



450 5TH STREET, NW

PUD APPLICATION

VIEW 1 - INTERSECTION OF 5TH & E STREETS FACING SW

THE GEORGETOWN COMPANY

ECA

PUD-15

ZONING COMMISSION  
District of Columbia  
May 01, 2025  
CASE NO. 78-17A  
EXHIBIT NO. 3B4





450 5TH STREET, NW

PUD APPLICATION

VIEW 2 - NE CORNER OF 5TH & E STREETS FACING SW

THE GEORGETOWN COMPANY

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PUD-16

May 01, 2025





450 5TH STREET, NW

PUD APPLICATION

VIEW 3 - 5TH STREET ENTRY FACING WEST

THE GEORGETOWN COMPANY

**ECA**

PUD-17

May 01, 2025





450 5TH STREET, NW

PUD APPLICATION

VIEW 4 - 5TH STREET FROM JUDICIARY PARK

THE GEORGETOWN COMPANY

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PUD-18

May 01, 2025





450 5TH STREET, NW

PUD APPLICATION

VIEW 5 - INTERSECTION OF 6TH & E STREETS FACING SE

THE GEORGETOWN COMPANY

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PUD-19

May 01, 2025





450 5TH STREET, NW

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VIEW 6 - 6TH STREET WALKING VIEW FACING NE

THE GEORGETOWN COMPANY

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450 5TH STREET, NW

PUD APPLICATION

VIEW 7 - 6TH STREET ENTRY FACING EAST

THE GEORGETOWN COMPANY

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450 5TH STREET, NW

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VIEW 8 - COURT VIEW FACING WEST INTO COURT

THE GEORGETOWN COMPANY

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May 01, 2025





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VIEW 9 - BALCONY VIEW FACING NE OUT OF COURT

THE GEORGETOWN COMPANY

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450 5TH STREET, NW

PUD APPLICATION

VIEW 10 - PRIVATE TERRACE VIEW

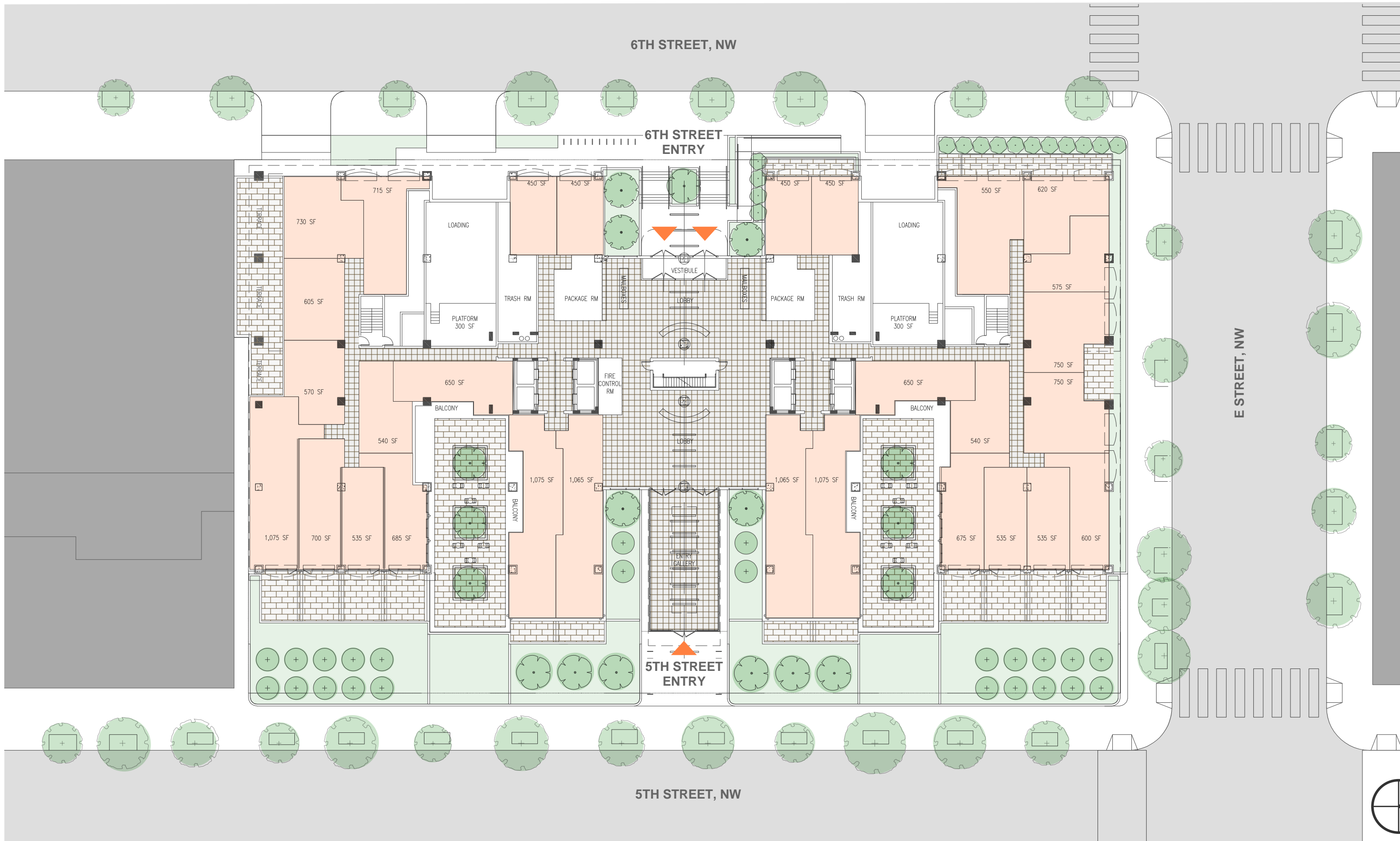
THE GEORGETOWN COMPANY

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PUD-24

May 01, 2025



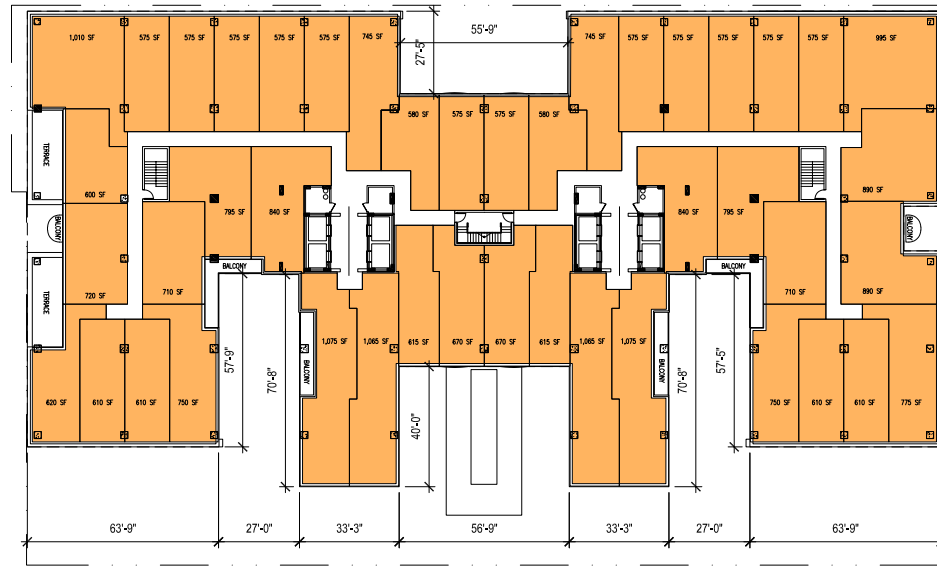


450 5TH STREET, NW

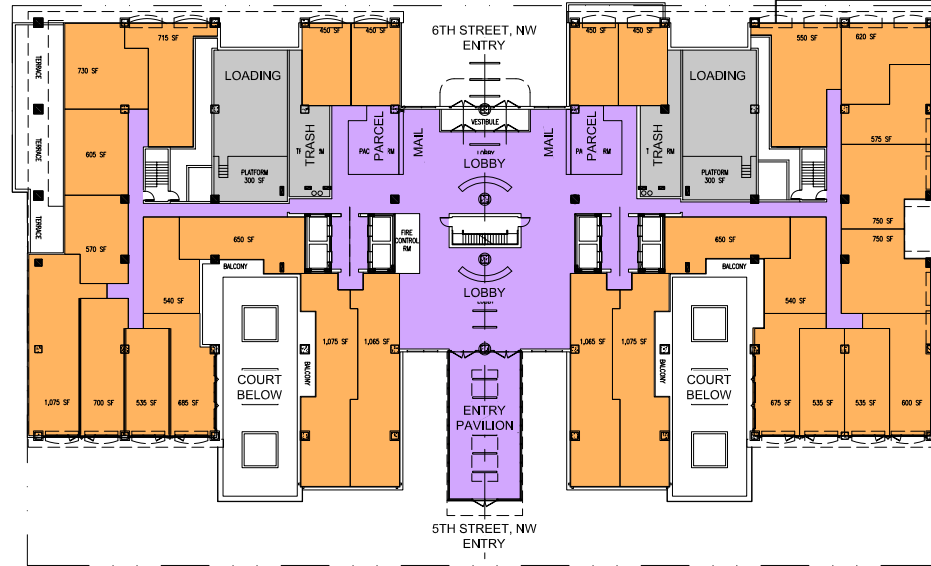
PUD APPLICATION

ENLARGED 1ST FLOOR STREET LEVEL PLAN - 1/32" = 1'-0"

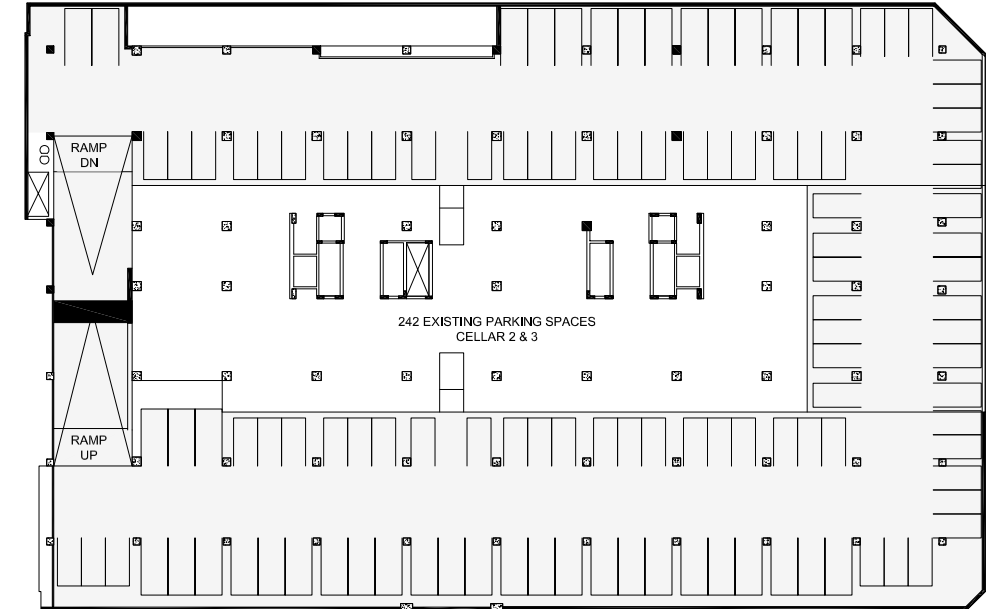




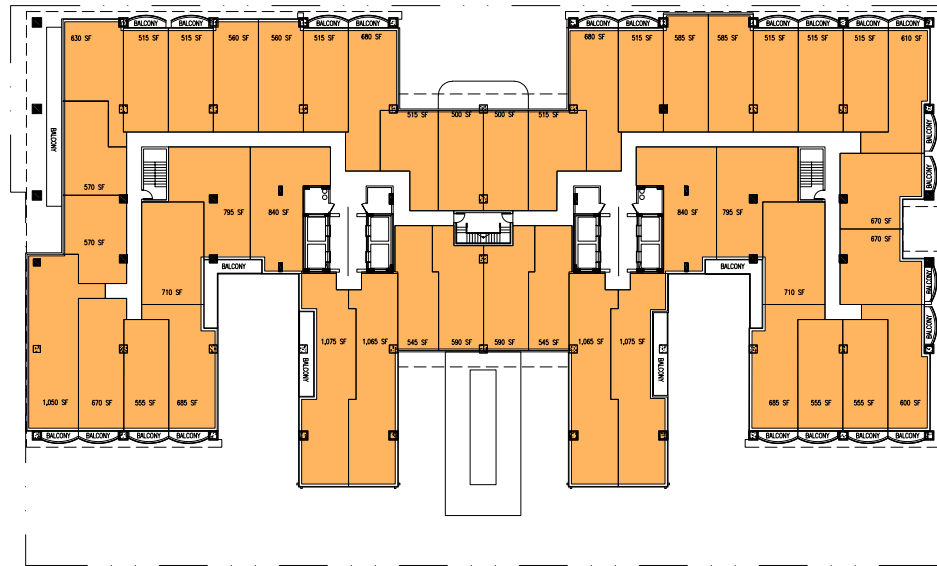
TYPICAL FLOOR (3-8)



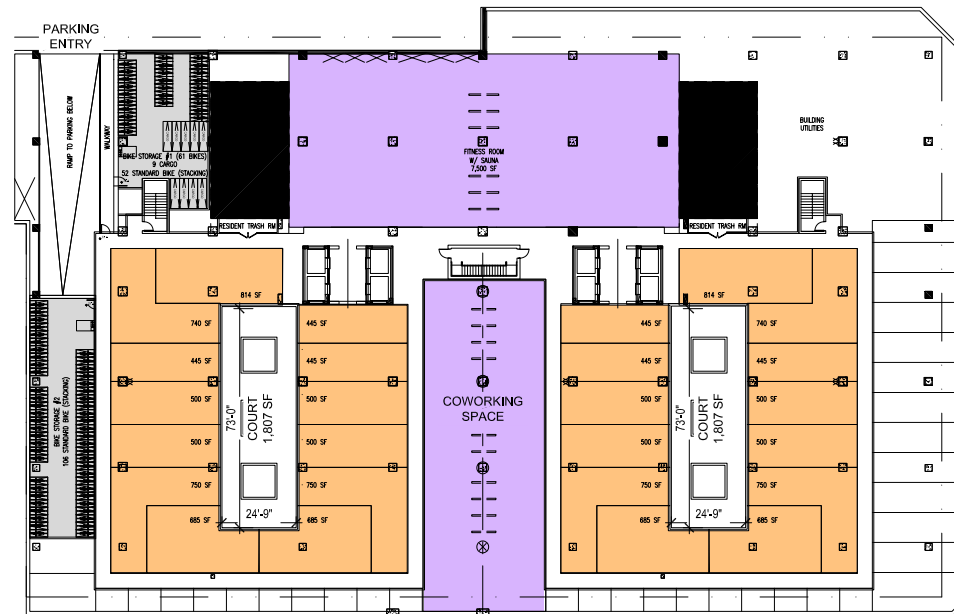
1ST FLOOR



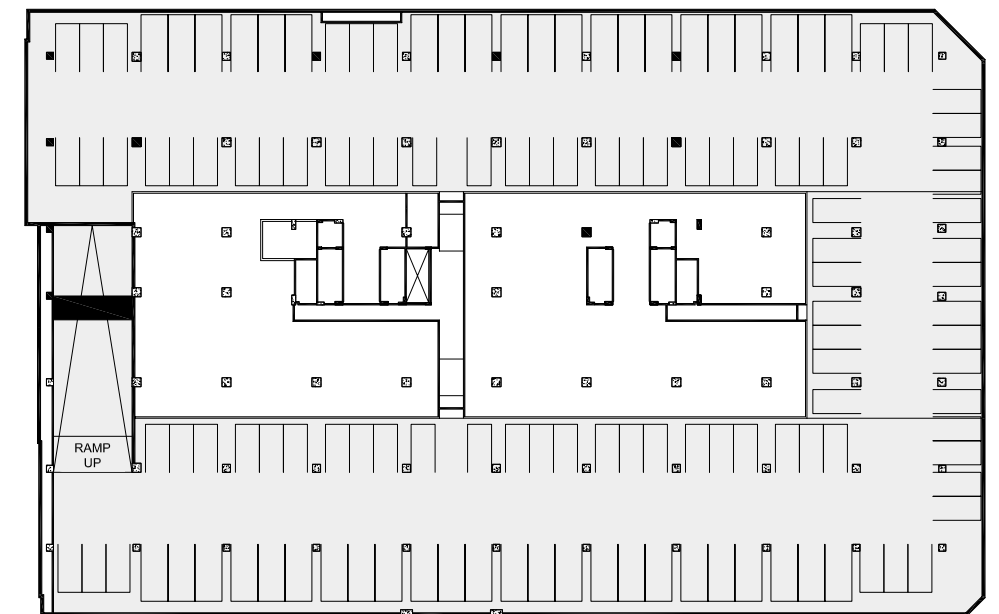
CELLAR 2



2ND FLOOR



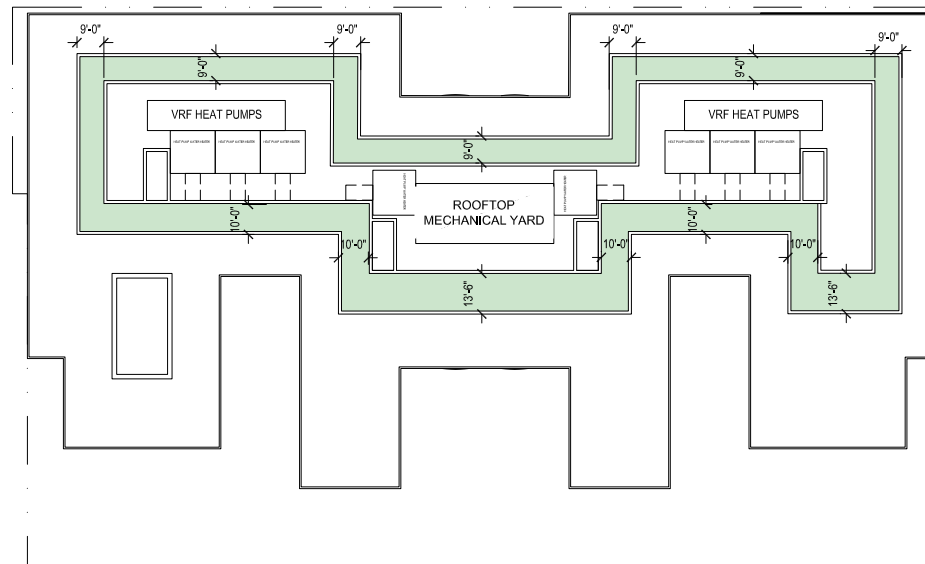
CELLAR 1



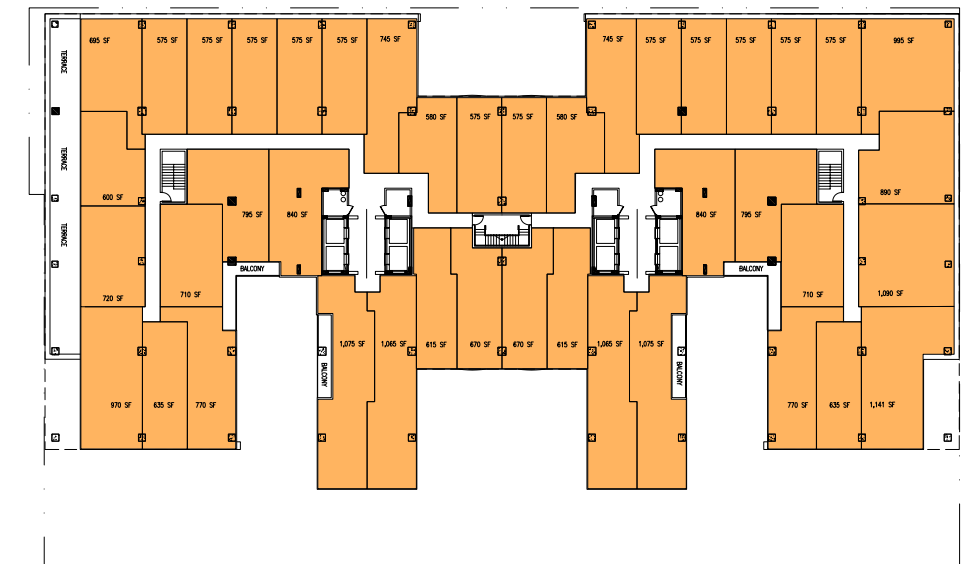
CELLAR 3



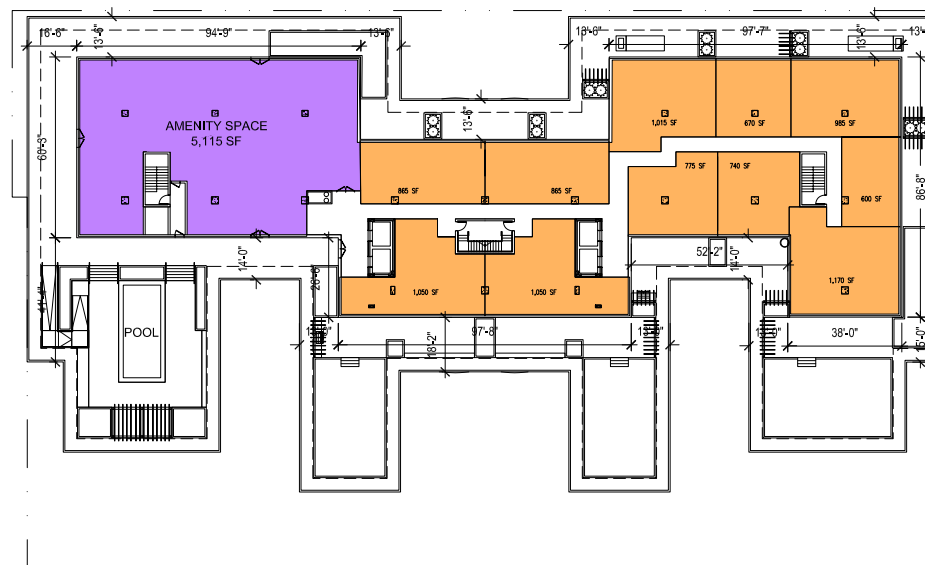




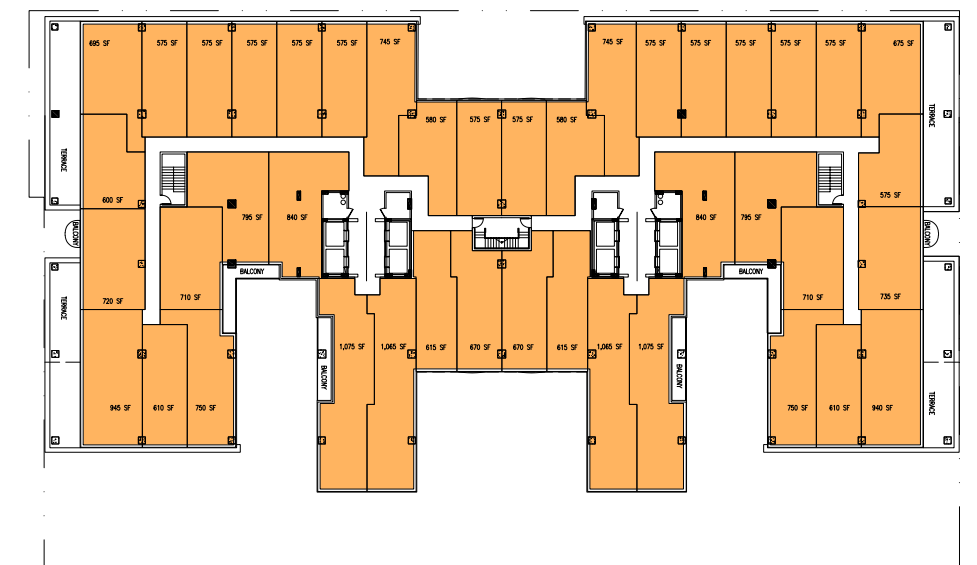
ROOF



10TH - 11TH FLOOR



PH FLOOR



9TH FLOOR







ELEVATION 1 - EAST



ELEVATION 2 - WEST





ELEVATION 3 - NORTH



ELEVATION 4 - SOUTH





450 5TH STREET, NW

PUD APPLICATION

BUILDING SECTION THRU NORTH COURT FACING SOUTH

THE GEORGETOWN COMPANY

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PUD-30

May 01, 2025





450 5TH STREET, NW

PUD APPLICATION

ELEVATION DETAIL SHOWING EXISTING & NEW

THE GEORGETOWN COMPANY

ECA

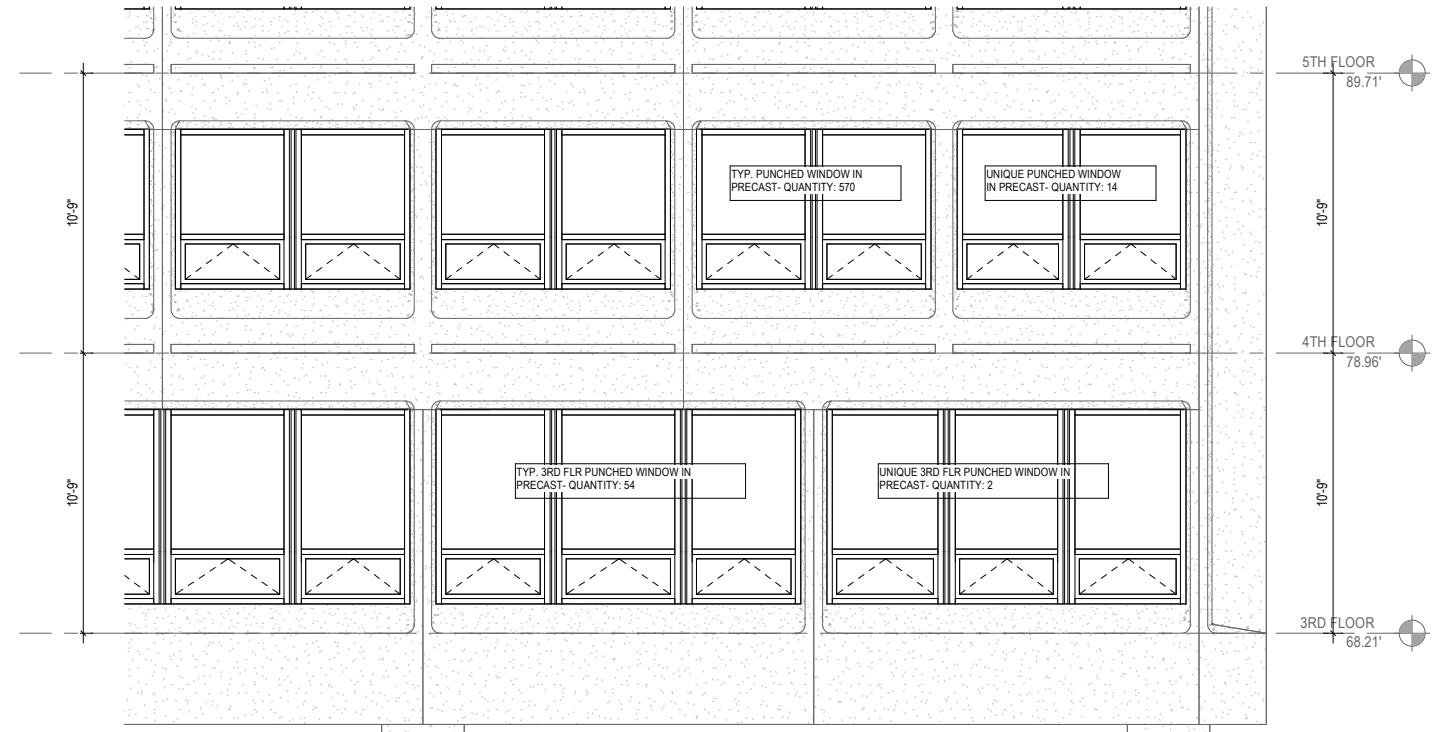
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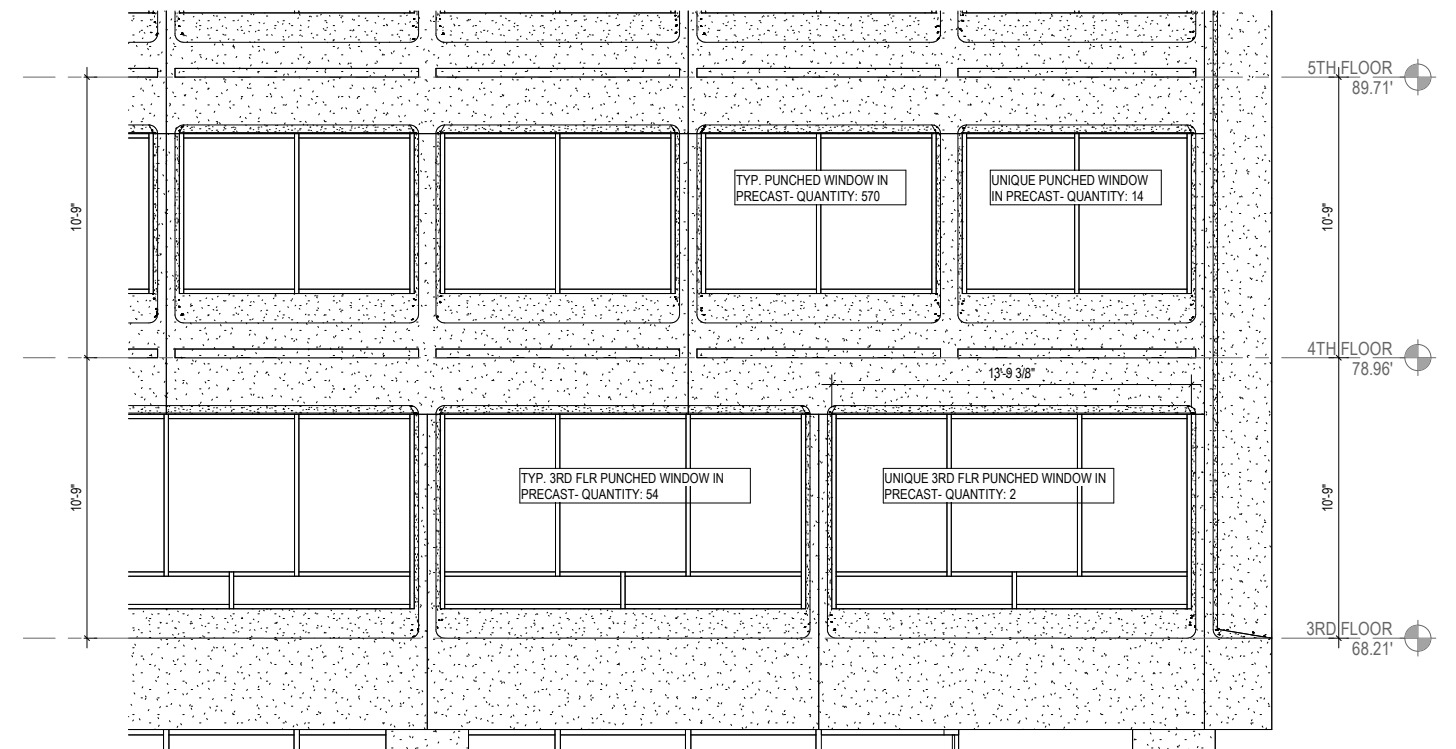




PROPOSED WINDOW WALL AND REPLACEMENT WINDOWS AT PRECAST



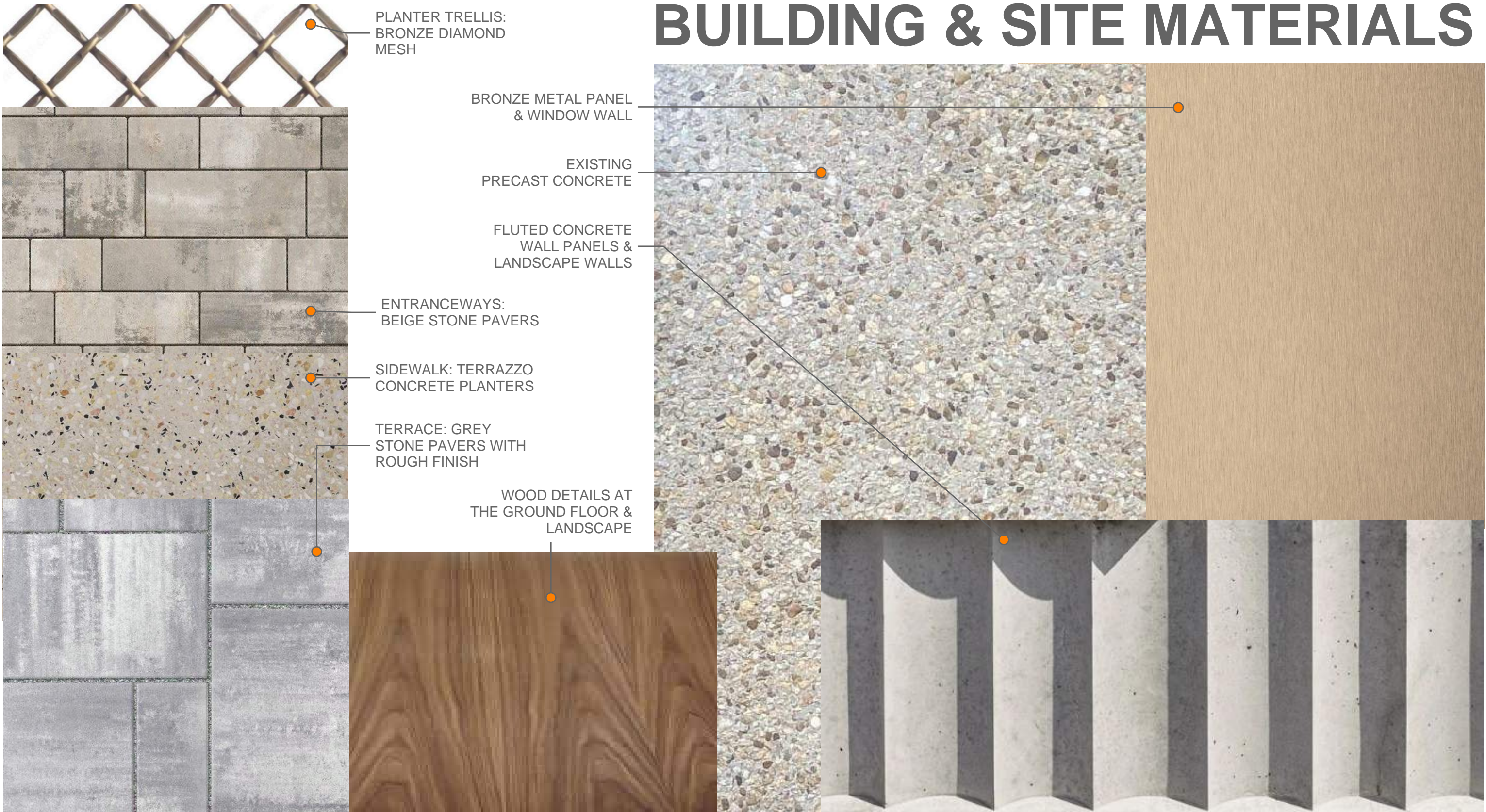
PROPOSED WINDOWS IN PRECAST



EXISTING WINDOWS IN PRECAST



# BUILDING & SITE MATERIALS





# BUILDING & SITE MATERIALS



450 5TH STREET, NW

PUD APPLICATION

TYPICAL MATERIAL LOCATIONS



# LEED SCORECARD



## LEED v4 for BD+C New Construction

450th 5th Street

April 7, 2025



### SUSTAINABILITY HIGHLIGHTS:

- Certification** - LEED
- Carbon** - Anticipating significant embodied carbon reduction expected from reusing >75% of the structure and enclosure
- Energy** - Anticipating 20% energy and greenhouse gas emissions savings from efficient energy savings.
- Water** - Anticipating 30% water savings from indoor plumbing fixtures and 50% water savings from irrigation systems
- Indoor Environment** - Targeting interior finish materials with low environment and human health impacts

0	0	1	Integrative Process	Possible Points:	1
Y	?	N			
		1	Credit 1 Integrative Process (v4.1)		1
13	0	3	Location and Transportation	Possible Points:	16
Y	?	N			
		16	Credit 1 LEED for Neighborhood Development	PATH 1	16
1			Credit 2 Sensitive Land Protection	PATH 2	1
1		1	Credit 3 High Priority Site		2
5			Credit 4 Surrounding Density & Diverse Uses		5
5			Credit 5 Access to Quality Transit (v4.1)		5
1			Credit 6 Bicycle Facilities (v4.1)		1
		1	Credit 7 Reduced Parking Footprint (v4.1)		1
		1	Credit 8 Electric Vehicles (v4.1)		1
3	0	7	Sustainable Sites	Possible Points:	10
Y	?	N			
Y			Prereq 1 Construction Activity Pollution Prevention		Required
1			Credit 1 Site Assessment		1
		2	Credit 2 Site Development - Protect or Restore Habitat (v4.1)		2
		1	Credit 3 Open Space		1
1		2	Credit 4 Rainwater Management (v4.1)		3
1		1	Credit 5 Heat Island Reduction		2
		1	Credit 6 Light Pollution Reduction		1
3	0	8	Water Efficiency	Possible Points:	11
Y	?	N			
Y			Prereq 1 Outdoor Water Use Reduction		Required
Y			Prereq 2 Indoor Water Use Reduction		Required
Y			Prereq 3 Building-Level Water Metering		Required
1		1	Credit 1 Outdoor Water Use Reduction		2
2		4	Credit 2 Indoor Water Use Reduction		6
		2	Credit 3 Cooling Tower Water Use (v4.1)		2
		1	Credit 4 Water Metering		1
5	0	28	Energy and Atmosphere	Possible Points:	33
Y	?	N			
Y			Prereq 1 Fundamental Commissioning and Verification		Required
Y			Prereq 2 Minimum Energy Performance 2024 Update		Required
Y			Prereq 3 Building-Level Energy Metering		Required
Y			Prereq 4 Fundamental Refrigerant Management		Required
3		3	Credit 1 Enhanced Commissioning		6
2		16	Credit 2 Optimize Energy Performance 2024 Update		18
		1	Credit 3 Advanced Energy Metering		1
		2	Credit 4 Demand Response (v4.1)		2
		5	Credit 5 Renewable Energy Production (v4.1)		5
		1	Credit 6 Enhanced Refrigerant Management		1

9	0	4	Materials and Resources	Possible Points:	13
Y	?	N			
Y			Prereq 1 Storage and Collection of Recyclables		Required
Y			Prereq 2 Construction and Demolition Waste Management Planning		Required
5			Credit 1 Building Life-Cycle Impact Reduction (v4.1)		5
1		1	Credit 2 Product Disclosure & Optimization - EPDs (v4.1)		2
		2	Credit 3 Product Disclosure & Optimization - Sourcing of Raw Materials (v4.1)		2
1		1	Credit 4 Product Disclosure & Optimization - Material Ingredients (v4.1)		2
2			Credit 5 Construction and Demolition Waste Management (v4.1)		2
5	0	11	Indoor Environmental Quality	Possible Points:	16
Y	?	N			
Y			Prereq 1 Minimum Indoor Air Quality Performance		Required
Y			Prereq 2 Environmental Tobacco Smoke Control (v4.1)		Required
1		1	Credit 1 Enhanced Indoor Air Quality Strategies		2
3			Credit 2 Low-Emitting Materials (v4.1)		3
1			Credit 3 Construction Indoor Air Quality Management Plan		1
		2	Credit 4 Indoor Air Quality Assessment (v4.1)		2
		1	Credit 5 Thermal Comfort		1
		2	Credit 6 Interior Lighting (v4.1)		2
		3	Credit 7 Daylight (v4.1)		3
		1	Credit 8 Quality Views		1
		1	Credit 9 Acoustic Performance (v4.1)		1
6	0	0	Innovation	Possible Points:	6
Y	?	N			
1			Credit 1.1 Innovation Credit		1
1			Credit 1.2 Exemplary Performance Credit		1
1			Credit 1.3 Innovation Credit		1
1			Credit 1.4 Pilot Credit		1
1			Credit 1.5 Pilot Credit		1
1			Credit 2 LEED Accredited Professional		1
1	0	3	Regional Priority Credits	Possible Points:	4
Y	?	N			
1			Credit 1 Regional Priority: Access to Quality Transit		1
		1	Credit 2 Regional Priority: Reduced Parking Footprint		1
		1	Credit 3 Regional Priority: Electric Vehicles		1
		1	Credit 4 Regional Priority: Rainwater Management		1



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SUSTAINABILITY TARGETS