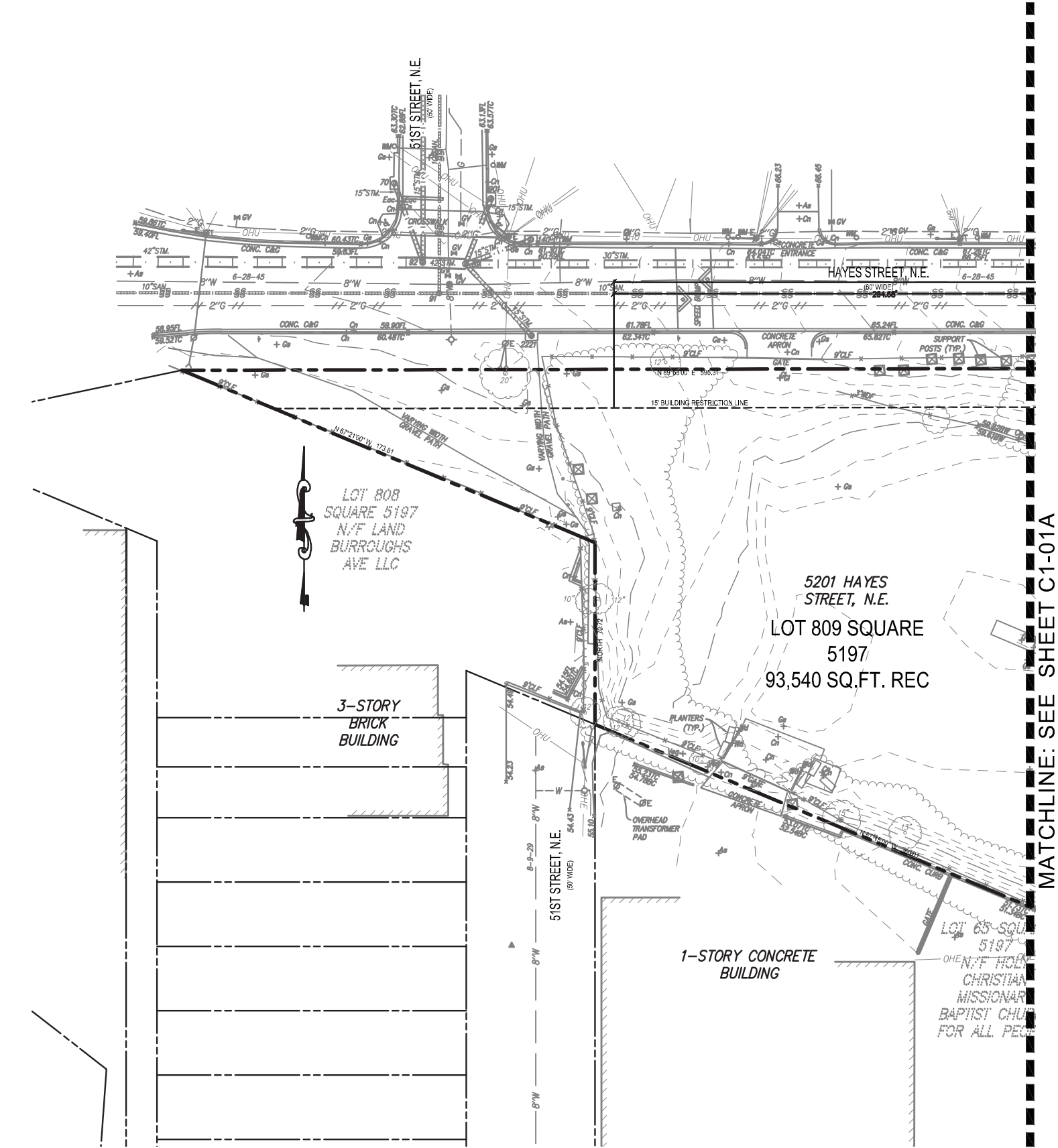
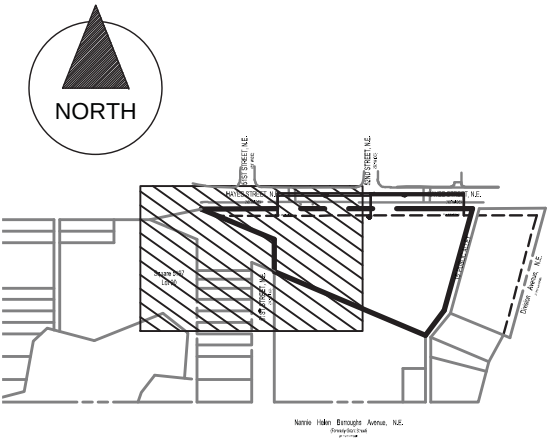


Civil Drawings



LEGEND	
	ASPHALT
	CONCRETE
	GRANITE
	GRASS
	GRAVEL
	EXPOSED AGGREGATE
	WOOD
	BRICK
	METAL
	VEGETATION
	DRAINAGE MANHOLE
	SANITARY MANHOLE
	WATER MANHOLE
	FIRE HYDRANT
	WATER METER
	CLEANOUT
	GAS VALVE
	ELECTRIC STRUCTURE
	COBRA LIGHT POLE
	LIGHT POLE
	ELECTRIC POLE
	TELEPHONE POLE
	UTILITY POLE
	POLE BASE
	GUY WIRE
	DECIDUOUS TREE
	SHRUB
	POST
	SIGN
	HANDICAP
	TC TOP OF CURB
	BC BOTTOM OF CURB
	FL FLOWLINE
	TW TOP OF WALL
	BW BOTTOM OF WALL
	CLF CHAIN LINK FENCE
	WDF WOOD FENCE
	WIF WROUGHT IRON FENCE
	C&G CURB AND GUTTER
	SAN. SANITARY SEWER
	STM. STORM DRAINAGE
	rec RECORD
	mst MEASUREMENT
	UNDERGROUND COMMUNICATION
	UNDERGROUND ELECTRIC
	OVERHEAD UTILITY
	OVERHEAD ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND STORM/SEWER
	UNDERGROUND WATER
	FENCE LINE
	PROPERTY LINE

MANHOLE TABLE	
70 DRAINAGE MANHOLE TOP=61.77 15"INV.OUT=57.57 (SE) FULL OF DEBRIS	89 DRAINAGE MANHOLE TOP=60.62 15"INV.IN=56.80 (SE) 15"INV.IN=55.76 (NE) 15"INV.IN=55.55 (N) 30"INV.IN=51.43 (E) 42"INV.OUT=51.20 (W)
91 SANITARY MANHOLE TOP=60.34 10"INV.IN=49.90 (E) 10"INV.IN=49.50 (N) 10"INV.OUT=48.90 (W)	92 DRAINAGE MANHOLE TOP=60.53 15"INV.IN=55.32 (NW) 15"INV.IN=53.27 (N) 42"INV.IN=51.14 (E) 42"INV.OUT=51.13 (W)
140 DRAINAGE MANHOLE TOP=61.27 15"INV.OUT=56.11 (SW) FULL OF DEBRIS	284 DRAINAGE MANHOLE TOP=70.79 15"INV.OUT=66.00 (SE) FULL OF DEBRIS
299 DRAINAGE MANHOLE TOP=70.68 15"INV.IN=65.31 (N) 15"INV.IN=65.11 (NE) 21"INV.IN=62.69 (E) 30"INV.OUT=61.78 (W)	302 SANITARY MANHOLE TOP=69.94 10"INV.IN=59.26 (N) 10"INV.IN=58.73 (E) 10"INV.OUT=58.55 (W)
303 DRAINAGE MANHOLE TOP=69.86 15"INV.IN=63.82 (NW) 15"INV.IN=61.26 (N) 30"INV.IN=61.18 (E) 30"INV.OUT=61.11 (W)	309 DRAINAGE MANHOLE TOP=71.27 15"INV.OUT=66.37 (S) FULL OF DEBRIS
382 DRAINAGE MANHOLE TOP=72.31 15"INV.OUT=67.87 (SW) FULL OF DEBRIS	989 DRAINAGE MANHOLE TOP=68.22 INV.OUT=65.92 (NE) FULL OF DEBRIS
1106 DRAINAGE MANHOLE TOP=78.64 6"INV.IN=75.39 (NE) 21"INV.IN=70.82 (E) 21"INV.OUT=70.63 (W)	1107 SANITARY MANHOLE TOP=78.53 10"INV.IN=68.49 (E) 10"INV.OUT=67.55 (W)
2221 DRAINAGE MANHOLE TOP=60.83 15"INV.OUT=54.64 (NW) FULL OF DEBRIS	

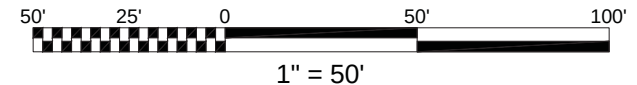
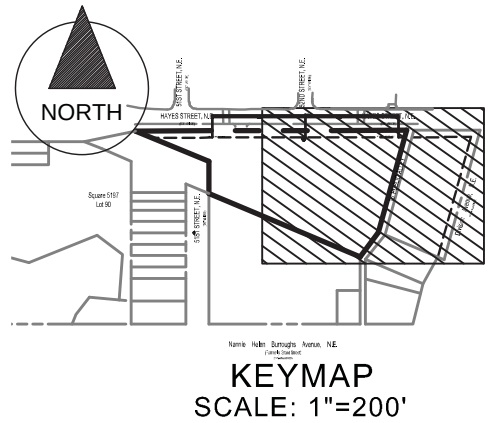
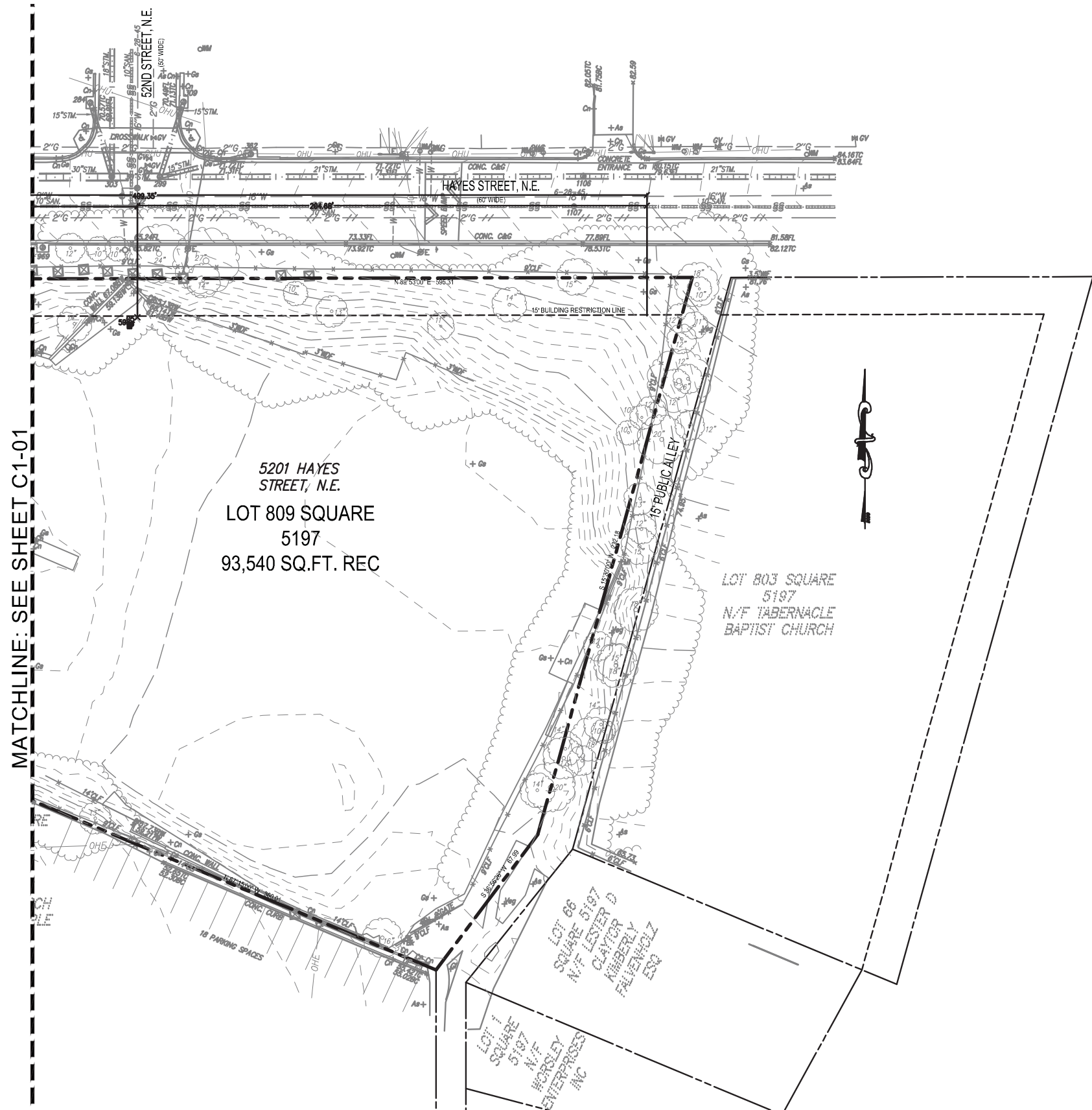


KEYMAP
SCALE: 1"=200'

- GENERAL NOTES:**
- THE INFORMATION SHOWN RESULTS FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY NOVEMBER 6, 2014.
 - NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
 - BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
 - ELEVATIONS SHOWN ARE REFERENCED TO DODPW DATUM (BM 11-39 & 11-81), MERIDIAN REFERENCED TO DCSDO NORTH, BY HOLDING HAYES STREET, N.E. AS E-W.
 - VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 - PROPERTY IS IDENTIFIED AS ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 11000100 43C, EFFECTIVE DATE SEPTEMBER 27, 2010.
 - AS OF OCTOBER 29, 2014, THE PROPERTY IS ZONED C-M-1 AS DELINEATED ON DISTRICT OF COLUMBIA'S OFFICE OF ZONING'S ZONING MAP (<http://maps.dcoz.dc.gov>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

UNDERGROUND UTILITY RECORDS SHOWN:		
UTILITY	SOURCE	DATE:
SEWER: WASA PANEL:	PQ-3-4-NE	03-10-80
	RS-3-4-NE	08-29-80
WATER: WASA PANEL:	PQ-3-4-NE	05-03-55
	RS-3-4-NE	04-25-55
ELECTRIC: PEPCO	NONE RECEIVED	AS OF 2014-11-06
GAS: WASHINGTON GAS	WG-90801	10-06-2014
COMMUNICATION: VERIZON	NONE RECEIVED	AS OF 2014-11-06





DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

CONSTRUCTION AND STABILIZATION SEQUENCE:

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED TREE PROTECTION, AND SILT FENCE AS INDICATED ON SHEET C1-02 AND C1-02A. SEE SHEET C1-05 FOR SEDIMENTATION AND EROSION CONTROL DETAILS.
2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
3. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
4. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
5. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

SEDIMENTATION EROSION CONTROL NOTE:

THE APPLICANT MUST NOTIFY THE DISTRICT DEPARTMENT OF ENVIRONMENT BY PHONE (202-535-2977) AT LEAST 72 HOURS PRIOR TO THE START OF GRADING ACTIVITY AND WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF HEALTH MUST BE NOTIFIED IMMEDIATELY.

SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 72 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY. CALL 202-535-2977 FOR APPOINTMENT.

NOTE:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
3. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION.
4. PROVIDE CHAIN LINK FENCE AT PERIMETER OF SITE.

TOTAL VOLUME OF CUT OF BELOW GRADE EXCAVATION:

TOTAL AREA OF EXCAVATION: 35,310 SF / 0.811 AC
VOLUME OF CUT: $\frac{35,310 \text{ SQ.FT. (AREA)} \times 10 \text{ FEET (DEPTH)}}{27}$
VOLUME OF CUT: 13,078 cy +/-

TOTAL VOLUME OF CUT /FILL FOR UTILITIES:

TOTAL AREA OF EXCAVATION: 1,103 SF
VOLUME OF CUT: $\frac{1,103 \text{ SQ.FT. (AREA)} \times 6 \text{ FEET (DEPTH)}}{27}$
VOLUME OF CUT AND FILL: 245 cy +/-

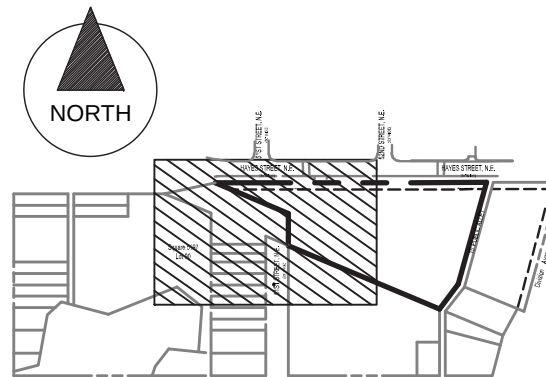
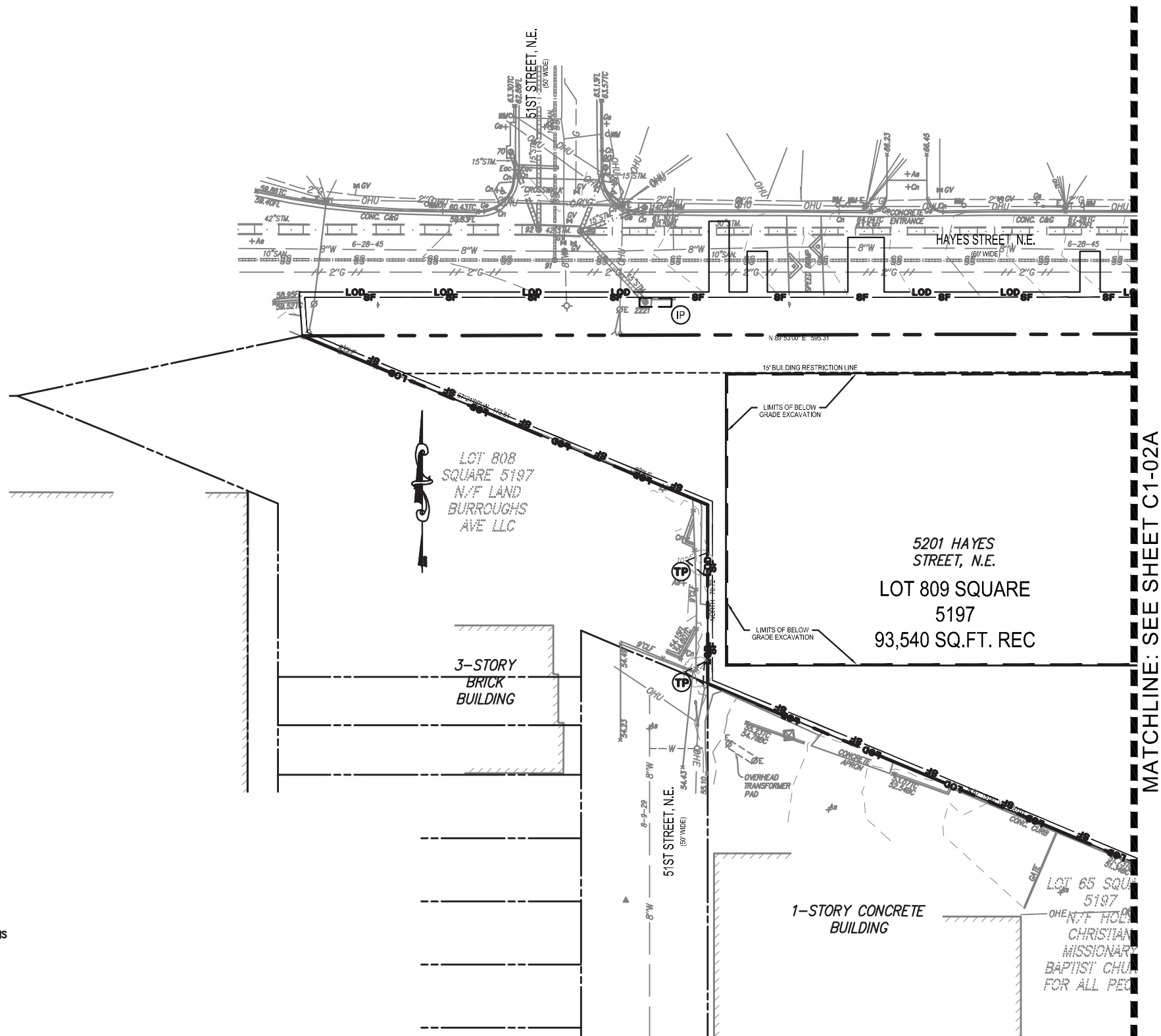
CONSTRUCTION DATES:

- * THE PROPOSED DEMOLITION WORK DUE TO COMMENCE NO EARLIER THAN 2015 AND IS ANTICIPATED TO TAKE APPROXIMATELY 24 MONTHS.
- * EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

TOTAL AREA OF DISTURBANCE:

TOTAL AREA OF DISTURBANCE: 107,443 SQUARE FEET OR 2.467 AC

THIS SHEET IS TO BE USED FOR SEDIMENTATION AND EROSION CONTROL PURPOSES ONLY

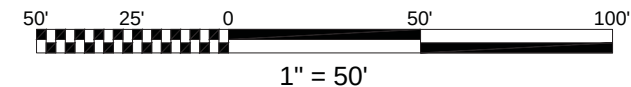


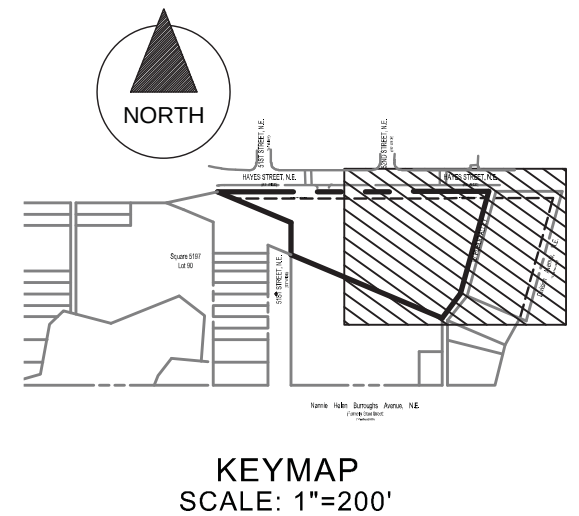
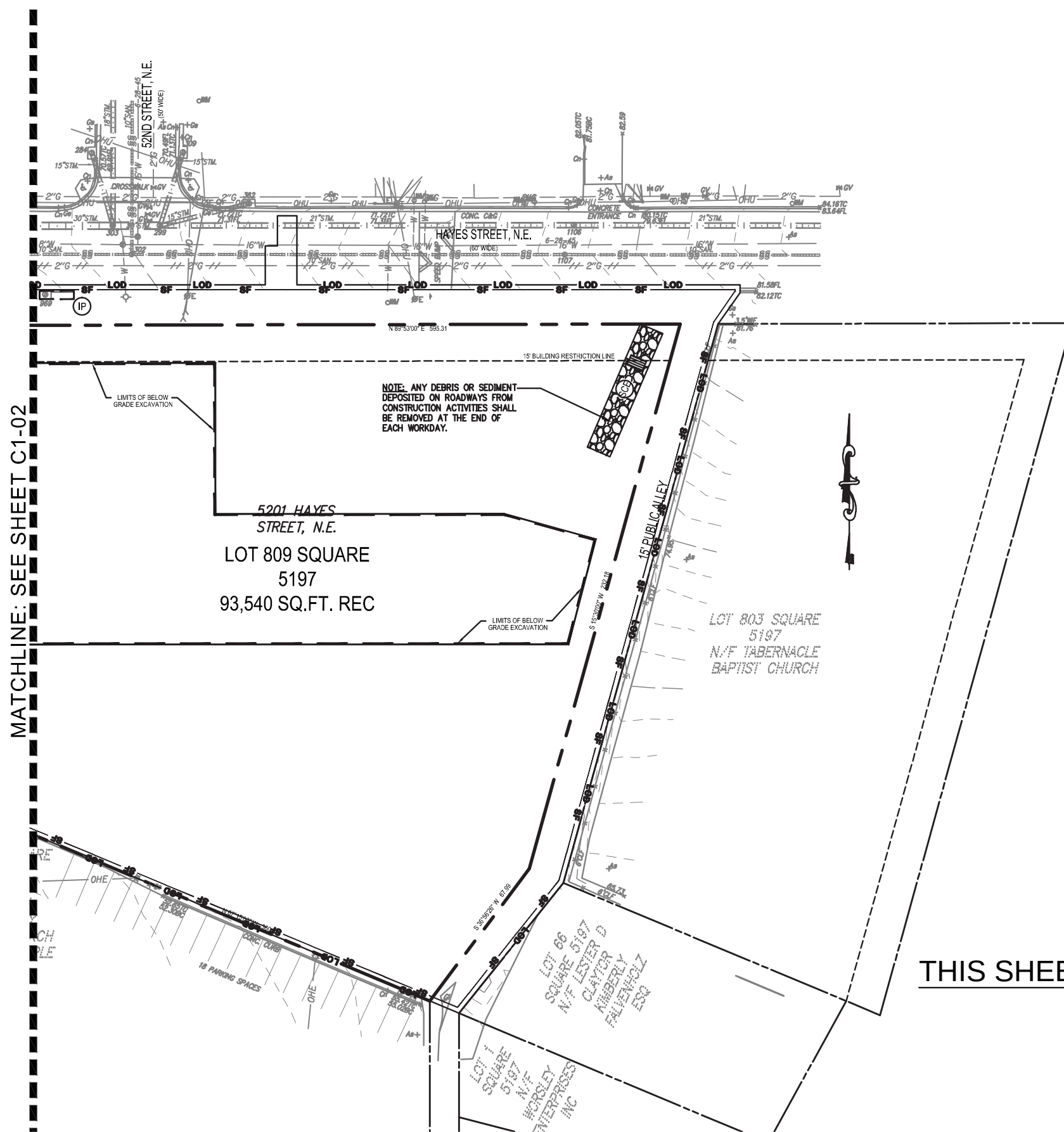
KEYMAP
SCALE: 1"=200'

LAND DISTURBANCE ACTIVITY NOTE:

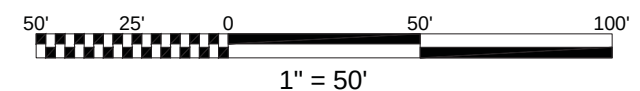
A PERSON RESPONSIBLE FOR LAND DISTURBANCE IS TO BE PRESENT OR AVAILABLE AT ALL TIMES WHILE SITE IS IN A PHASE INVOLVING LAND DISTURBING ACTIVITY.

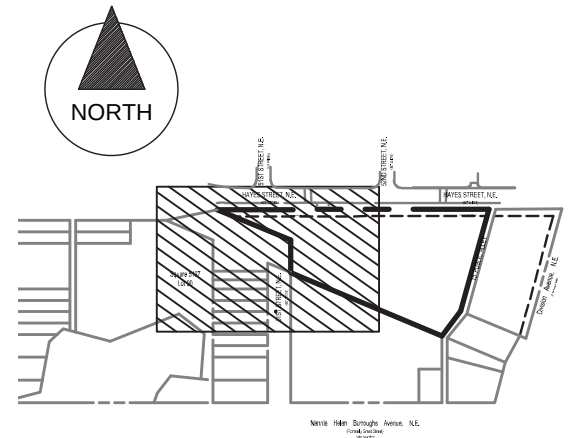
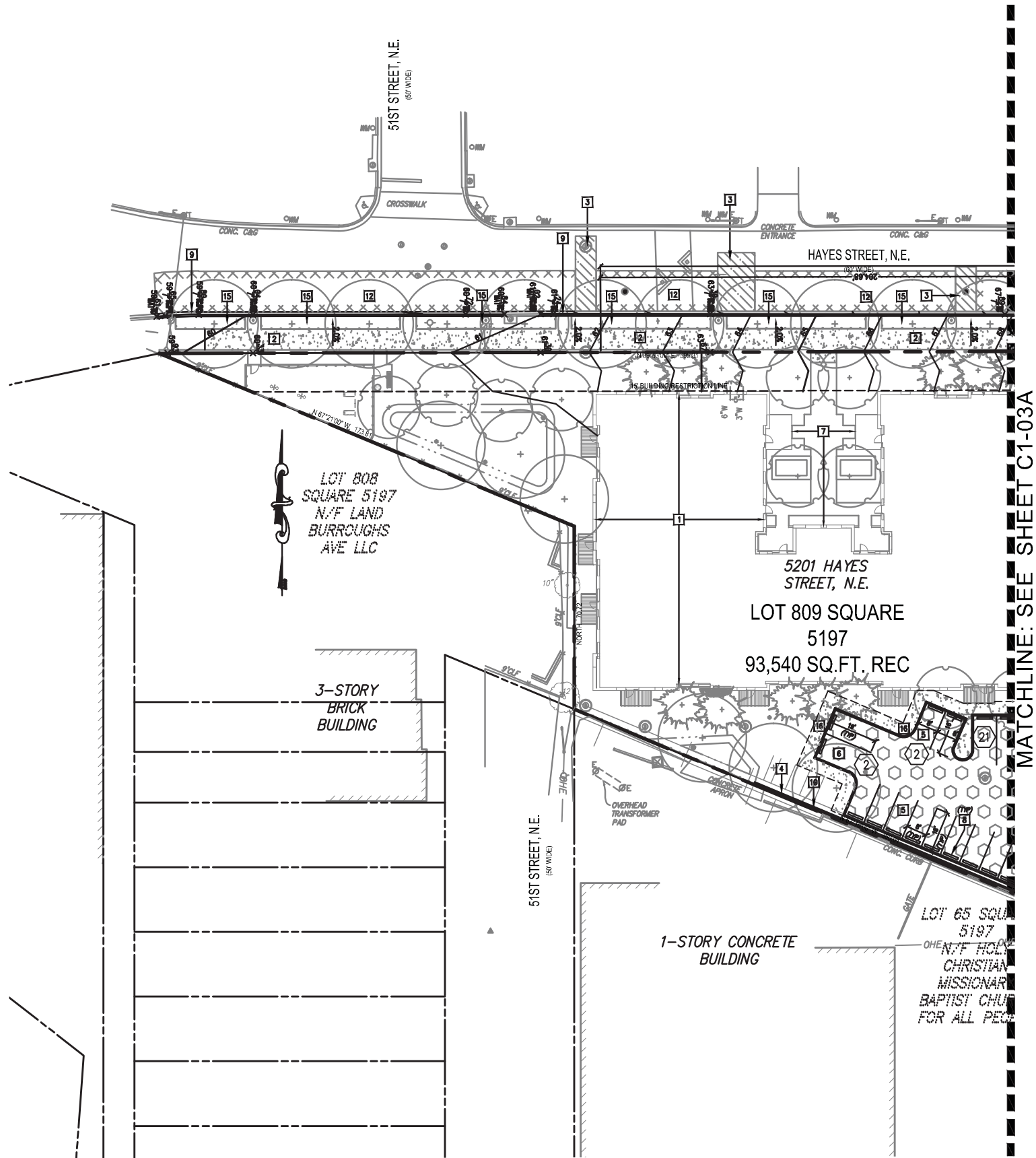
THE RESPONSIBLE PERSON IS RESPONSIBLE FOR INSPECTION OF THE SITE E & S CONTROL MEASURES BIWEEKLY AND AFTER RAINFALL EVENTS, AVAILABILITY TO RESPOND TO POTENTIAL EROSION PROBLEMS AS THEY OCCUR AND AVAILABILITY TO SPEAK ONSITE WITH DOOE TO REMEDY POTENTIAL PROBLEMS. THE RESPONSIBLE PERSON IS TO HAVE AVAILABLE ONSITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DEPARTMENT APPROVED TRAINING PROGRAM IN COMPLIANCE OF RESPONSIBLE PERSON DESIGNATION.





THIS SHEET IS TO BE USED FOR SEDIMENTATION AND
EROSION CONTROL PURPOSES ONLY





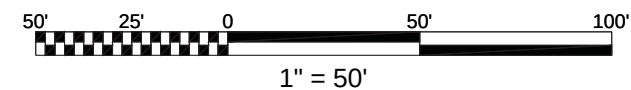
KEYMAP
SCALE: 1"=200'

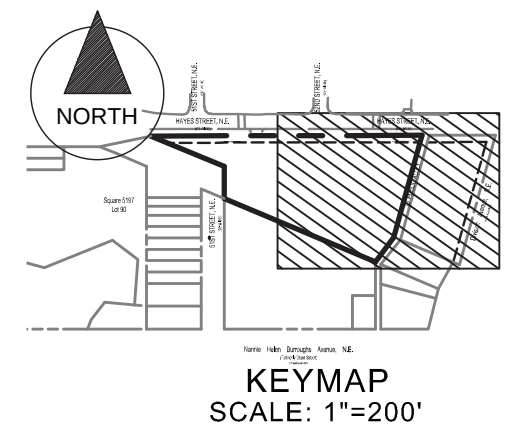
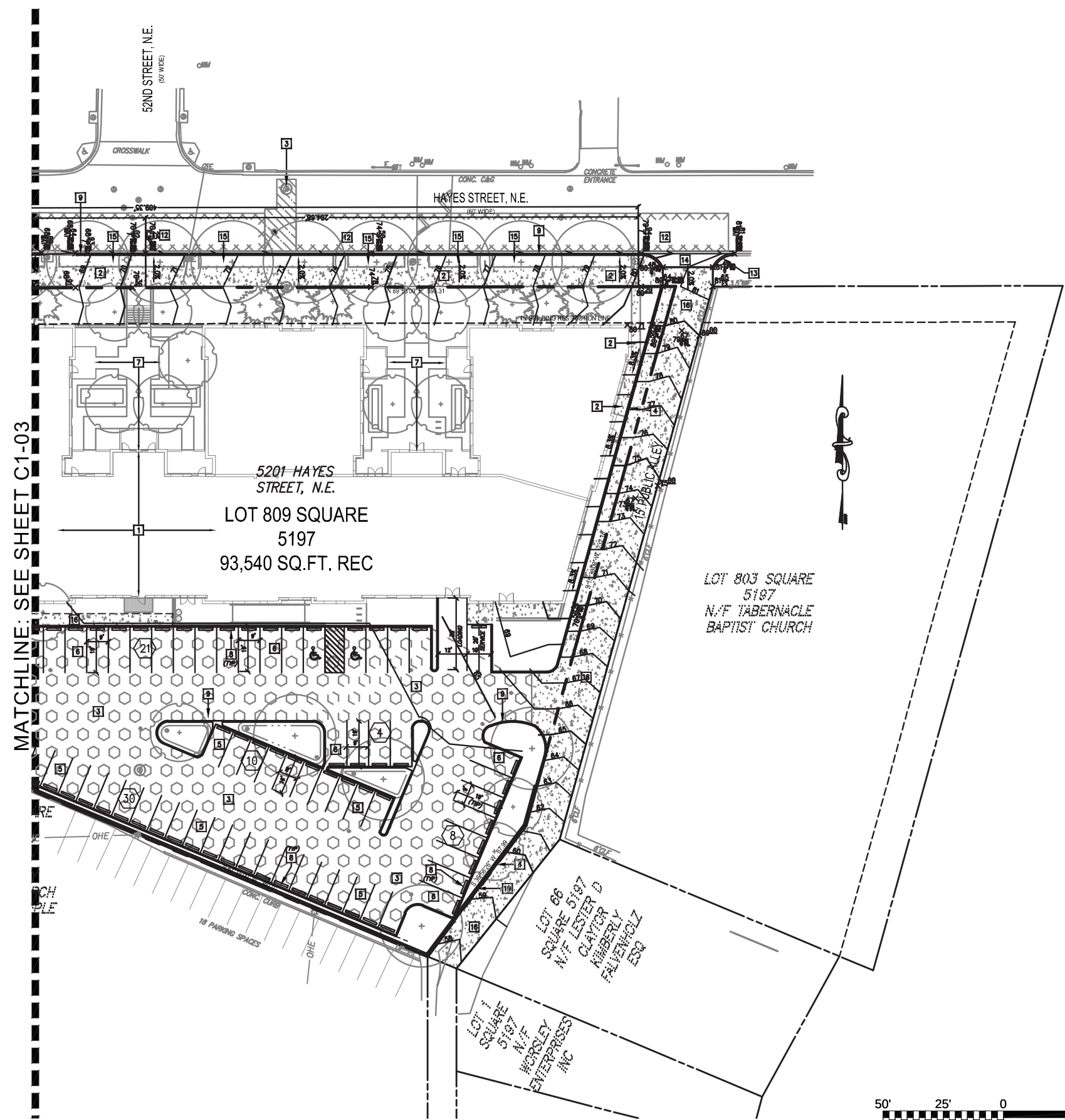
PAVEMENT LEGEND:

- | | |
|--|--------------------------------------|
| | NEW SURFACE PAVEMENT |
| | NEW ASPHALT PAVEMENT
(FULL DEPTH) |
| | NEW PERMEABLE PAVEMENT |
| | NEW CONCRETE PAVEMENT |
| | NUMBER OF PARKING SPACES |

SITE KEYNOTES:

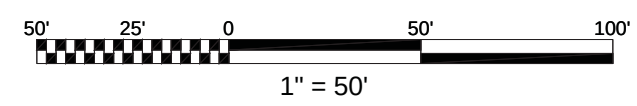
- 1 NEW BUILDING REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 NEW CONCRETE SIDEWALK PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
- 3 NEW FULL DEPTH ASPHALT PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
- 4 NEW RETAINING WALL. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- 5 NEW 8'X16' COMPACTED PARKING SPACE.
- 6 NEW 9'X19' STANDARD PARKING SPACE.
- 7 NEW COURTYARD AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 8 NEW PERMEABLE PAVEMENT.
- 9 NEW CONCRETE CURB AND GUTTER PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
- 10 NEW FENCE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 11 NEW HAND RAIL.REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 12 NEW ASPHALT SURFACE COURSE. PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
- 13 NEW 16' ALLEY CONCRETE CURB RETURN PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS
- 14 NEW ALLEY APRON.
- 15 NEW PLANTER STRIP. REFER TO LANDSCAPE PLANS FOR LAYOUT AND DETAILS.
- 16 NEW CONCRETE PAVEMENT. PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.

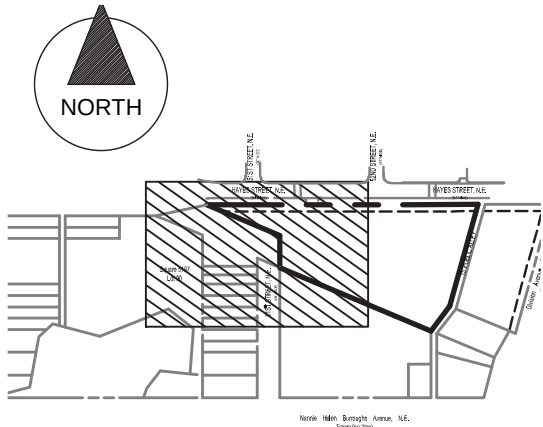
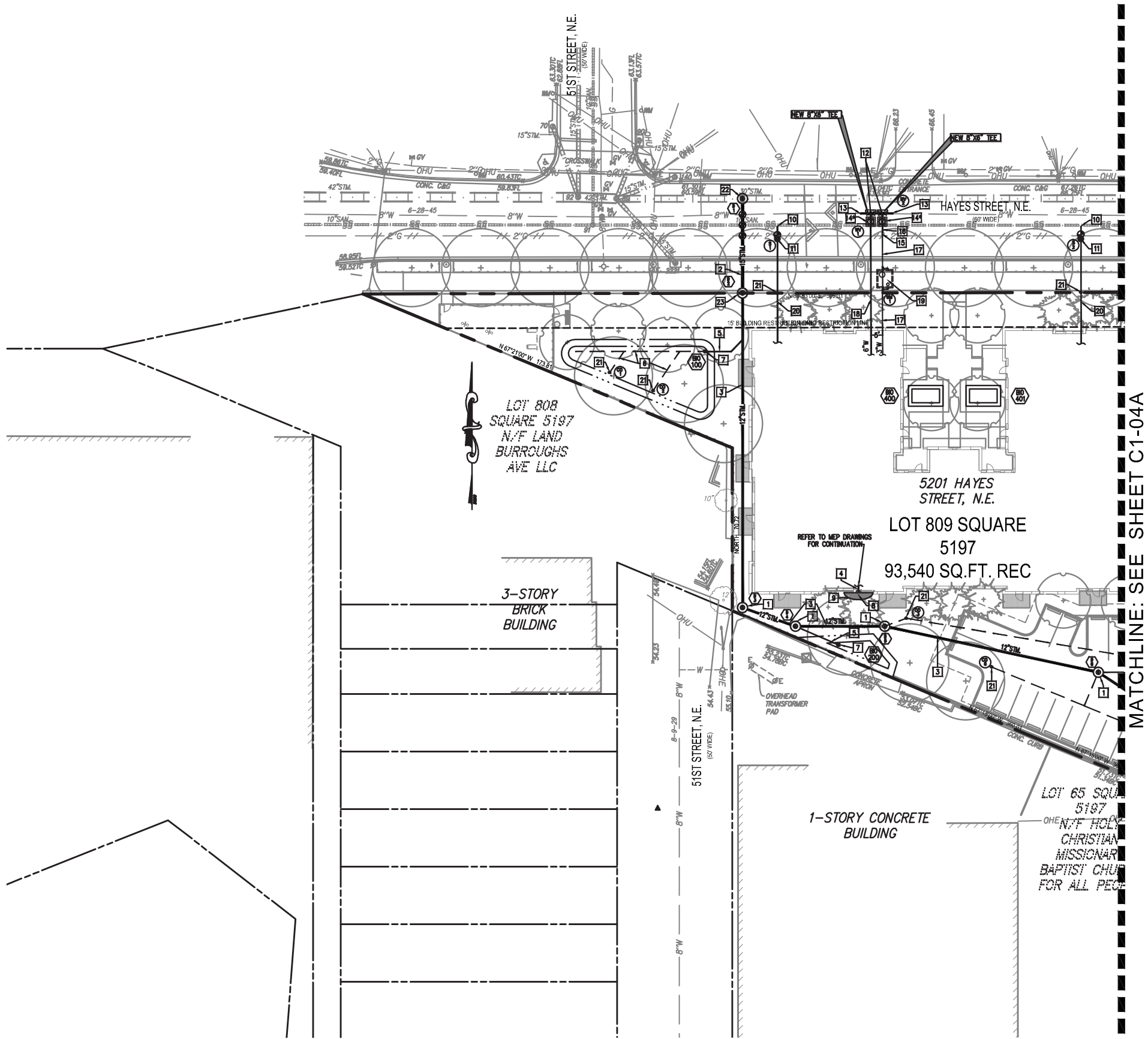




- PAVEMENT LEGEND:
- NEW SURFACE PAVEMENT
 - NEW ASPHALT PAVEMENT (FULL DEPTH)
 - NEW PERMEABLE PAVEMENT
 - NEW CONCRETE PAVEMENT
- 2 NUMBER OF PARKING SPACES

- SITE KEYNOTES:
- 1 NEW BUILDING REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
 - 2 NEW CONCRETE SIDEWALK PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
 - 3 NEW FULL DEPTH ASPHALT PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C1.06 FOR DETAILS.
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 - 10 NEW FENCE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
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 - 14 NEW ALLEY APRON.
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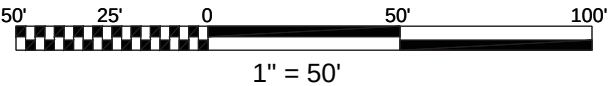


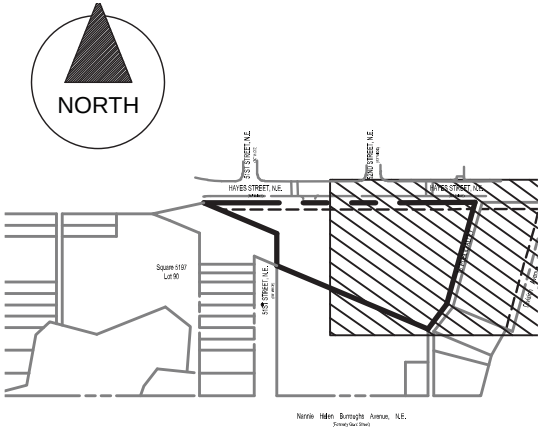
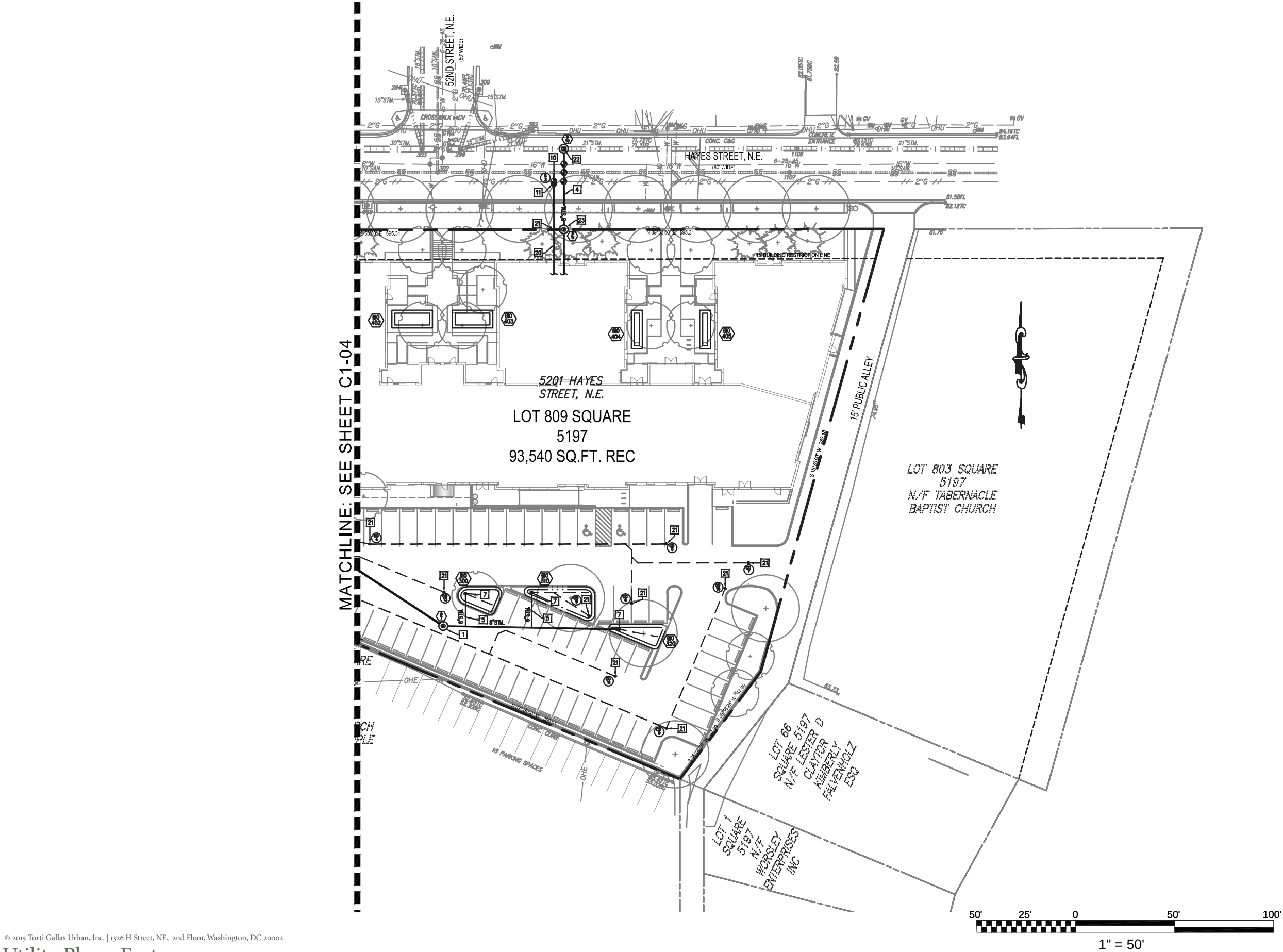


KEYMAP
SCALE: 1"=200'

UTILITY KEYNOTES:

- 1 NEW 4.8' DIAMETER MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.01.
- 2 NEW 15" RCP STORM PIPE.
- 3 NEW 12" PVC SCH 40 STORM PIPE.
- 4 NEW 8" PVC SCH 40 STORM PIPE.
- 5 NEW 6" PVC SCH 40 STORM PIPE.
- 6 NEW 4" PERFORATED PIPE.
- 7 NEW OVERFLOW DRAIN.
- 8 NEW FLARED END SECTION FROM PLUMBING RAIN LEADERS. REFER TO PLUMBING DRAWINGS CONNECTION AND FOR CONTINUATION.
- 9 NEW RIP RAP FOR FLOW DISSIPATION AND PRETREATMENT.
- 10 NEW ZEE STRAP CONNECTION PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DRAWING S-60.01.
- 11 NEW 4' DIAMETER PRE-CAST DROP MANHOLE WITH FLOW DIVERTER OUTSIDE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DRAWING NO. S-20.01 AND S-25.02 FOR DETAILS.
- 12 NEW CONCRETE THRUST BLOCK PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-40.01.
- 13 NEW 8" DIP CLASS 52 WATER MAIN AND SLEEVE CONNECTIONS, PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 14 NEW 6" WATER VALVE WITH 4.8' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-20.01.
*COORDINATE LOCATION OF WATER VALVES 1 & 2 WITH DC/WATER INSPECTOR TO SET VALVES AS CLOSE TO 12" TEE AS EXISTING UTILITIES WILL ALLOW.
- 15 NEW 6"x3" REDUCER PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 16 NEW 6" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL.
- 17 NEW 3" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1015.
- 18 NEW 6" DIP CLASS 52 FIRE SERVICE LATERAL BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1048.
- 19 NEW 72"x72"x72" LD. METER VAULT PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING DG-23.01.
- 20 NEW 8" PVC SCH-40 SANITARY SEWER LATERAL.
- 21 NEW CLEAN OUT.
- 22 NEW 4.8' DIAMETER DOG HOUSE MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.11.
- 23 NEW 4.8' DIAMETER CLEANOUT MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.01.



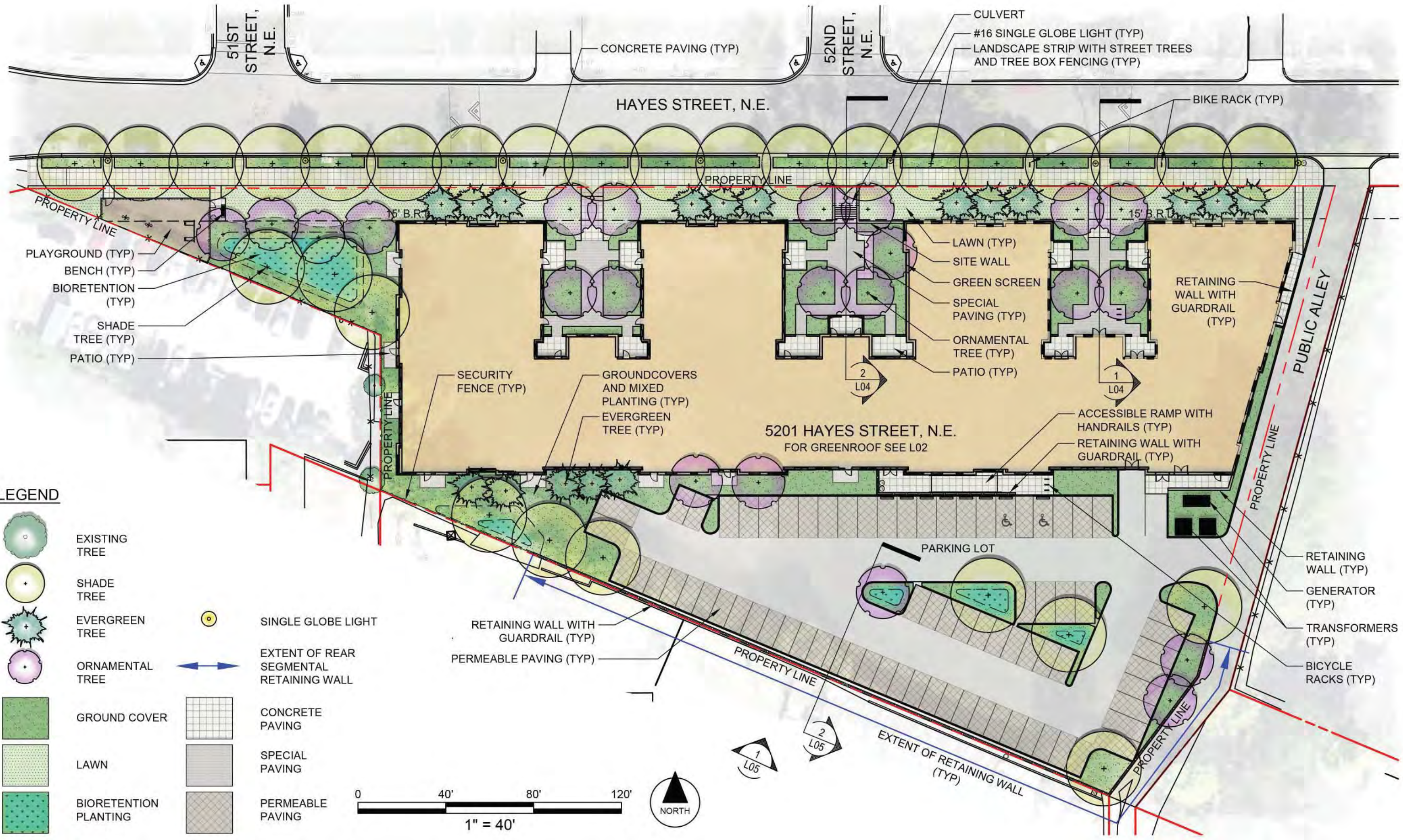


KEYMAP
SCALE: 1"=200'

UTILITY KEYNOTES:

- 1 NEW 4.8' DIAMETER MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.01.
- 2 NEW 15" RCP STORM PIPE.
- 3 NEW 12" PVC SCH 40 STORM PIPE.
- 4 NEW 8" PVC SCH 40 STORM PIPE.
- 5 NEW 6" PVC SCH 40 STORM PIPE.
- 6 NEW 4" PERFORATED PIPE.
- 7 NEW OVERFLOW DRAIN.
- 8 NEW FLARED END SECTION FROM PLUMBING RAIN LEADERS. REFER TO PLUMBING DRAWINGS CONNECTION AND FOR CONTINUATION.
- 9 NEW RIP RAP FOR FLOW DISSIPATION AND PRETREATMENT.
- 10 NEW ZEE STRAP CONNECTION PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DRAWING S-60.01.
- 11 NEW 4' DIAMETER PRE-CAST DROP MANHOLE WITH FLOW DIVERTER OUTSIDE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DRAWING NO. S-20.01 AND S-25.02 FOR DETAILS.
- 12 NEW CONCRETE THRUST BLOCK PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-40.01.
- 13 NEW 8" DIP CLASS 52 WATER MAIN AND SLEEVE CONNECTIONS, PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 14 NEW 6" WATER VALVE WITH 4.8' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-20.01.
*COORDINATE LOCATION OF WATER VALVES 1 & 2 WITH DC/WATER INSPECTOR TO SET VALVES AS CLOSE TO 12" TEE AS EXISTING UTILITIES WILL ALLOW.
- 15 NEW 6"x3" REDUCER PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 16 NEW 6" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL.
- 17 NEW 3" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1015.
- 18 NEW 6" DIP CLASS 52 FIRE SERVICE LATERAL. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1048.
- 19 NEW 72"x72"x72" I.D. METER VAULT PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING DG-23.01.
- 20 NEW 8" PVC SCH-40 SANITARY SEWER LATERAL.
- 21 NEW CLEAN OUT.
- 22 NEW 4.8' DIAMETER DOG HOUSE MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.11.
- 23 NEW 4.8' DIAMETER CLEANOUT MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.01.

Landscape Drawings



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Landscape Plan



DEANWOOD HILLS, LLC
TORTI GALLAS URBAN

April 13, 2015

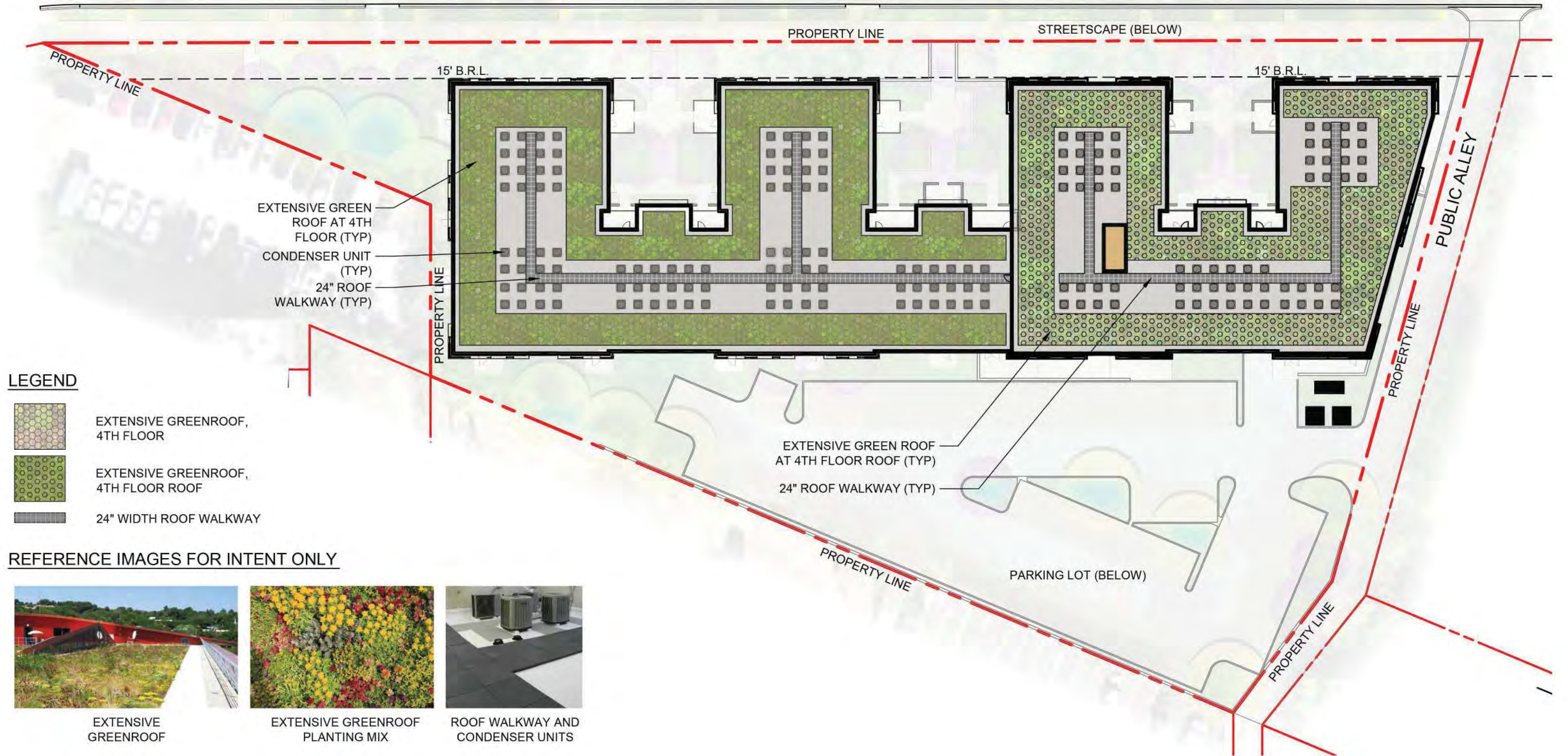
L01

DEANWOOD HILLS

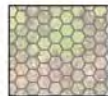
51ST STREET, N.E.

52ND STREET, N.E.

HAYES STREET, N.E.



LEGEND



EXTENSIVE GREENROOF, 4TH FLOOR



EXTENSIVE GREENROOF, 4TH FLOOR ROOF



24" WIDTH ROOF WALKWAY

REFERENCE IMAGES FOR INTENT ONLY



EXTENSIVE GREENROOF



EXTENSIVE GREENROOF PLANTING MIX



ROOF WALKWAY AND CONDENSER UNITS

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Roof Plan

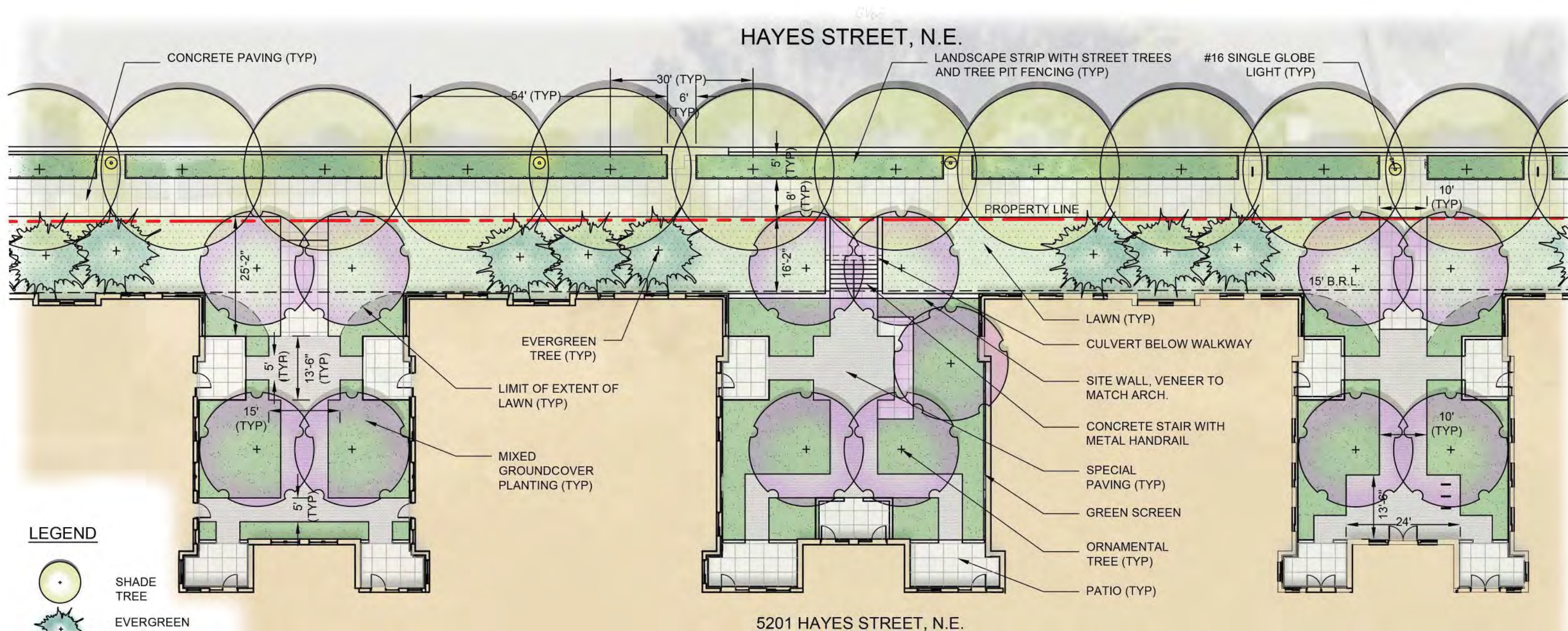
April 13, 2015

L02



DEANWOOD HILLS, LLC
TORTI GALLAS URBAN

DEANWOOD HILLS



LEGEND



SHADE TREE



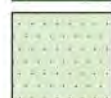
EVERGREEN TREE



ORNAMENTAL TREE



GROUND COVER



LAWN



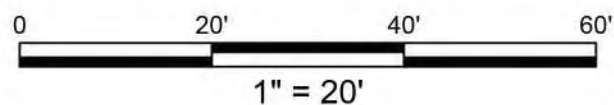
CONCRETE PAVING



SINGLE GLOBE LIGHT

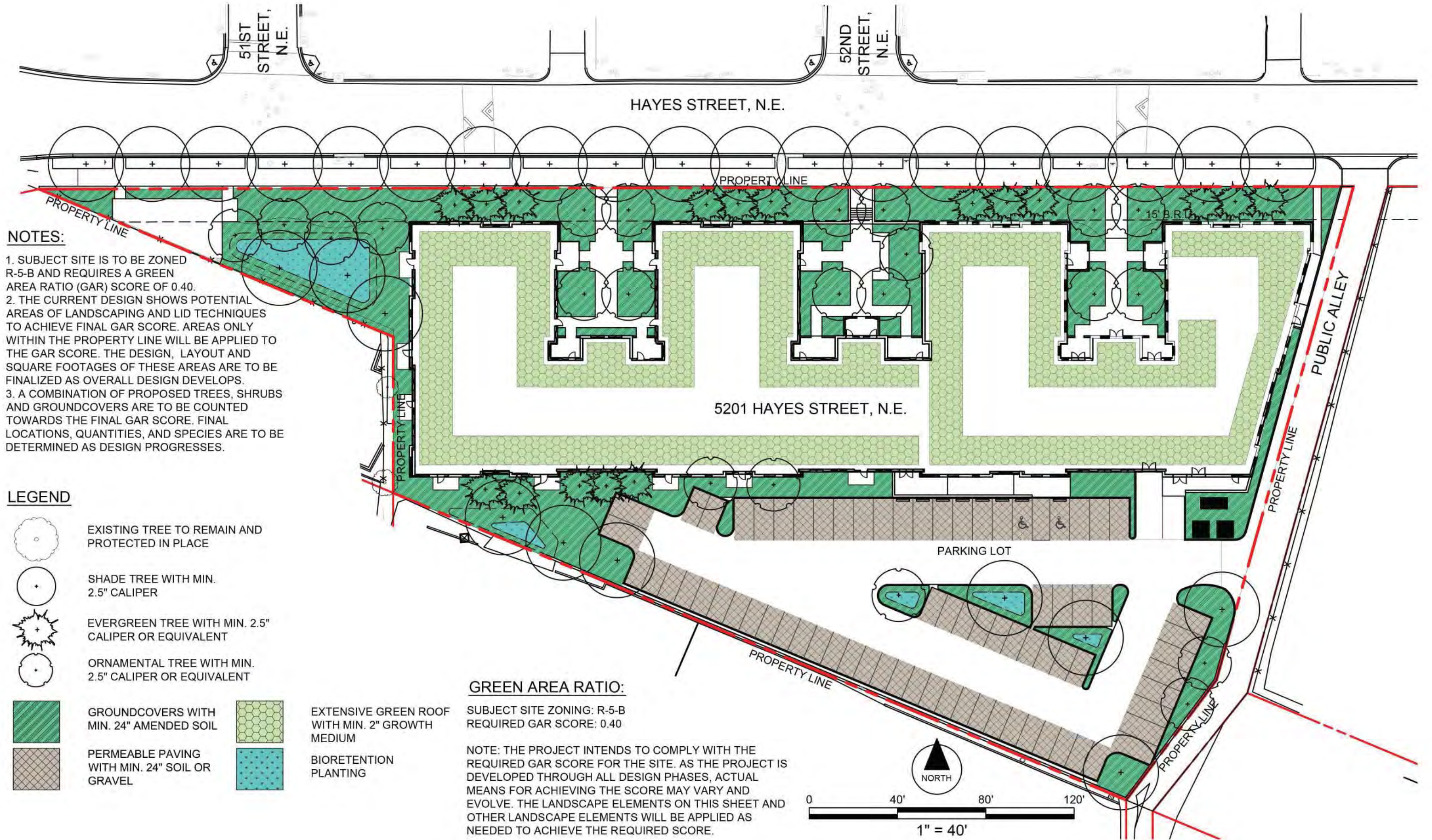


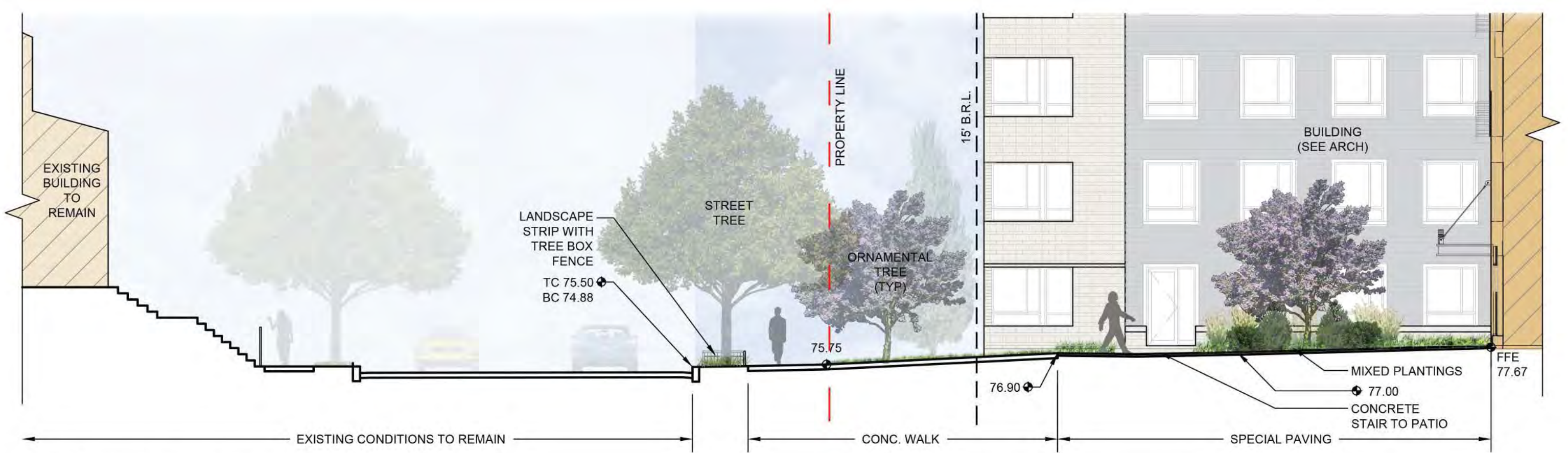
SPECIAL PAVING



REFERENCE IMAGES FOR INTENT ONLY







1

SECTION THROUGH MAIN ENTRY COURTYARD

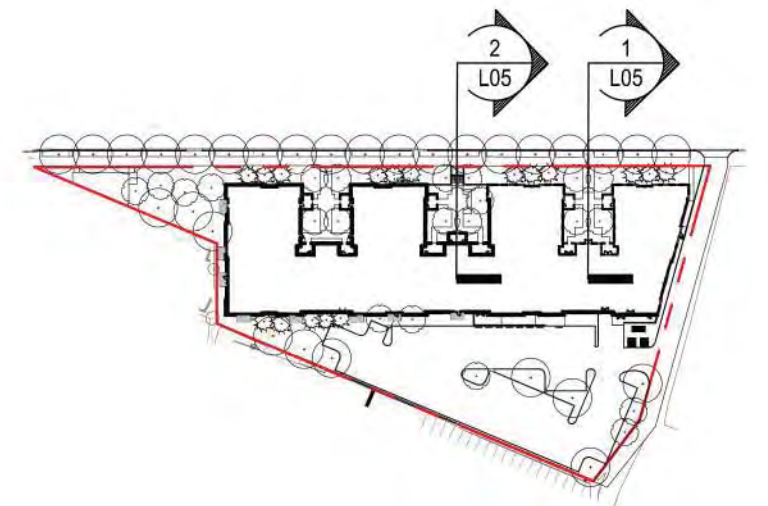
SCALE: 1" = 10'-0"



2

SECTION THROUGH CENTER COURTYARD

SCALE: 1" = 10'-0"



0

REFERENCE PLAN

N.T.S.

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Site Sections

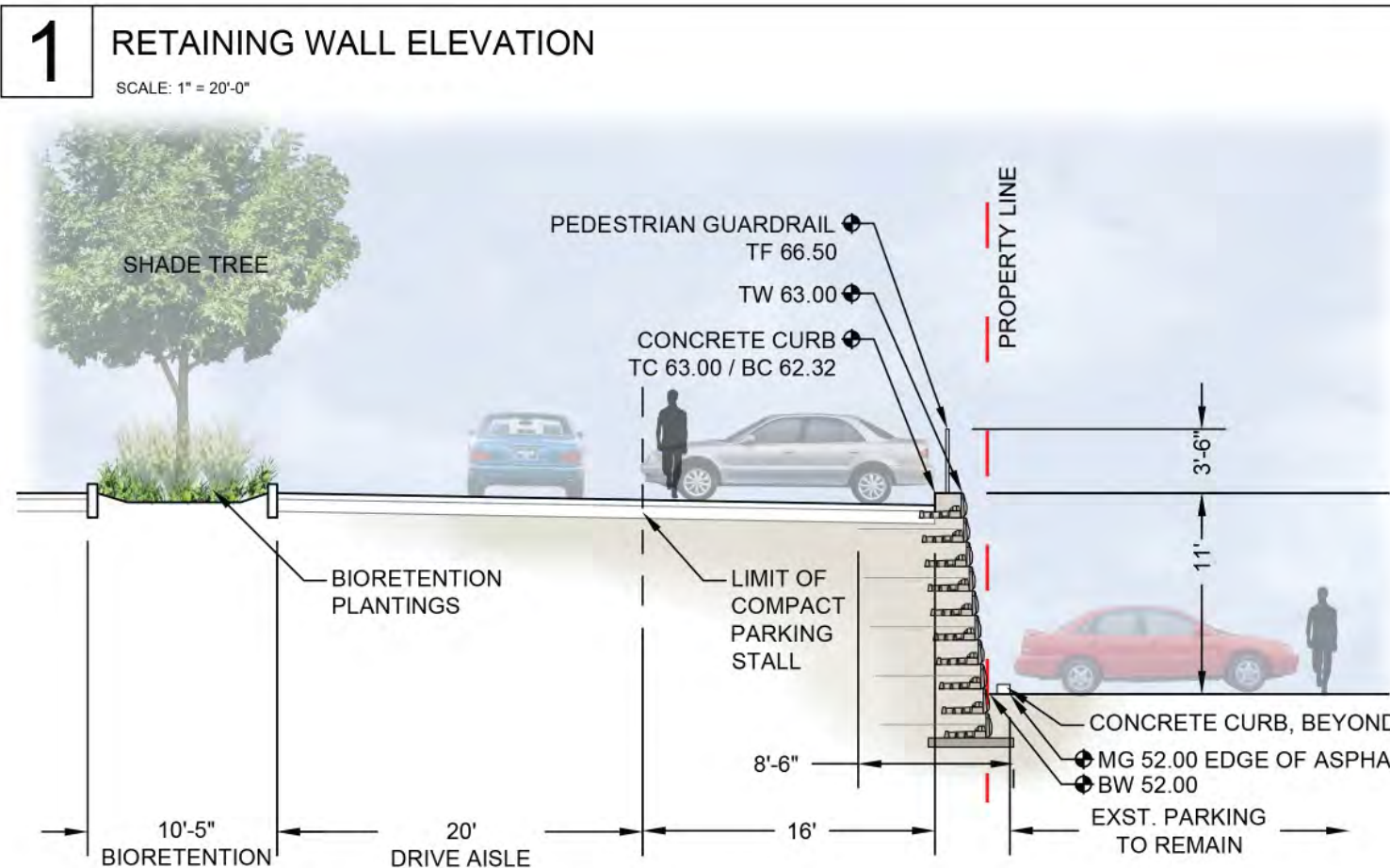
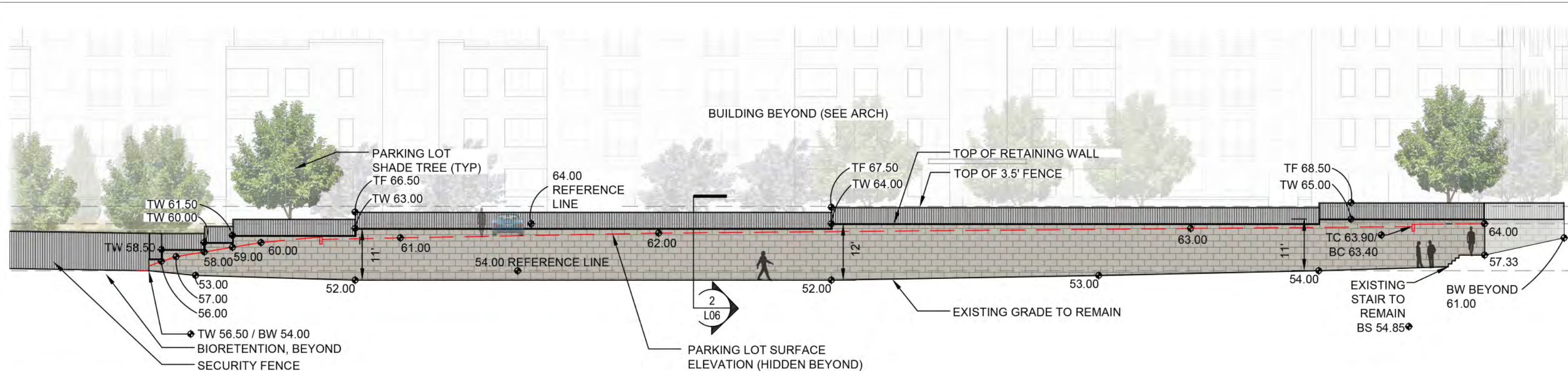


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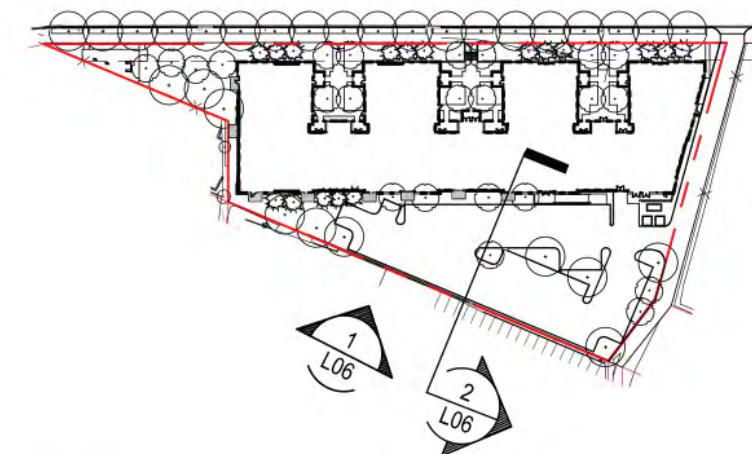
April 13, 2015

L05

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REFERENCE IMAGES:
LOCK+LOAD MSE
RETAINING WALL SYSTEM



Retaining Wall



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APRIL 13, 2013
L06



#16 SINGLE GLOBE LIGHT



CONCRETE PAVING



SPECIAL PAVING



TREE BOX FENCING



PEDESTRIAN SCALE
LIGHTING



PERMEABLE PAVING



TRASH AND RECYCLING
RECEPTACLES



BICYCLE RACKS



BENCH



PLAYGROUND



RETAINING WALL WITH GUARDRAIL



SECURITY FENCE



PARKING LOT BIORETENTION

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Site Images - Hardscape and Furnishings

April 13, 2015

L07



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DEANWOOD HILLS



MIXED GROUNDCOVER
PLANTINGS



BIORETENTION



EXTENSIVE GREEN ROOF
PLANTINGS



BIORETENTION



ORNAMENTAL TREE



EVERGREEN TREE



GREENSCREEN



EXTENSIVE GREEN ROOF



SHADE TREE



STREET TREE



STREETSCAPE

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