

450 5TH STREET, NW - Zoning Analysis

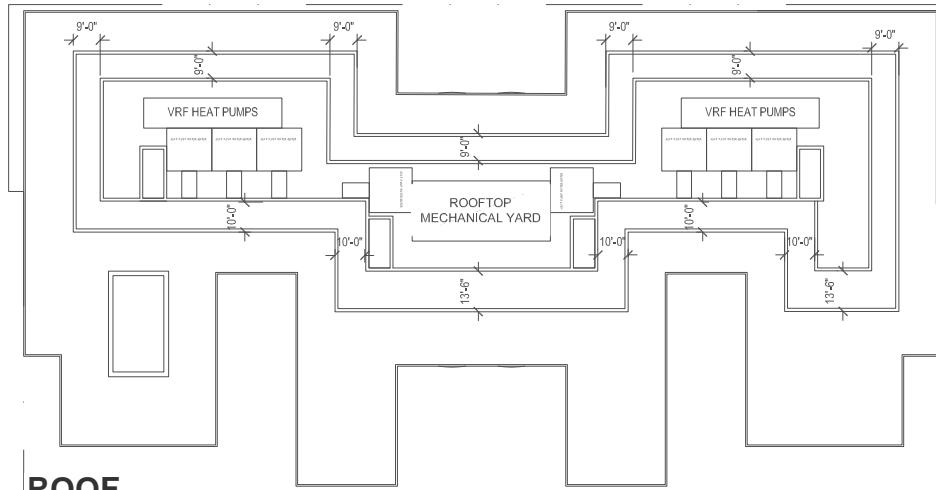
Zone District: MU-8

In the Pennsylvania Avenue National Historic Site & Commission of Fine Arts jurisdiction area

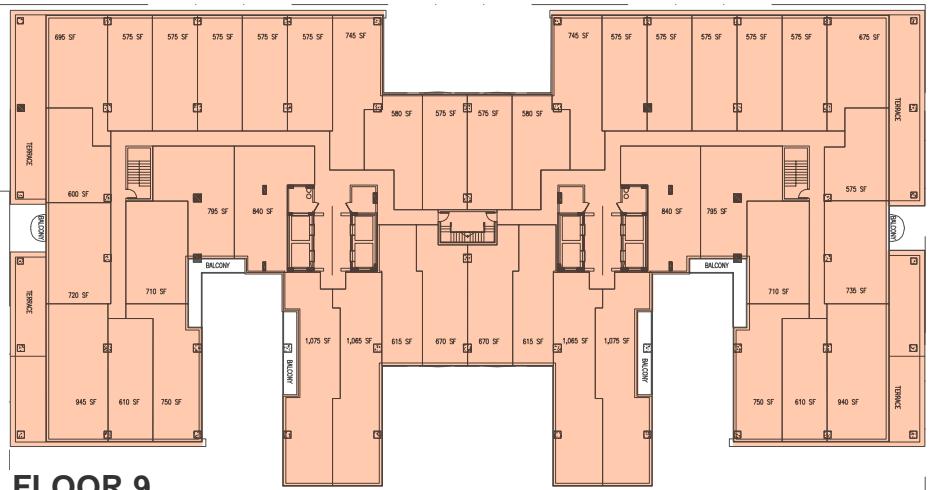
Square 0489 / Lot 0021

Lot Area: 57,265.61 sf (from PUD Exhibit 45)

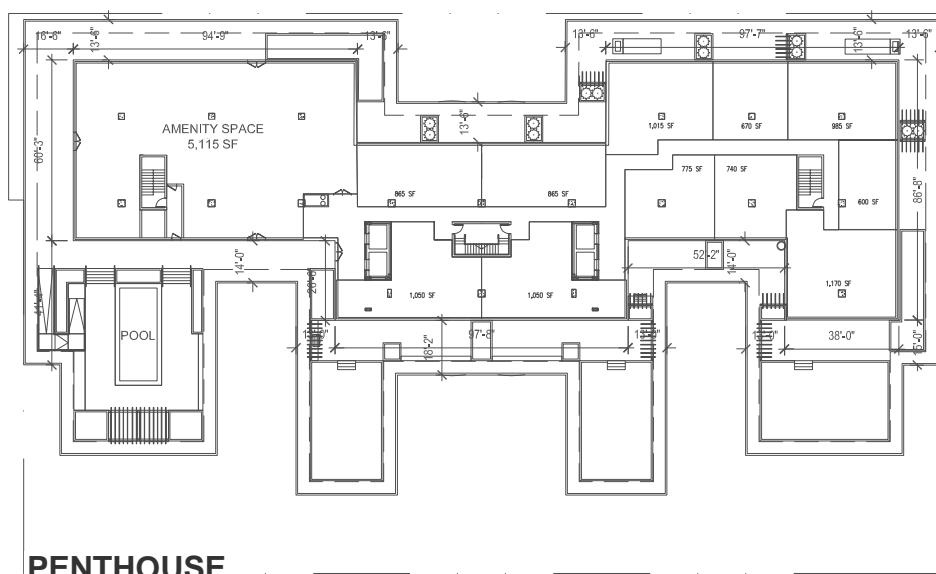
ZONING REGULATION	ZONING RESTRICTION	PROPOSED	COMMENTS
Per 1978/79PUD Density / FAR	7 (400,859.27 GSF)	7.19	
Per 1978/79PUD Height (not incl. PH)	120'	No change to existing 120' height	COMPLY
DCMR11, G210.1 Lot Occupancy	N/A for Residential Use in MU-8	No change to existing	COMPLY
DCMR11, G209 Residential Open Court Width	4 in./ft. of height of court/10 ft.min.	WILL REQUIRE FLEXIBILITY	
DCMR11, G209 Residential Closed Court Width	4 in./ft. of height of court/15 ft.min.	24'-9" PROVIDED	COMPLY
DCMR11, G209 Residential Closed Court Area	Twice the square of the req'd width of court dimension but not less than 350 sq. ft. min.	1,807' PROVIDED	COMPLY
DCMR11, G207 Rear Yard	2.5 in./ft. of height from the mean finished grade at the middle of the rear of the structure to the highest point of the main roof or parapet, but not less than 12 ft. A rear yard is not required to be provided below a horizontal plane as described in Subtitle G § 405.4	No change to existing	COMPLY NO CHANGE
DCMR11, G208.2 Side Yard	Not req'd but if provided, 2" per 1' of height but no less than 5 ft.	No change to existing	NO CHANGE
DCMR11, G211.1 Green Area Ratio	0.25	Proposed .025	WILL COMPLY
DCMR11, G205.1 Penthouse Height	20', 1 story except 2nd story permitted for PH mechanical space	Proposed 12' & 8' for PH mech. space	COMPLY
DCMR11, C1502.1 Penthouse Setback	1 to 1	1:1 Setback provided	COMPLY
DCMR11, C700.1 Off Street Parking	1 per 3 dwelling units in excess of 4 units. C702.1 Exemption - 50% reduction per location within .5 mile of Metrorail.	Existing 242 spaces on Cellar 2 & 3. 500 units - 4 = 496 / 3 = 165/2 = 83 Spaces Required	COMPLY
DCMR11, C802 Bicycle Parking	Short term: 1 per 20 units + 1 per 3,500 sq.ft. Long term: 1 per 3 units 500/3 = 167 req'd	25 Short term spaces provided 167 Long term spaces provided	COMPLY
DCMR11, C901 Loading and Service /Delivery Spaces	1 loading berth @ 12' x 30' deep and 1 service / delivery space @ 10' x 20' deep	2 existing berths each @25' x 36.5' deep provided 1 FOR LOADING, 1 FOR SERVICE/DELIVERY	COMPLY
DCMR11, C905.4 Loading Platform	Minimum 100 sf. and at minimum 8 ft. wide	2 existing loading platforms each @ 175 s.f./17.5' wide x 10' deep provided	COMPLY



ROOF

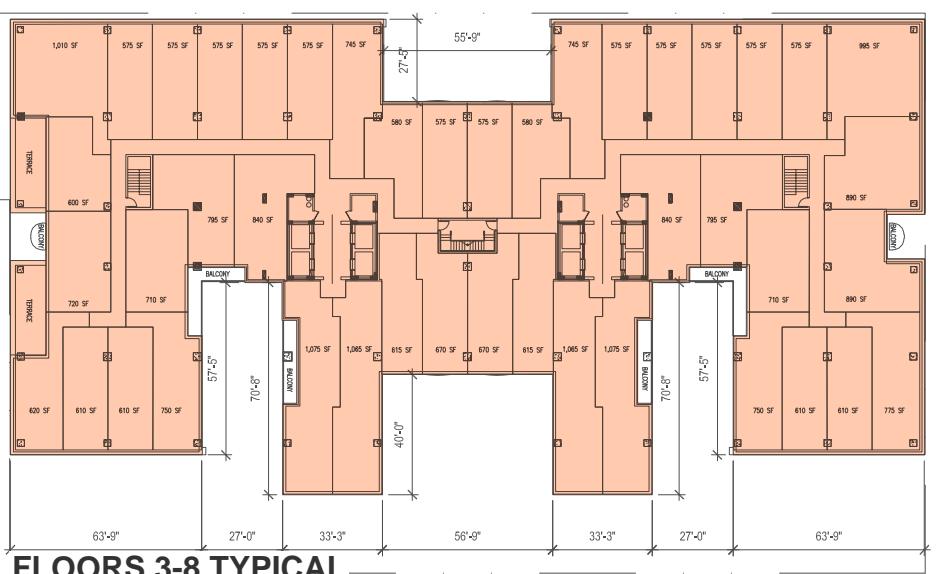


FLOOR 9
34,477 GSF TO FAR

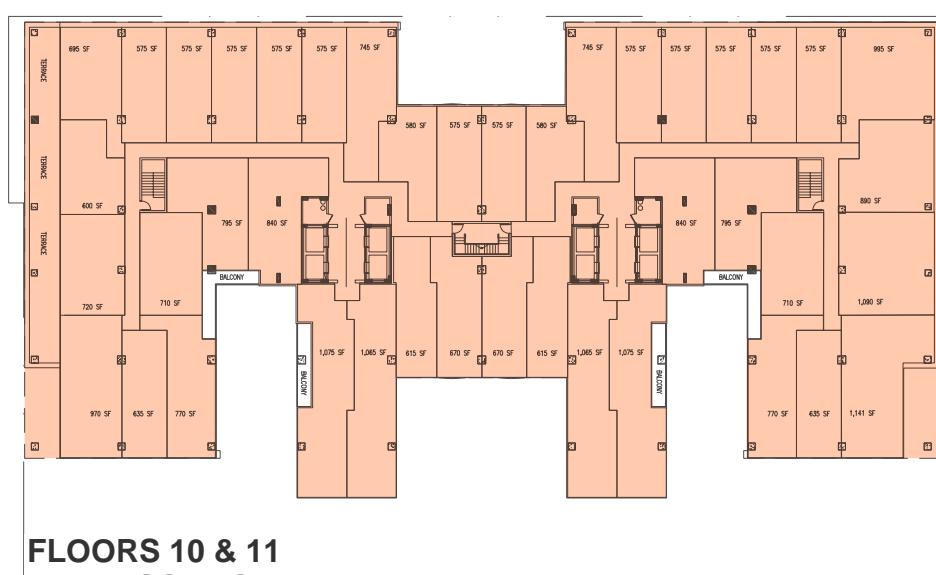


PENTHOUSE

0 GSF TO FAR



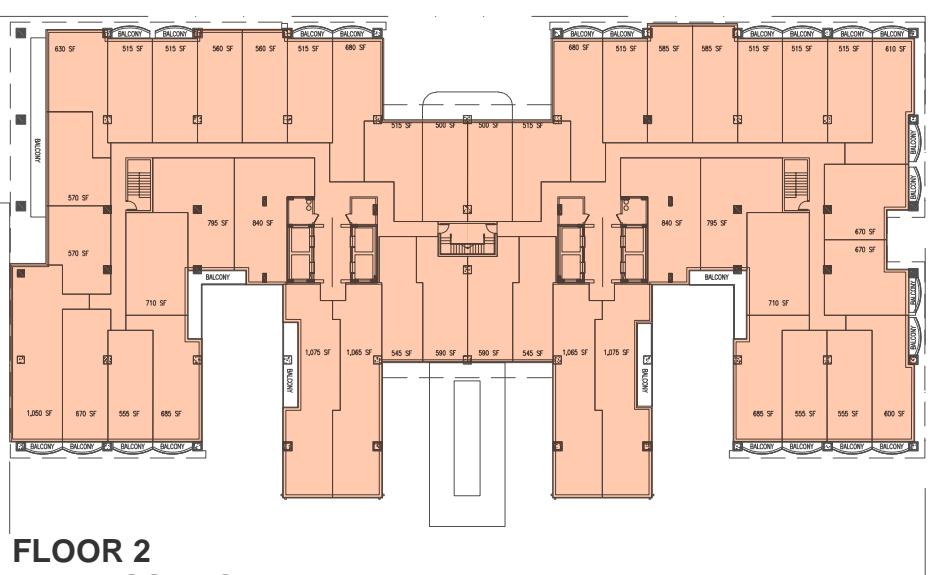
FLOORS 3-8 TYPICAL
37,276 GSF TO FAR



FLOORS 10 & 11

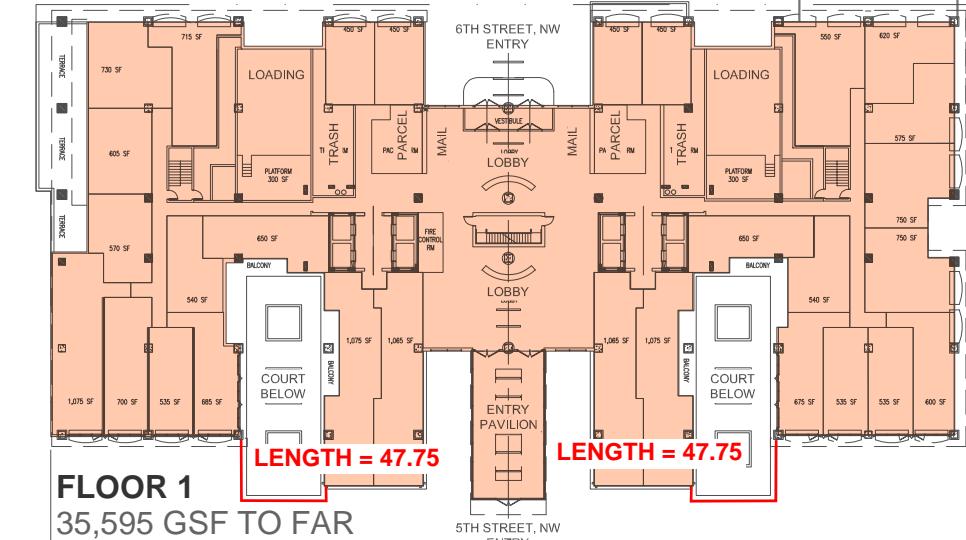
36,328 GSF TO FAR

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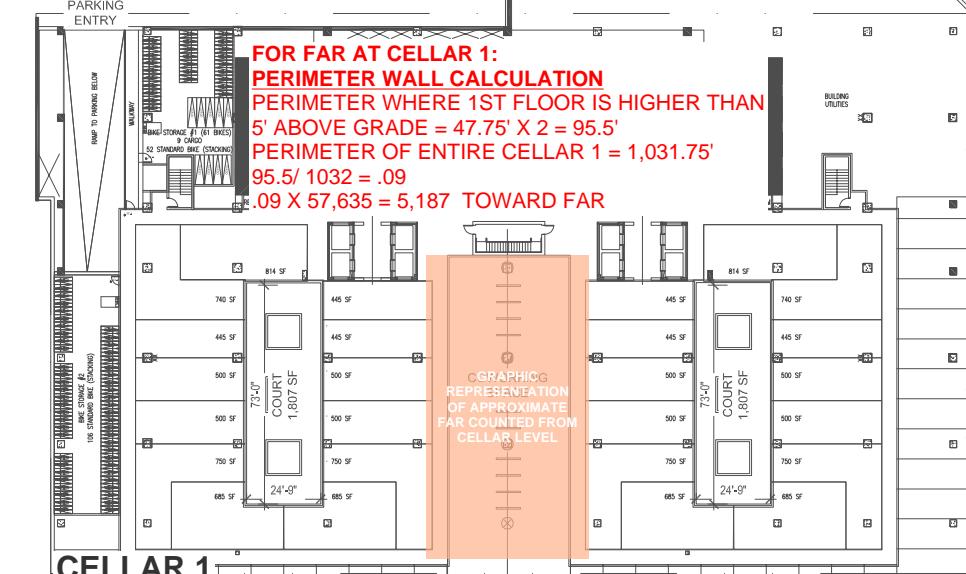


FLOOR 2
34,460 GSF TO FAR

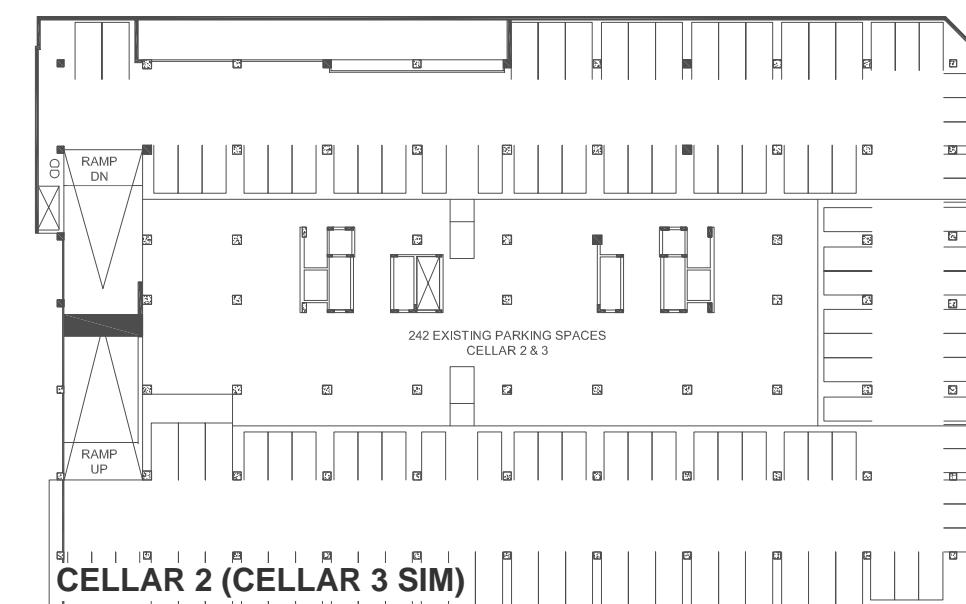
PUD APPLICATION



FLOOR 1
35,595 GSF TO FAR



CELLAR 1
5,187 GSF TO FAR (57,635 TOTAL GSF)



CELLAR 2 (CELLAR 3 SIM)

SCALE: 1/64" = 1'-0"

ZONING FAR DIAGRAMS

	FOOTPRINT GSF (C3-PH)	GSF TO FAR	CIRCULATION/ BACK-OF-HOUSE/ LOBBIES	PARKING	AMENITY/ RESI. STORAGE	GROSS RESIDENTIAL *LEASABLE	CORRIDOR EFFICIENCY	SLAB DEMOLISHED
MAIN ROOF/PH	17,895	0	2,345	0	5,120	10,430	58%	328
FLOOR 11	36,936	36,936	4,378	0		32,558	88%	2,139
FLOOR 10	36,936	36,936	4,378	0		32,558	88%	2,139
FLOOR 9	35,081	35,081	4,378	0		30,703	88%	6,557
FLOOR 8	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 7	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 6	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 5	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 4	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 3	37,840	37,840	4,440	0		33,400	88%	6,555
FLOOR 2	34,908	34,908	4,455	0		30,453	87%	4,813
FLOOR 1	36,222	36,222	15,074	0		21,148	58%	3,200
CELLAR 1	57,635	5,187	14,979	0	19,131	15,845	27%	0
CELLAR 2	61,755	0	16,921	44,834		0		0
CELLAR 3	61,755	0	16,921	44,834		0		0
TOTAL	606,163	412,310	110,469	89,668	24,251	374,095		58,506

500 Approx. # units

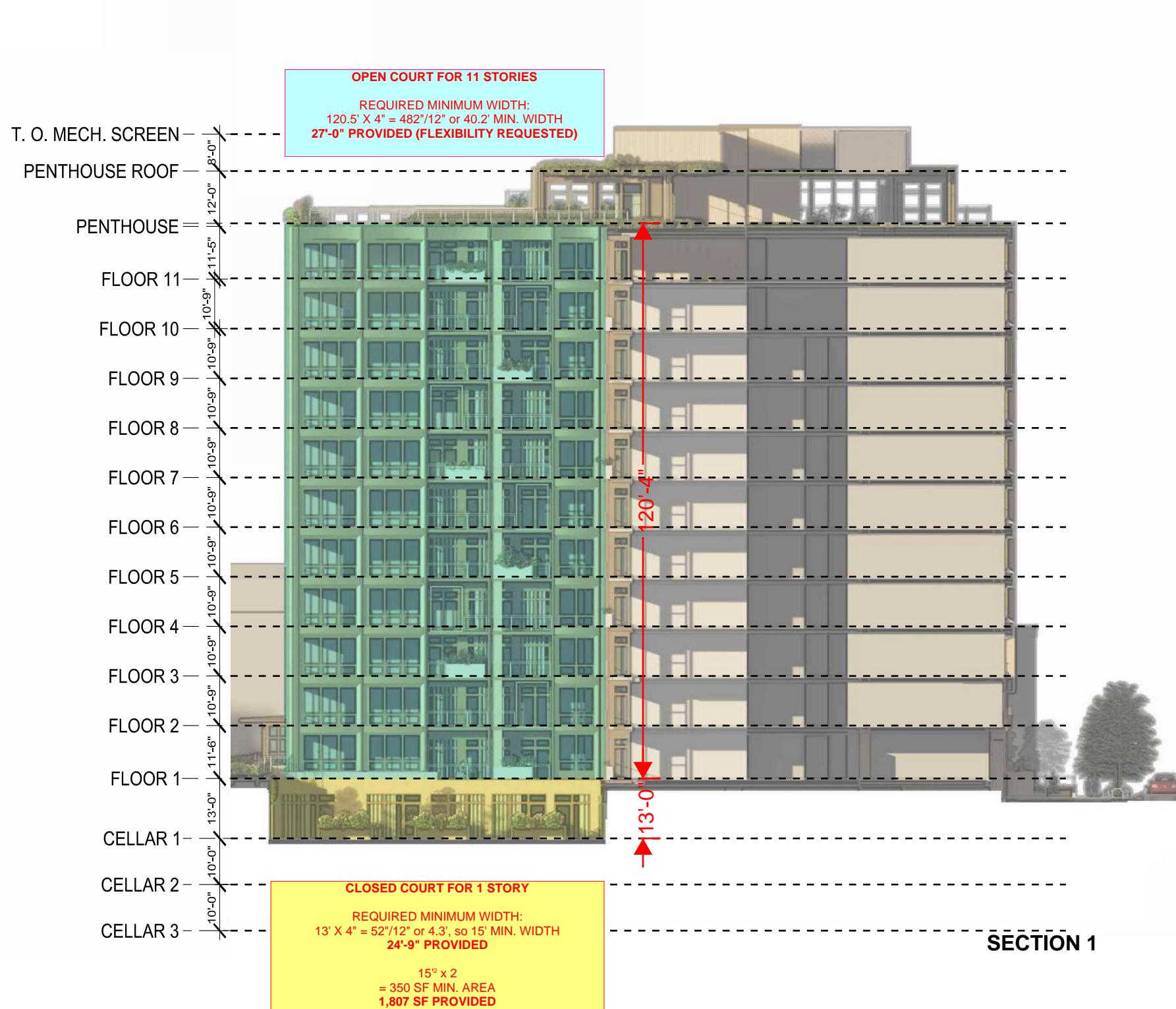
Average 750 sf

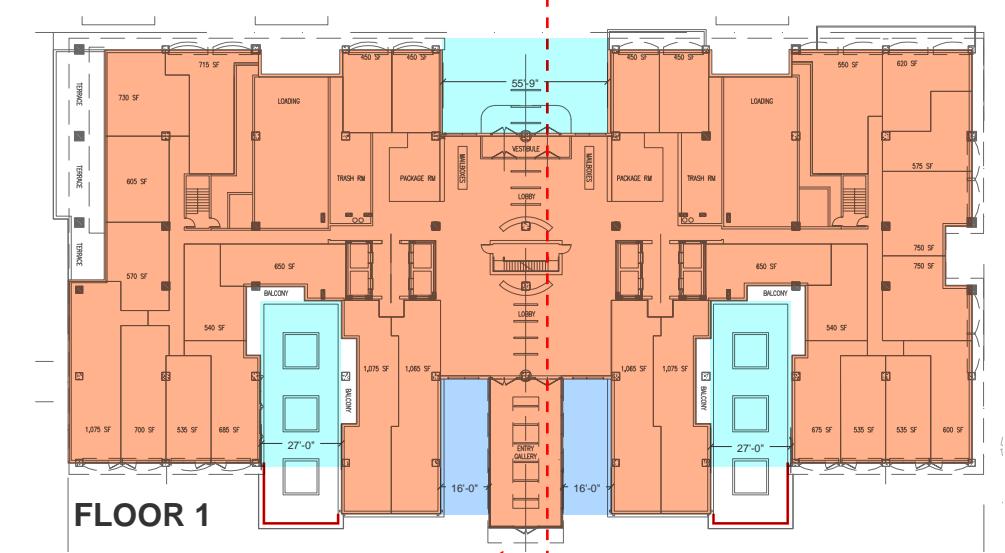
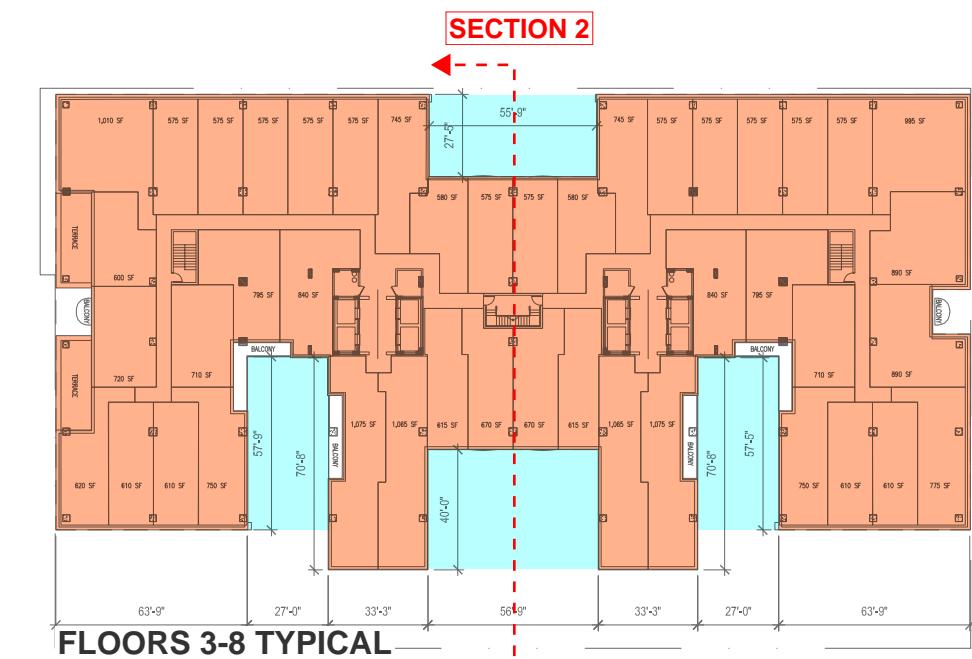
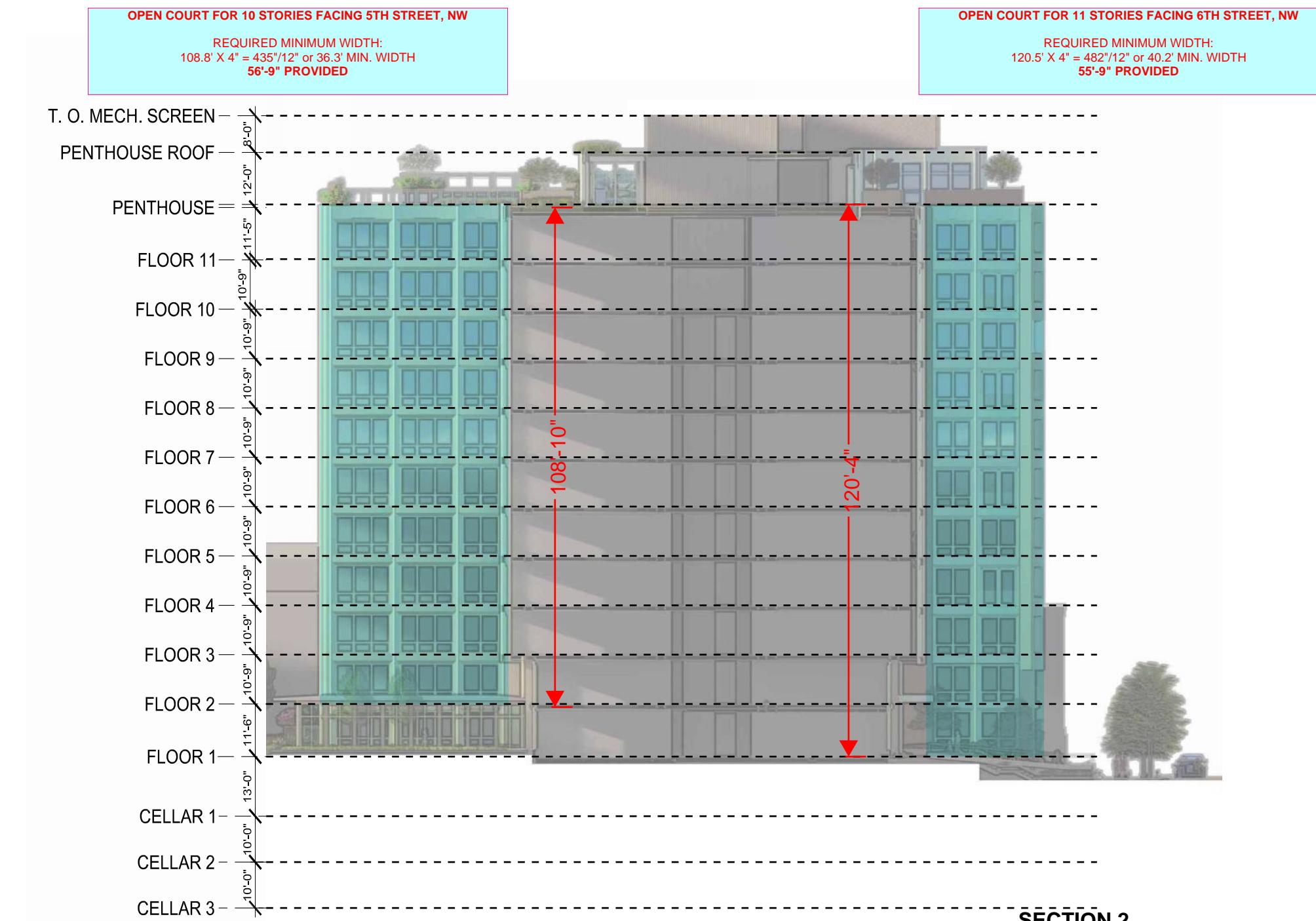
LOT & FAR DATA

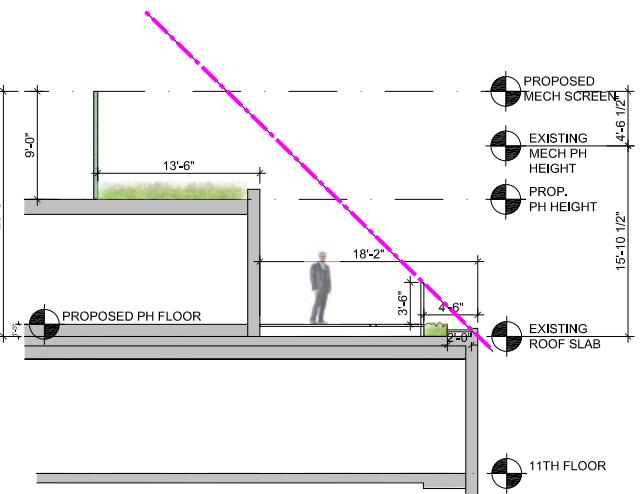
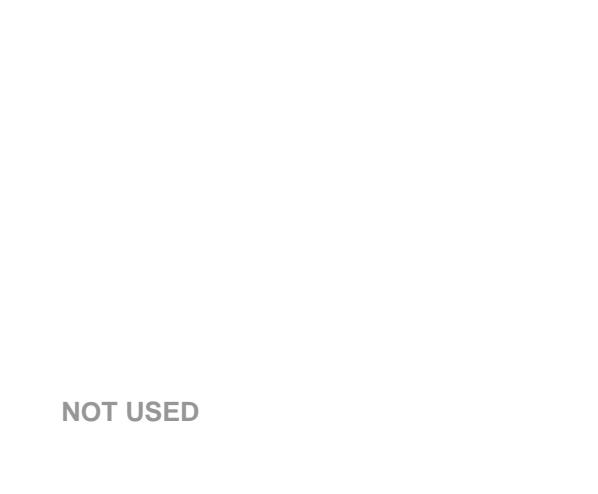
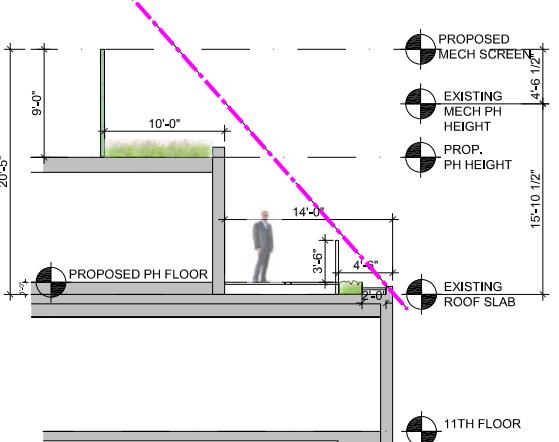
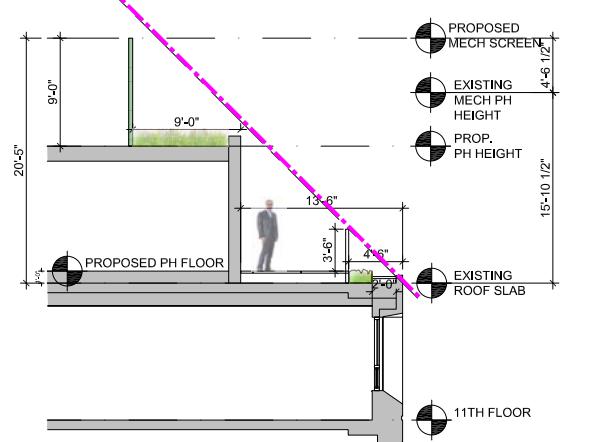
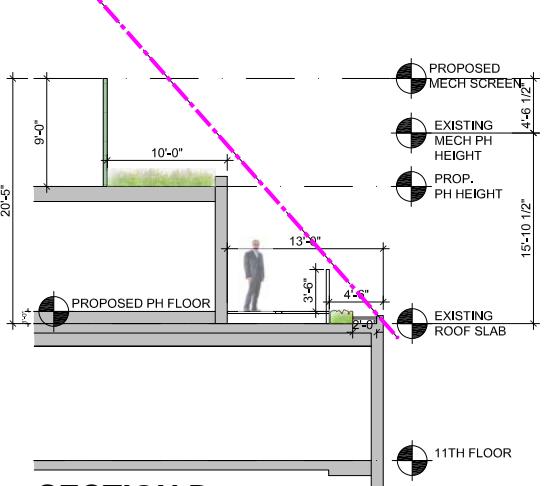
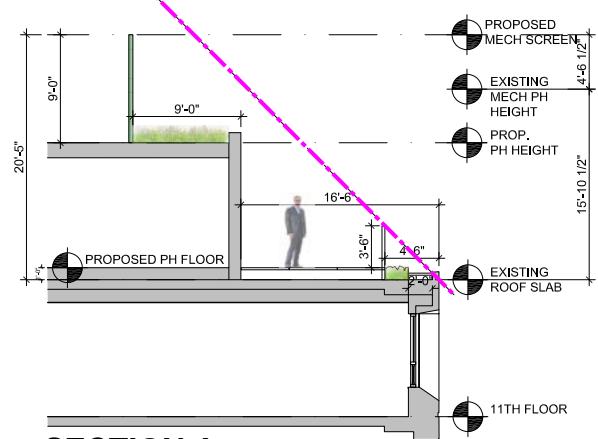
57,309	LOT SIZE
401,163	APPROVED FAR OF 7
412,310	PROPOSED FAR SF
7.19	PROPOSED FAR

PENTHOUSE FAR

0.4	ALLOWABLE UP TO
22,924	ALLOWABLE FAR SF
17,895	PROPOSED PH FAR







NOT USED

