



450 5TH STREET, NW

THE GEORGETOWN COMPANY

ECA

PUD APPLICATION

PUD-15

VIEW 1 - INTERSECTION OF 5TH & E STREETS FACING SW

ZONING COMMISSION
City of Columbia
CASE NO.78-17A
EXHIBIT NO.3B4
May 01, 2025



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VIEW 2 - NE CORNER OF 5TH & E STREETS FACING SW

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VIEW 3 - 5TH STREET ENTRY FACING WEST

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VIEW 4 - 5TH STREET FROM JUDICIARY PARK

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VIEW 5 - INTERSECTION OF 6TH & E STREETS FACING SE

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VIEW 6 - 6TH STREET WALKING VIEW FACING NE

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VIEW 7 - 6TH STREET ENTRY FACING EAST

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VIEW 8 - COURT VIEW FACING WEST INTO COURT

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VIEW 9 - BALCONY VIEW FACING NE OUT OF COURT

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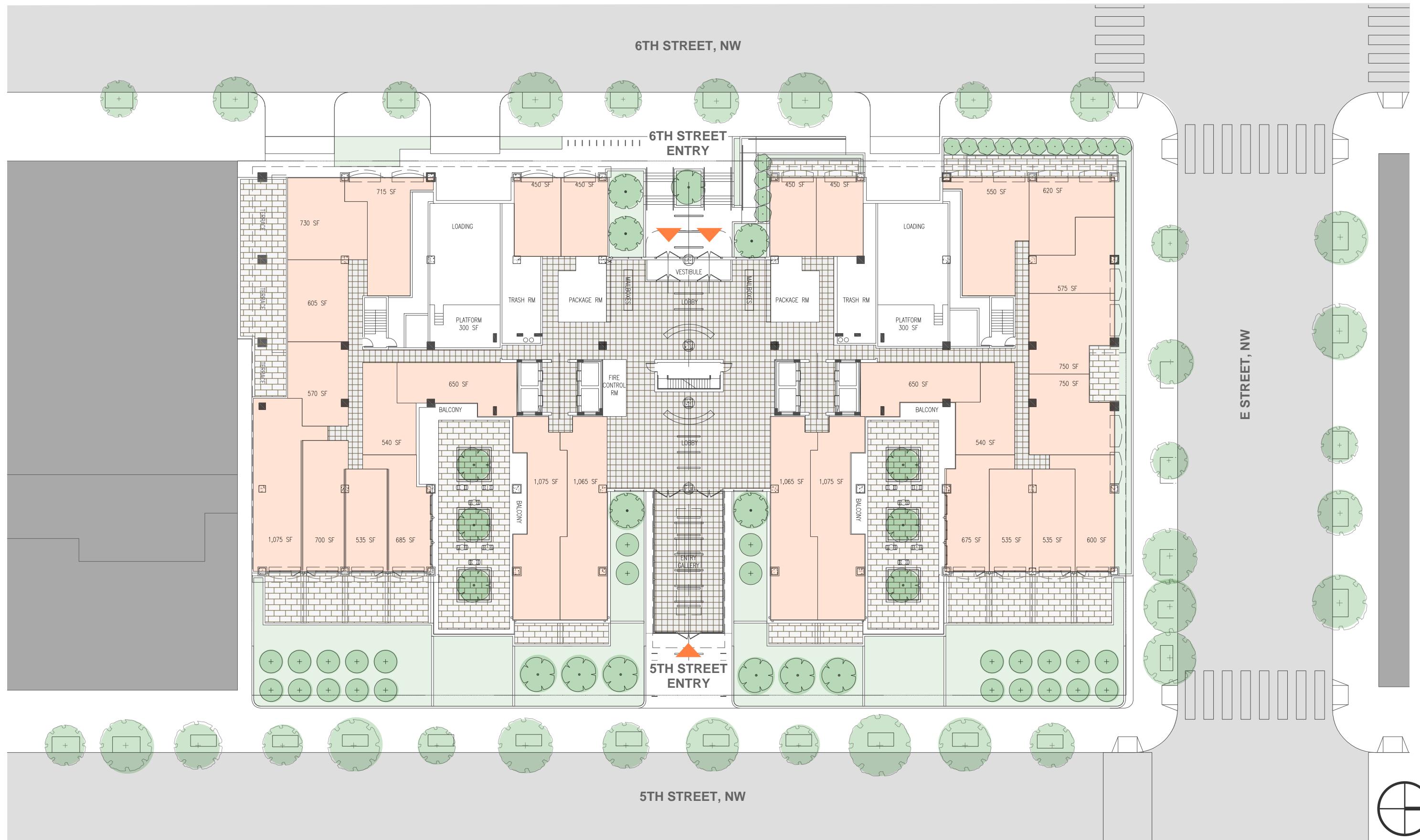
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VIEW 10 - PRIVATE TERRACE VIEW

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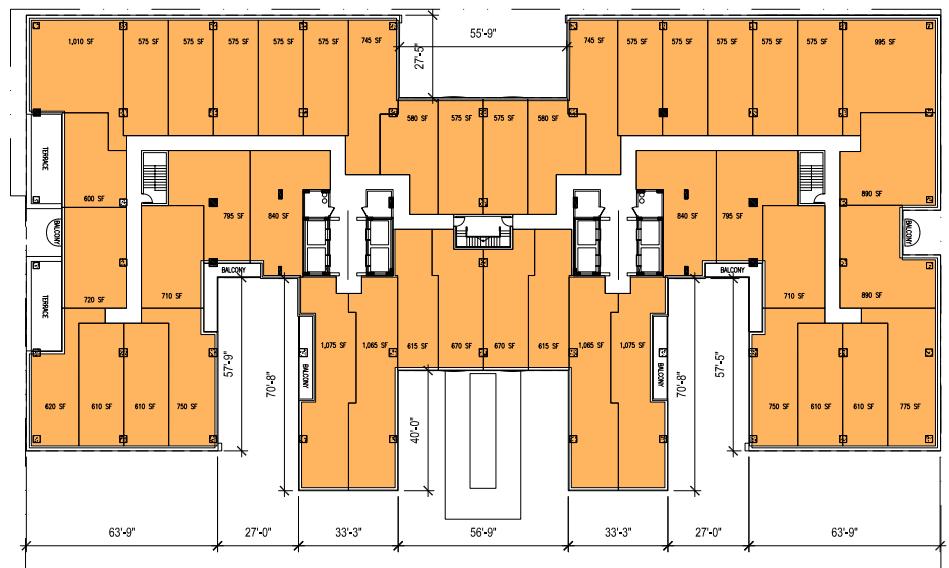
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PUD APPLICATION

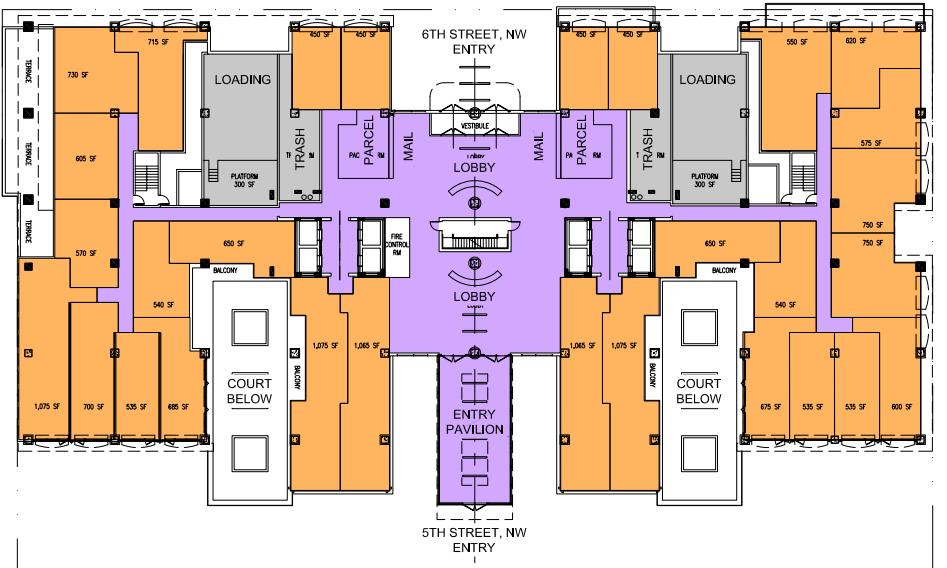
PUD-25

ENLARGED 1ST FLOOR STREET LEVEL PLAN - 1/32" = 1'-0"

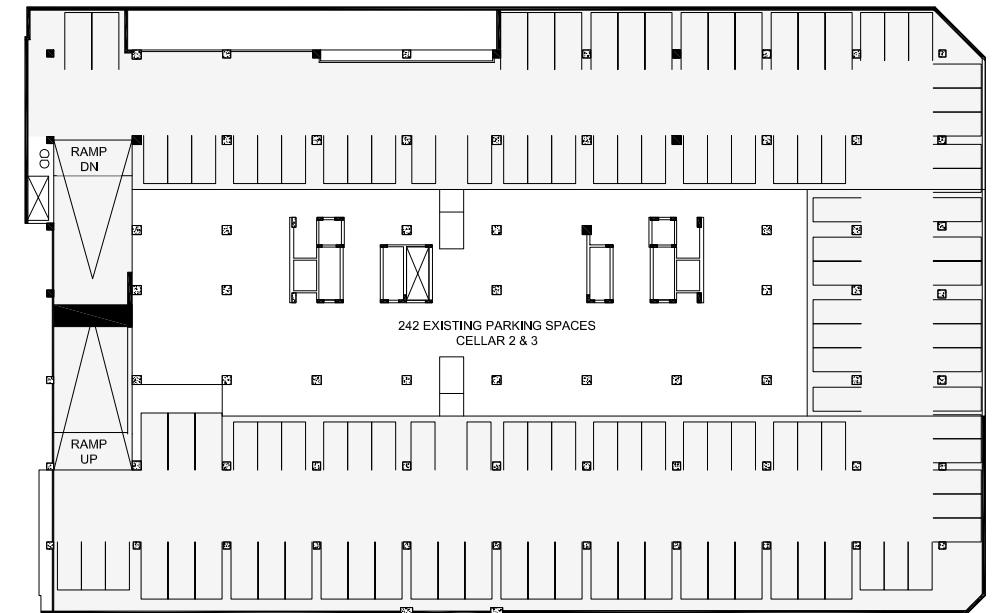
May 01, 2025



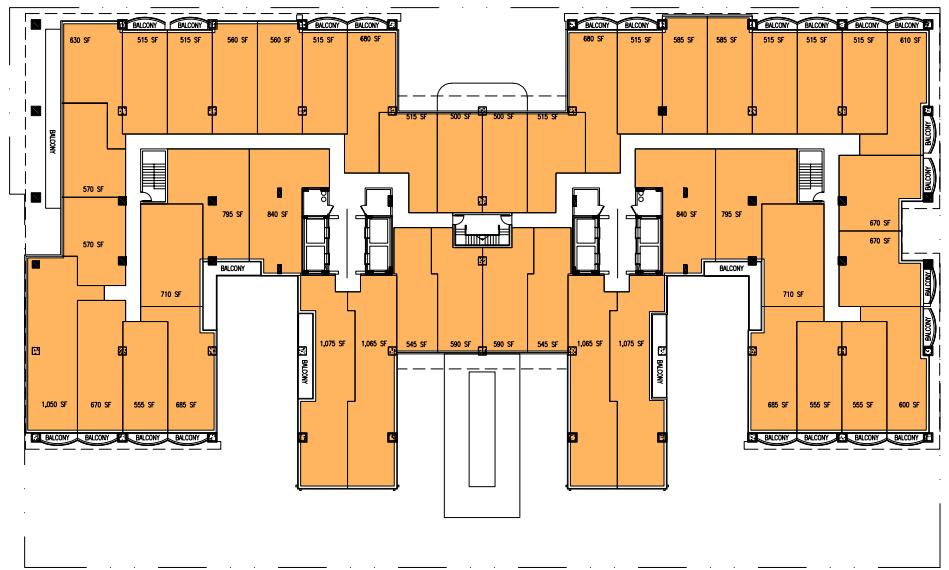
TYPICAL FLOOR (3-8)



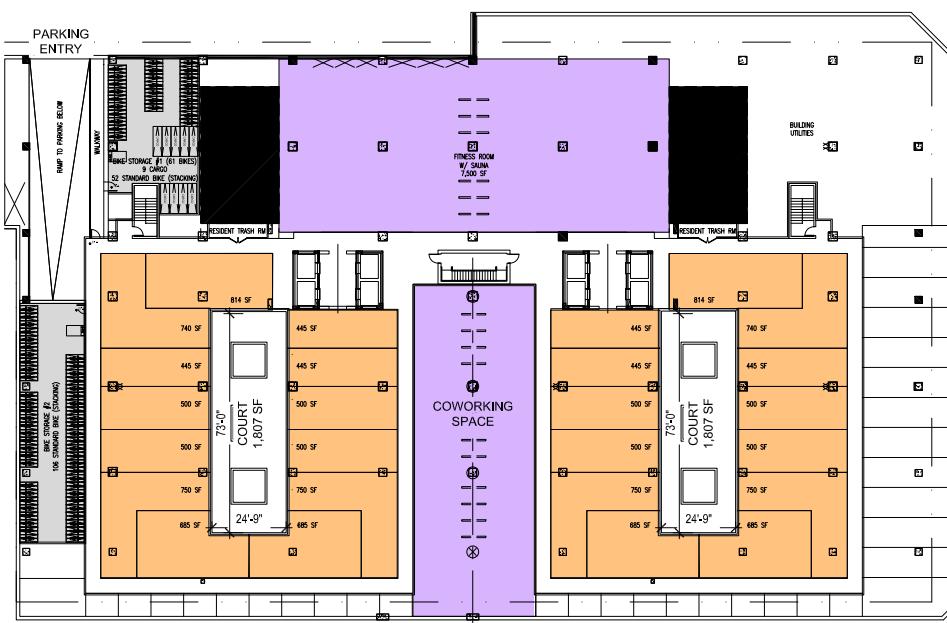
1ST FLOOR



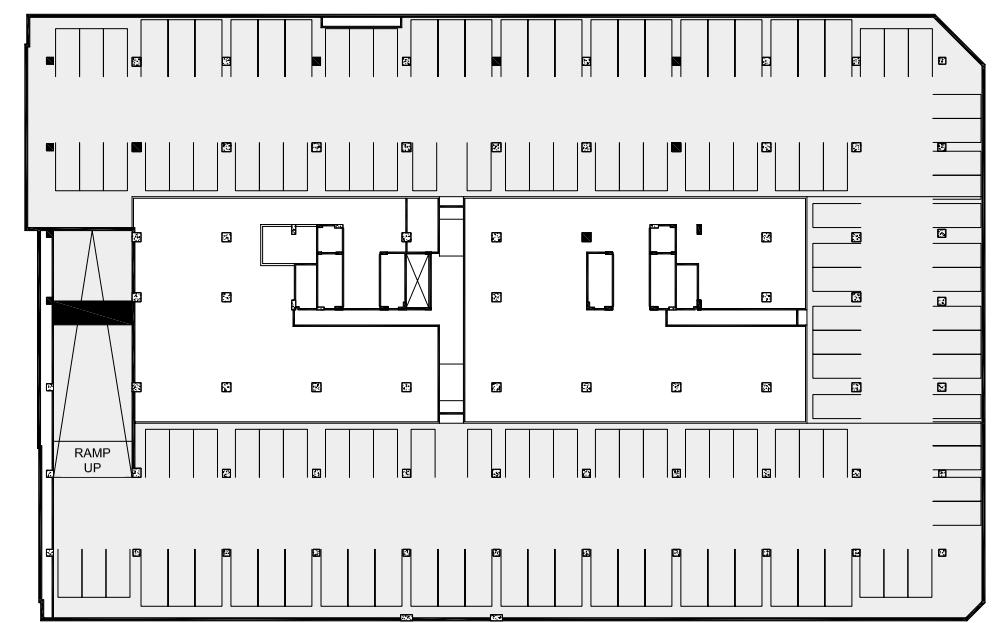
CELLAR 2



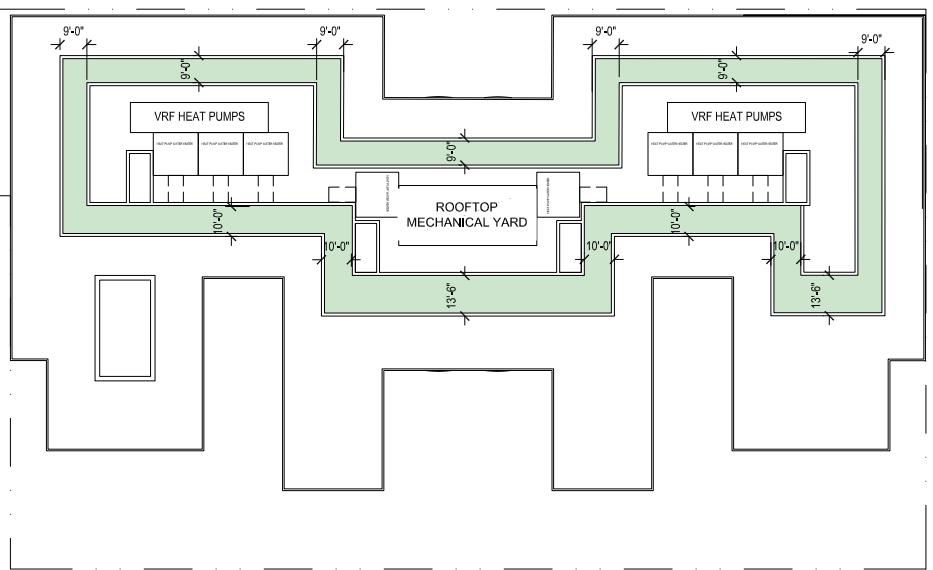
2ND FLOOR



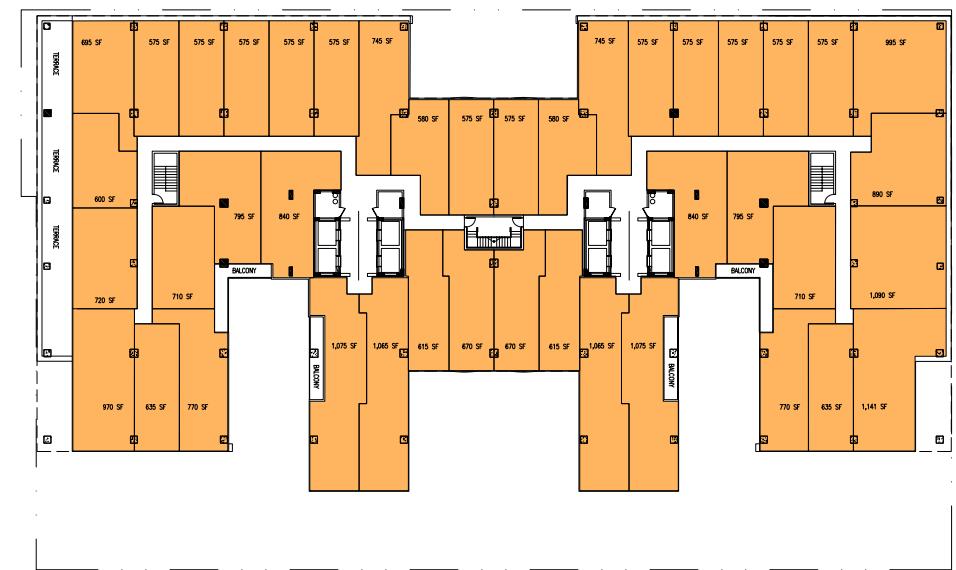
CELLAR 1



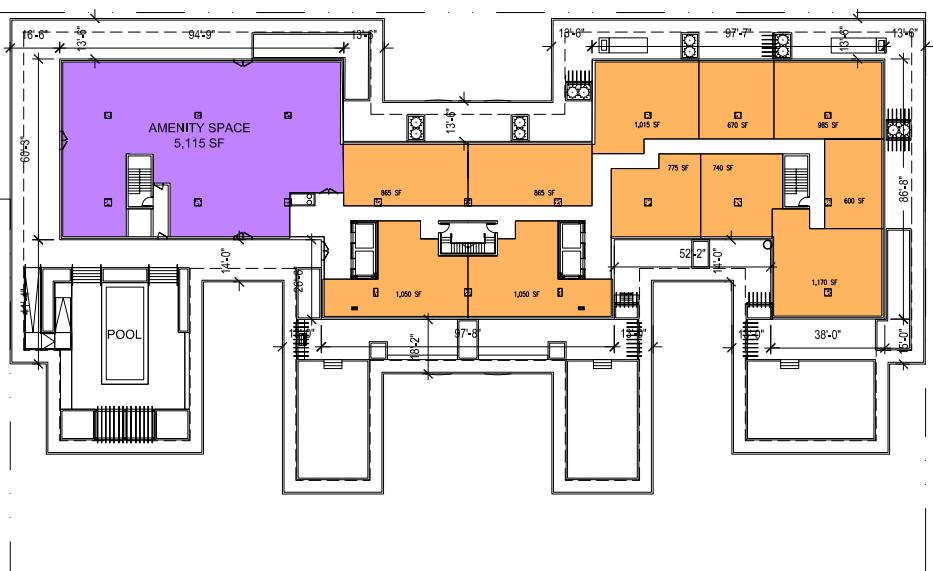
CELLAR 3



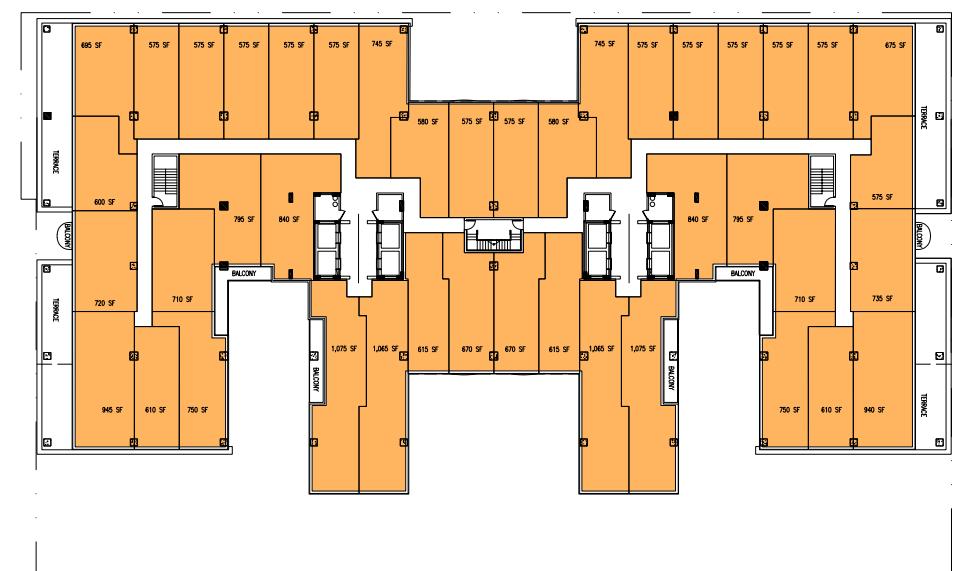
ROOF



10TH - 11TH FLOOR



PH FLOOR



9TH FLOOR



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1/64" = 1'-0" PLANS - FLOORS 9 THRU PH ROOF

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ELEVATION 1 - EAST



ELEVATION 2 - WEST



ELEVATION 3 - NORTH



ELEVATION 4 - SOUTH



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BUILDING SECTION THRU NORTH COURT FACING SOUTH

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ELEVATION DETAIL SHOWING EXISTING & NEW

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PROPOSED WINDOW WALL AND REPLACEMENT WINDOWS AT PRECAST

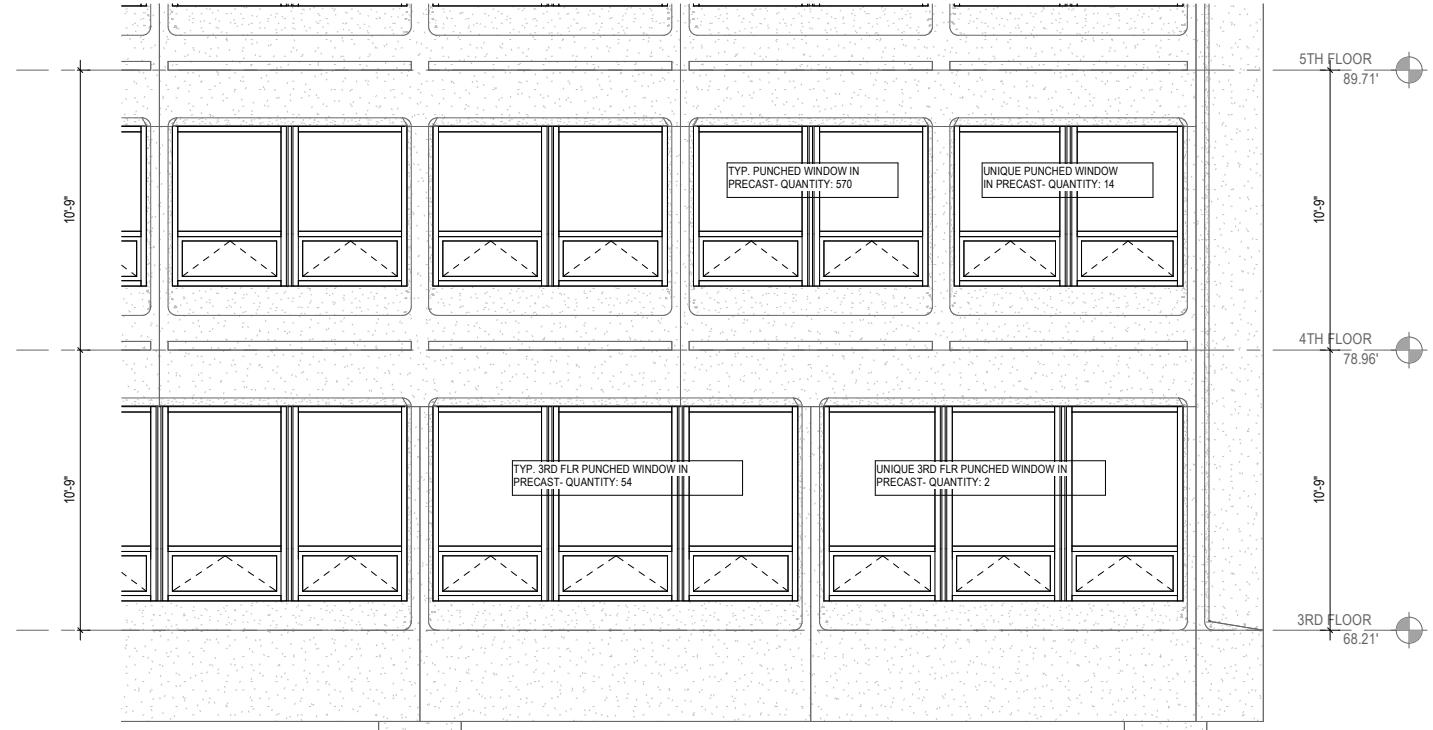
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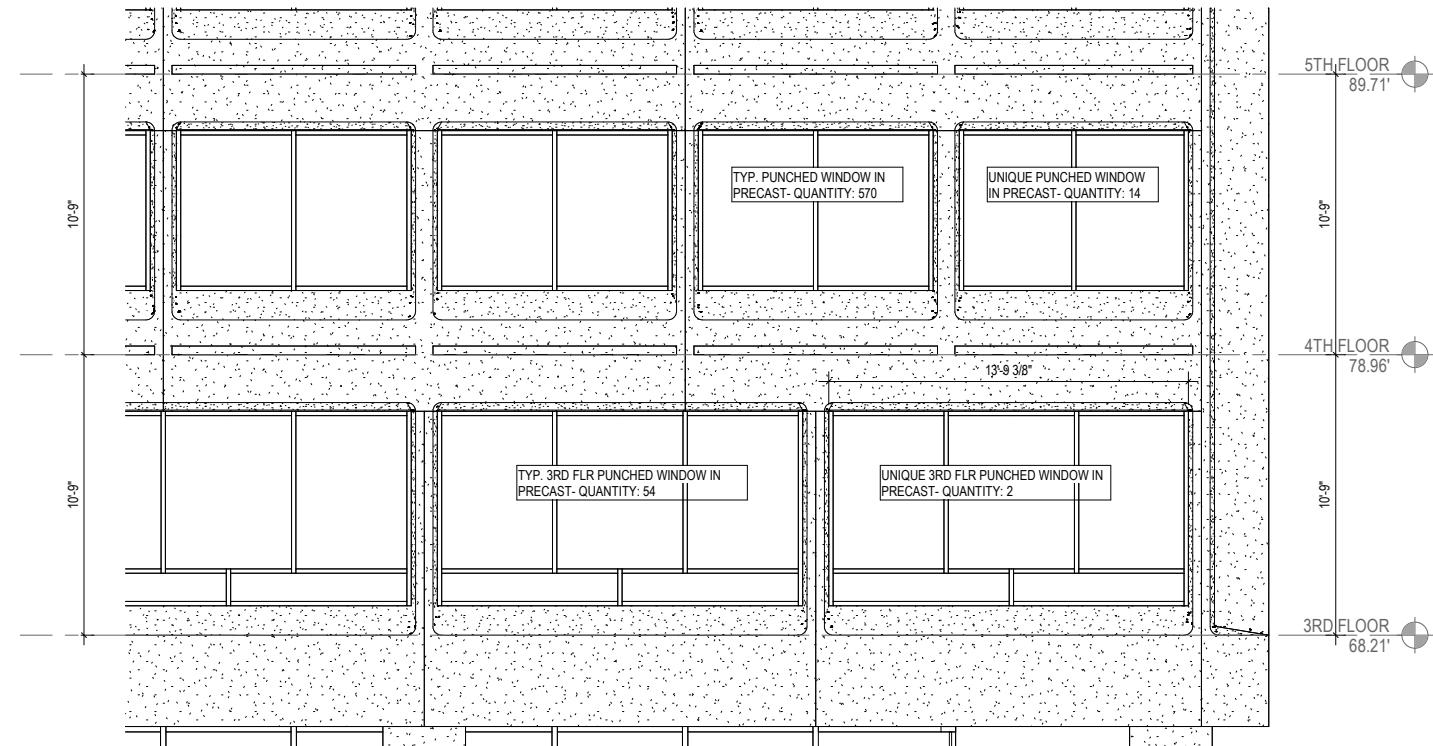
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PROPOSED WINDOWS IN PRECAST



EXISTING WINDOWS IN PRECAST

WINDOW DETAIL

May 01, 2025

BUILDING & SITE MATERIALS



PLANTER TRELLIS:
BRONZE DIAMOND
MESH

BRONZE METAL PANEL
& WINDOW WALL

EXISTING
PRECAST CONCRETE

FLUTED CONCRETE
WALL PANELS &
LANDSCAPE WALLS

ENTRANCEWAYS:
BEIGE STONE PAVERS

SIDEWALK: TERRAZZO
CONCRETE PLANTERS

TERRACE: GREY
STONE PAVERS WITH
ROUGH FINISH

WOOD DETAILS AT
THE GROUND FLOOR &
LANDSCAPE



BUILDING & SITE MATERIALS



LEED SCORECARD



LEED v4 for BD+C New Construction

450th 5th Street

April 7, 2025

0 0 1 Integrative Process			Possible Points: 1
Y	?	N	
1	1	Credit 1 Integrative Process (v4.1)	1
13 0 3 Location and Transportation			Possible Points: 16
Y	?	N	
	16	Credit 1 LEED for Neighborhood Development	PATH 1 16
1		Credit 2 Sensitive Land Protection	PATH 2 1
1	1	Credit 3 High Priority Site	2
5		Credit 4 Surrounding Density & Diverse Uses	5
5		Credit 5 Access to Quality Transit (v4.1)	5
1		Credit 6 Bicycle Facilities (v4.1)	1
	1	Credit 7 Reduced Parking Footprint (v4.1)	1
	1	Credit 8 Electric Vehicles (v4.1)	1
3 0 7 Sustainable Sites			Possible Points: 10
Y	?	N	
Y		Prereq 1 Construction Activity Pollution Prevention	Required
1		Credit 1 Site Assessment	1
	2	Credit 2 Site Development - Protect or Restore Habitat (v4.1)	2
	1	Credit 3 Open Space	1
1	2	Credit 4 Rainwater Management (v4.1)	3
1	1	Credit 5 Heat Island Reduction	2
	1	Credit 6 Light Pollution Reduction	1
3 0 8 Water Efficiency			Possible Points: 11
Y	?	N	
Y		Prereq 1 Outdoor Water Use Reduction	Required
Y		Prereq 2 Indoor Water Use Reduction	Required
Y		Prereq 3 Building-Level Water Metering	Required
1	1	Credit 1 Outdoor Water Use Reduction	2
2	4	Credit 2 Indoor Water Use Reduction	6
	2	Credit 3 Cooling Tower Water Use (v4.1)	2
	1	Credit 4 Water Metering	1
5 0 28 Energy and Atmosphere			Possible Points: 33
Y	?	N	
Y		Prereq 1 Fundamental Commissioning and Verification	Required
Y		Prereq 2 Minimum Energy Performance 2024 Update	Required
Y		Prereq 3 Building-Level Energy Metering	Required
Y		Prereq 4 Fundamental Refrigerant Management	Required
3	3	Credit 1 Enhanced Commissioning	6
2	16	Credit 2 Optimize Energy Performance 2024 Update	18
	1	Credit 3 Advanced Energy Metering	1
	2	Credit 4 Demand Response (v4.1)	2
	5	Credit 5 Renewable Energy Production (v4.1)	5
	1	Credit 6 Enhanced Refrigerant Management	1



SUSTAINABILITY HIGHLIGHTS:

- Certification - LEED

- **Carbon** - Anticipating significant embodied carbon reduction expected from reusing >75% of the structure and enclosure

- **Energy** - Anticipating 20% energy and greenhouse gas emissions savings from efficient energy savings.

- **Water** - Anticipating 30% water savings from indoor plumbing fixtures and 50% water savings from irrigation systems

- **Indoor Environment** - Targeting interior finish materials with low environment and human health impacts



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SUSTAINABILITY TARGETS