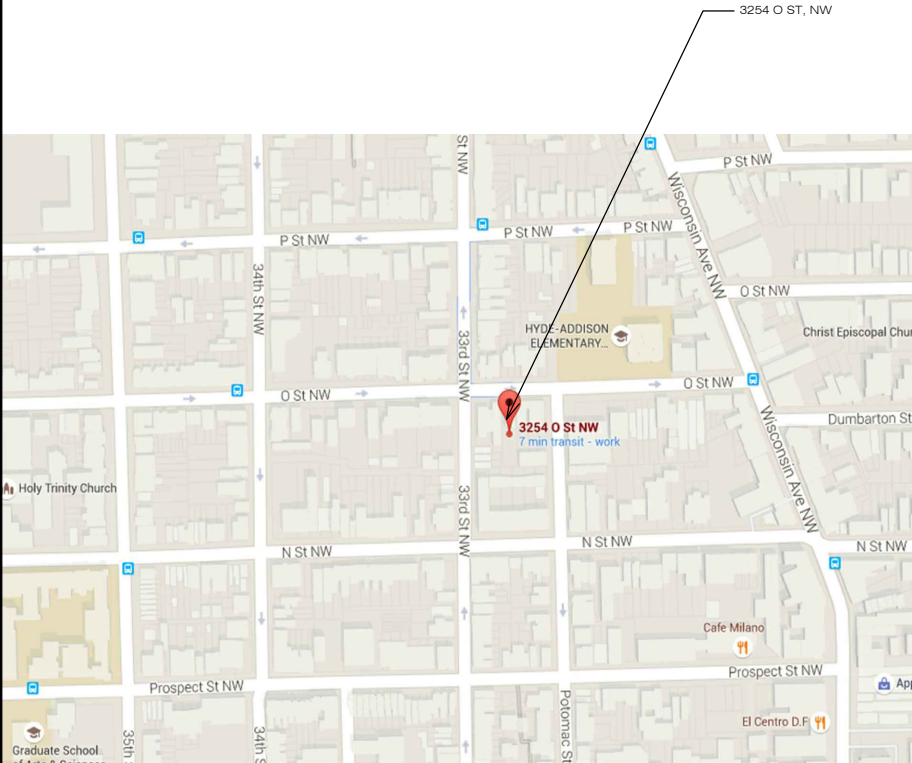


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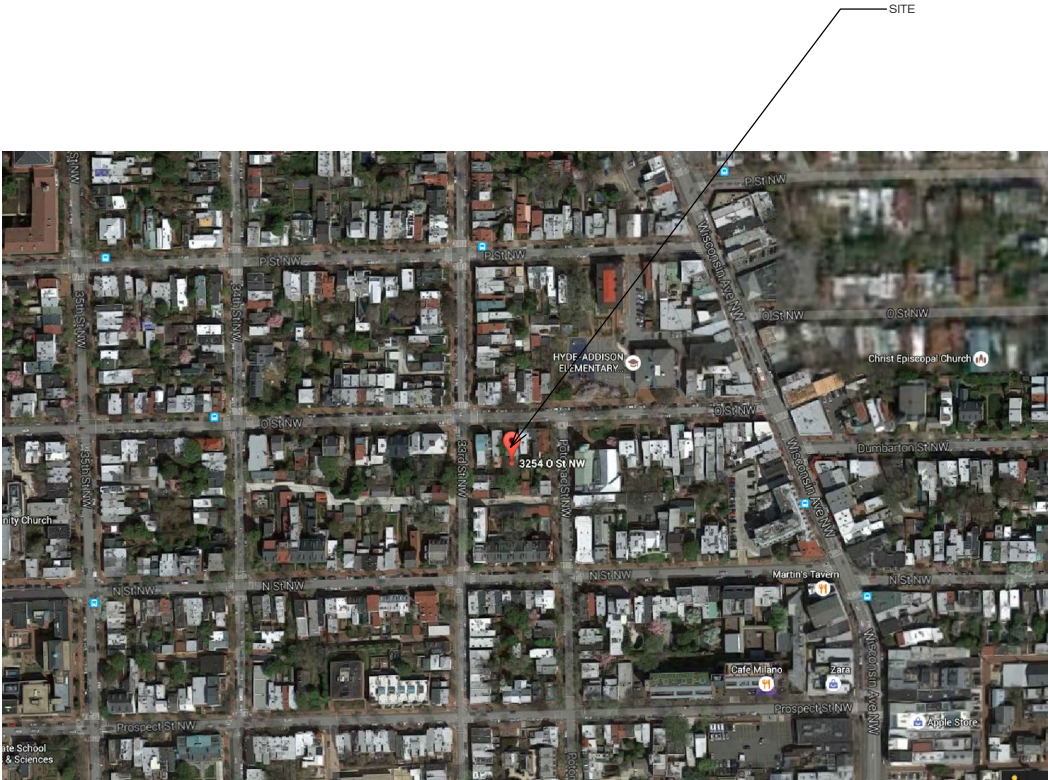
SCOPE OF WORK
ALTERATION AND ADDITION TO EXISTING
GARAGE TO CREATE STUDIO SPACE.

LOT: 125 SQUARE: 1230

LOCATION



VICINITY MAP



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COVER

GENERAL NOTES / ZONING CODE ANALYSIS

ZONING DISTRICT R-3 TOTAL LOT AREA 5533 SF
TOTAL LOT WIDTH 40'-0"

LOT 125

SQUARE 1230

REQUIREMENT	EXISTING	ALLOWABLE/ REQUIRED	PROPOSED
LOT OCCUPANCY	35.3% (1957 SF)	60% (3319 SF)	43.5% (2411 SF)
HEIGHT	8'-5" (from backyard) GARAGE	----	17'-6" GARAGE W/ ADDITION
FAR		N/A	
SIDEYARD SETBACK	4'-0"	NOT REQUIRED	0'-0"
REAR YARD SETBACK	91'-0"	20'-0"	0'-0"
FRONT YARD	10'-6"	-----	10'-6"
PARKING	4	1	4
COVERING CODES	IRC 2012 - DCMR 2013		

AS SHOWN

19 JAN 2016

Board of Zoning Adjustment
District of Columbia
CASE NO 17565A
EXHIBIT NO.8

DRAWING NUMBER

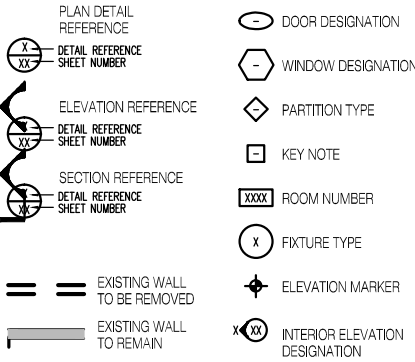
SCALE

REVISIONS

SYMBOLS

ABBREVIATIONS

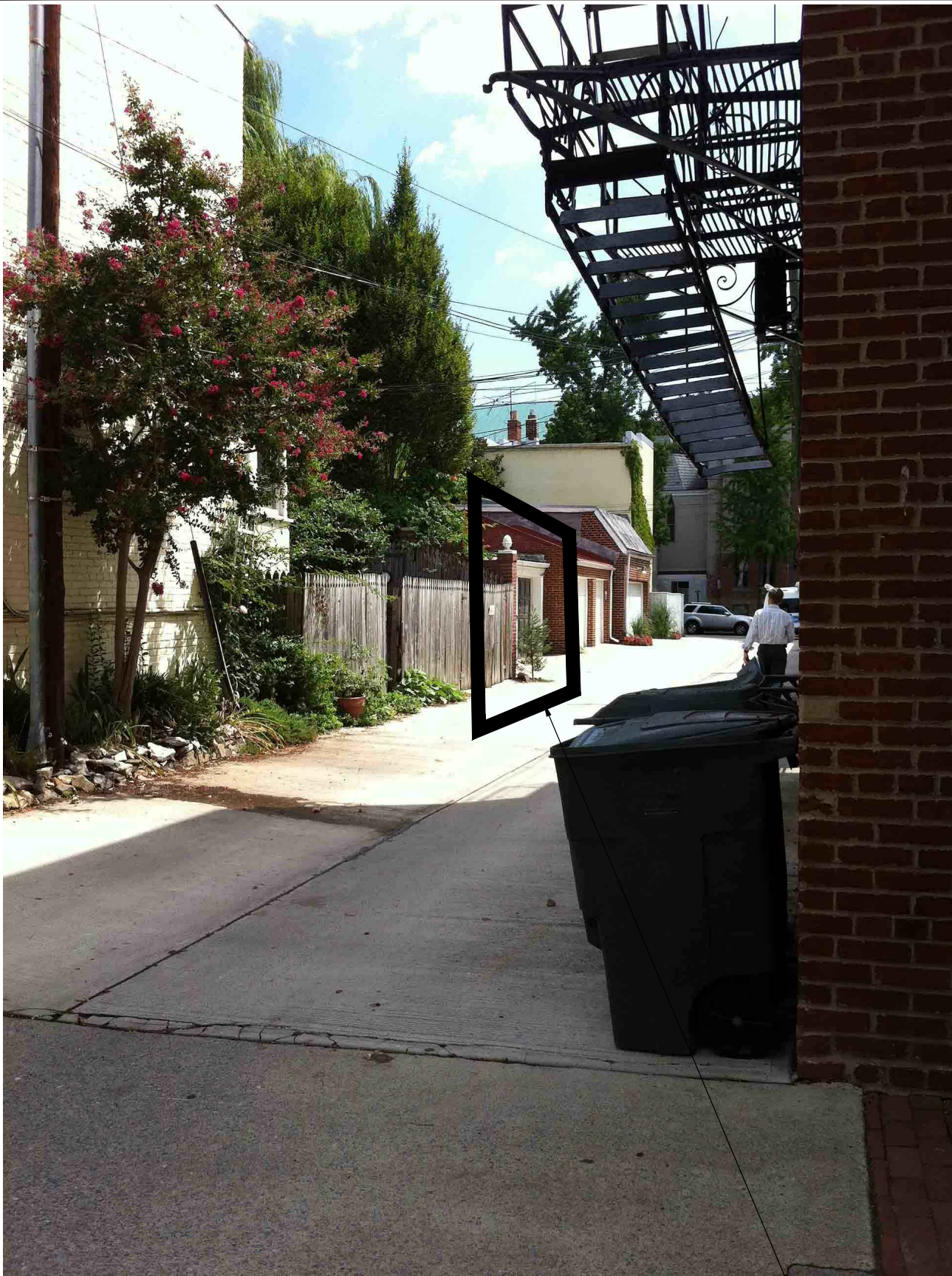
DRAWING INDEX



AFF ABOVE FINISH FLOOR
AA ALL AROUND
ACOUS ACOUSTICAL
ACT ACOUSTICAL CEILING TILE
ADJ ADJ
ALUM ALUM
ANOD ANOD
BD
BLKG BLOCKING
BS BOTH SIDES
CLG CENTER LINE
CMU CONCRETE MASONRY UNIT
CONT CONTINUOUS
DIA DIAMETER
DIM DIVISION
DN DOWN
DOUG DOUGLAS
DH DOOR
DTL DETAIL
DWG DRAWING
ELEC ELECTRICAL
ELEV ELEVATION
EQ EQUAL
EQUIP EQUIPMENT
EXST. EXISTING
FF FINISH FLOOR
FRT FUTURE
FLR FLOOR
FLUOR FLUORESCENT
GFI GROUND FAULT INTERRUPTER
GC GENERAL CONTRACTOR
GL GLAZING
GYPS GYPSUM
GWB GYPSUM WALL BOARD
HWR HARDWARE
HM HOLLOW METAL
MAT MATERIAL
MAXIMUM
MILLWORK CONTRACTOR
MEDIUM DENSITY FIBERBOARD
MEDIUM DENSITY OVERLAY
MECHANICAL
MINIMUM
MISCELLANEOUS
MOLDING
MASONRY OPENING
MOUNTED
METAL
ON CENTER
OPPOSITE
PLYWOOD
PLATE
POLISHED
PNT PAINTED
PTD
RCP REPLICATED CEILING PLAN
RND ROUND
RO ROUGH OPENING
SC SOLID CORE
SMI SIMILAR
SHT SHEET
STND STAINED
STL STEEL
STOR STORAGE
TEL TELEPHONE
TYP TYPICAL
TME TO MATCH EXISTING
UCN UNLESS OTHERWISE NOTED
VOT VINYL COMPOSITION TILE
VERT VERTICAL
VENE VENEER
VIF VERIFY IN FIELD
VWC VINYL WALL COVERING
W/ WITH

ARCHITECTURAL

A000 COVER
A001 SITE VISUAL LINES FROM PUBLIC R / W
A002 EXISTING ELEVATIONS PHOTOGRAPHS
A003 EXISTING PRIVATE ALLEY ELEVATIONS
A100 EXISTING AND PROPOSED SITE PLANS
A200 EXISTING GARAGE FLOOR PLAN AND ELEVATIONS
A201 EXISTING PRIVATE ALLEY ELEVATIONS
A301 PROPOSED GARAGE FLOOR PLANS
A304 PROPOSED GARAGE ELEVATIONS & SECTION
A305 WALKWAY PLAN AND SECTIONS
A306 PROPOSED PRIVATE ALLEY ELEVATIONS
A307 PRIVATE ALLEY MASSING PROFILES



2 VIEW FROM
33rd STREET, NW
N.T.S.

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1 VIEW FROM
POTOMAC STREET, NW
N.T.S.

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SITE VISUAL LINES
FROM PUBLIC
R / W

REVISIONS

AS SHOWN

19 JAN 2016

A001

DRAWING NUMBER



2 EXISTING
NORTH ELEVATION
N.T.S.



1 EXISTING
SOUTH ELEVATION
N.T.S.

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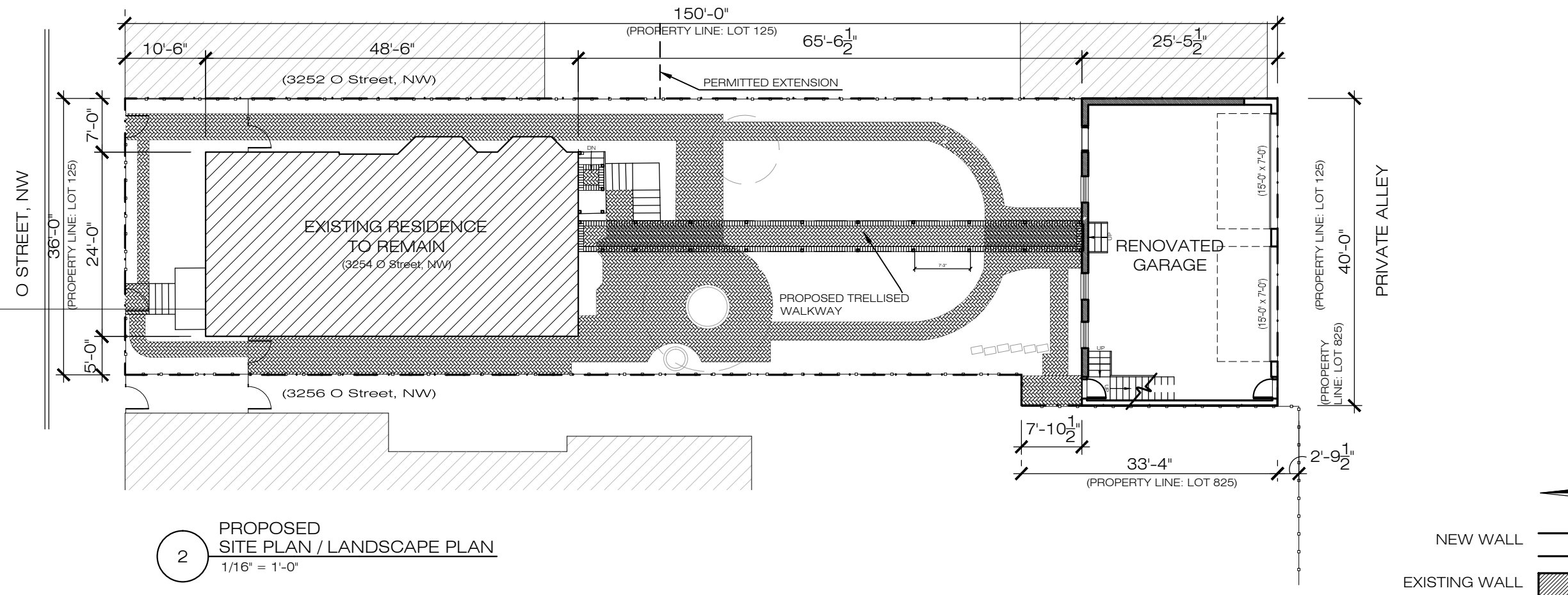
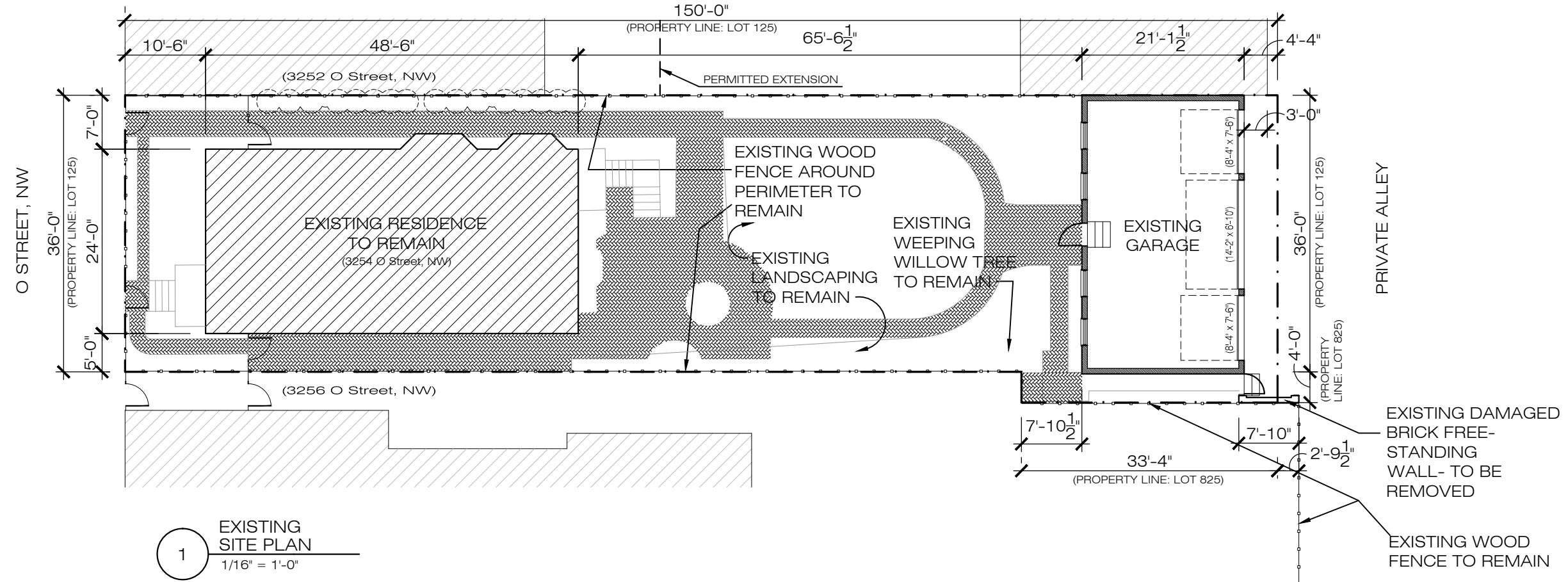
EXISTING
ELEVATIONS
PHOTOGRAPHS

REVISIONS

AS SHOWN

19 JAN 2016

A002
DRAWING NUMBER



NEW WALL
EXISTING WALL

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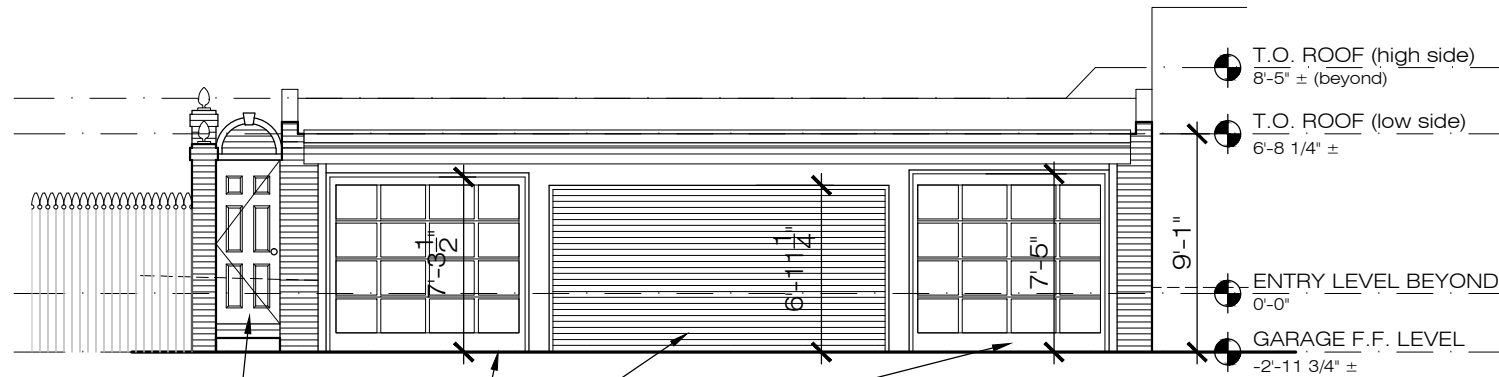
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EXISTING AND
PROPOSED SITE
PLANS &
LANDSCAPE PLAN

AS SHOWN

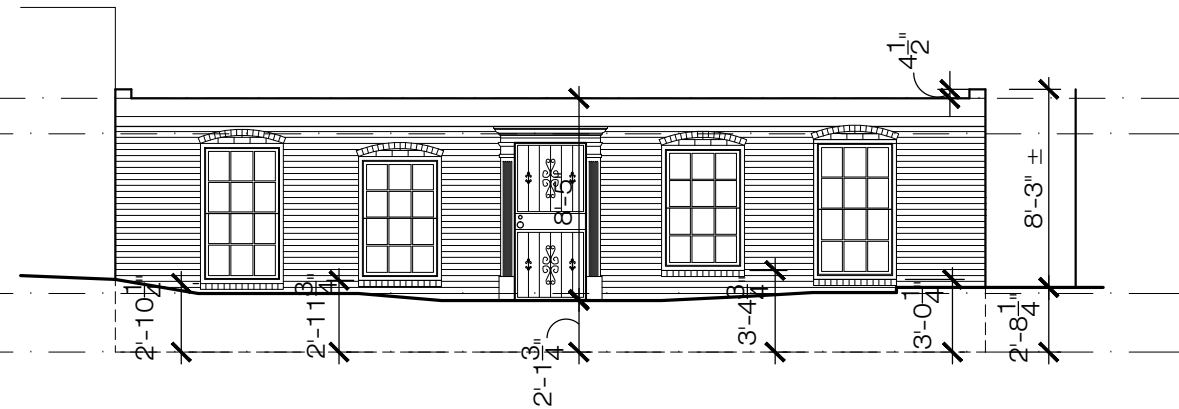
19 JAN 2016

A100

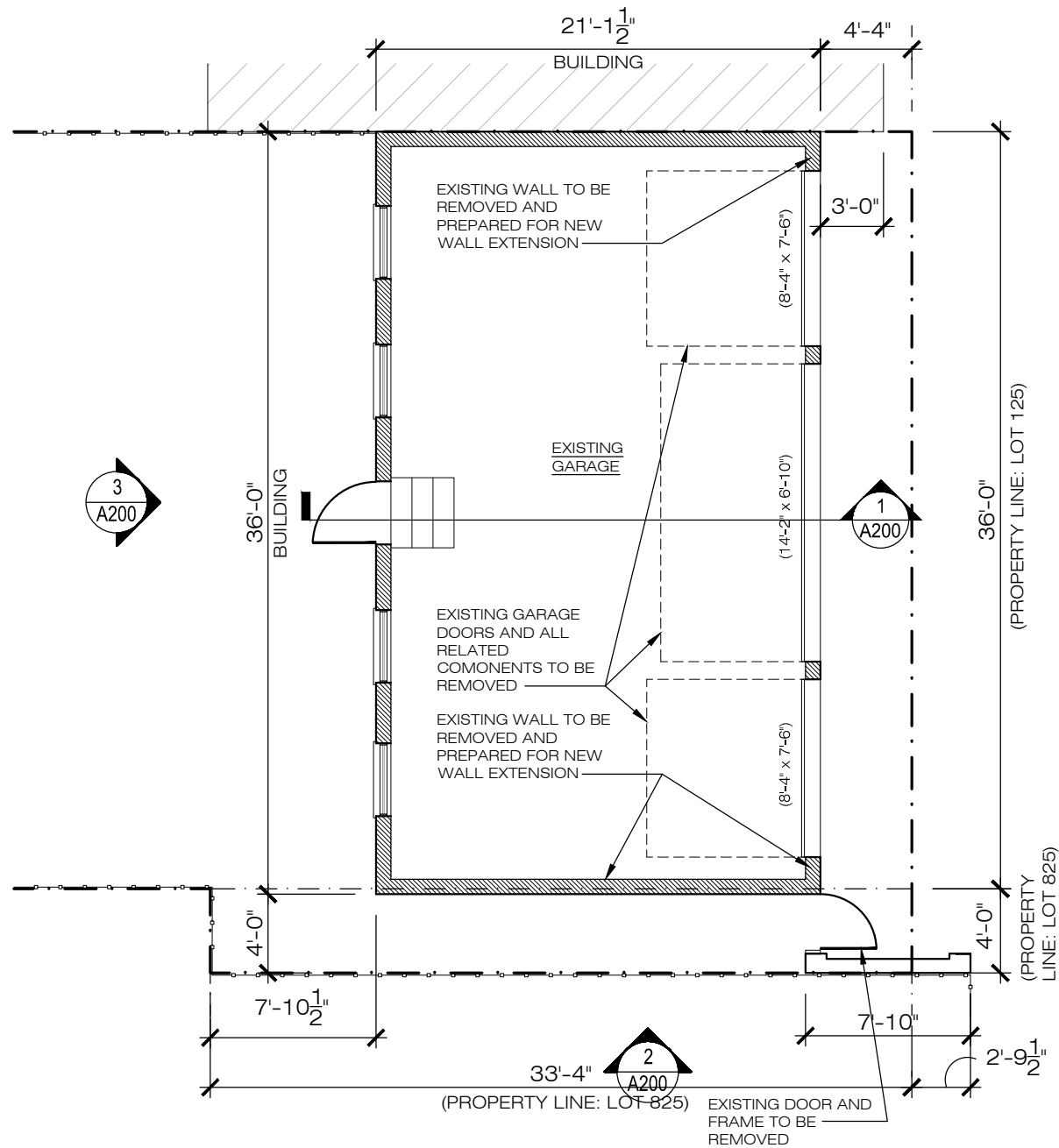


EXISTING GARAGE
DOORS AND ALL
RELATED
COMONENTS TO BE
REMOVED
NOT HISTORIC

4
EXISTING
SOUTH ELEVATION
1/8" = 1'-0"



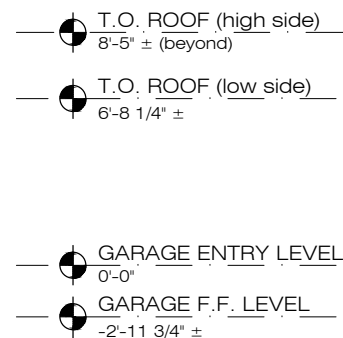
3
EXISTING
NORTH ELEVATION
1/8" = 1'-0"



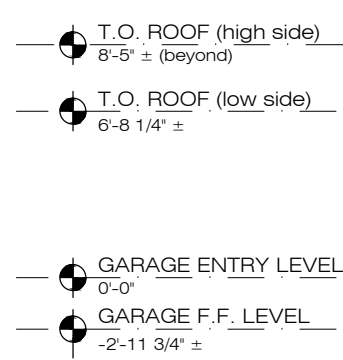
PRIVATE ALLEY

4
A200

5
EXISTING
GARAGE PLAN
1/8" = 1'-0"



2
EXISTING
WEST ELEVATION
1/8" = 1'-0"



1
EXISTING
SECTION
1/8" = 1'-0"

EXISTING WALL AND
GARAGE DOORS TO
BE REMOVED FOR
NEW CONSTRUCTION

NEW WALL

EXISTING WALL

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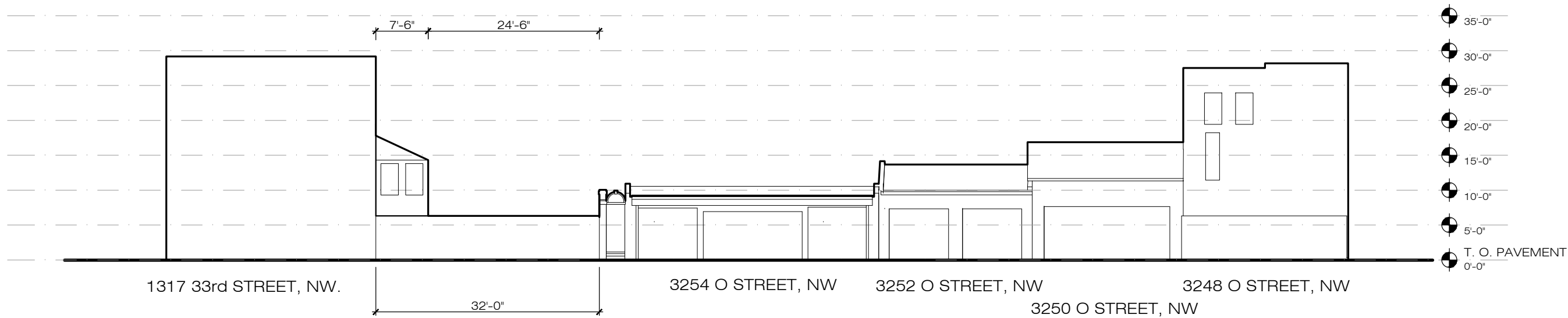
EXISTING GARAGE
PLAN AND
ELEVATIONS -
DEMOLITION
NOTES

REVISIONS

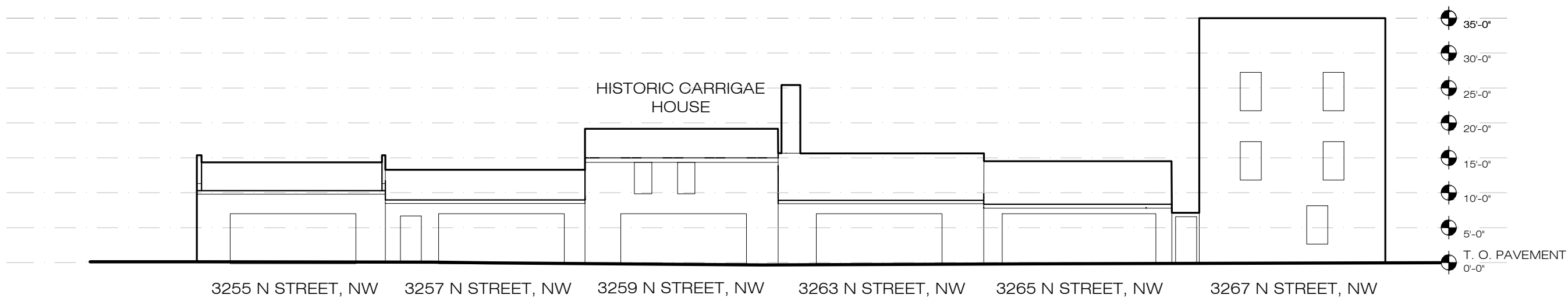
AS SHOWN

19 JAN 2016

A200
DRAWING NUMBER



1
EXISTING PRIVATE ALLEY
SOUTH ELEVATION
1/16" = 1'-0"



2
EXISTING PRIVATE ALLEY
NORTH ELEVATION
1/16" = 1'-0"

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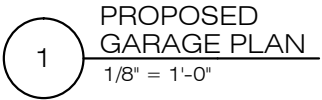
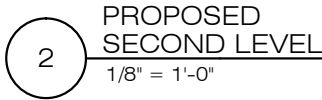
EXISTING PRIVATE
ALLEY
ELEVATIONS

REVISIONS

AS SHOWN

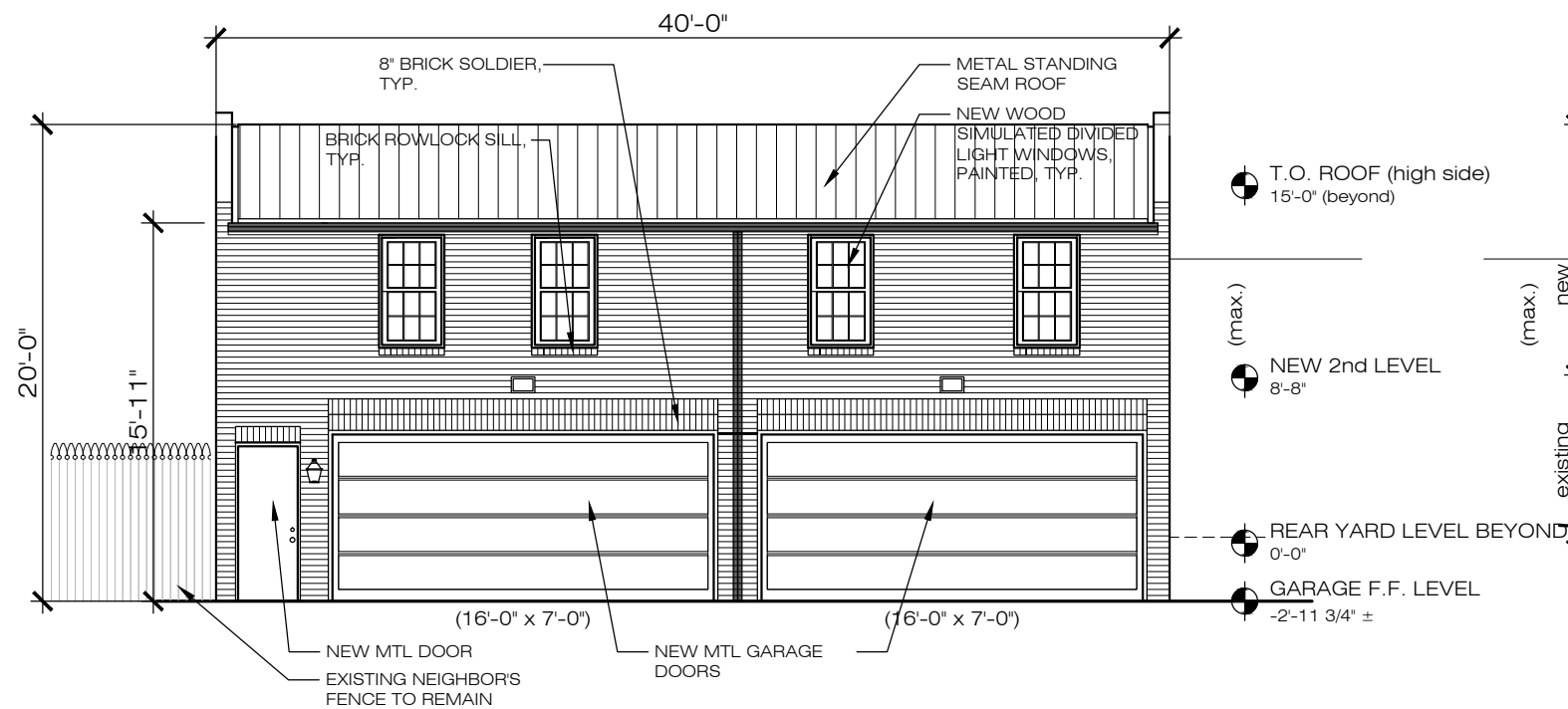
19 JAN 2016

A201

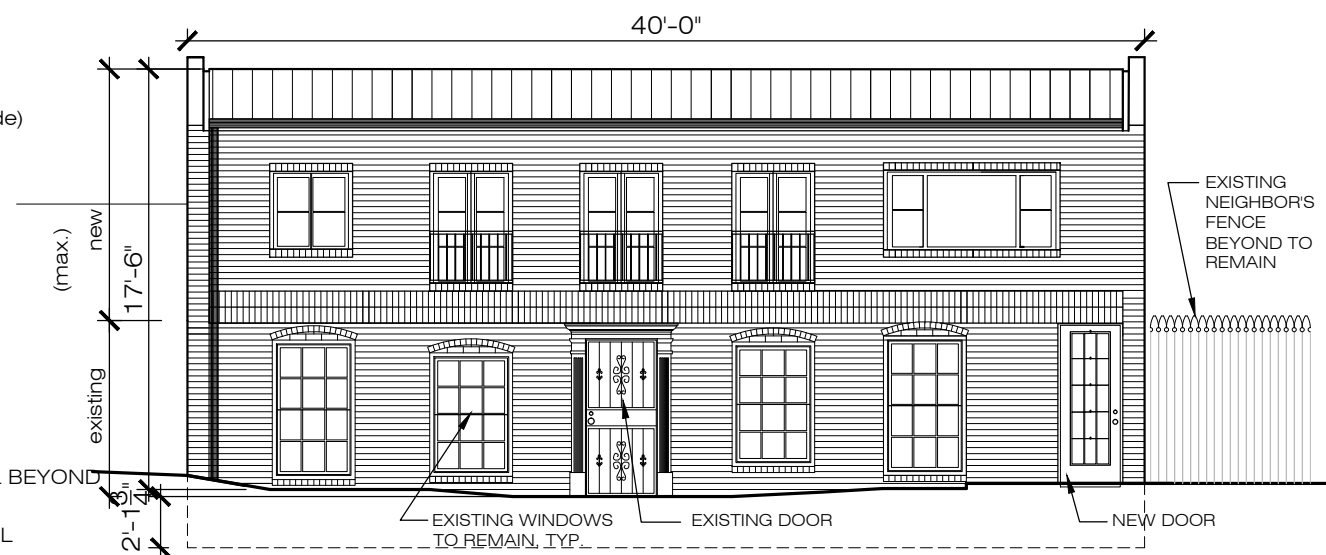


A diagram showing a magnetic needle pointing North (N). The needle is represented by a horizontal line with a circular head on the right. A vertical line passes through the center of the needle. The needle is slightly deflected to the left of the vertical line. A shaded area is shown between the needle and the vertical line, indicating the deflection.

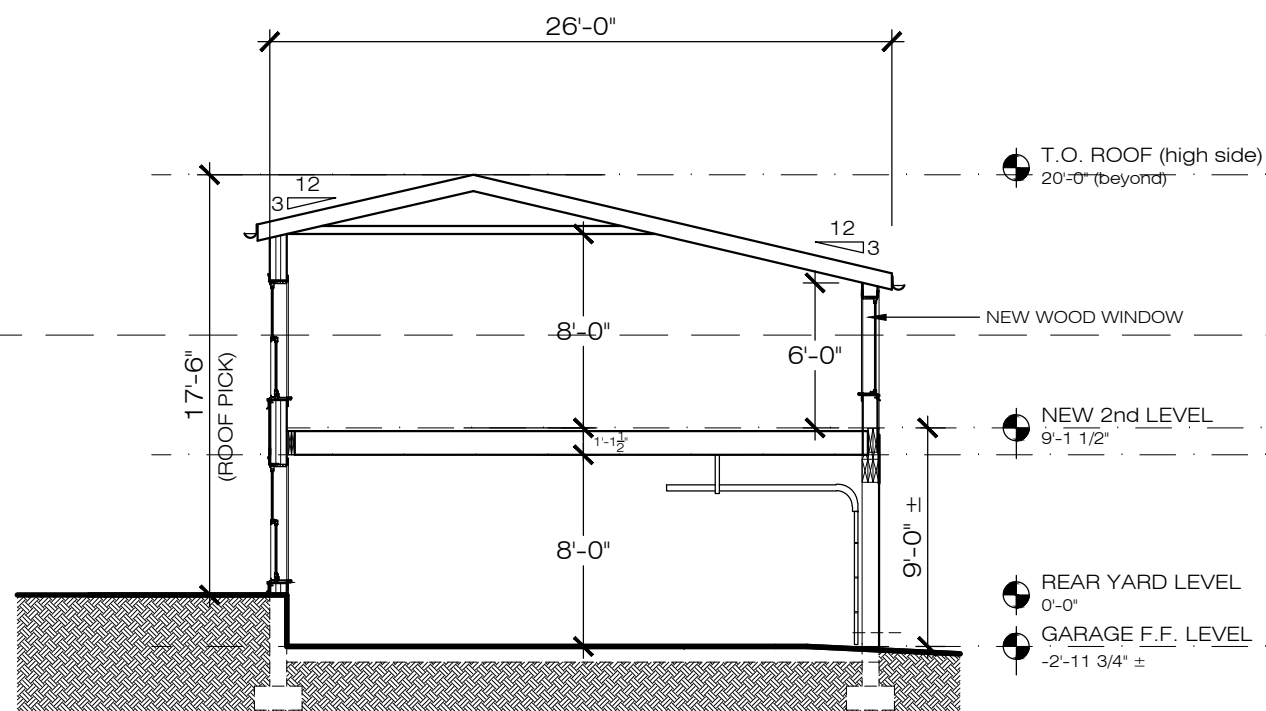
A301



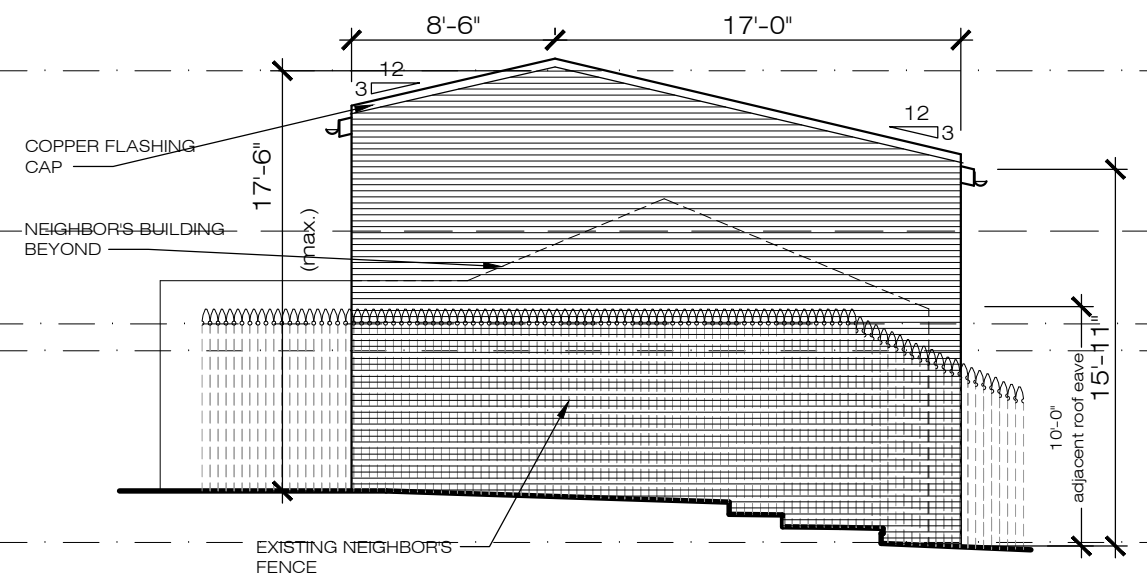
1
PROPOSED
SOUTH ELEVATION
1/8" = 1'-0"



2
PROPOSED
NORTH ELEVATION
1/8" = 1'-0"

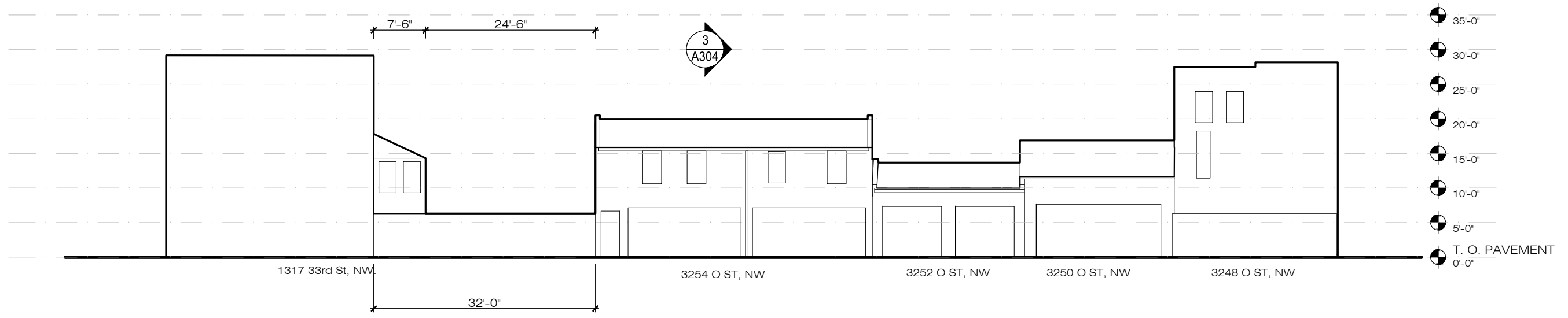


3
PROPOSED
SECTION
1/8" = 1'-0"

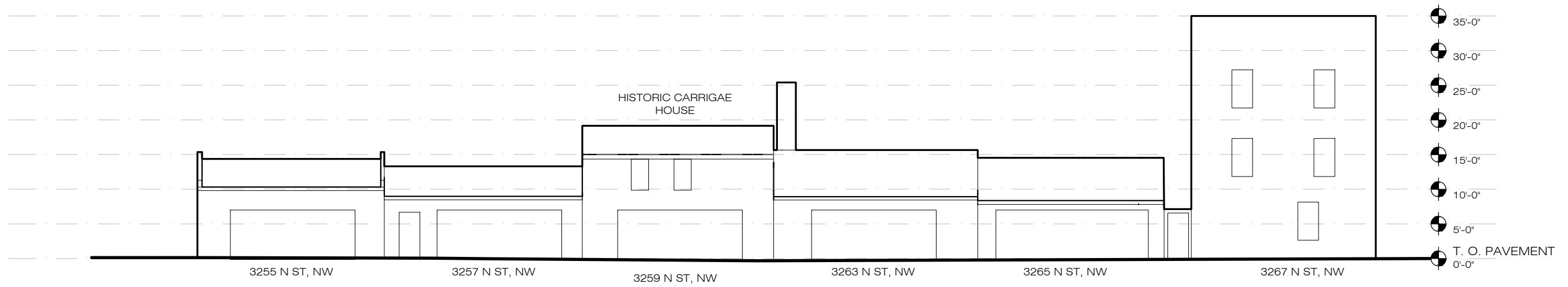


4
PROPOSED
WEST ELEVATION
1/8" = 1'-0"

NEW WALL
EXISTING WALL



1
PROPOSED PRIVATE ALLEY
SOUTH ELEVATION
1/16" = 1'-0"



2
PROPOSED PRIVATE ALLEY
NORTH ELEVATION
1/16" = 1'-0"

NEW WALL
EXISTING WALL

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PROPOSED
PRIVATE ALLEY
ELEVATIONS

REVISIONS

AS SHOWN

19 JAN 2016

A306