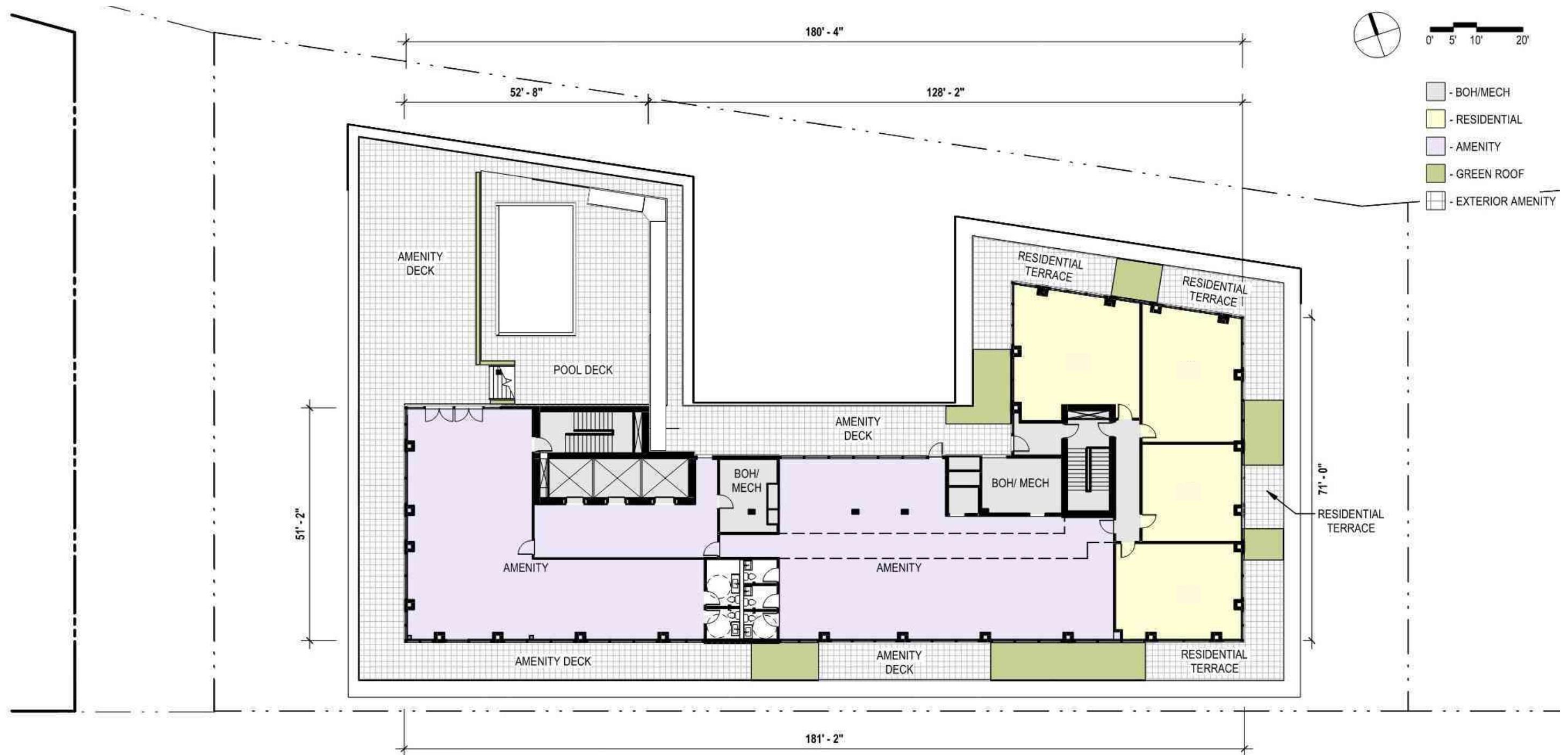


# LANDSCAPE | LEVEL 02 | L0.05

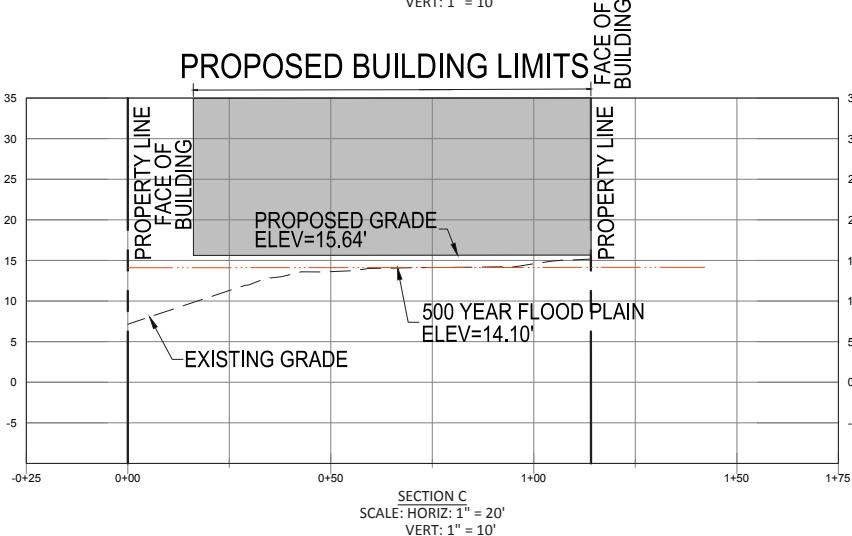
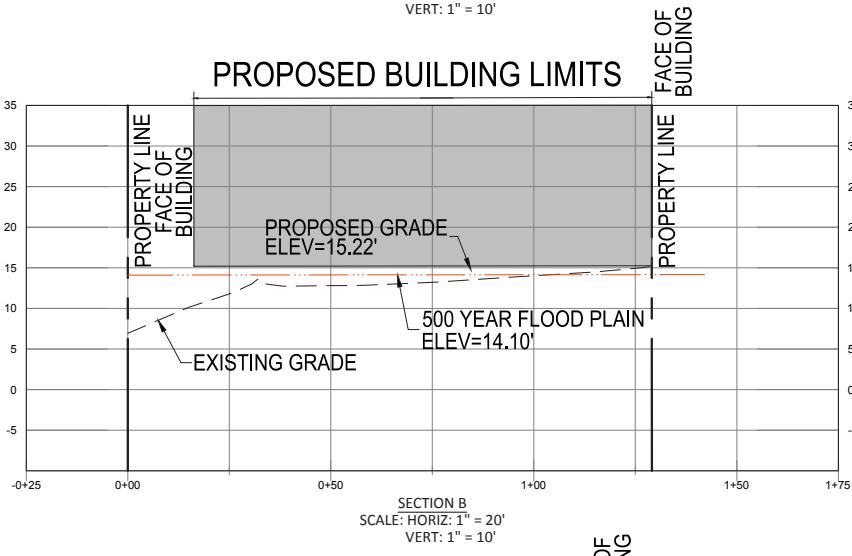
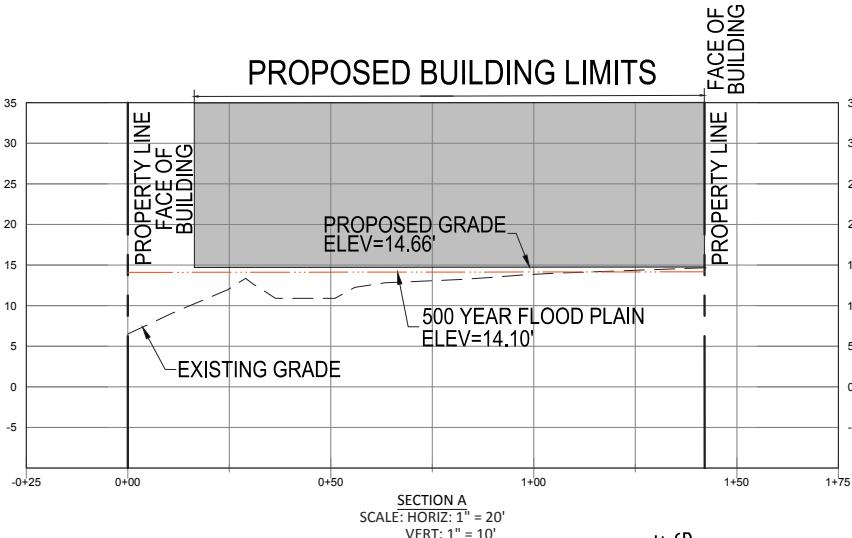


# LANDSCAPE | PENTHOUSE | L0.06



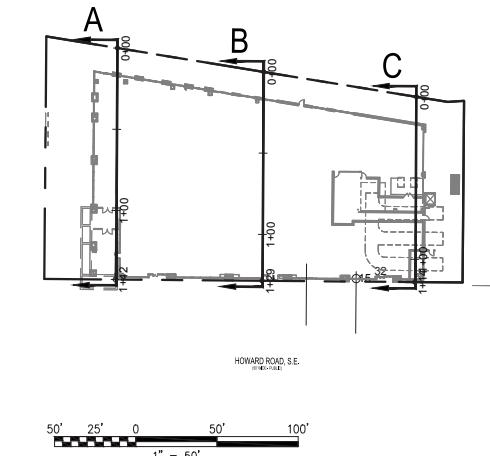
# CIVIL

# CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.00

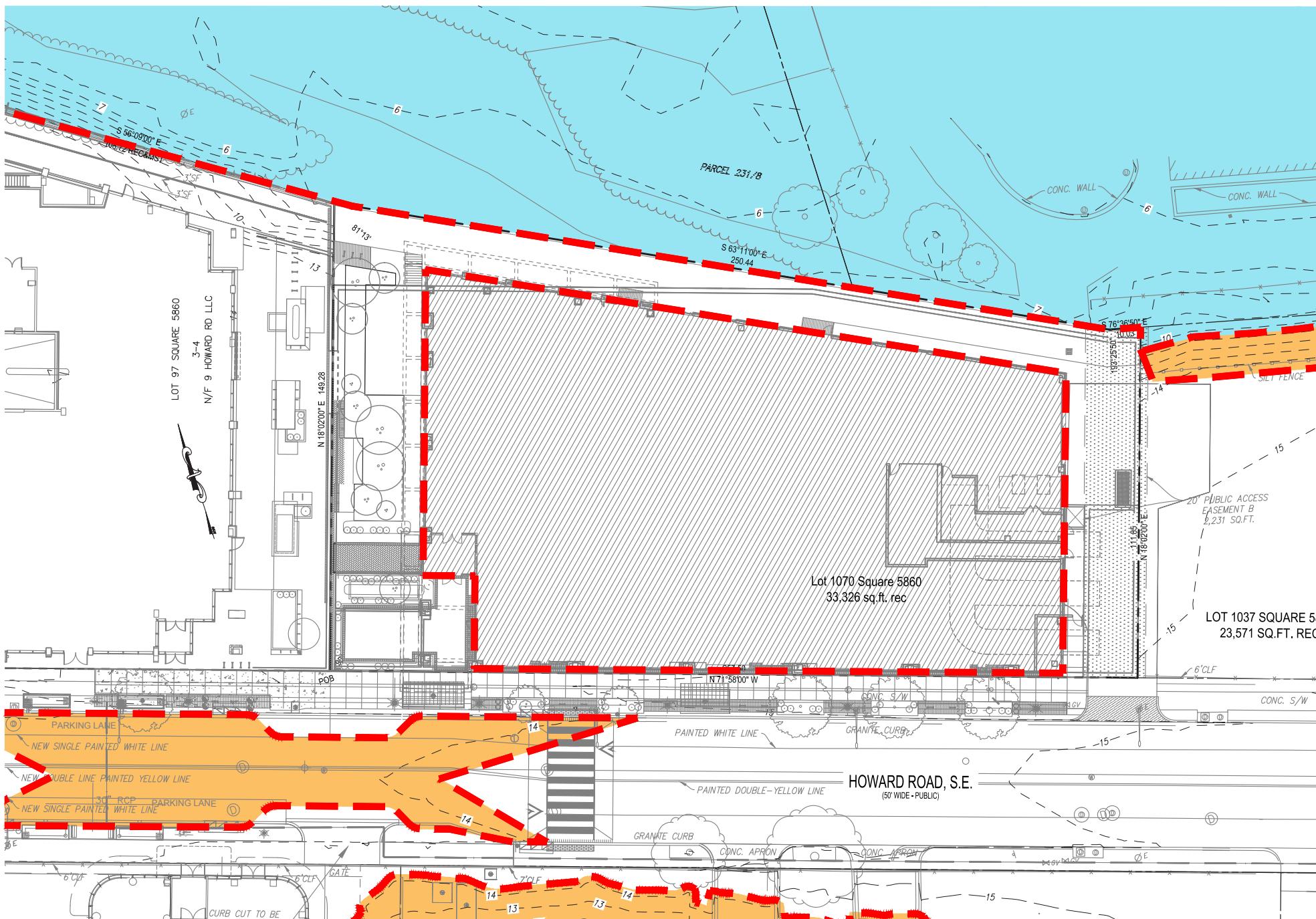


**GENERAL NOTES:**

1. THE INFORMATION SHOWN ORIGINATES FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 29, 2021 AND UPDATED PER AVAILABLE DESIGN AND AS-BUILT DATA PROVIDED TO THIS FIRM BY OTHERS.
2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
3. AS OF THE ORIGINAL DATE OF THIS SURVEY, LOTS 1025, 1026, 1036 & 1037 SQUARE 5860 ARE IN THE NAME OF 822 HOWARD RD LLC AND LOTS 1027-1031 ARE IN THE NAME OF 752 HOWARD ROAD LLC.
4. A SURVEY TO MARK HAS BEEN AUTHORIZED AND PERFORMED ON LOTS 1025-1031, 1036 & 1037. THE SURVEY TO MARK HAS BEEN ACCEPTED BY THE OFFICE OF THE D.C. SURVEYOR, HOWEVER, AT THIS DATE THE SURVEY HAS NOT BEEN RECORDED AND SCANNED INTO THE PUBLIC RECORD SYSTEM.
5. ELEVATIONS SHOWN ARE REFERENCED TO DCPW DATUM (BM 13-20), MERIDIAN REFERENCED TO DCCO NORTH BY HOLDING RECORD BEARING OF HOWARD ROAD, S.E.
6. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D: A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY, WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
7. PROPERTY IS IDENTIFIED AS ZONE X OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; ZONE A: - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATION DETERMINED) AND ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010052C & 1100010078C, EFFECTIVE DATE SEPTEMBER 27, 2010.
8. AS OF AUGUST 5, 2021, THE PROPERTY IS ZONED NHR AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/z16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

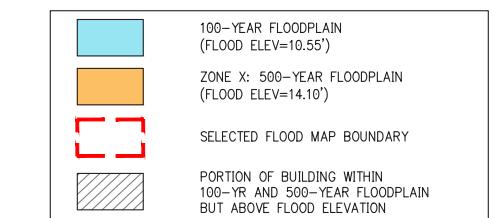


# CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.01



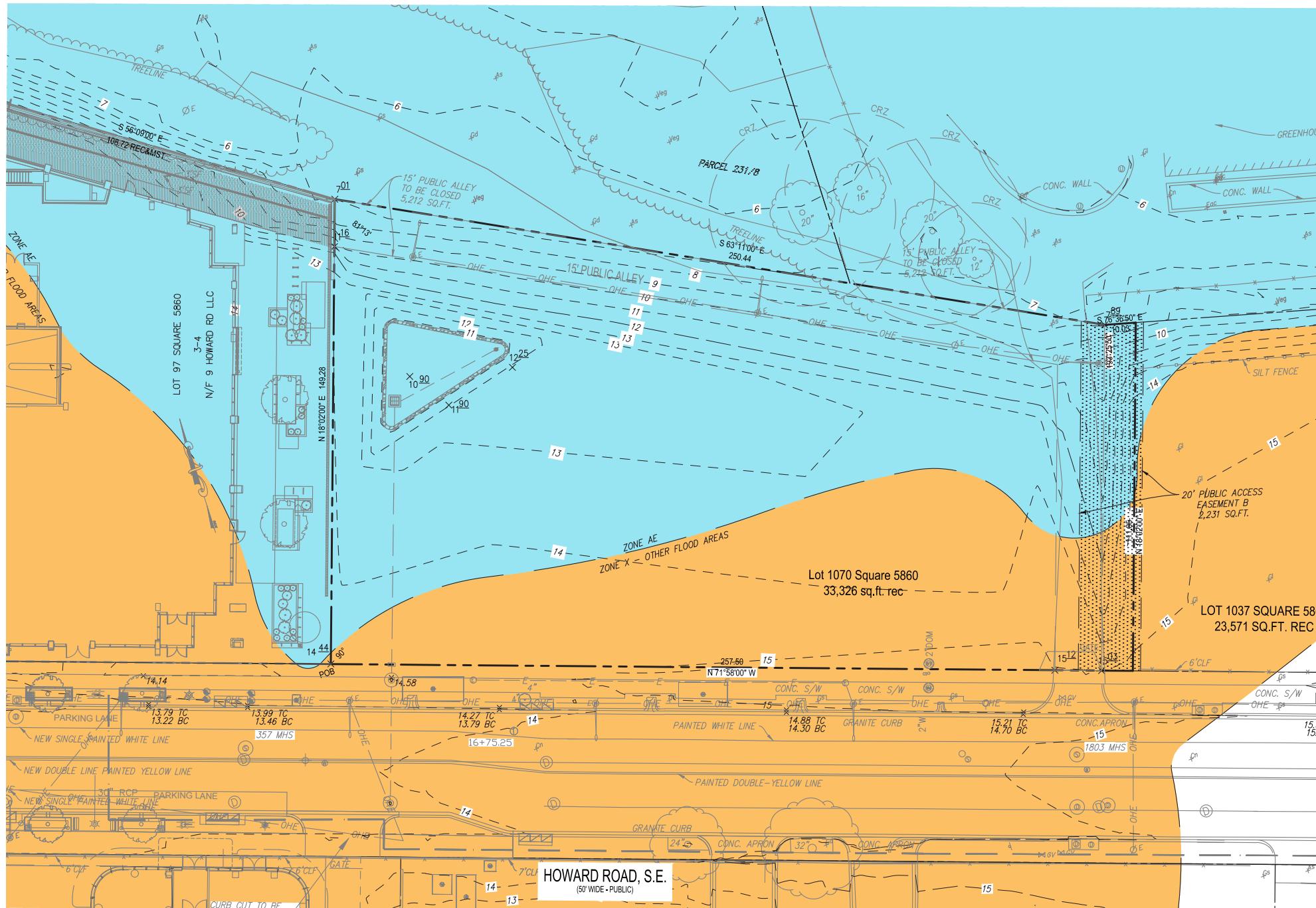
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20' 10' 0 20' 40'  
1" = 20'

# CIVIL | EXISTING CONDITIONS FLOOD PLAN | C0.02



**GENERAL NOTES:**

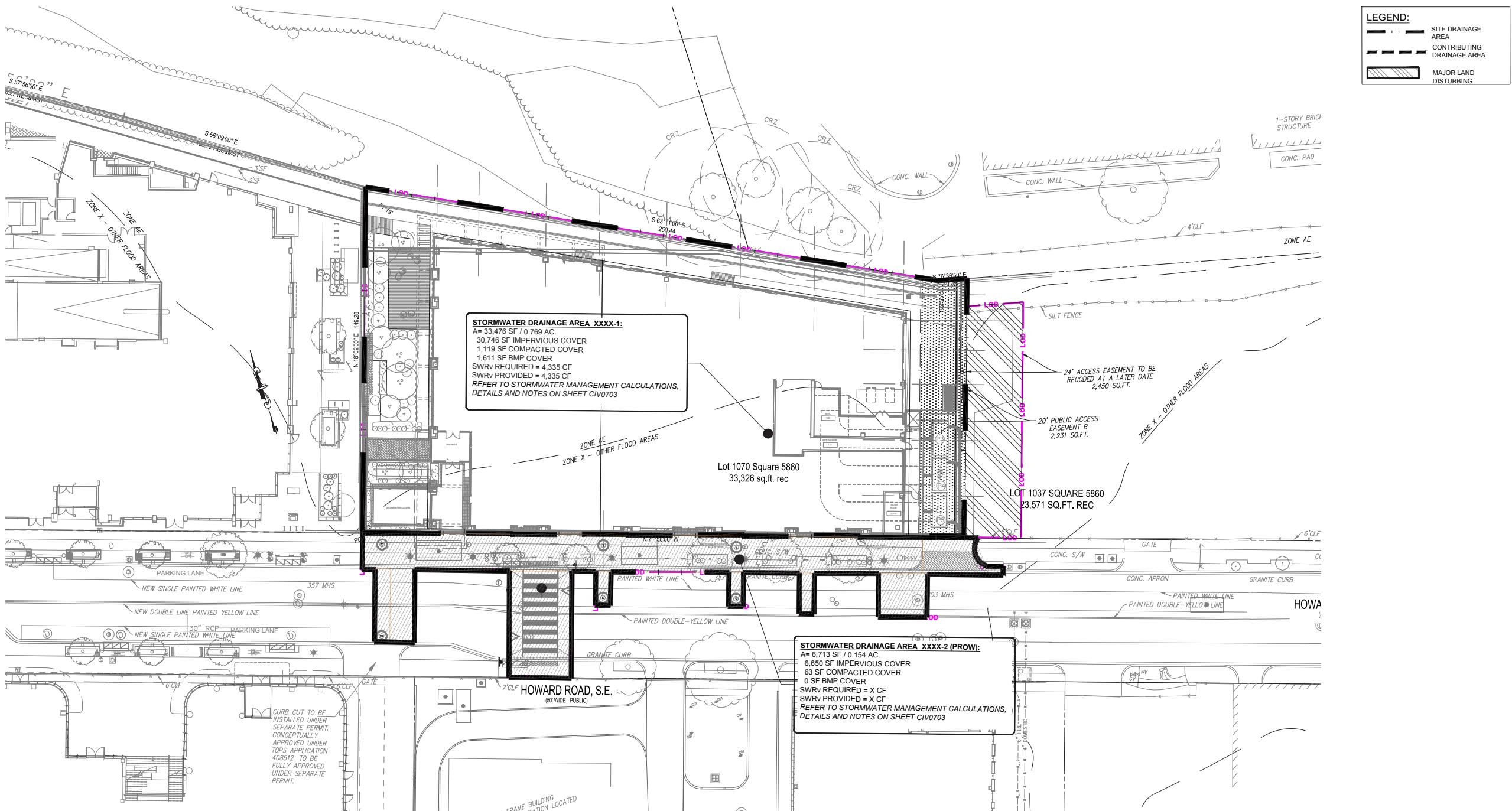
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8.78 x EXISTING SPOT ELEVATION  
 100-YEAR FLOODPLAIN (FLOOD ELEV=10.55')  
 ZONE X: 500-YEAR FLOODPLAIN (FLOOD ELEV=14.10')  
 EXISTING TOPO LINES

20' 10' 0 20' 40'  
1" = 20'



CIVIL | PROPOSED DRAINAGE PLAN | C0.04



# CIVIL | TURN STUDY | C0.05

