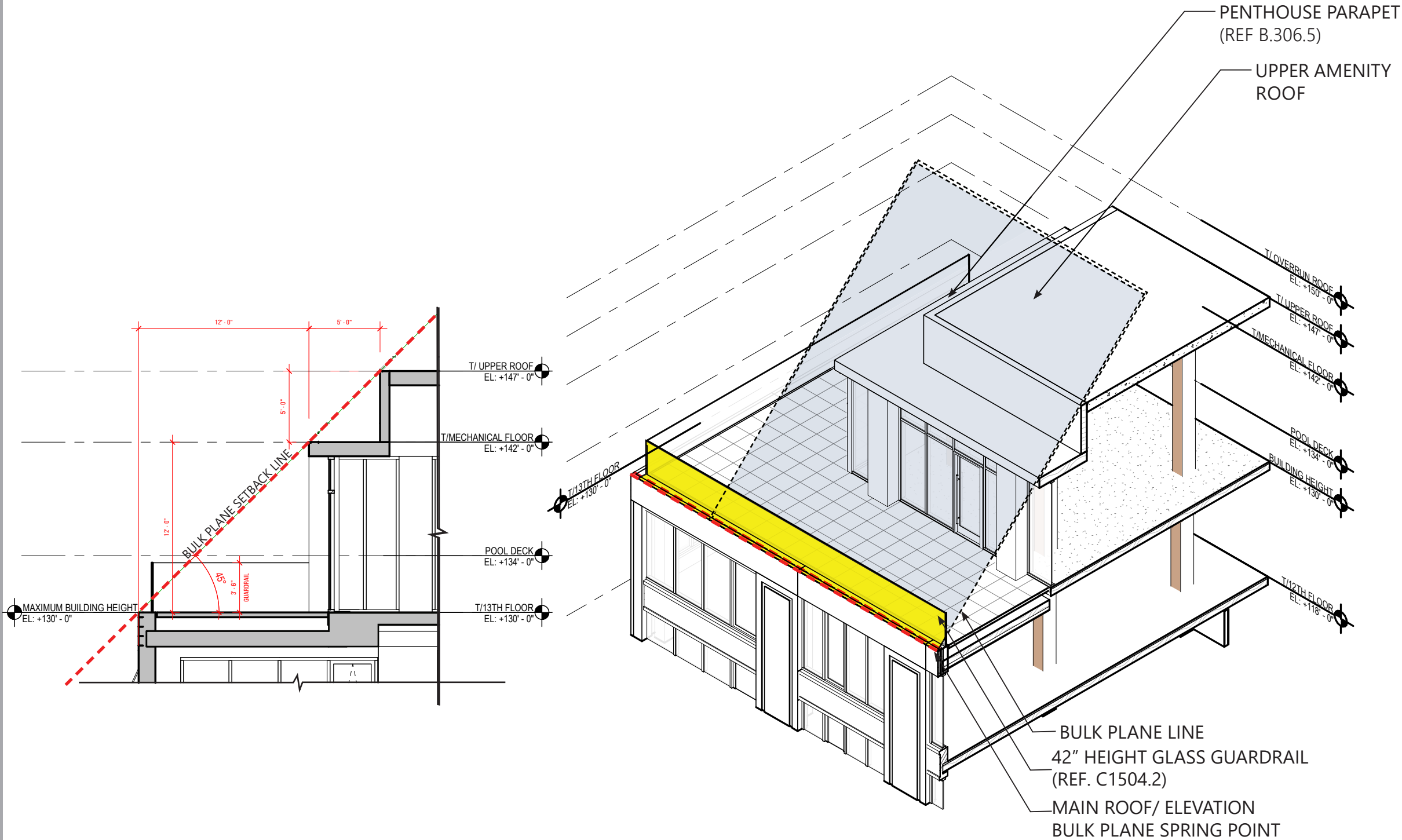
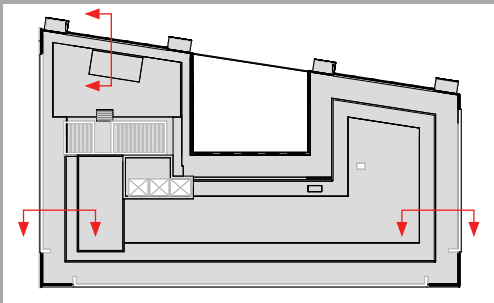


ZONING ANALYSIS | PENTHOUSE SETBACKS | A8.03

BUILDING HEIGHT, PENTHOUSES, AND SETBACK

- (B.306.1)
Zoning regulations and the Height Act both apply to height limitations.
- (B.306.5)
Architectural embellishments may be erected to a greater height than prescribed by the limitations, provided it does not result in the appearance of a raised height building for more than 30% of each façade.
- (C.1504.1)
The Penthouse shall be set back from the roof on which it is located, measured at a distance equal to its height from the edge of that roof.
- (C1504.2)
Setback requirements shall not apply to:
 - Parapets no taller than 48"
 - Guardrails required by the building code for a roof deck.
- (C.1504.4)
Open court setback requirements shall not apply to rooftop access stairwell or elevator.

KEY PLAN



ZONING ANALYSIS | LEED SCORECARD | A9.01



LEED v4 BD+C
Project Checklist

Project Name: Bridge District Parcel 5
Date: 9-May-25

Y	?	N
1		

Credit Integrative Process 1

9	2	5	Location and Transportation	16
		16	Credit LEED for Neighborhood Development Location	16
1			Credit Sensitive Land Protection	1
1	1		Credit High Priority Site and Equitable Development	2
2		3	Credit Surrounding Density and Diverse Uses	5
3	1	1	Credit Access to Quality Transit	5
1			Credit Bicycle Facilities	1
		1	Credit Reduced Parking Footprint	1
1			Credit Electric Vehicles	1

7	3	0	Sustainable Sites	10
Y			Prereq Construction Activity Pollution Prevention	Required
1			Credit Site Assessment	1
1	1		Credit Site Development - Protect or Restore Habitat	2
	1		Credit Open Space	1
3			Credit Rainwater Management	3
2			Credit Heat Island Reduction	2
	1		Credit Light Pollution Reduction	1

6	1	4	Water Efficiency	11
Y			Prereq Outdoor Water Use Reduction	Required
Y			Prereq Indoor Water Use Reduction	Required
Y			Prereq Building-Level Water Metering	Required
2			Credit Outdoor Water Use Reduction	2
3	1	2	Credit Indoor Water Use Reduction	6
		2	Credit Optimize Process Water Use	2
1			Credit Water Metering	1

20	4	9	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
5		1	Credit Enhanced Commissioning	6
10	3	5	Credit Optimize Energy Performance	18
	1		Credit Advanced Energy Metering	1
		2	Credit Grid Harmonization	2
5			Credit Renewable Energy	5

5	6	2	Materials and Resources	13
Y			Prereq Storage and Collection of Recyclables	Required
Y			Prereq Construction and Demolition Waste Management Planning	
1	2	2	Credit Building Life-Cycle Impact Reduction	5
1	1		Credit Product Disclosure & Optimization - EPDs	2
	2		Credit Product Disclosure & Optimization - Sourcing of Raw Materials	2
2			Credit Product Disclosure & Optimization - Material Ingredients	2
1	1		Credit Construction and Demolition Waste Management	2

8	7	1	Indoor Environmental Quality	16
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
2			Credit Enhanced Indoor Air Quality Strategies	2
3			Credit Low-Emitting Materials	3
1			Credit Construction Indoor Air Quality Management Plan	1
	2		Credit Indoor Air Quality Assessment	2
1			Credit Thermal Comfort	1
	2		Credit Interior Lighting	2
	2	1	Credit Daylight	3
1			Credit Quality Views	1
	1		Credit Acoustic Performance	1

6	0	0	Innovation	6
1			Credit Innovation Credit: Low-Mercury Lamps	1
1			Credit Innovation Credit: O+M Starter	1
1			Credit Innovation Credit: Green Building Education	1
1			Credit Pilot Credit: Assessments and Planning for Resilience	1
1			Credit Pilot Credit: Integrative Analysis of Building Materials	1
1			Credit LEED Accredited Professional	1

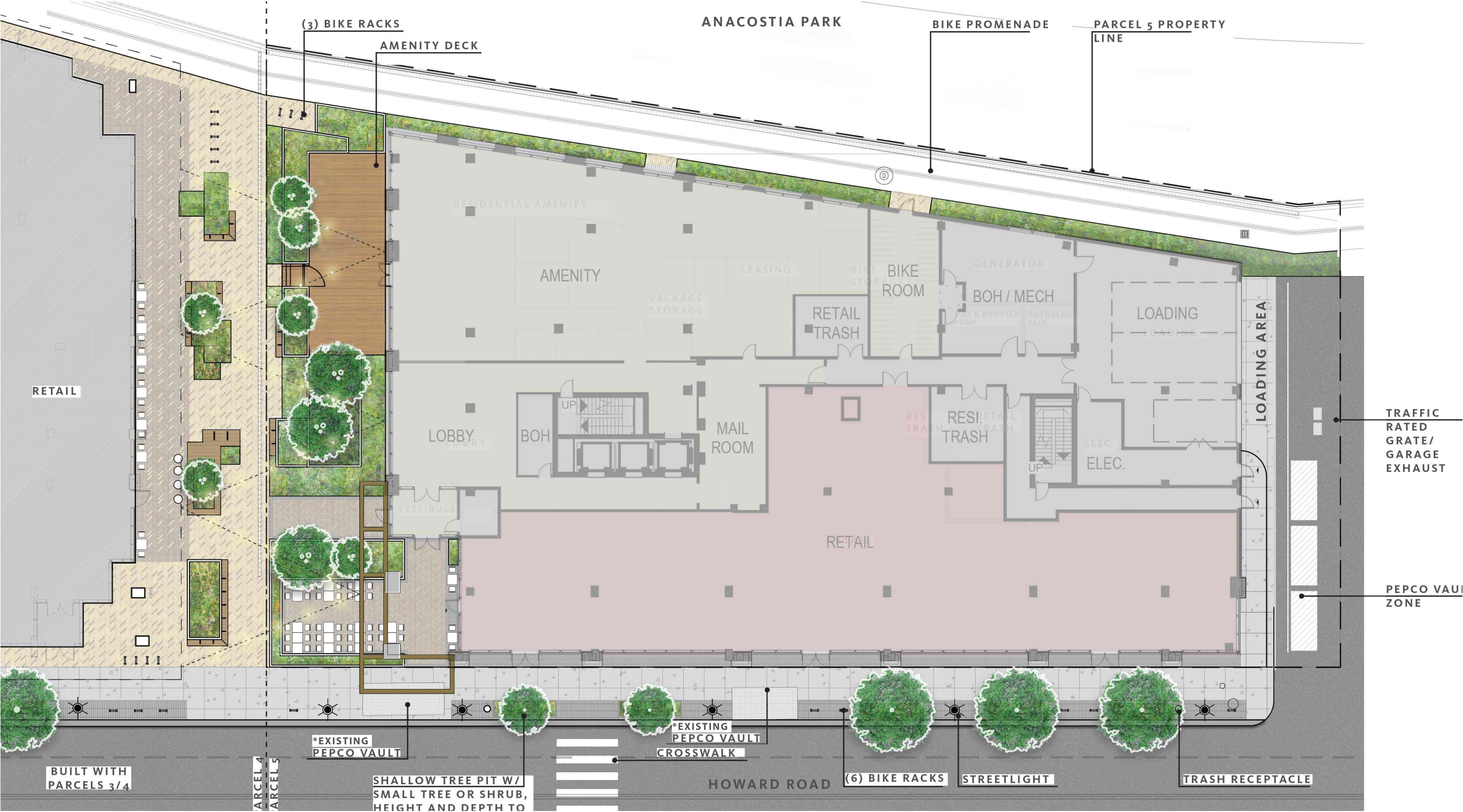
4	0	0	Regional Priority	4
1			Credit Regional Priority: Access to Quality Transit	1
1			Credit Regional Priority: Green Vehicles	1
1			Credit Regional Priority: Rainwater Management	1
1			Credit Regional Priority: Optimize Energy Performance	1

66	23	21	TOTALS	Possible Points: 110
led: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80				

NOTE:
The project will be LEED Gold v4 certified and will strive to achieve a greater number of points. The LEED point generating components may vary, provided that the total number of LEED points achievable for the project does not decrease below a LEED Gold v4 level.

LANDSCAPE

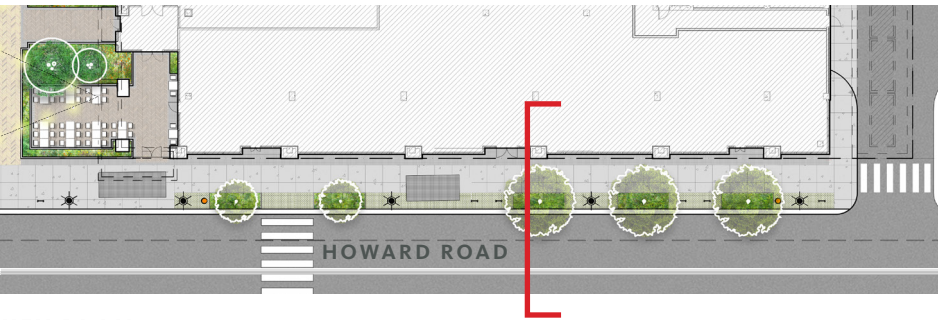
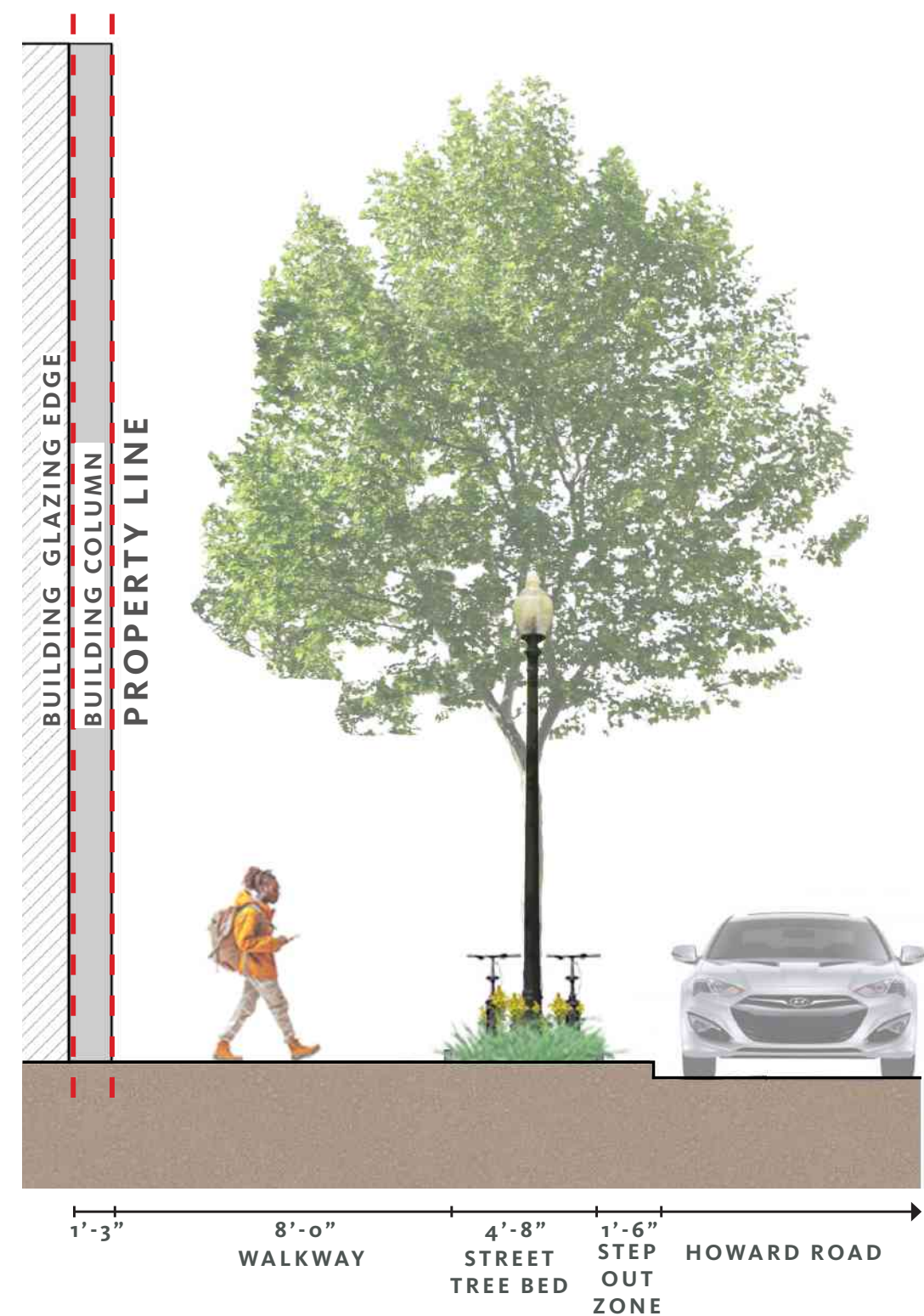
LANDSCAPE | SITE PLAN | L0.00



LANDSCAPE | SECTION 1A HOWARD ROAD | L0.01



LANDSCAPE | SECTION 1B HOWARD ROAD | L0.02



KEY PLAN:

LANDSCAPE | SECTION GREEN COURTYARD | L0.03

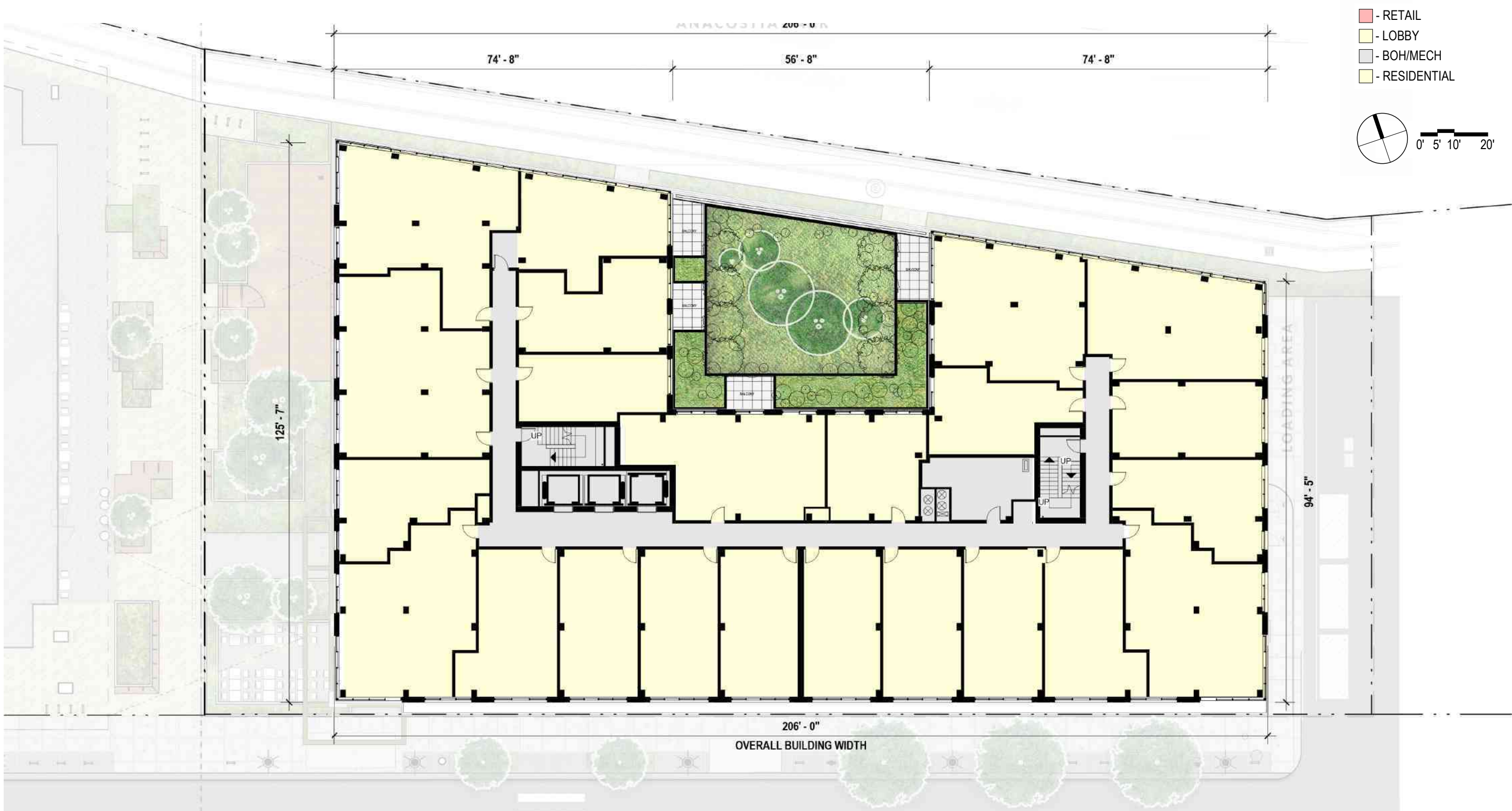


LANDSCAPE | RENDER GREEN COURTYARD | L0.04



KEY PLAN:

LANDSCAPE | LEVEL 02 | L0.05

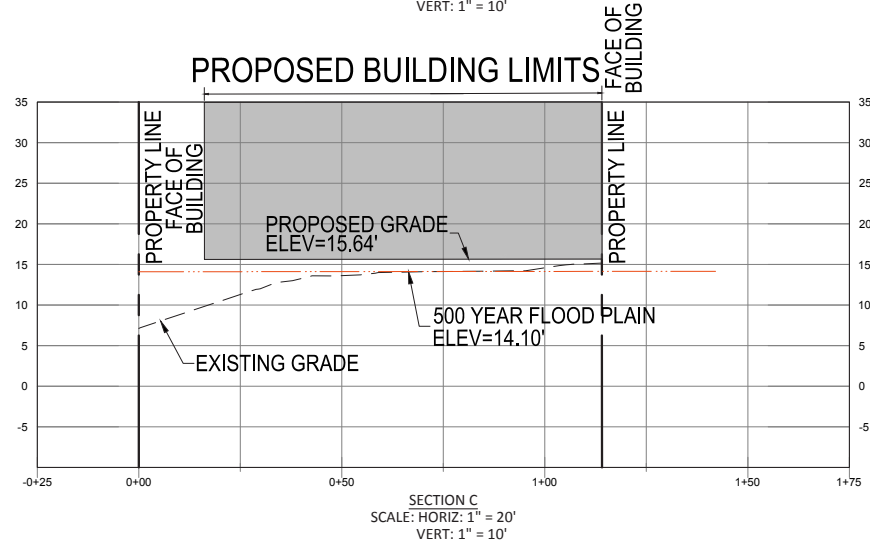
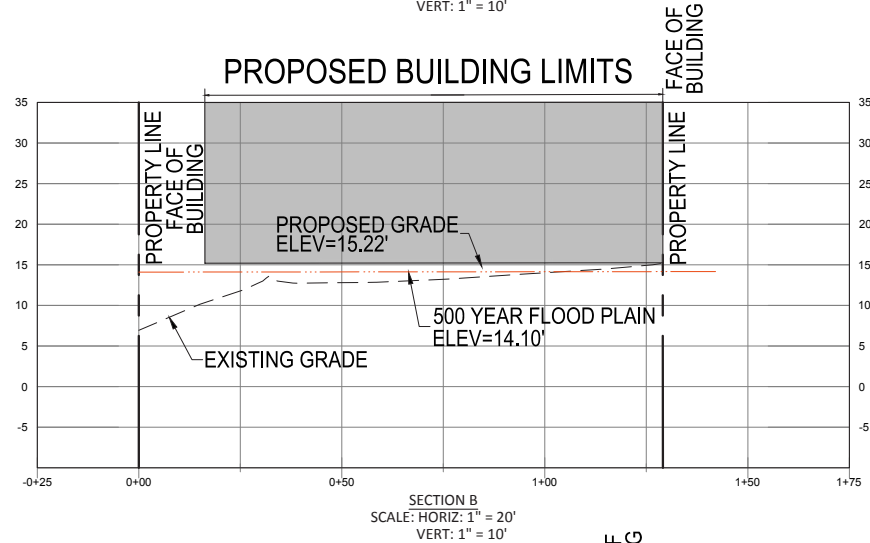
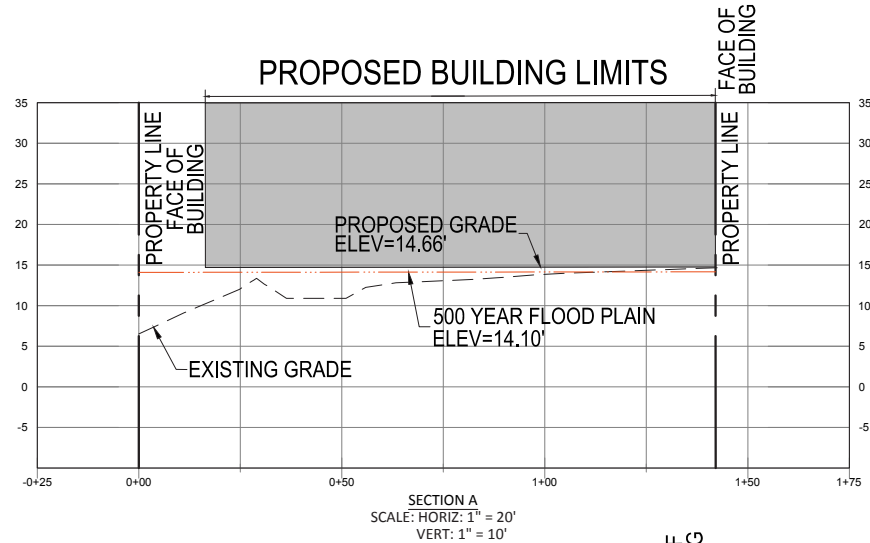


LANDSCAPE | PENTHOUSE | L0.06

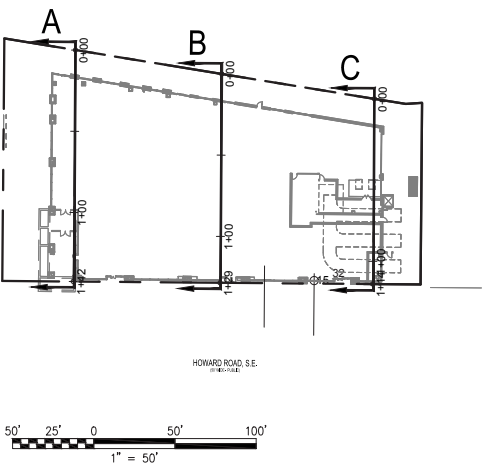


CIVIL

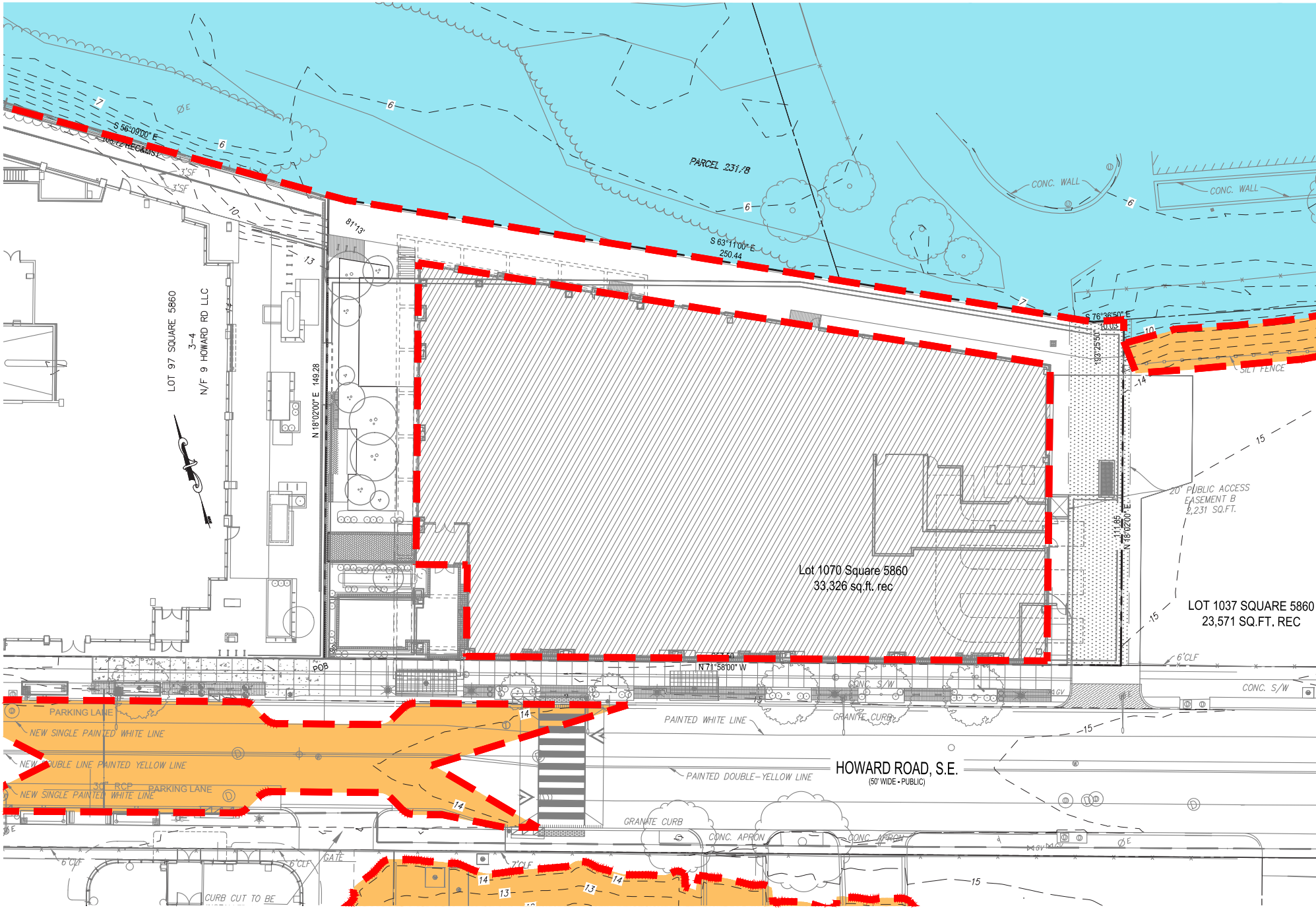
CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.00







- GENERAL NOTES:
1. THE INFORMATION SHOWN ORIGINATES FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 29, 2021 AND UPDATED PER AVAILABLE DESIGN AND AS-BUILT DATA PROVIDED TO THIS FIRM BY OTHERS.
 2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
 3. AS OF THE ORIGINAL DATE OF THIS SURVEY, LOTS 1025, 1026, 1036 & 1037 SQUARE 5860 ARE IN THE NAME OF 822 HOWARD RD LLC AND LOTS 1027-1031 ARE IN THE NAME OF 752 HOWARD ROAD LLC.
 4. A SURVEY TO MARK HAS BEEN AUTHORIZED AND PERFORMED ON LOTS 1025-1031, 1036 & 1037. THE SURVEY TO MARK HAS BEEN ACCEPTED BY THE OFFICE OF THE D.C. SURVEYOR, HOWEVER AT THIS DATE THE SURVEY HAS NOT BEEN RECORDED AND SCANNED INTO THE PUBLIC RECORD SYSTEM.
 5. ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 13-20), MERIDIAN REFERENCED TO DCSD NORTH BY HOLDING RECORD BEARING OF HOWARD ROAD, S.E..
 6. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN, UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 6. PROPERTY IS IDENTIFIED AS ZONE X OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATIONS DETERMINED) AND ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010057C & 1100010076C, EFFECTIVE DATE SEPTEMBER 27, 2010.
 7. AS OF AUGUST 5, 2021, THE PROPERTY IS ZONED NHR AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/zr16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.



CIVIL | PROPOSED BUILDING FLOOD PLAN EXHIBIT | C0.01



- GENERAL NOTES:
1. THE INFORMATION SHOWN ORIGINATES FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY JULY 29, 2021 AND UPDATED PER AVAILABLE DESIGN AND AS-BUILT DATA PROVIDED TO THIS FIRM BY OTHERS.
 2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
 3. AS OF THE ORIGINAL DATE OF THIS SURVEY, LOTS 1025, 1026, 1036 & 1037 SQUARE 5860 ARE IN THE NAME OF 822 HOWARD RD LLC AND LOTS 1027-1031 ARE IN THE NAME OF 752 HOWARD ROAD LLC.
 4. A SURVEY TO MARK HAS BEEN AUTHORIZED AND PERFORMED ON LOTS 1025-1031, 1036 & 1037. THE SURVEY TO MARK HAS BEEN ACCEPTED BY THE OFFICE OF THE D.C. SURVEYOR, HOWEVER AT THIS DATE THE SURVEY HAS NOT BEEN RECORDED AND SCANNED INTO THE PUBLIC RECORD SYSTEM.
 5. ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 13-20), MERIDIAN REFERENCED TO DCSD NORTH BY HOLDING RECORD BEARING OF HOWARD ROAD, S.E.
 6. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 6. PROPERTY IS IDENTIFIED AS ZONE X OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATIONS DETERMINED) AND ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010057C & 1100010076C, EFFECTIVE DATE SEPTEMBER 27, 2010.
 7. AS OF AUGUST 5, 2021, THE PROPERTY IS ZONED NHR AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://mops.dcoz.dc.gov/zr16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.

	100-YEAR FLOODPLAIN (FLOOD ELEV=10.55')
	ZONE X: 500-YEAR FLOODPLAIN (FLOOD ELEV=14.10')
	SELECTED FLOOD MAP BOUNDARY
	PORTION OF BUILDING WITHIN 100-YR AND 500-YEAR FLOODPLAIN BUT ABOVE FLOOD ELEVATION

