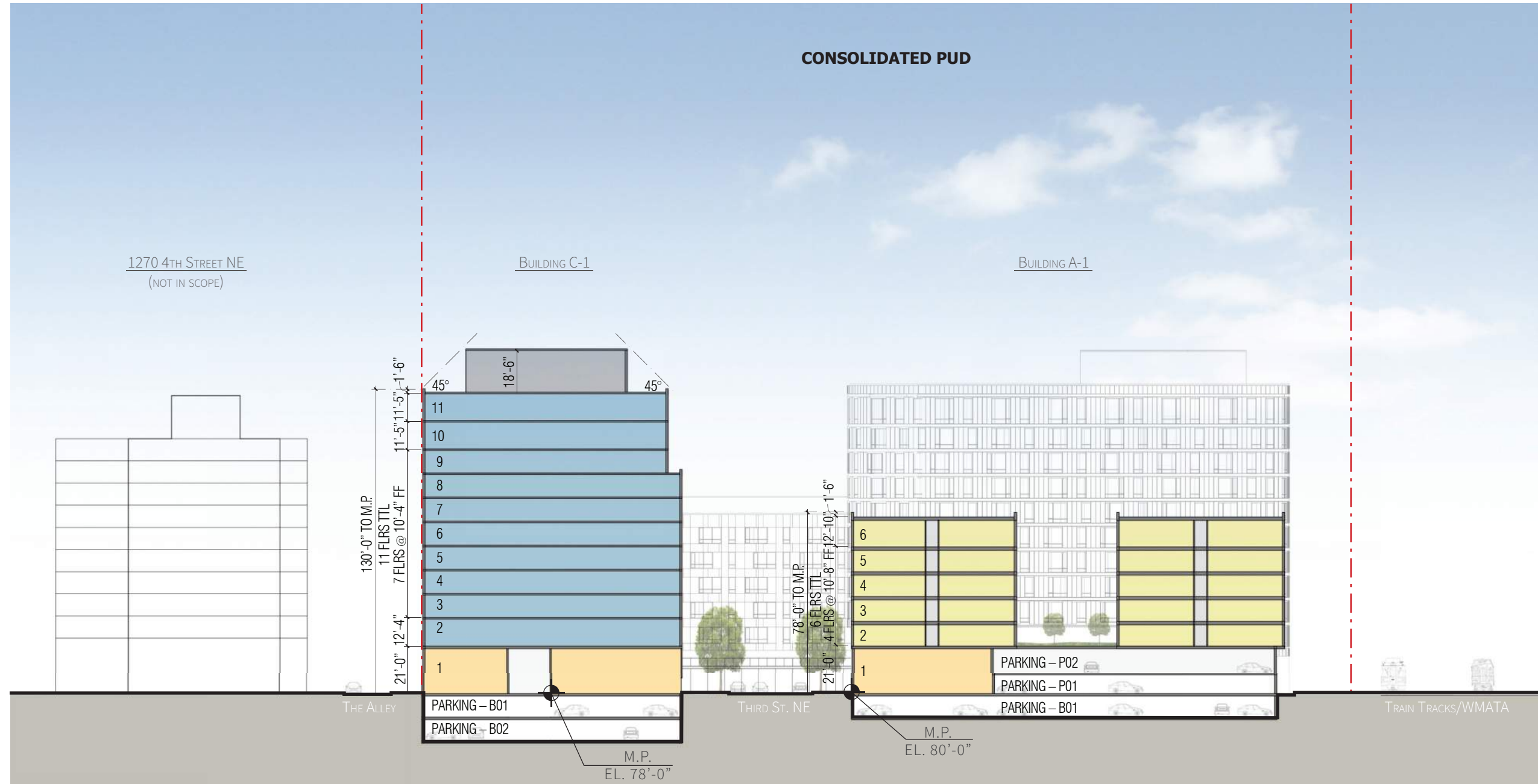
- - - LOT LINE
- - - PHASE LINE
- RESIDENTIAL
- AMENITY
- RETAIL
- OFFICE
- SUPPORT SPACE
- LOBBY

**NOTE:**  
 REFERE TO ZONING DIAGRAMS FOR LOCATION OF MEASURING POINTS.  
 SPOT ELEVATIONS FOR THOSE DRAWINGS ARE ASSUMED TO BE +0.00' AND TAKEN FROM THE FOLLOWING MEASURING POINTS

- BUILDINGS A-1 & A-2: 80.0' (THIRD STREET NE)
- BUILDING B: 76.0' (SECTION THIRD STREET NE & MORSE STREET NE)
- BUILDINGS C-1 & C-2: 78.0' (MORSE STREET NE)
- BUILDING D: 84.0' (NEAL PLACE NE)



KEY PLAN



OVERALL E-W SECTION 2

SCALE: 1" = 50'-0"

OCTOBER 30TH, 2015