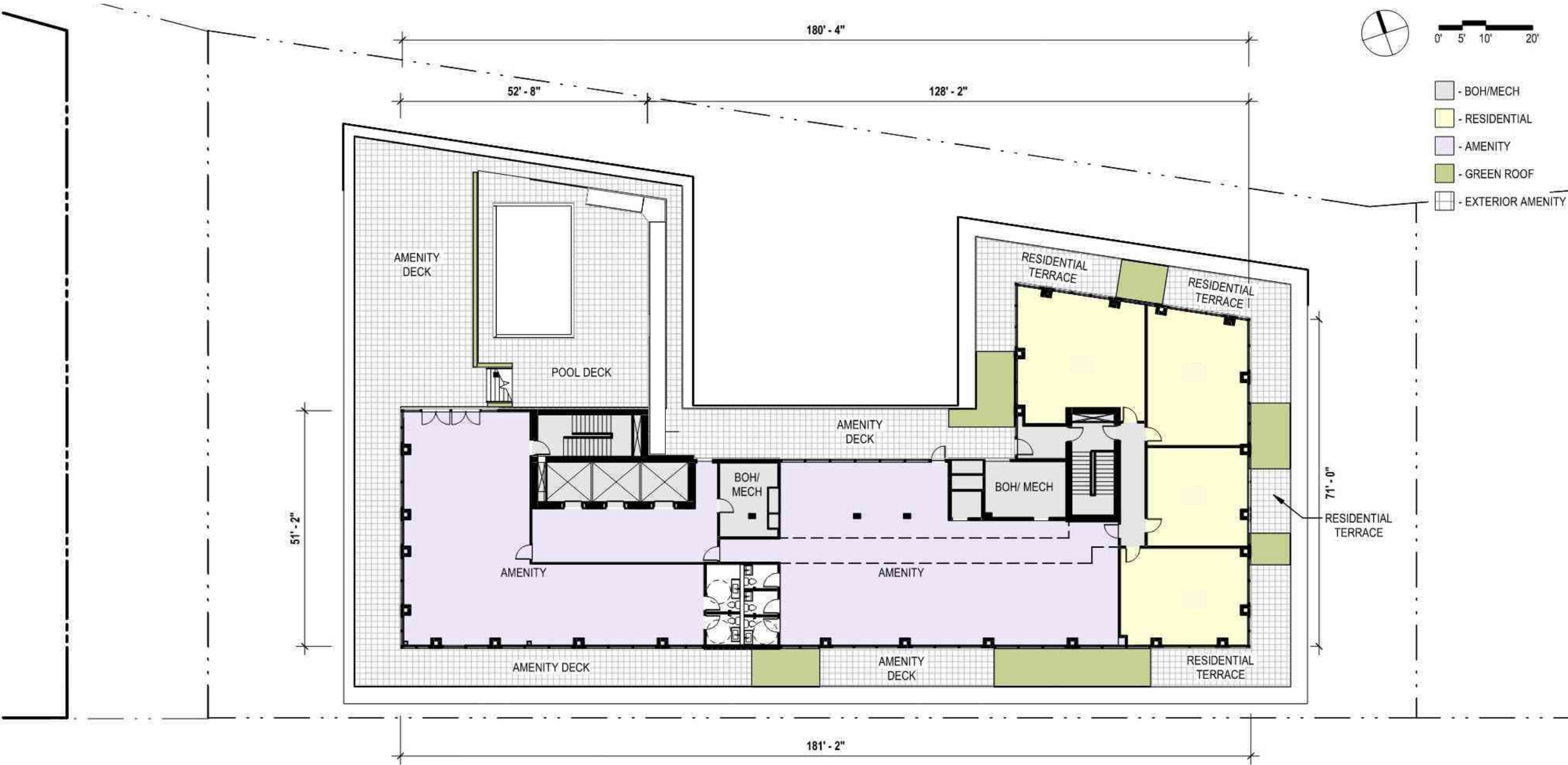


LANDSCAPE | LEVEL 02 | L0.05

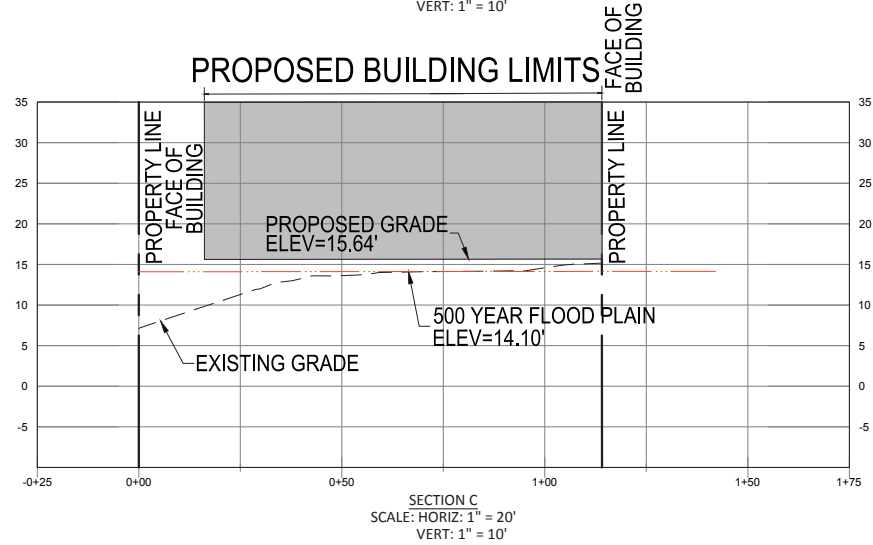
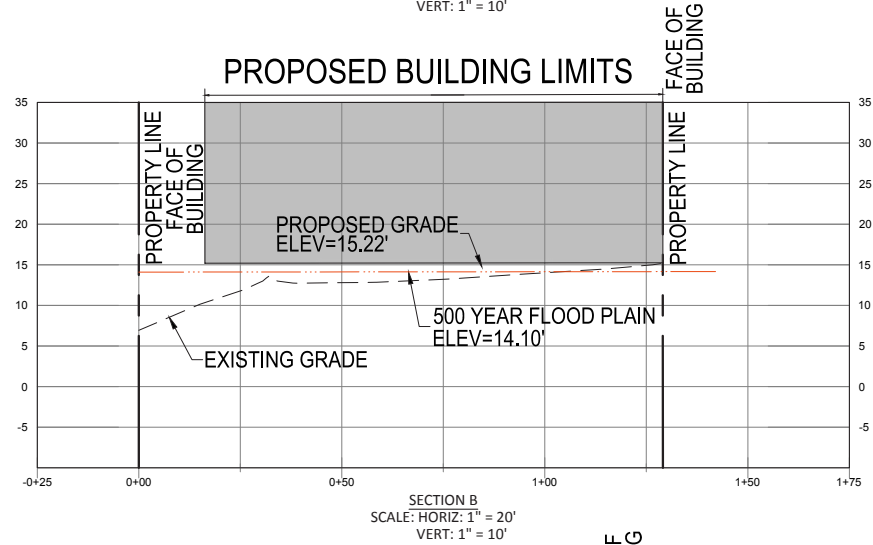
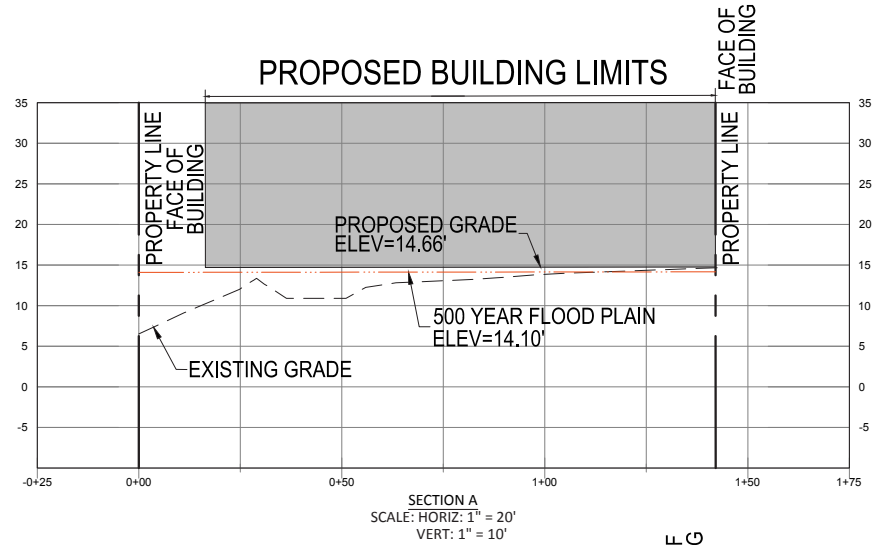


LANDSCAPE | PENTHOUSE | L0.06

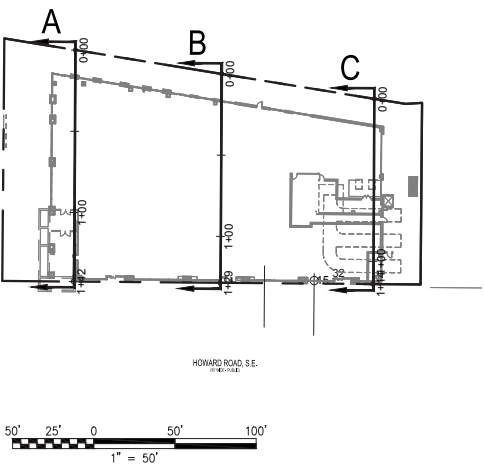


CIVIL

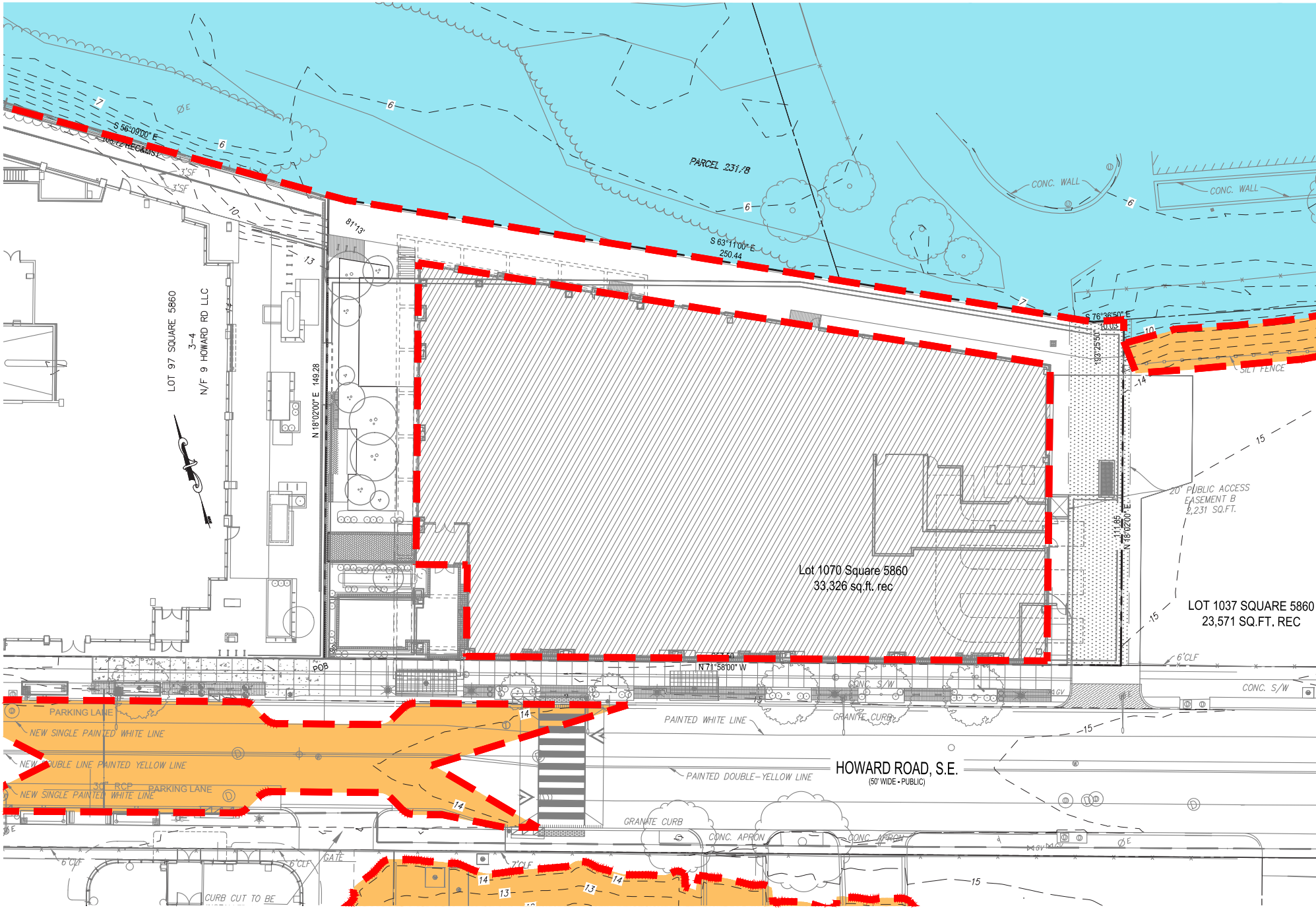
CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.00







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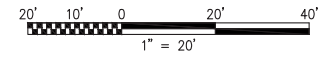


CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.01

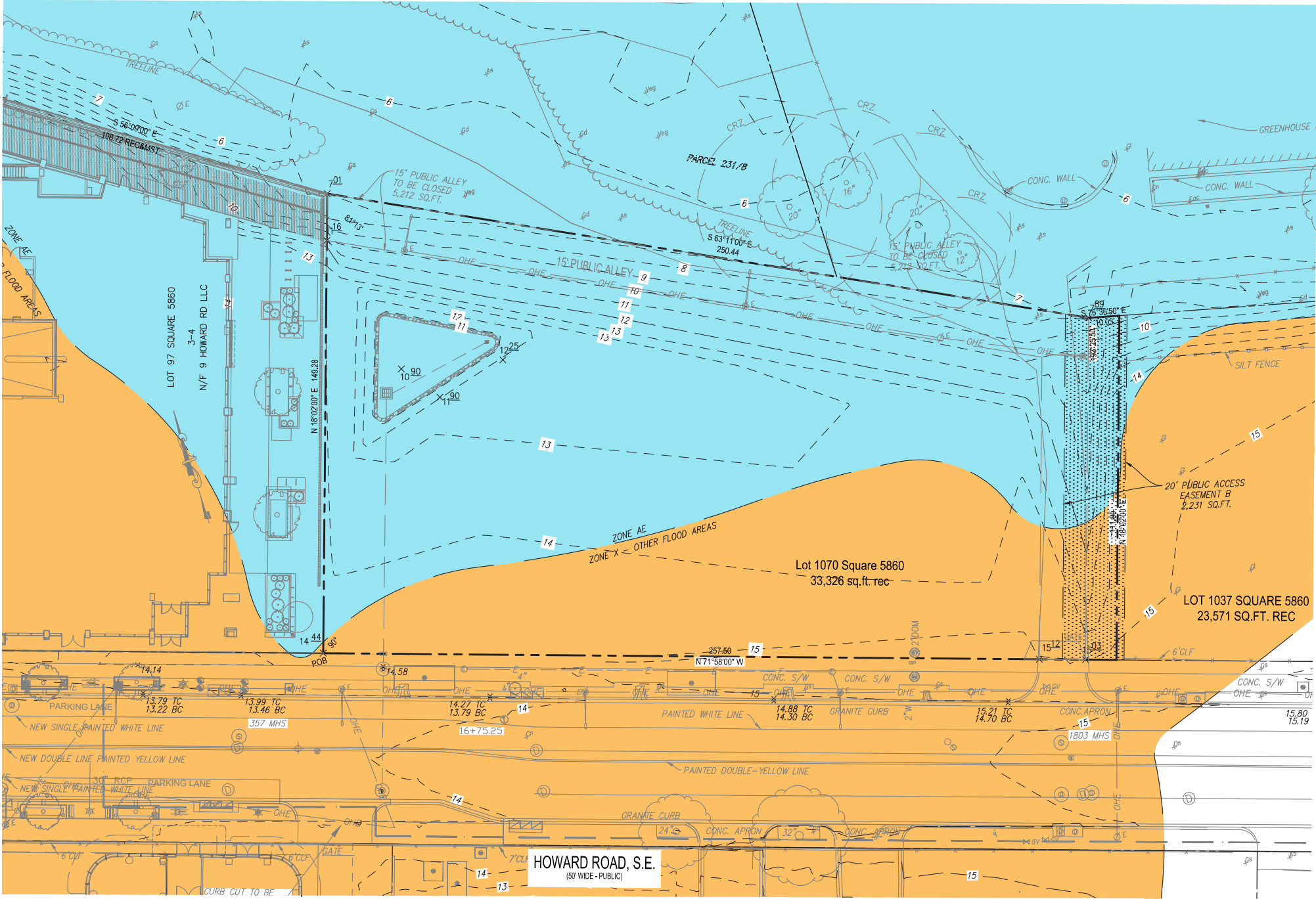


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	100-YEAR FLOODPLAIN (FLOOD ELEV=10.55')
	ZONE X: 500-YEAR FLOODPLAIN (FLOOD ELEV=14.10')
	SELECTED FLOOD MAP BOUNDARY
	PORTION OF BUILDING WITHIN 100-YR AND 500-YEAR FLOODPLAIN BUT ABOVE FLOOD ELEVATION



CIVIL | EXISTING CONDITIONS FLOOD PLAN | C0.02



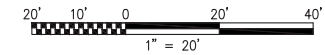
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8.78 x EXISTING SPOT ELEVATION

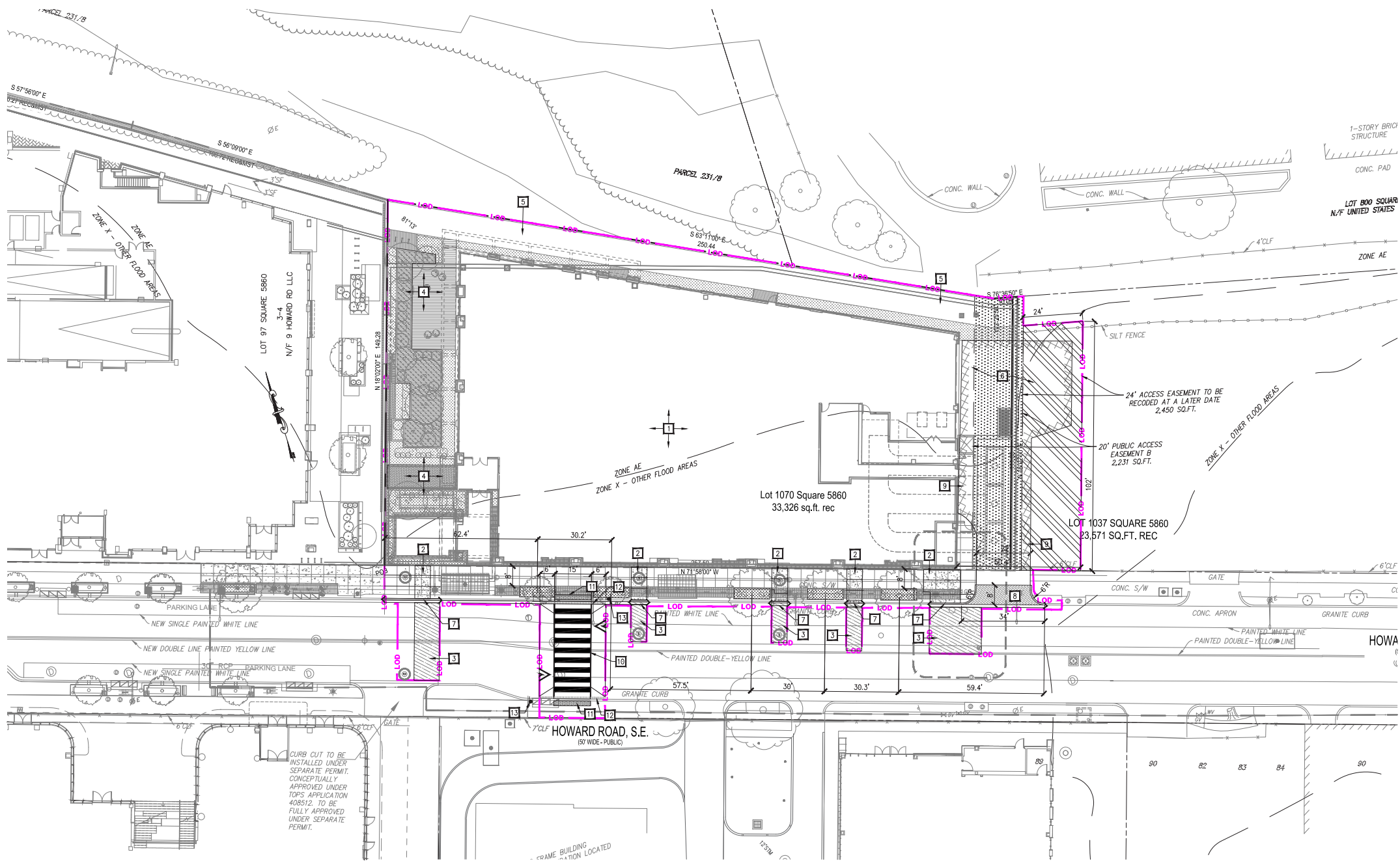
100-YEAR FLOODPLAIN (FLOOD ELEV=10.55')

ZONE X: 500-YEAR FLOODPLAIN (FLOOD ELEV=14.10')

15- EXISTING TOPO LINES



CIVIL | SITE PLAN | C0.03



PAVEMENT LEGEND:

NEW ASPHALT PAVEMENT (FULL DEPTH)	
NEW ASPHALT PAVEMENT (SURFACE COURSE)	
NEW CONCRETE PAVEMENT	
NEW CONCRETE SIDEWALK	
SITE KEY-NOTE	1

NOTES:

- STREETSCAPE DETAILS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. THE FINAL DETAILS OF THE STREETSCAPE IMPROVEMENTS WILL BE SELECTED DURING DETAILED DESIGN PHASES OF WORK AND CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS.
- PLANT SPECIES SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN INTENT ONLY. THE PURPOSE IS TO GENERALLY DEFINE PLANT SIZE, CHARACTER, AND LOCATIONS. REFINEMENTS TO THE PLANTING DESIGN AND FINAL SELECTION OF ALL PLANT MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.
- INTERIOR LAYOUTS ARE ILLUSTRATIVE ONLY AND SUBJECT TO CHANGE ON FINAL PLAN.
- DC/DDOT MAY REQUIRE NEW ASPHALT SURFACE COURSE TO CENTERLINE OF THE STREET PER DC/DDOT INSPECTOR RECOMMENDATIONS. CONTRACTOR TO COORDINATE LIMITS OF NEW ASPHALT SURFACE COURSE WITH INSPECTOR.
- ALL NEW DEVELOPMENT AND CONSTRUCTION ON ADJACENT PROPERTIES TO BE COMPLETED BY OTHERS AND IS NOT CONSIDERED PART OF THE PROJECT.

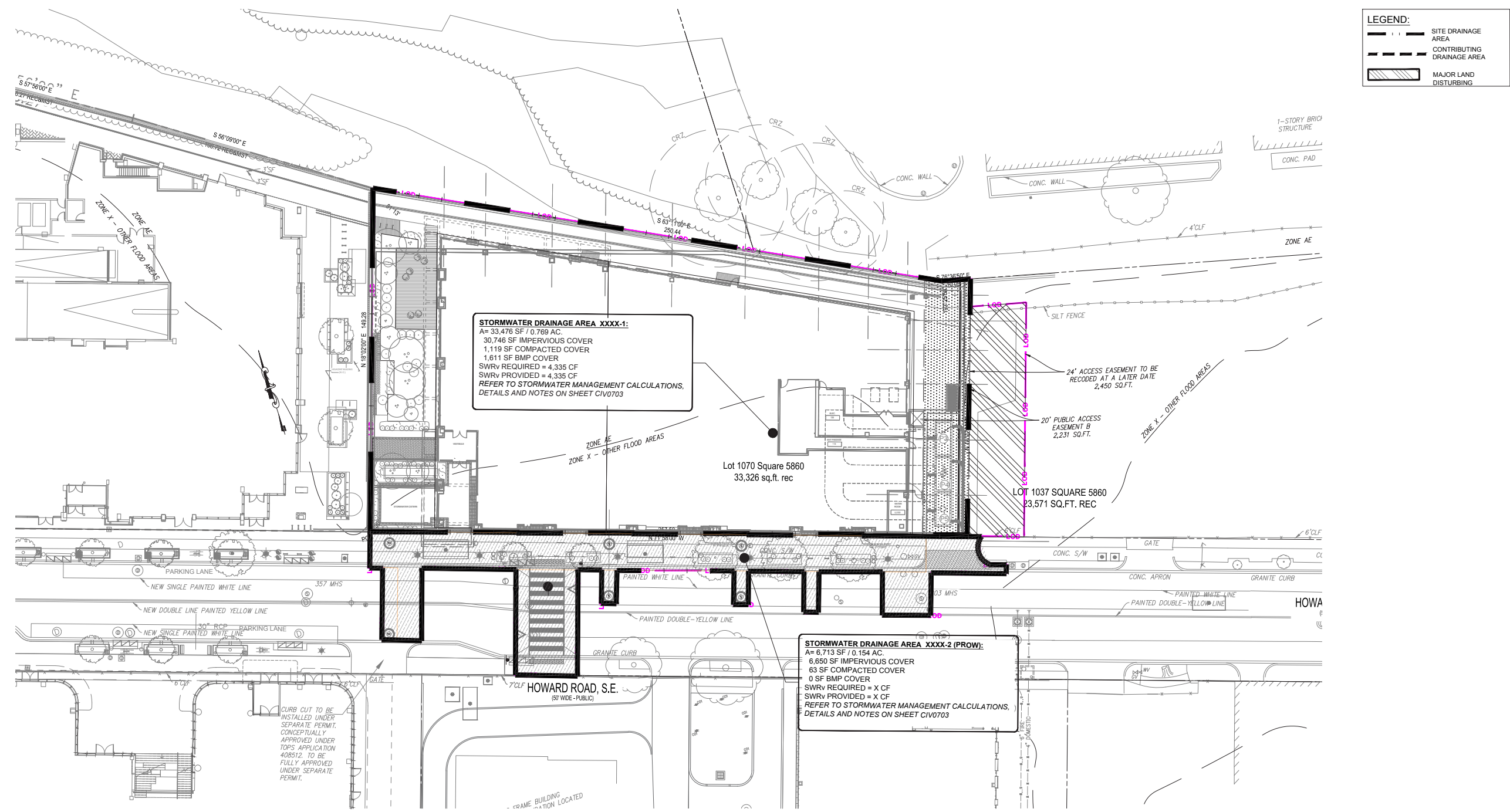
TREE PLANTING NOTE:

- TREE PLANTING AND SKATING SHALL COMPLY WITH THE CURRENT VERSION OF THE DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES, SECTION 608.02 AND PER STANDARD DRAWINGS NO. 608.02 AND 608.03. DECIDUOUS TREES SHALL ONLY BE PLANTED BETWEEN OCTOBER 15 AND MAY 1 AS PER THE SPRING AND FALL PLANTING SEASON DATES (STANDARD DRAWING NO. 608.08 AND 608.09).
- PEAT MOSS IS NOT ALLOWED FOR USE AS SOIL AMENDMENT.
- COMPANION PLANTS (I.E. PERENNIALS, GRASSES, BULBS, SHRUBS, ETC.) TO BE INSTALLED IN A TREE SPACE MUST CONFORM TO THE CURRENT VERSION OF THE DDOT DESIGN MANUAL CHAPTER 47- LANDSCAPE DESIGN AND DOWNTOWN TITLE 24 SECTION 108- BEAUTIFICATION OF TREE SPACES. COMPANION PLANTS SHALL NOT EXCEED 3 FEET IN HEIGHT, HAVE A SHALLOW ROOT SYSTEM AND BE PLANTED AT MINIMUM 2 FEET FROM THE ROOT FLARE (CROWN) OF THE STREET TREE.
- GRASS/SOD IN CONTINUOUS PLANT STRIPS SHALL NOT BE PLANTED WITHIN 4 FEET OF THE ROOT FLARE OF THE TREE.
- FINISH OFF UNPLANTED AREAS IN A TREE SPACE WITH 2-3" LAYER OF DOUBLE SHREDED HARDWOOD MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
- CONTRACTOR SHALL CONTACT SIMOUN BANJA, DDOT LEAD ARBORIST AT SIMOUNBANJA@DC.GOV OR 202-557-4590 WHEN THE STREET TREES ARE READY TO BE PLANTED, PROVIDING AT LEAST 48 HOURS NOTICE.
- CONTRACTOR TO COORDINATE WITH DDOT WARD ARBORIST TO PLANT EITHER A JEFFERSON ELM, A CHINESE ELM, OR HACKBERRY. THE NEW STREET TREE SHALL BE AT MAXIMUM 3" CALIPER AND THE SOIL VOLUME REQUIREMENT IS WAIVED TO AVOID IMPACTS TO THE ADJACENT AMERICAN ELM. ONCE THE SHRUB (YEW) IS REMOVED, THE EXISTING BOX WILL BE EXCAVATED BY HAND IN ITS ENTIRETY TO A DEPTH OF 3 FEET AND AMENDED WITH LOAMY PLANTING SOIL PROVIDED NO SIGNIFICANT ROOTS ARE EXPOSED.

SITE KEYNOTES:

- NEW BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- NEW CONCRETE PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO DETAIL ON SHEET CIV6502 FOR DETAILS.
- NEW ASPHALT PAVEMENT (FULL DEPTH) PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW PLAZA AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- NEW BOARDWALK AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- NEW CONCRETE VEHICULAR SPACE PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW GRANITE CURB WITH BRICK GUTTER PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV6502 FOR DETAILS.
- NEW CONCRETE DRIVEWAY APRON PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV6502 FOR DETAILS.
- NEW ASPHALT PAVEMENT (SURFACE COURSE) PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW RAISED HIGH VISIBILITY CROSSWALK PER DDOT STANDARDS AND SPECIFICATIONS. 24" WIDE SOLID CROSS BAND, 24" WIDE CROSS VOID, 6" SOLID BAR. ALL MARKINGS WHITE THERMOPLASTIC. REFER TO SHEET CIV6502 FOR DWG NO.605.16.
- NEW ADA RAMP WITH TRUNCATED DOME PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO DDOT DETAIL DWG 606.08 AND 606.09.
- NEW METAL TRENCH DRAIN COVER. REFER TO DDOT DETAIL DWG NO. 621.43 AND 621.44 FOR DETAILS.
- NEW RECTANGULAR RAPID FLASHING BEACON. REFER TO DETAIL IN THIS PLAN SET.

CIVIL | PROPOSED DRAINAGE PLAN | C0.04



CIVIL | TURN STUDY | C0.05

