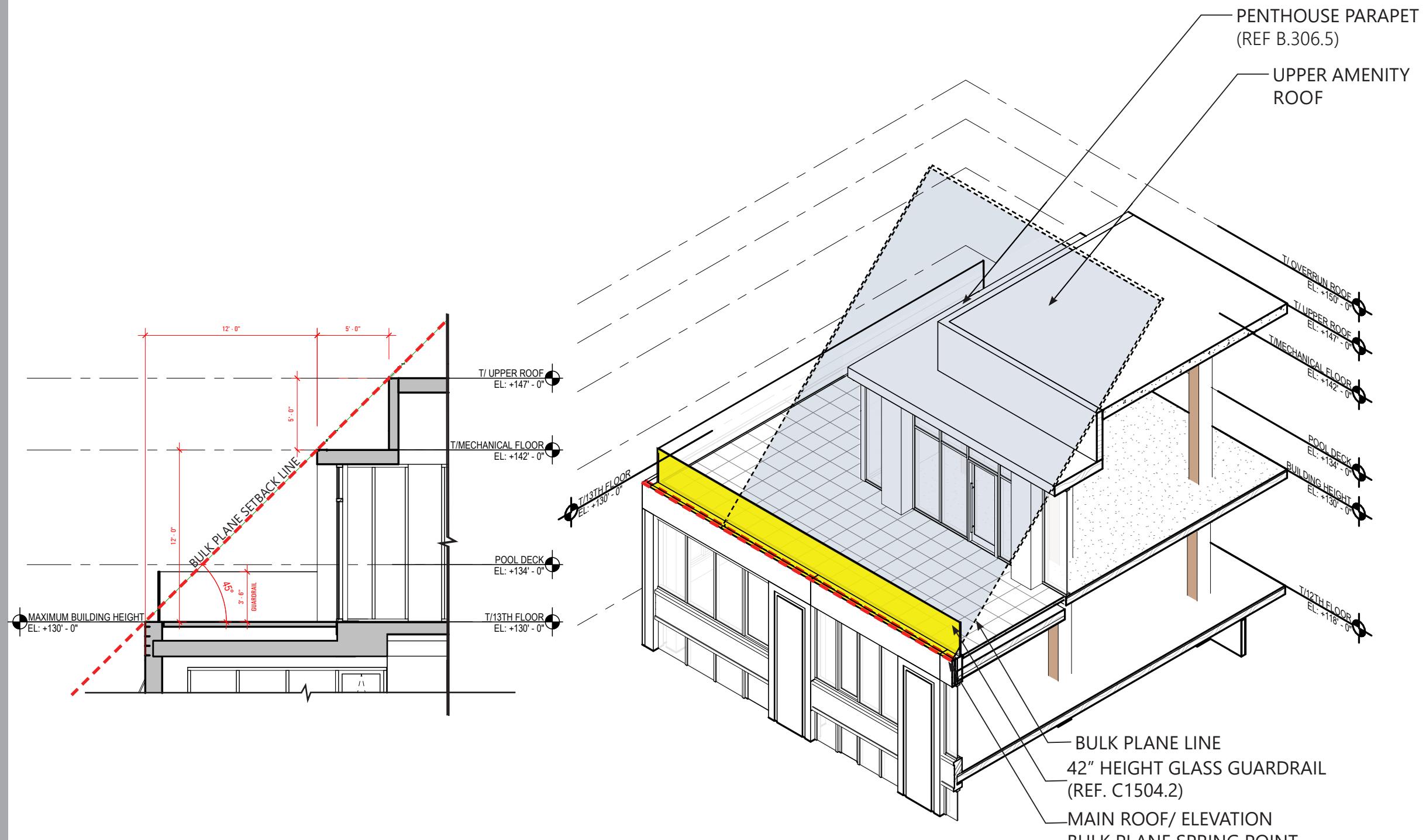
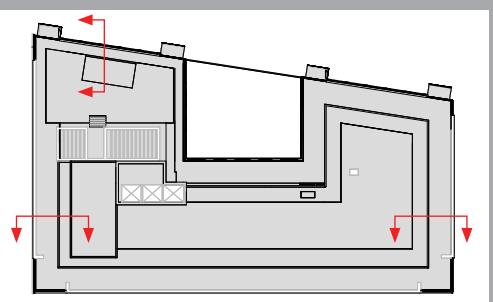


# ZONING ANALYSIS | PENTHOUSE SETBACKS | A8.03

## BUILDING HEIGHT, PENTHOUSES, AND SETBACK

- (B.306.1) Zoning regulations and the Height Act both apply to height limitations.
- (B.306.5) Architectural embellishments may be erected to a greater height than prescribed by the limitations, provided it does not result in the appearance of a raised height building for more than 30% of each façade.
- (C.1504.1) The Penthouse shall be set back from the roof on which it is located, measured at a distance equal to its height from the edge of that roof.
- (C1504.2) Setback requirements shall not apply to:
  - Parapets no taller than 48"
  - Guardrails required by the building code for a roof deck.
- (C.1504.4) Open court setback requirements shall not apply to rooftop access stairwell or elevator.

## KEY PLAN



# ZONING ANALYSIS | LEED SCORECARD | A9.01



LEED v4 BD+C

Project Checklist

Y ? N

1 Credit Integrative Process

Project Name: Bridge District Parcel 5  
Date: 9-May-25

1

| 9 2 5 Location and Transportation |    |        | 16                                           |
|-----------------------------------|----|--------|----------------------------------------------|
| 1                                 | 16 | Credit | LEED for Neighborhood Development Location   |
| 1                                 | 1  | Credit | Sensitive Land Protection                    |
| 1                                 | 1  | Credit | High Priority Site and Equitable Development |
| 2                                 | 3  | Credit | Surrounding Density and Diverse Uses         |
| 3                                 | 1  | Credit | Access to Quality Transit                    |
| 1                                 | 1  | Credit | Bicycle Facilities                           |
|                                   | 1  | Credit | Reduced Parking Footprint                    |
| 1                                 | 1  | Credit | Electric Vehicles                            |

| 5 6 2 Materials and Resources |   |        | 13                                                            |
|-------------------------------|---|--------|---------------------------------------------------------------|
| Y                             |   | Prereq | Storage and Collection of Recyclables                         |
| Y                             |   | Prereq | Construction and Demolition Waste Management Planning         |
| 1                             | 2 | Credit | Building Life-Cycle Impact Reduction                          |
| 1                             | 1 | Credit | Product Disclosure & Optimization - EPDs                      |
|                               | 2 | Credit | Product Disclosure & Optimization - Sourcing of Raw Materials |
| 2                             |   | Credit | Product Disclosure & Optimization - Material Ingredients      |
| 1                             | 1 | Credit | Construction and Demolition Waste Management                  |

| 7 3 0 Sustainable Sites |   |        | 10                                            |
|-------------------------|---|--------|-----------------------------------------------|
| Y                       |   | Prereq | Construction Activity Pollution Prevention    |
| 1                       | 1 | Credit | Site Assessment                               |
| 1                       | 1 | Credit | Site Development - Protect or Restore Habitat |
|                         | 1 | Credit | Open Space                                    |
| 3                       | 1 | Credit | Rainwater Management                          |
| 2                       | 1 | Credit | Heat Island Reduction                         |
| 1                       | 1 | Credit | Light Pollution Reduction                     |

| 8 7 1 Indoor Environmental Quality |   |        | 16                                              |
|------------------------------------|---|--------|-------------------------------------------------|
| Y                                  |   | Prereq | Minimum Indoor Air Quality Performance          |
| Y                                  |   | Prereq | Environmental Tobacco Smoke Control             |
| 2                                  | 1 | Credit | Enhanced Indoor Air Quality Strategies          |
| 3                                  |   | Credit | Low-Emitting Materials                          |
| 1                                  | 1 | Credit | Construction Indoor Air Quality Management Plan |
|                                    | 2 | Credit | Indoor Air Quality Assessment                   |
| 1                                  | 1 | Credit | Thermal Comfort                                 |
|                                    | 2 | Credit | Interior Lighting                               |
|                                    | 2 | Credit | Daylight                                        |
| 1                                  | 1 | Credit | Quality Views                                   |
|                                    | 1 | Credit | Acoustic Performance                            |

| 6 1 4 Water Efficiency |   |        | 11                            |
|------------------------|---|--------|-------------------------------|
| Y                      |   | Prereq | Outdoor Water Use Reduction   |
| Y                      |   | Prereq | Indoor Water Use Reduction    |
| Y                      |   | Prereq | Building-Level Water Metering |
| 2                      | 1 | Credit | Outdoor Water Use Reduction   |
| 3                      | 1 | Credit | Indoor Water Use Reduction    |
|                        | 2 | Credit | Optimize Process Water Use    |
| 1                      | 1 | Credit | Water Metering                |

| 6 0 0 Innovation |   |        | 6                                                        |
|------------------|---|--------|----------------------------------------------------------|
| 1                | 1 | Credit | Innovation Credit: Low-Mercury Lamps                     |
| 1                | 1 | Credit | Innovation Credit: O+M Starter                           |
| 1                | 1 | Credit | Innovation Credit: Green Building Education              |
| 1                | 1 | Credit | Pilot Credit: Assessments and Planning for Resilience    |
| 1                | 1 | Credit | Pilot Credit: Integrative Analysis of Building Materials |
| 1                | 1 | Credit | LEED Accredited Professional                             |

| 20 4 9 Energy and Atmosphere |   |        | 33                                         |
|------------------------------|---|--------|--------------------------------------------|
| Y                            |   | Prereq | Fundamental Commissioning and Verification |
| Y                            |   | Prereq | Minimum Energy Performance                 |
| Y                            |   | Prereq | Building-Level Energy Metering             |
| Y                            |   | Prereq | Fundamental Refrigerant Management         |
| 5                            | 1 | Credit | Enhanced Commissioning                     |
| 10                           | 3 | Credit | Optimize Energy Performance                |
| 1                            | 1 | Credit | Advanced Energy Metering                   |
|                              | 2 | Credit | Grid Harmonization                         |
| 5                            | 1 | Credit | Renewable Energy                           |

| 4 0 0 Regional Priority |   |        | 4                                              |
|-------------------------|---|--------|------------------------------------------------|
| 1                       | 1 | Credit | Regional Priority: Access to Quality Transit   |
| 1                       | 1 | Credit | Regional Priority: Green Vehicles              |
| 1                       | 1 | Credit | Regional Priority: Rainwater Management        |
| 1                       | 1 | Credit | Regional Priority: Optimize Energy Performance |

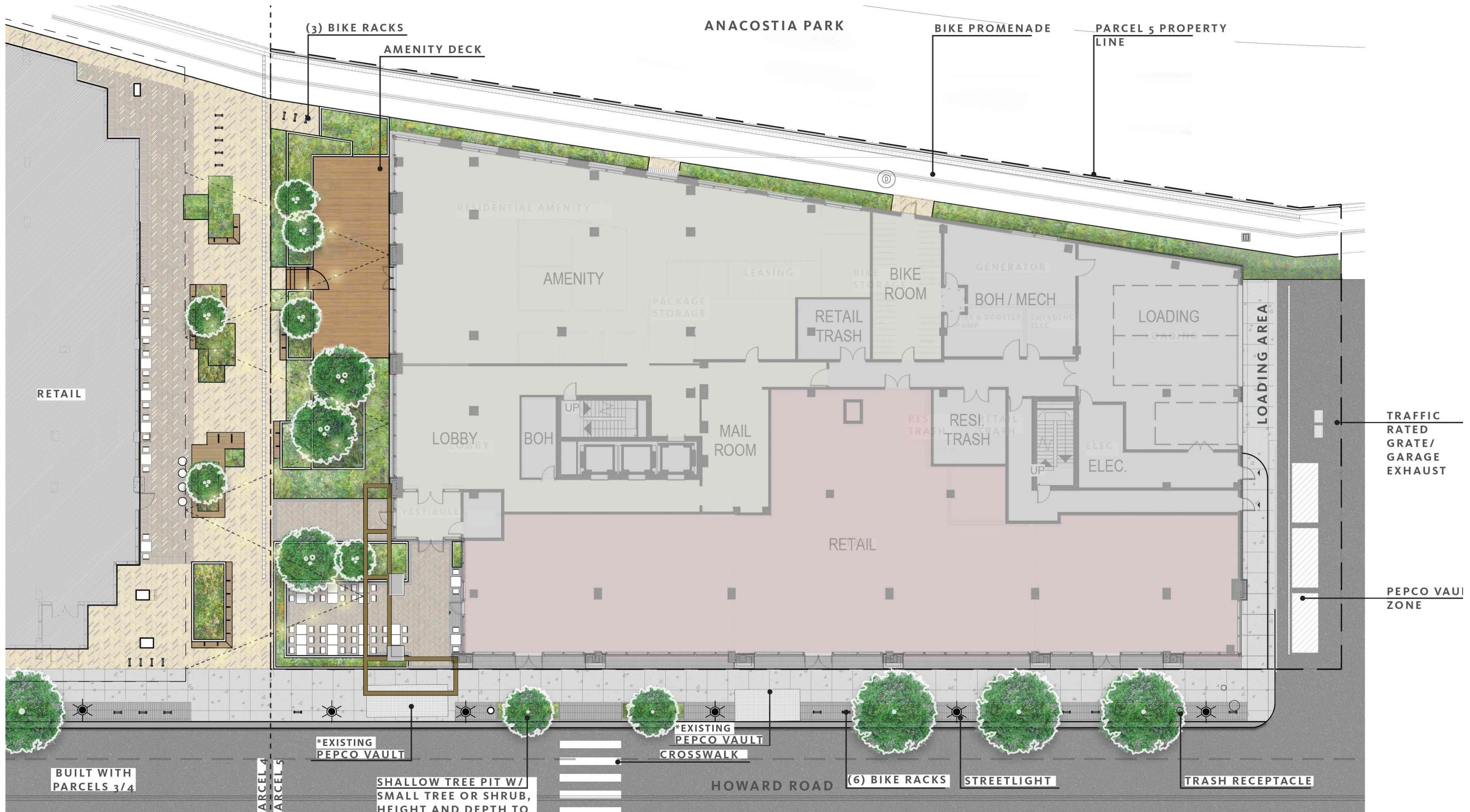
**66 23 21 TOTALS** Possible Points: 110  
Leed: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80

## NOTE:

The project will be LEED Gold v4 certified and will strive to achieve a greater number of points. The LEED point generating components may vary, provided that the total number of LEED points achievable for the project does not decrease below a LEED Gold v4 level.

# LANDSCAPE

# LANDSCAPE | SITE PLAN | L0.00



# REDBRICK LMD

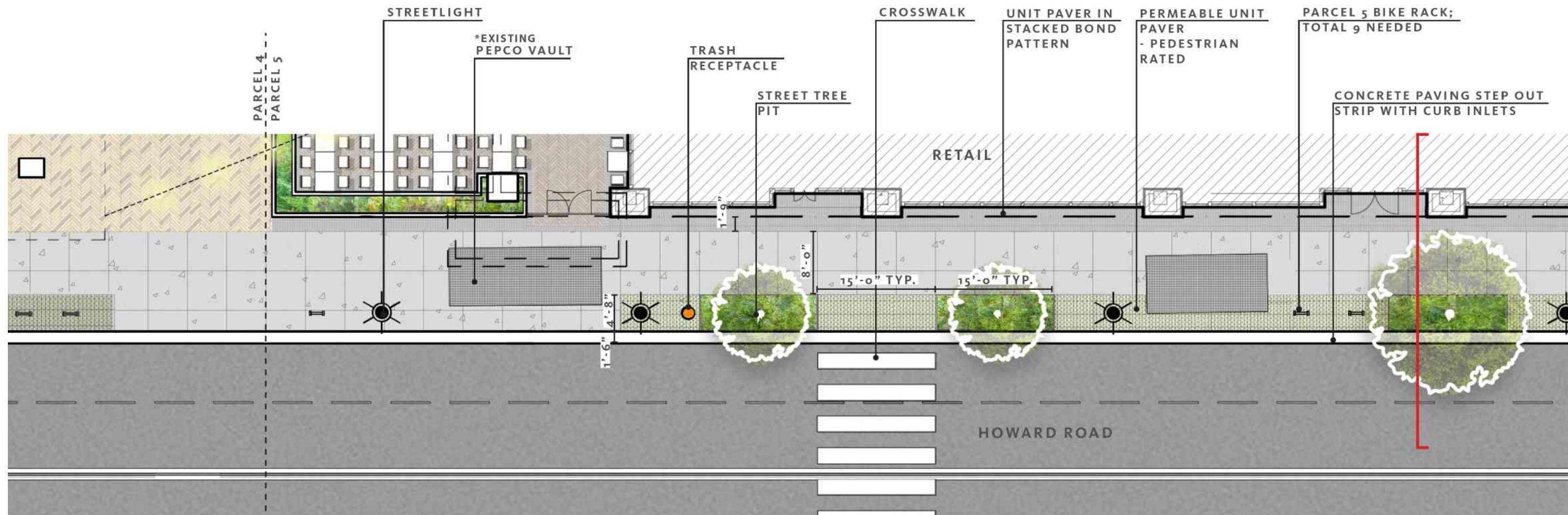
THE BRIDGE DISTRICT, PARCEL 5 | DESIGN REVIEW | [05/xx/2025]



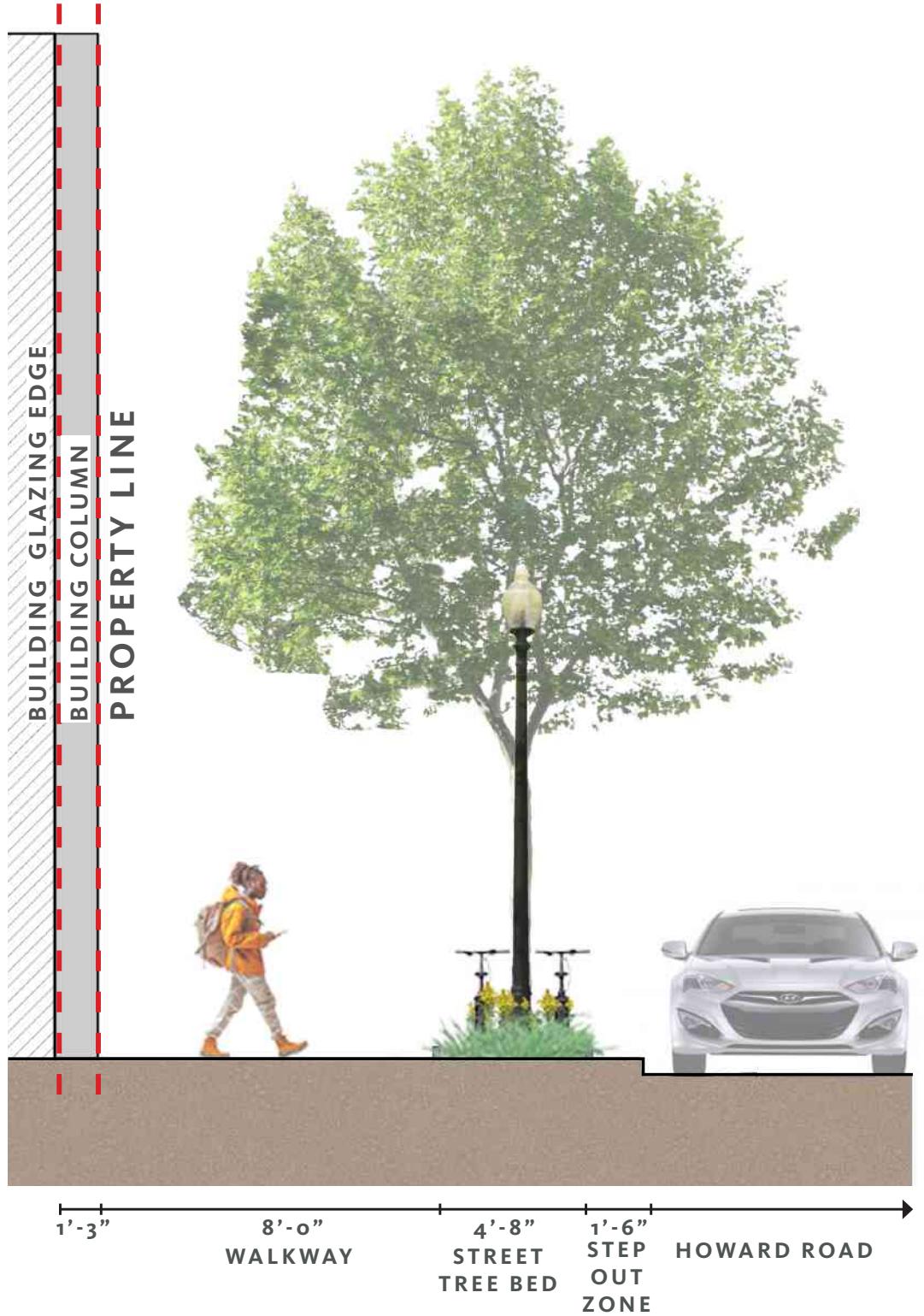
FUTURE GREEN



# LANDSCAPE | SECTION 1A HOWARD ROAD | L0.01



# LANDSCAPE | SECTION 1B HOWARD ROAD | L0.02



# LANDSCAPE | SECTION GREEN COURTYARD | L0.03



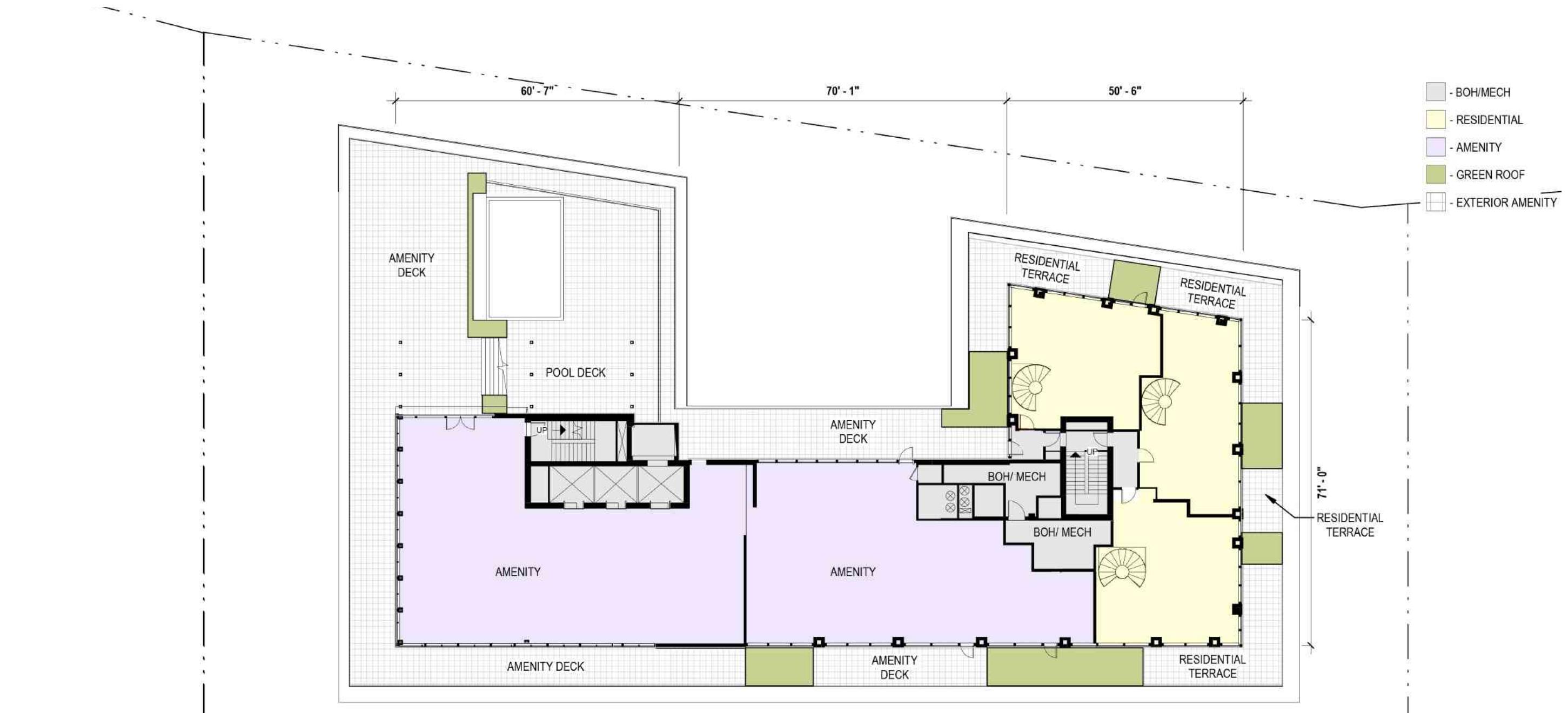
# LANDSCAPE | RENDER GREEN COURTYARD | L0.04



# LANDSCAPE | LEVEL 02 | L0.05

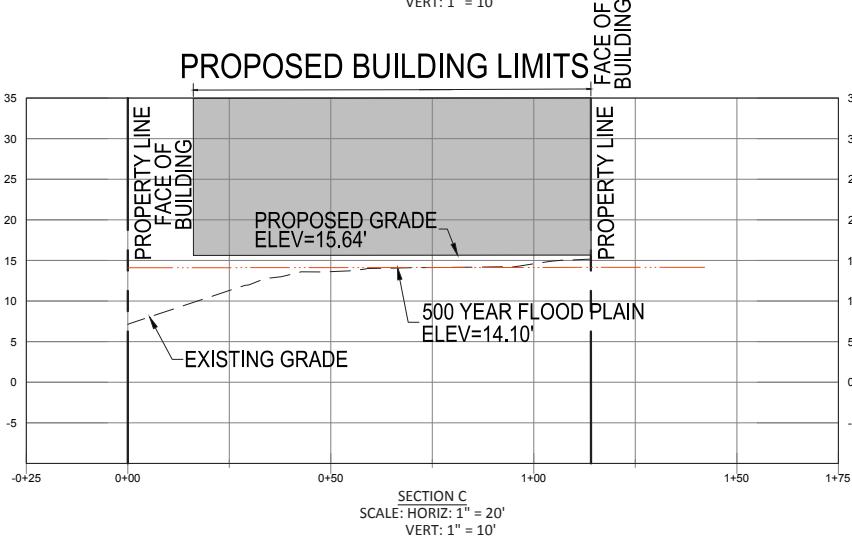
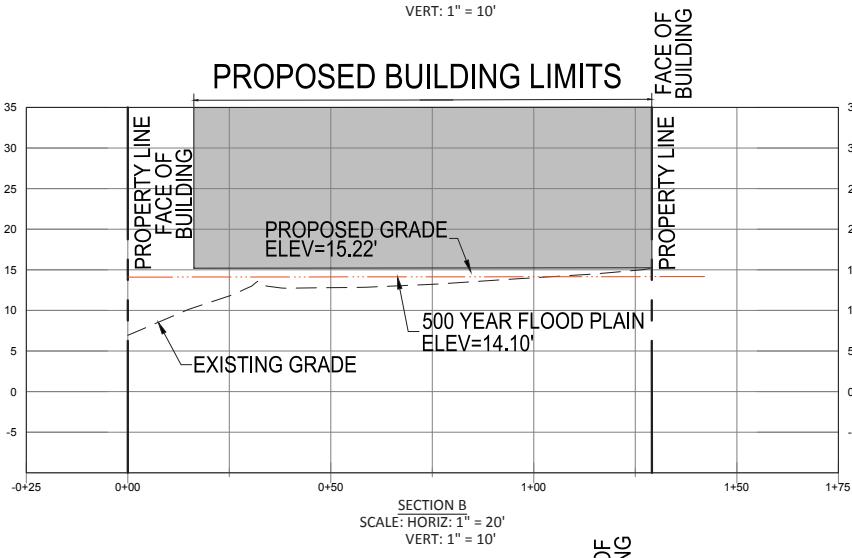
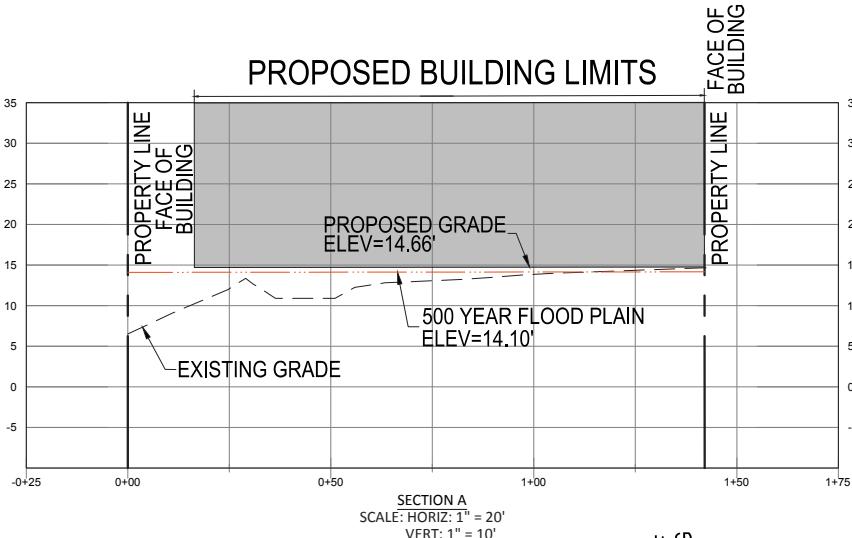


# LANDSCAPE | PENTHOUSE | L0.06



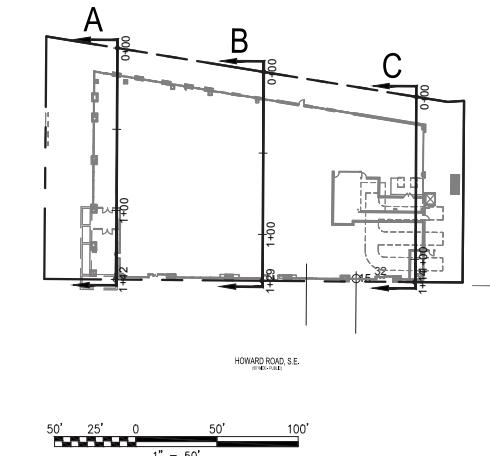
# CIVIL

# CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.00

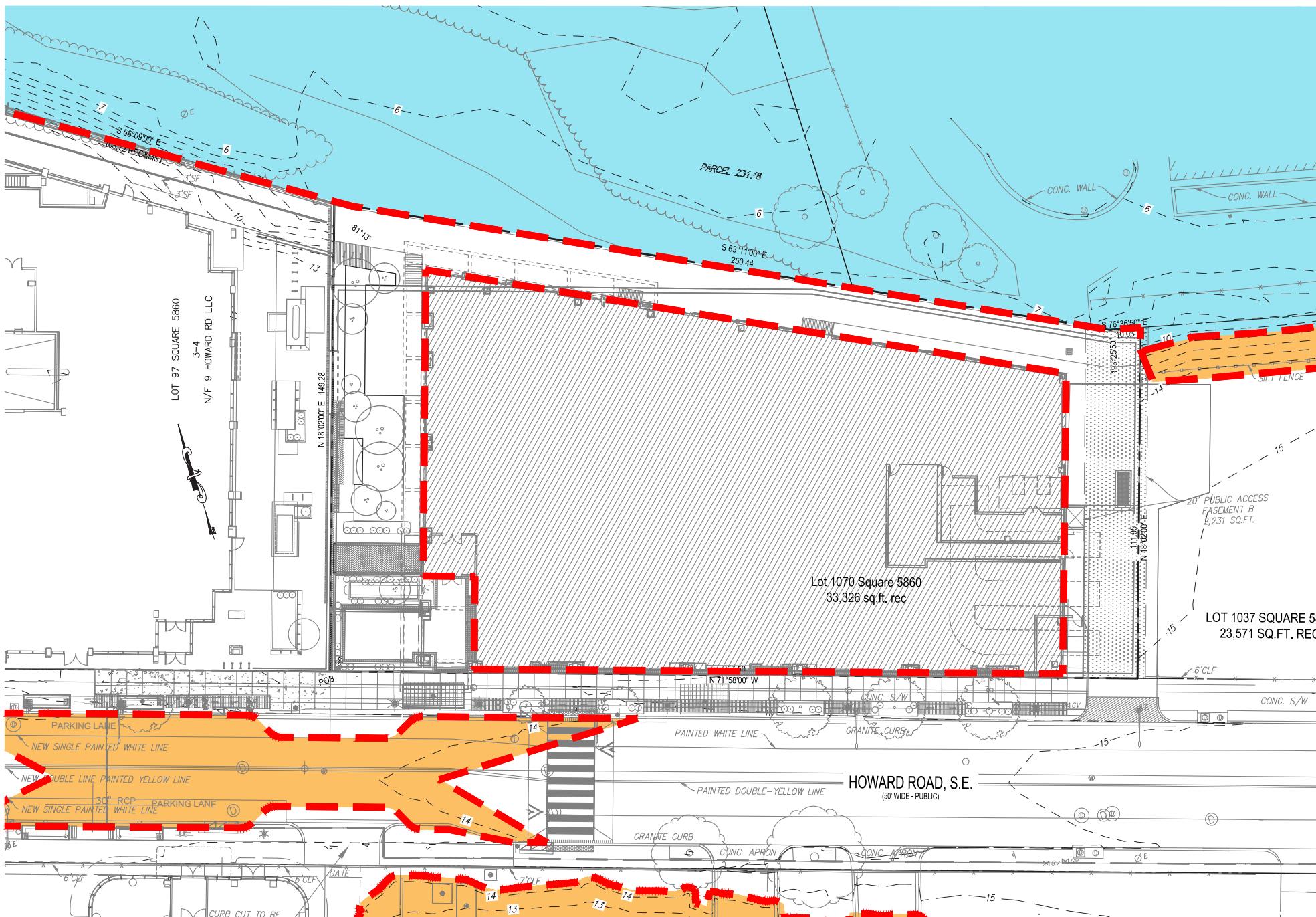


**GENERAL NOTES:**

1. THE INFORMATION SHOWN ORIGINATES FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 29, 2021 AND UPDATED PER AVAILABLE DESIGN AND AS-BUILT DATA PROVIDED TO THIS FIRM BY OTHERS.
2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
3. AS OF THE ORIGINAL DATE OF THIS SURVEY, LOTS 1025, 1026, 1036 & 1037 SQUARE 5860 ARE IN THE NAME OF 822 HOWARD RD LLC AND LOTS 1027-1031 ARE IN THE NAME OF 752 HOWARD ROAD LLC.
4. A SURVEY TO MARK HAS BEEN AUTHORIZED AND PERFORMED ON LOTS 1025-1031, 1036 & 1037. THE SURVEY TO MARK HAS BEEN ACCEPTED BY THE OFFICE OF THE D.C. SURVEYOR, HOWEVER, AT THIS DATE THE SURVEY HAS NOT BEEN RECORDED AND SCANNED INTO THE PUBLIC RECORD SYSTEM.
5. UTILITIES SHOWN ARE REFERENCED TO DCPPW DATUM (BM 13-20), MERIDIAN REFERENCED TO DCDO NORTH BY HOLDING RECORD BEARING OF HOWARD ROAD, S.E. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D: A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY, WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
6. PROPERTY IS IDENTIFIED AS ZONE X OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; ZONE A: - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATION DETERMINED) AND ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010052C & 1100010076C, EFFECTIVE DATE SEPTEMBER 27, 2010.
7. AS OF AUGUST 5, 2021, THE PROPERTY IS ZONED NHR AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/z16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

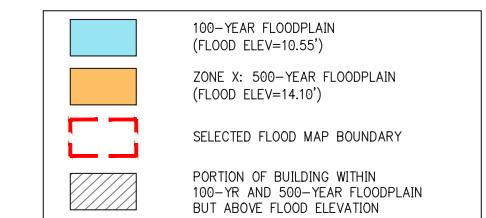


# CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.01



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20' 10' 0 20' 40'  
1" = 20'