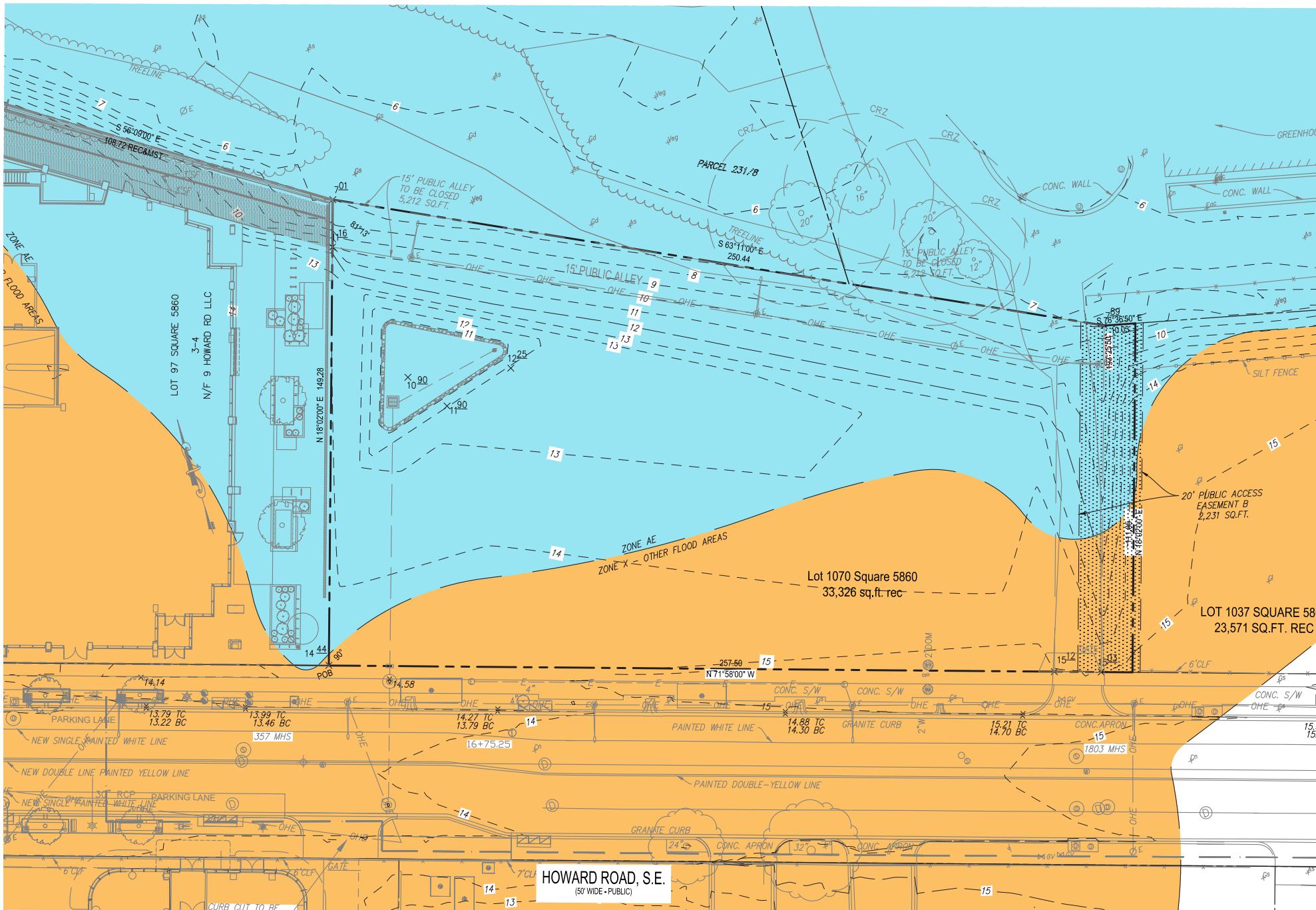


CIVIL | EXISTING CONDITIONS FLOOD PLAN | C0.02



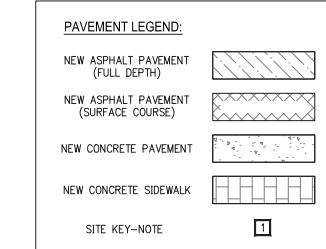
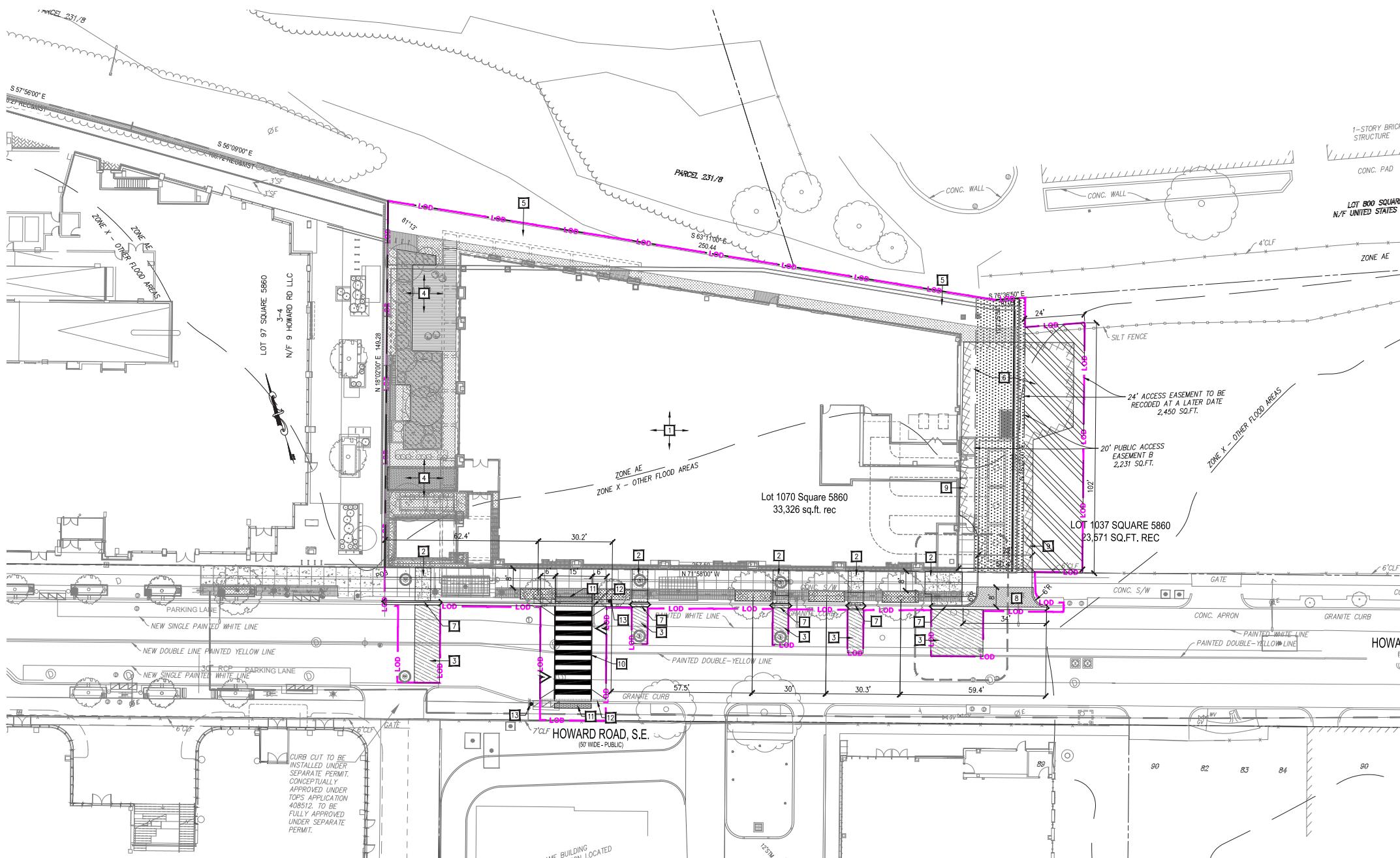
GENERAL NOTES:

1. THE INFORMATION SHOWN ORIGINATES FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 29, 2021 AND UPDATED PER AVAILABLE DESIGN AND AS-BUILT DATA PROVIDED TO THIS FIRM BY OTHERS.
2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
3. AS OF THE ORIGINAL DATE OF THIS SURVEY, LOTS 1025, 1026, 1036 & 1037 SQUARE 5860 ARE IN THE NAME OF 822 HOWARD RD LLC AND LOTS 1027-1031 ARE IN THE NAME OF 752 HOWARD ROAD LLC.
4. A SURVEY TO MARK HAS BEEN AUTHORIZED AND PERFORMED ON LOTS 1025-1031, 1036 & 1037, THE SURVEY TO MARK HAS BEEN ACCEPTED BY THE OFFICE OF THE D.C. SURVEYOR, HOWEVER AT THIS DATE THE SURVEY HAS NOT BEEN RECORDED AND SCANNED INTO THE PUBLIC RECORD SYSTEM.
5. ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 13-20), MERIDIAN REFERENCED TO DCSO NORTH BY HOLDING RECORD BEARING OF HOWARD ROAD, S.E.
6. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AS SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN, UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
7. PROPERTY IS IDENTIFIED AS ZONE X OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATIONS DETERMINED) AND ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010057C & 1100010076C, EFFECTIVE DATE SEPTEMBER 27, 2010.
8. AS OF AUGUST 5, 2021, THE PROPERTY IS ZONED NHR AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/z16>), MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

8.78 x EXISTING SPOT ELEVATION
 100-YEAR FLOODPLAIN (FLOOD ELEV=10.55')
 ZONE X: 500-YEAR FLOODPLAIN (FLOOD ELEV=14.10')
 - - - - - EXISTING TOPO LINES

20' 10' 0 20' 40'
 1" = 20'

CIVIL | SITE PLAN | C0.03



NOTES:

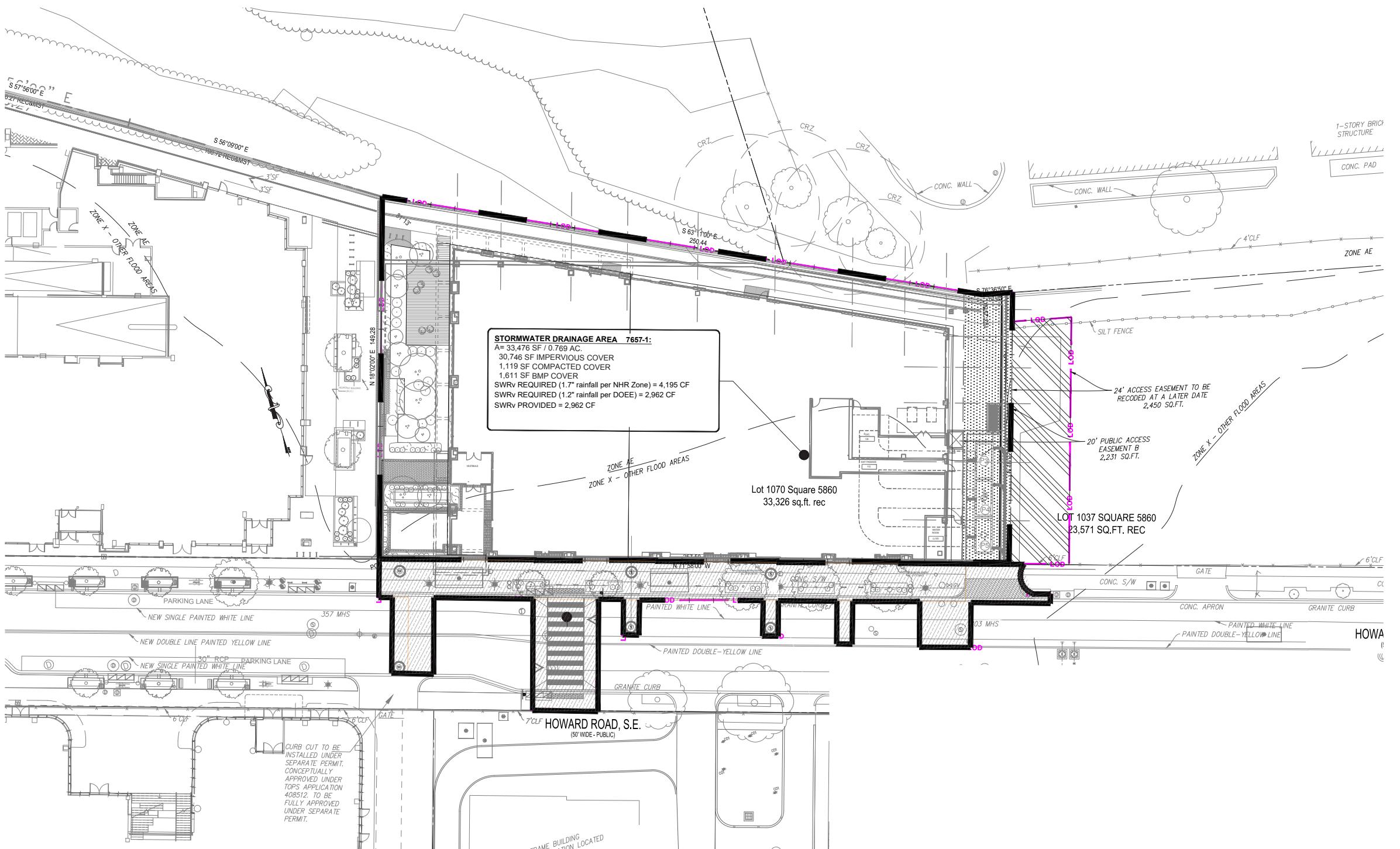
1. STREETSCAPE DETAILS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. THE FINAL DETAILS OF THE STREETSCAPE IMPROVEMENTS WILL BE SELECTED DURING DETAILED DESIGN PHASES OF WORK AND CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS.
2. PLANT SPECIES SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN INTENT ONLY. THE PURPOSE IS TO GENERALLY DEFINE PLANT SIZE, CHARACTER, AND LOCATIONS. REFINEMENTS TO THE PLANTING DESIGN AND FINAL SELECTION OF ALL PLANT MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.
3. INTERIOR LAYOUTS ARE ILLUSTRATIVE ONLY AND SUBJECT TO CHANGE ON FINAL PLAN.
4. DC/DDOT MAY REQUIRE NEW ASPHALT SURFACE COURSE TO CENTERLINE OF THE STREET PER DC/DDOT INSPECTOR RECOMMENDATIONS. CONTRACTOR TO COORDINATE LIMITS OF NEW ASPHALT SURFACE COURSE WITH INSPECTOR.
5. ALL NEW DEVELOPMENT AND CONSTRUCTION ON ADJACENT PROPERTIES TO BE COMPLETED BY OTHERS AND IS NOT CONSIDERED PART OF THE PROJECT.

- TREE PLANTING AND SKATING SHALL COMPLY WITH THE CURRENT VERSION OF THE DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND OTHER STRUCTURES, SECTION 608.02 AND PER STANDARD DRAWINGS NO. 608.02 AND 608.03. DECIDUOUS TREES SHALL ONLY BE PLANTED BETWEEN OCTOBER 15 AND MAY 1 AS PER THE SPRING AND FALL PLANTING SEASON DATES (STANDARD DRAWING NO. 608.08 AND 608.09). PEAT MOSS IS NOT ALLOWED FOR USE AS SOIL AMENDMENT.
- PEAT MOSS IS NOT ALLOWED FOR USE AS SOIL AMENDMENT.
- COMPANION PLANTS (I.E. PERENNIALS, GRASSES, BULBS, SHRUBS, ETC.) TO BE INSTALLED IN A TREE SPACE MUST CONFORM TO THE CURRENT VERSION OF THE DDOT DESIGN MANUAL, CHAPTER 47 - LANDSCAPE DESIGN AND DCMR TITLE 24 SECTION 109- BEAUTIFICATION OF TREE SPACES. COMPANION PLANTS SHALL NOT EXCEED 3 FEET IN HEIGHT, HAVE A SHALLOW ROOT SYSTEM AND BE PLANTED AT MINIMUM 2 FEET FROM THE ROOT FLARE (CROWN) OF THE STREET TREE.
- GRASS/SOD IN CONTINUOUS PLANT STRIPS SHALL NOT BE PLANTED WITHIN 4 FEET OF THE ROOT FLARE OF THE TREE.
- FINISH OFF UNPLANTED AREAS IN A TREE SPACE WITH 2-3" LAYER OF DOUBLE SHREDDED HARDWOOD SAWDUST, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE. CONTRACTOR SHALL CONTACT SIMONE BANUA, DDOT LEAD ARBORIST AT SIMONE.BANUA@DDOT.GOV OR 202-557-4590 WHEN THE STREET TREES ARE READY TO BE PLANTED, PROVIDING AT LEAST 48 HOURS NOTICE.
- CONTRACTOR TO COORDINATE WITH DDOT WARD ARBORIST TO PLANT EITHER A JEFFERSON ELM, A CHINESE ELM, OR HACKBERRY. THE NEW STREET TREE SHALL BE AT MAXIMUM 3" CALIPER AND THE SOIL VOLUME REQUIREMENT IS WAIVED TO AVOID IMPACTS TO THE ADJACENT AMERICAN ELM. ONCE THE SHRUB (YEW) IS REMOVED, THE EXISTING BOX WILL BE EXCAVATED BY HAND IN ITS ENTIRETY TO A DEPTH OF 3 FEET AND AMENDED WITH LOAMY PLANTING SOIL PROVIDED NO SIGNIFICANT ROOTS ARE EXPOSED.

SITE KEYNOTES:

- 1** NEW BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- 2** NEW CONCRETE PAVEMENT PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO DETAIL ON SHEET CIV0502 FOR DETAILS.
- 3** NEW ASPHALT PAVEMENT (FULL DEPTH) PER DDOT STANDARDS AND SPECIFICATIONS.
- 4** NEW PLAZA AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 5** NEW BOARDWALK AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 6** NEW CONCRETE VEHICULAR SPACE PER DDOT STANDARDS AND SPECIFICATIONS.
- 7** NEW GRANITE CURB WITH BRICK GUTTER PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV0502 FOR DETAILS.
- 8** NEW CONCRETE DRIVEWAY APRON PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV0502 FOR DETAILS.
- 9** NEW ASPHALT PAVEMENT (SURFACE COURSE) PER DDOT STANDARDS AND SPECIFICATIONS.
- 10** NEW RAISED HIGH VISIBILITY CROSSWALK PER DDOT STANDARDS AND SPECIFICATIONS. 24" WIDE SOLID CROSS BAND, 24" WIDE CROSS VOID, 6" SOLID BAR. ALL MARKINGS WHITE THERMOPLASTIC. REFER TO SHEET CIV0502 FOR DWG NO.605.16.
- 11** NEW ADA PAVEMENT WITH TRUNCATED DOME PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO DDOT DETAIL DWG 606.08 AND 606.09.
- 12** NEW METAL TRENCH DRAIN COVER. REFER TO DDOT DETAIL DWG NO. 621.43 AND 621.44 FOR DETAILS.
- 13** NEW RECTANGULAR RAPID FLASHING BEACON. REFER TO DETAIL IN THIS PLAN SET.

CIVIL | PROPOSED DRAINAGE PLAN | C0.04



CIVIL | TURN STUDY | C0.05

