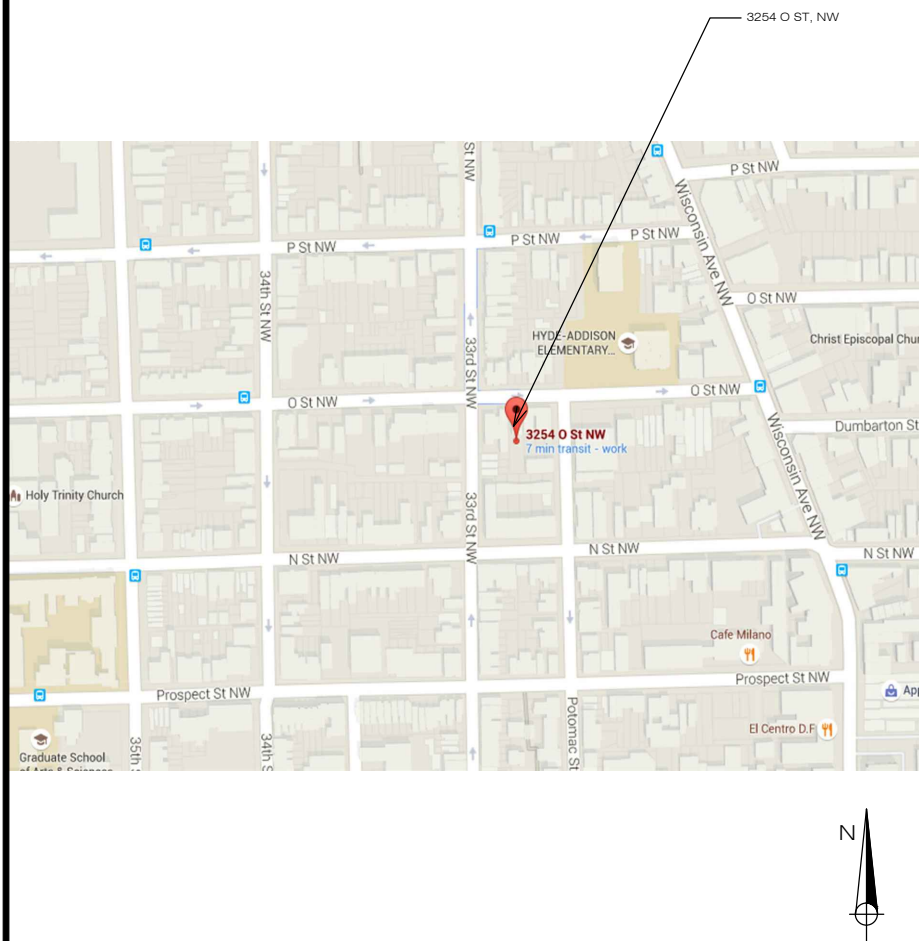


TAB C

3254 O STREET, NW
WASHINGTON, DC 20007

LOT: 125 SQUARE: 1230

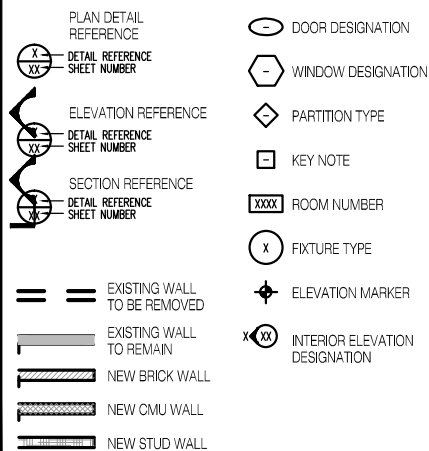
LOCATION



VICINITY MAP



SYMBOLS



ABBREVIATIONS

AF	ABOVE FINISH FLOOR	MAT	MATERIAL
AA	ALL AROUND		MAXIMUM
ACCU	ACOUSTICAL		MILLWORK CONTRACTOR
ACT	ACTUAL CEILING TILE		MEDIUM DENSITY FIBERBOARD
ADJ			MEDIUM DENSITY OVERLAY
ALUM			MECHANICAL
AND			MINIMUM
BD			MISCELLANEOUS
BLKG	BLOCKING		MOLDING
BS	BOTH SIDES		MASONRY OPENING
CL	CENTER LINE		MOUNTED
<	CEILING		METAL
CMU	CONCRETE MASONRY UNIT		ON CENTER
CONT	CONTINUOUS		OPPOSITE
DIA	DIAMETER		PLYWOOD
DIM	DIMENSION		PLATE
DN	DOWN		POLISHED
DOUG	DOUGLAS	PTD	PAINTED
DTL	DETAIL	RCP	REFLECTED CEILING PLAN
DWG	DRAWING	ROUND	ROUND
ELEC	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION	SC	SOLID CORE
EQ	EQUAL	SM	SIMILAR
EQUIP	EQUIPMENT	SHT	SHEET
EXST.	EXISTING	STNO	STAINED
FLR	FINISH FLOOR	STL	STEEL
FLR	FUTURE FLOOR	STP	STORAGE
FLR	FLOOR	TEL	TELEPHONE
FLU	FLOOR	TYT	TYPICAL
FLUOR	FLUORESCENT	UNE	TO MATCH EXISTING
GC	GENERAL FAULT INTERRUPTER	UO	UNLESS OTHERWISE NOTED
GC	GENERAL CONTRACTOR	VCT	VINYL COMPOSITION TILE
GL	GLAZING	VERT	VERTICAL
GYP	GYPSPUM	VEN	VENEER
GWB	GYPSPUM WALL BOARD	VERF	VERIFY IN FIELD
HWR	HARDWARE	VW	VINYL WALL COVERING
HM	HOLLOW METAL	W/	WITH

DRAWING INDEX

ARCHITECTURAL

A000	COVER
A001	SITE VISUAL LINES FROM PUBLIC R / W
A002	EXISTING ELEVATIONS PHOTOGRAPHS
A003	EXISTING PRIVATE ALLEY ELEVATIONS
A100	EXISTING AND PROPOSED SITE PLANS
A200	EXISTING GARAGE FLOOR PLAN AND ELEVATIONS
A201	EXISTING PRIVATE ALLEY ELEVATIONS
A301	PROPOSED GARAGE FLOOR PLANS
A304	PROPOSED GARAGE ELEVATIONS & SECTION
A305	WALKWAY PLAN AND SECTIONS
A306	PROPOSED PRIVATE ALLEY ELEVATIONS
A307	PRIVATE ALLEY MASSING PROFILES

GENERAL NOTES / ZONING CODE ANALYSIS

ZONING DISTRICT	R-3	TOTAL LOT AREA 5533 SF
-----------------	-----	------------------------

TOTAL LOT WIDTH 40'-0"

LOT	125
-----	-----

SQUARE	1230
--------	------

REQUIREMENT	EXISTING	ALLOWABLE/ REQUIRED	PROPOSED
LOT OCCUPANCY	35.3% (1957 SF)	60% (3319 SF)	43.5% (2411 SF)
HEIGHT	8'-5" (from backyard) GARAGE	----	17'-6" GARAGE W/ ADDITION
FAR		N/A	
SIDEYARD SETBACK	4'-0"	NOT REQUIRED	0'-0"
REAR YARD SETBACK	91'-0"	20'-0"	0'-0"
FRONT YARD	10'-6"	-----	10'-6"
PARKING	4	1	4
COVERING CODES		IRC 2012 - DCMR 2013	

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COVER

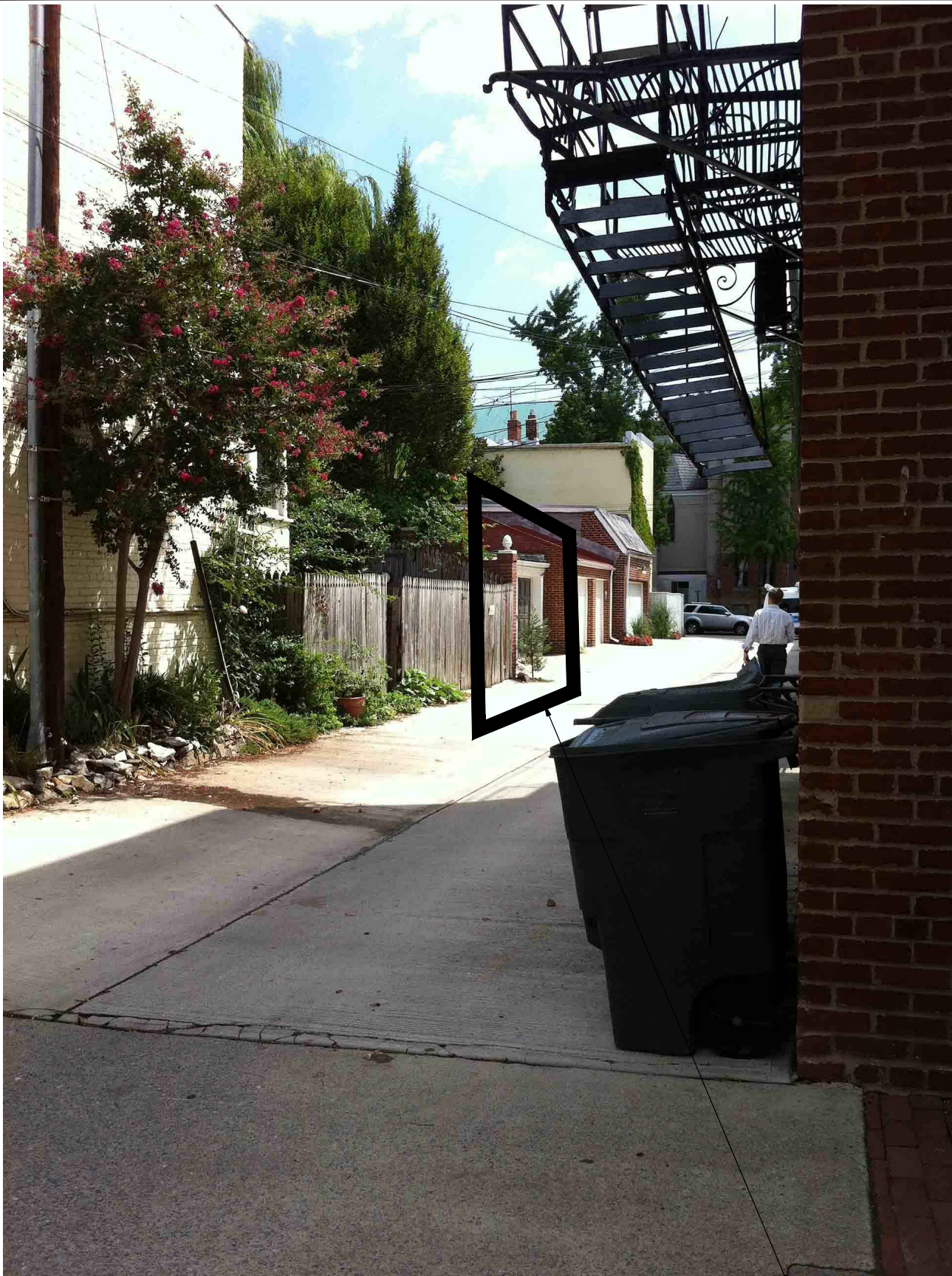
AS SHOWN

9 JAN 2016

000

1

T



2 VIEW FROM
33rd STREET, NW
N.T.S.

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1 VIEW FROM
POTOMAC STREET, NW
N.T.S.

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SITE VISUAL LINES
FROM PUBLIC
R / W

REVISIONS

AS SHOWN

19 JAN 2016

A001

DRAWING NUMBER



2 EXISTING
NORTH ELEVATION
N.T.S.



1 EXISTING
SOUTH ELEVATION
N.T.S.

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EXISTING
ELEVATIONS
PHOTOGRAPHS

REVISIONS

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A002
DRAWING NUMBER



3258 O STREET, NW
BEYOND

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3252 O STREET, NW

3250 O STREET, NW

3248 O STREET, NW

1

EXISTING PRIVATE ALLEY
SOUTH ELEVATION
N.T.S.



3255 N STREET, NW

3257 N STREET, NW

3259 N STREET, NW

3263 N STREET, NW

3265 N STREET, NW

3267 N STREET, NW

2

EXISTING PRIVATE ALLEY
NORTH ELEVATION
N.T.S.

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EXISTING PRIVATE
ALLEY
ELEVATIONS

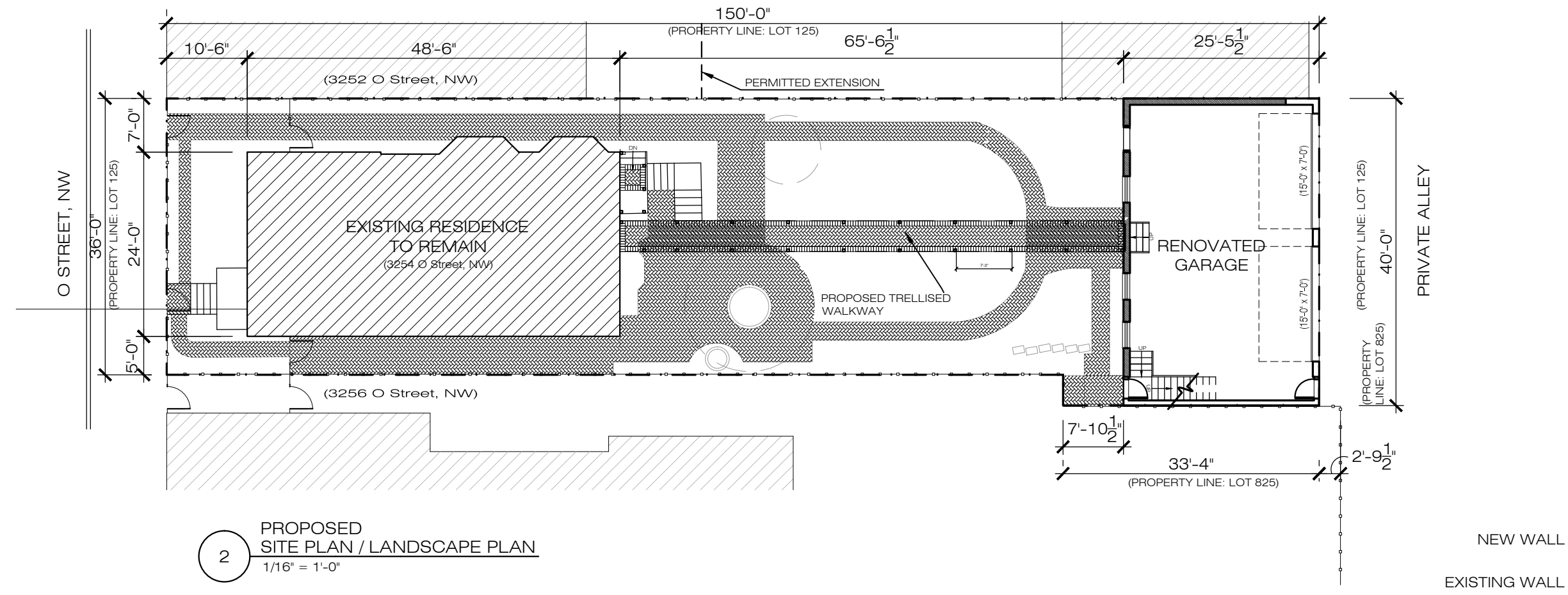
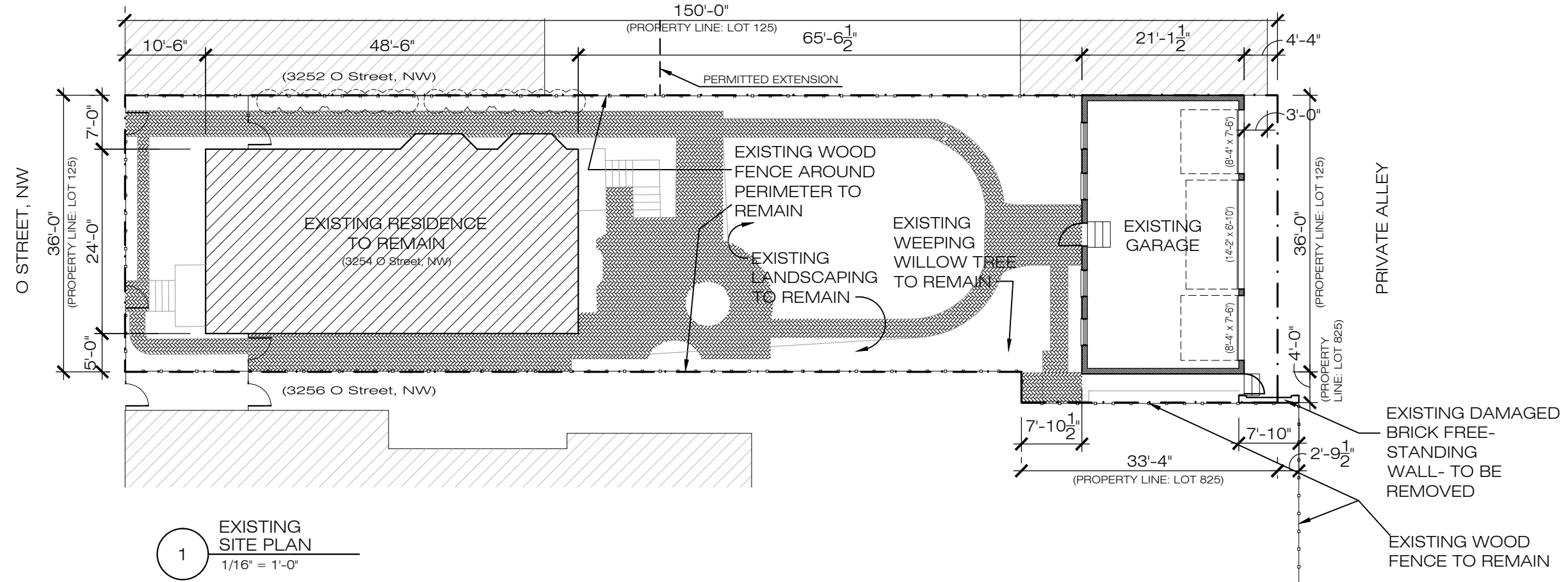
REVISIONS

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A003

DRAWING NUMBER



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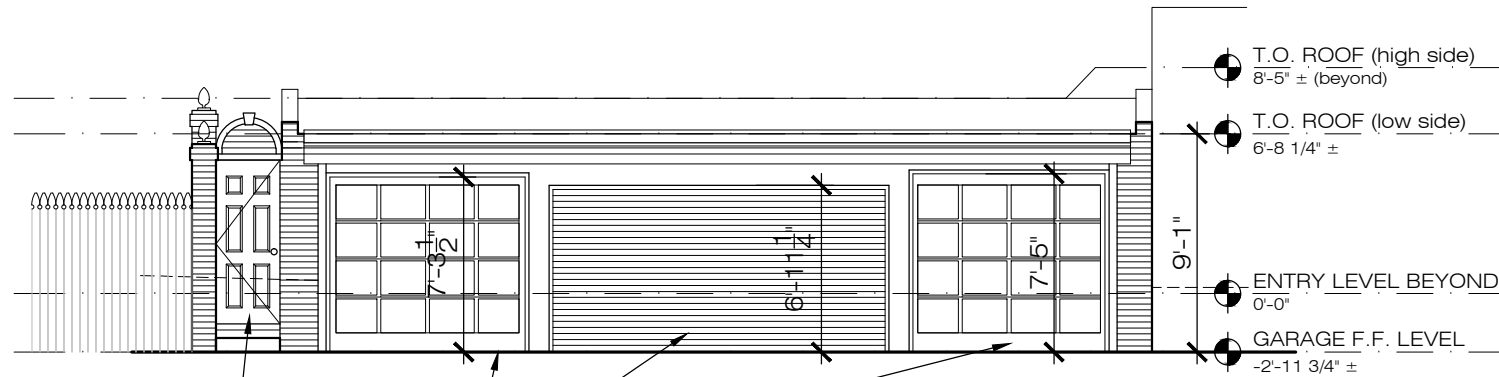
EXISTING AND
PROPOSED SITE
PLANS &
LANDSCAPE PLAN

REVISIONS

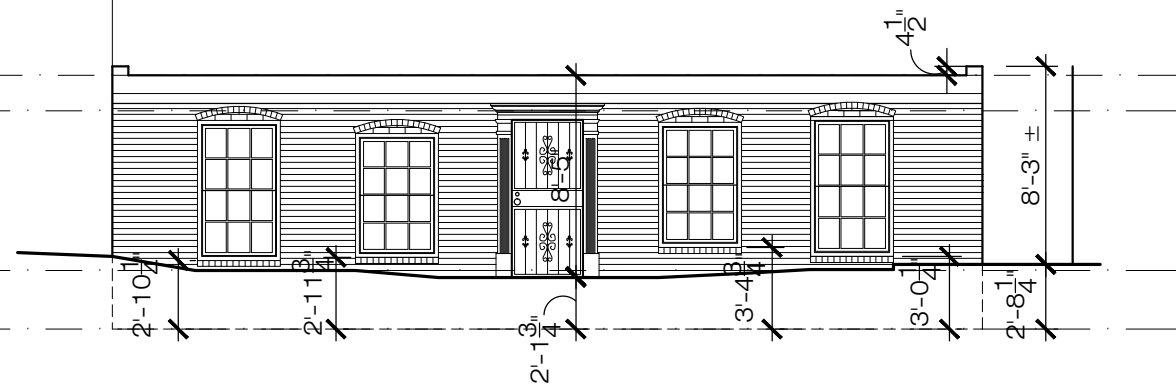
AS SHOWN

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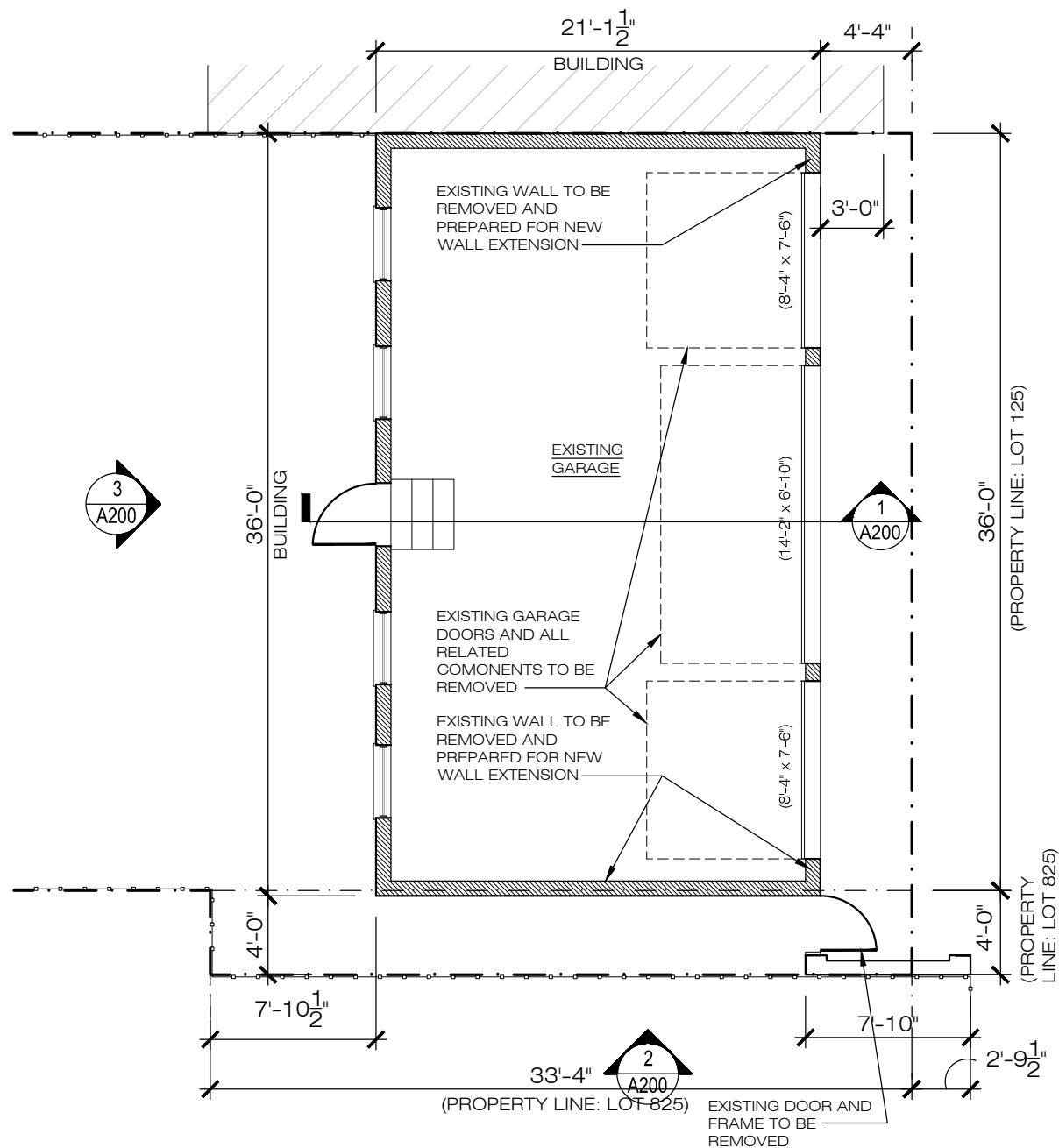
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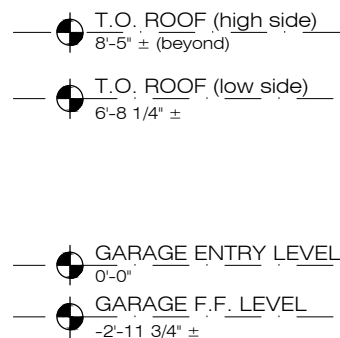
4
EXISTING SOUTH ELEVATION
1/8" = 1'-0"



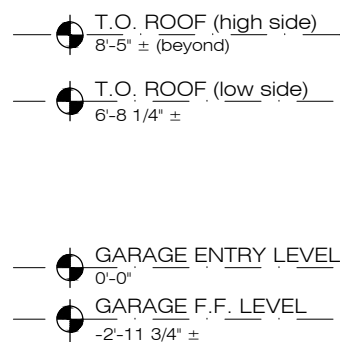
3
EXISTING NORTH ELEVATION
1/8" = 1'-0"



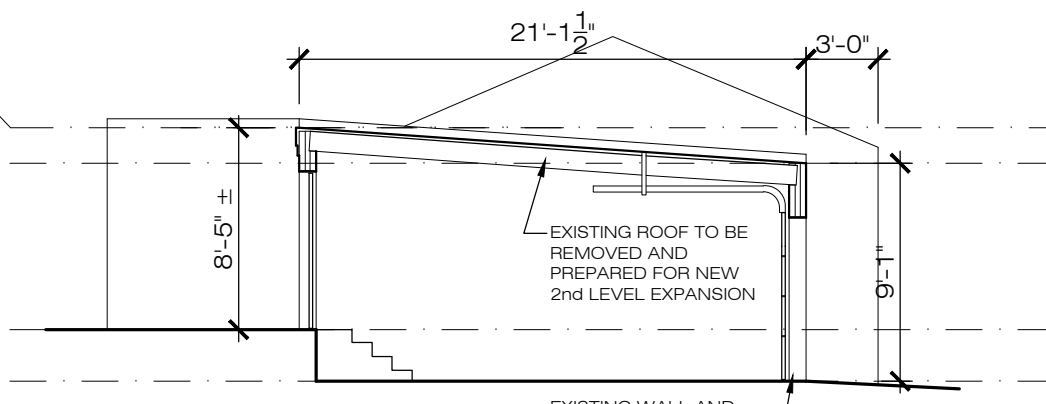
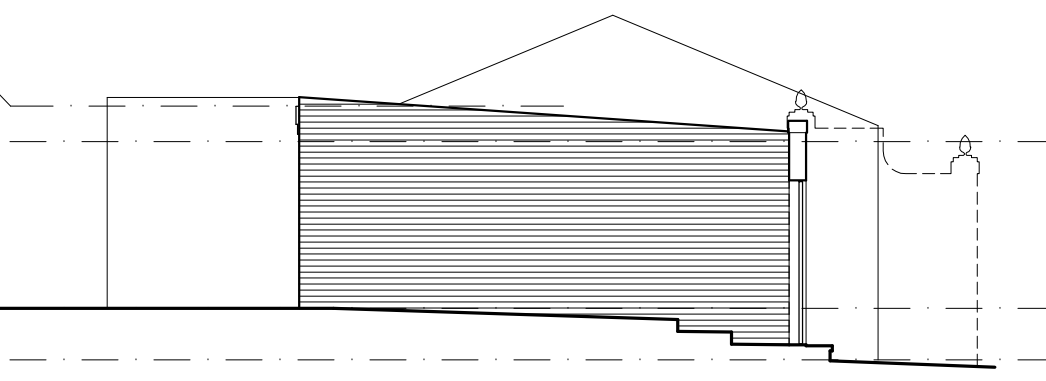
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EXISTING GARAGE PLAN
1/8" = 1'-0"



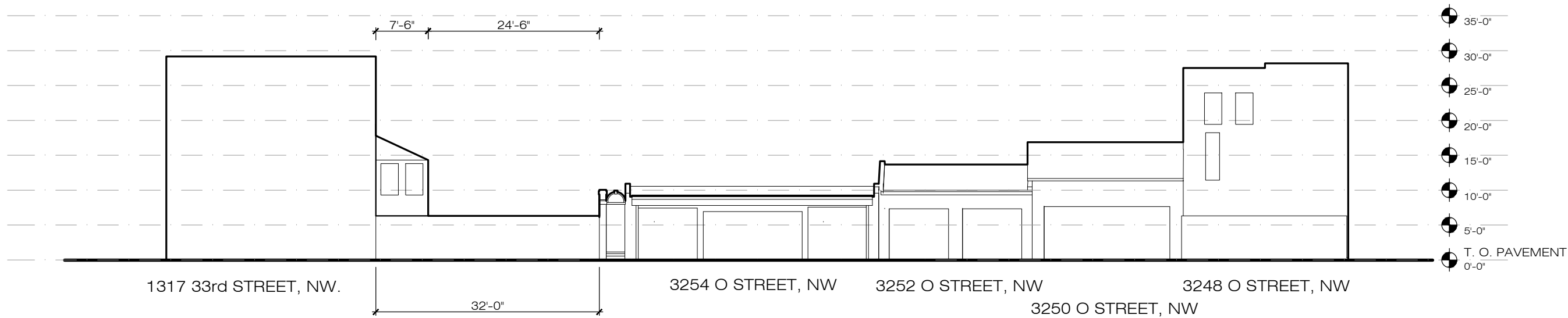
2
EXISTING WEST ELEVATION
1/8" = 1'-0"



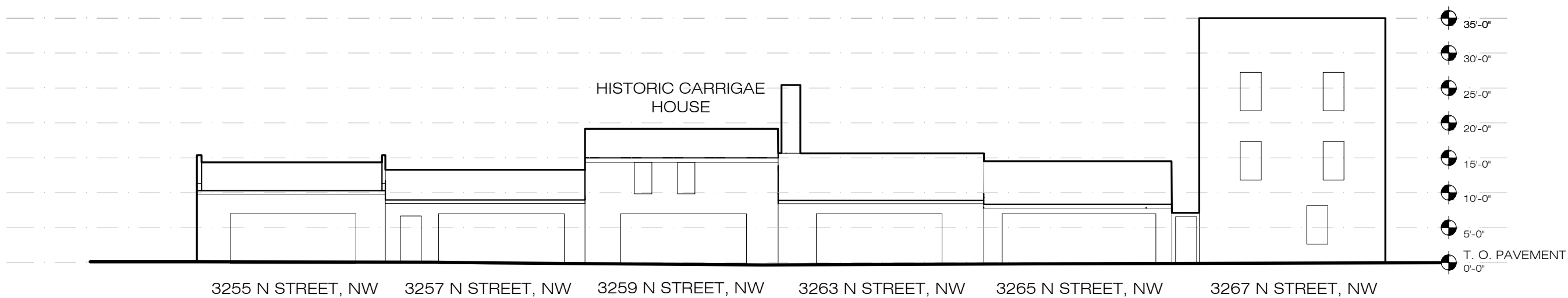
1
EXISTING SECTION
1/8" = 1'-0"



EXISTING WALL AND GARAGE DOORS TO BE REMOVED FOR NEW CONSTRUCTION
NEW WALL
EXISTING WALL



1
EXISTING PRIVATE ALLEY
SOUTH ELEVATION
1/16" = 1'-0"



2
EXISTING PRIVATE ALLEY
NORTH ELEVATION
1/16" = 1'-0"

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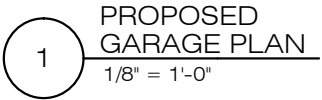
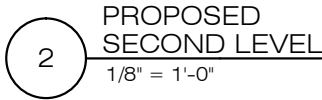
EXISTING PRIVATE
ALLEY
ELEVATIONS

REVISIONS

AS SHOWN

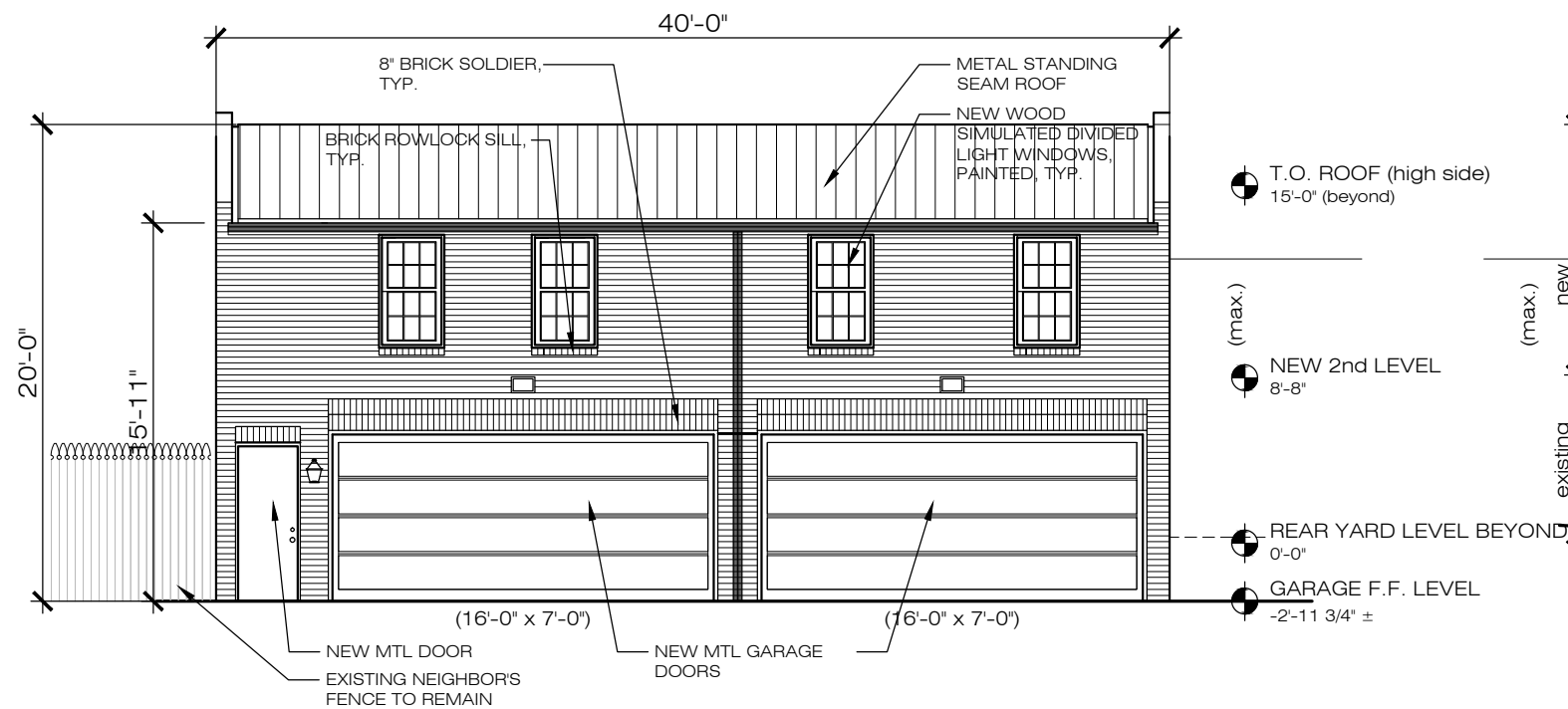
19 JAN 2016

A201

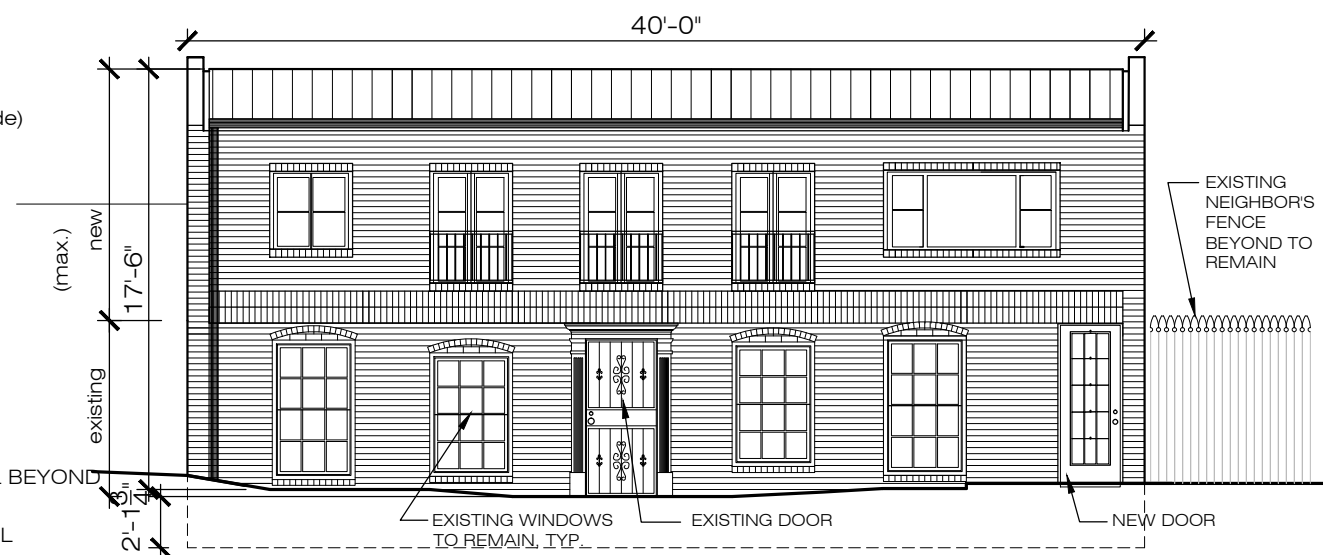


A diagram showing a magnetic needle pointing North (N). The needle is represented by a horizontal line with a circular head on the right. The head is shaded black. A vertical line passes through the center of the head, with 'N' above it. A small shaded area is shown between the needle's tip and a vertical line, indicating a deflection or error.

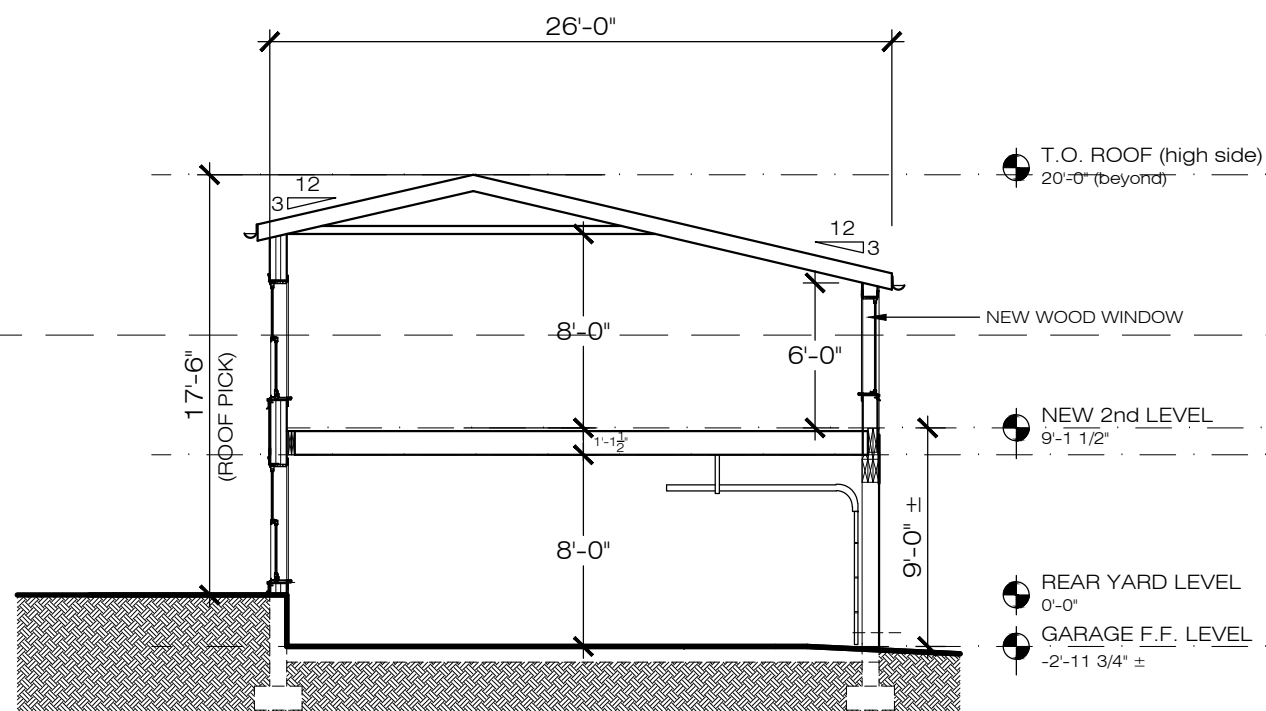
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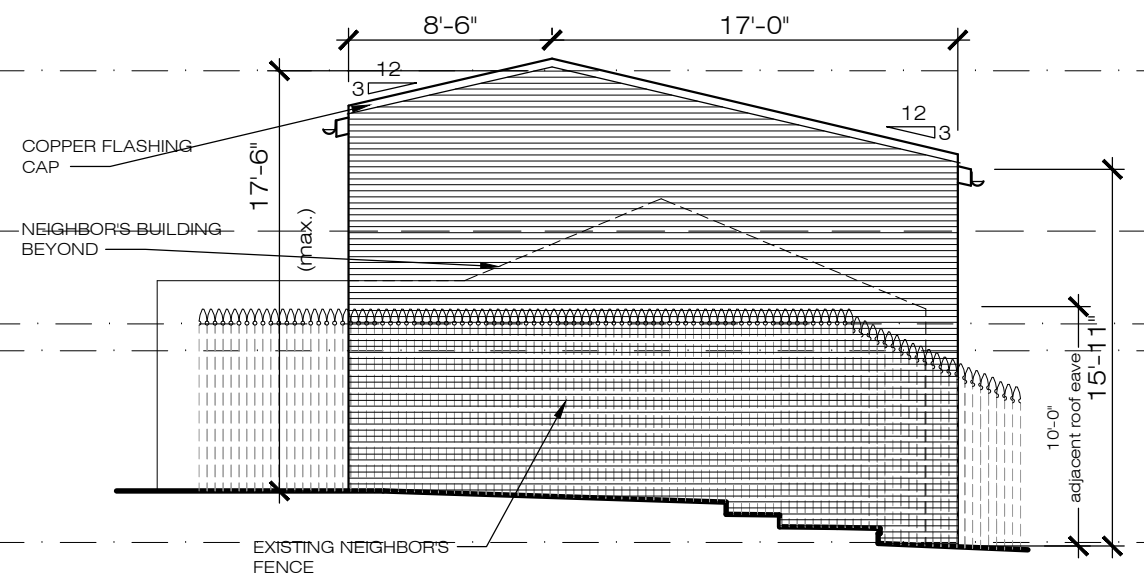
1
PROPOSED
SOUTH ELEVATION
1/8" = 1'-0"



2
PROPOSED
NORTH ELEVATION
1/8" = 1'-0"



3
PROPOSED
SECTION
1/8" = 1'-0"



4
PROPOSED
WEST ELEVATION
1/8" = 1'-0"

NEW WALL
EXISTING WALL

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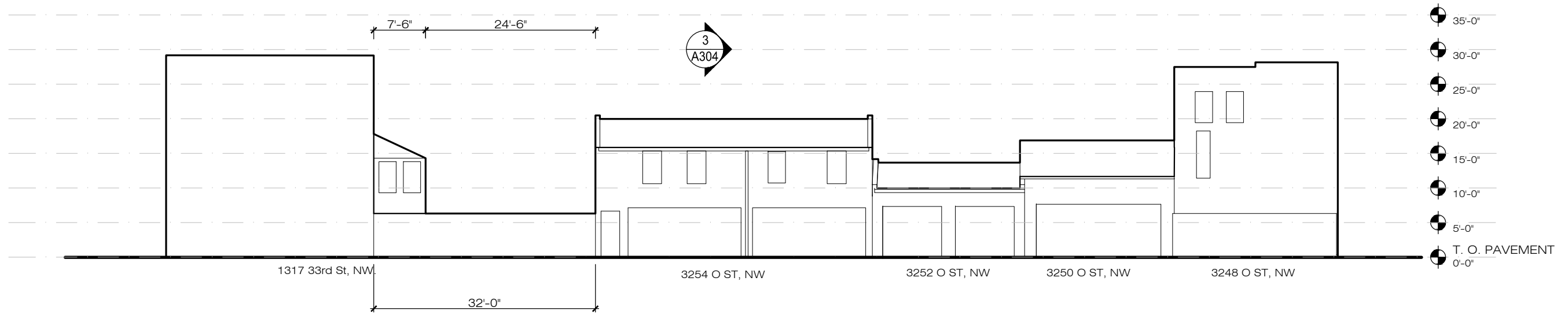
PROPOSED
GARAGE
ELEVATIONS
& SECTION

AS SHOWN

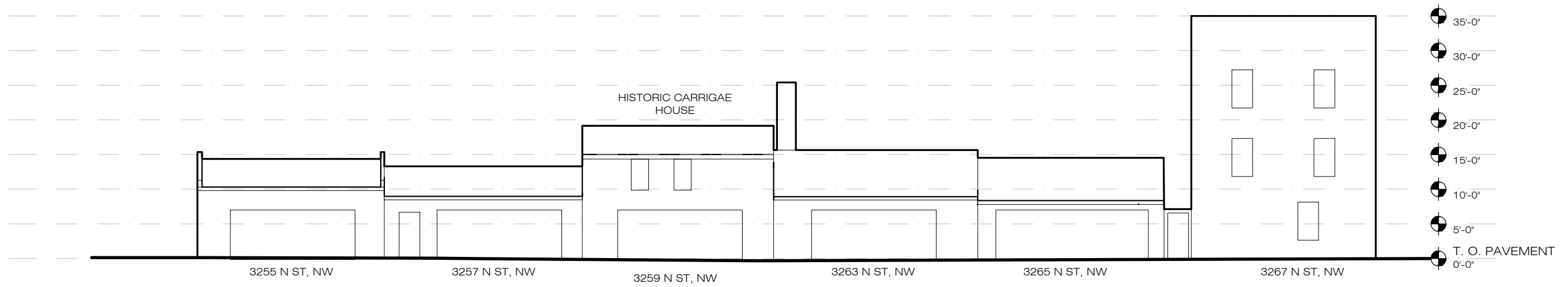
19 JAN 2016

A304

DRAWING NUMBER



1
PROPOSED PRIVATE ALLEY
SOUTH ELEVATION
1/16" = 1'-0"



2
PROPOSED PRIVATE ALLEY
NORTH ELEVATION
1/16" = 1'-0"

NEW WALL
EXISTING WALL

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PROPOSED
PRIVATE ALLEY
ELEVATIONS

REVISIONS

AS SHOWN

19 JAN 2016

A306