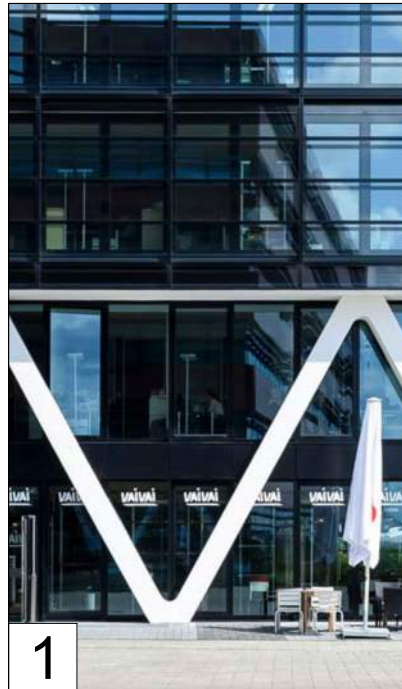


BUILDING MATERIAL ANALYSIS



1

METAL CANOPY SYSTEM



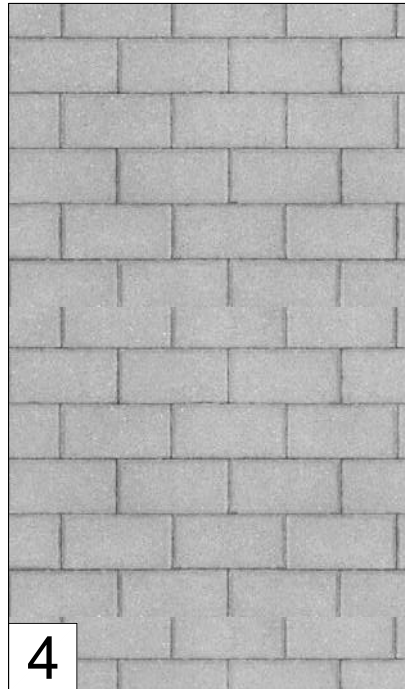
2

GLAZING



3

TEXTURED METAL PANEL



4

SPLIT FACE CMU - TYPE 01



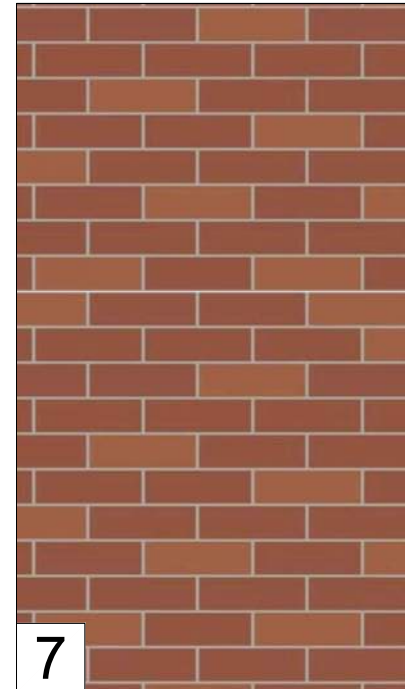
5

EIFS



6

SPLIT FACE CMU - TYPE 02



7

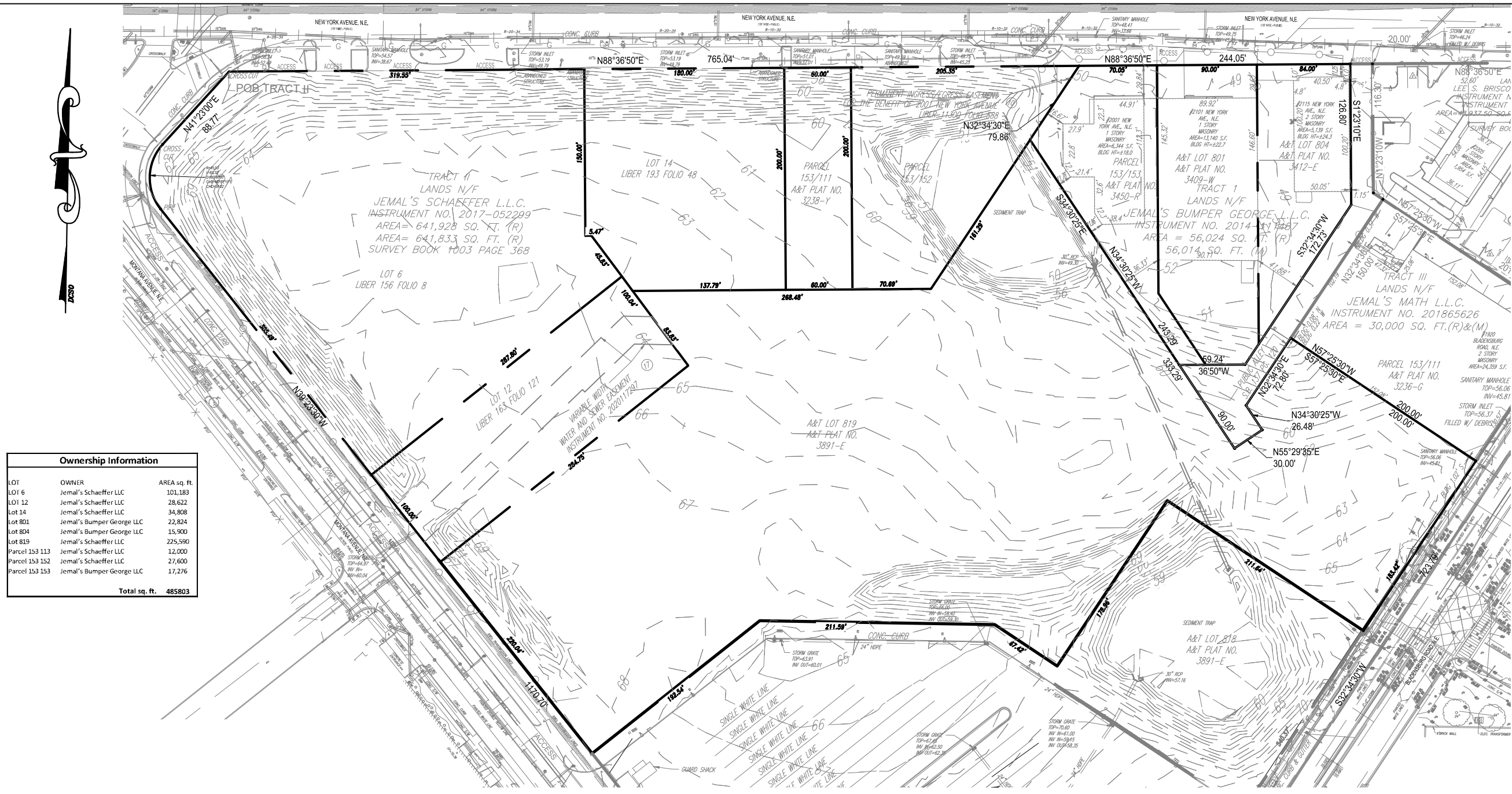
MASONRY

NORTH ELEVATION (2 OF 2) :

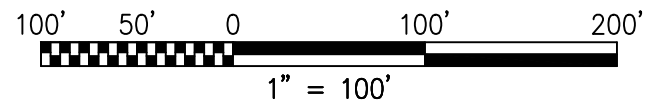


* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

Existing Conditions Plan



Ownership Information		
LOT	OWNER	AREA sq. ft.
LOT 6	Jemal's Schaeffer LLC	101,183
LOT 12	Jemal's Schaeffer LLC	28,622
Lot 14	Jemal's Schaeffer LLC	34,808
Lot 801	Jemal's Bumper George LLC	22,824
Lot 804	Jemal's Bumper George LLC	15,900
Lot 819	Jemal's Schaeffer LLC	225,590
Parcel 153 113	Jemal's Schaeffer LLC	12,000
Parcel 153 152	Jemal's Schaeffer LLC	27,600
Parcel 153 153	Jemal's Bumper George LLC	17,276
Total sq. ft.		485803



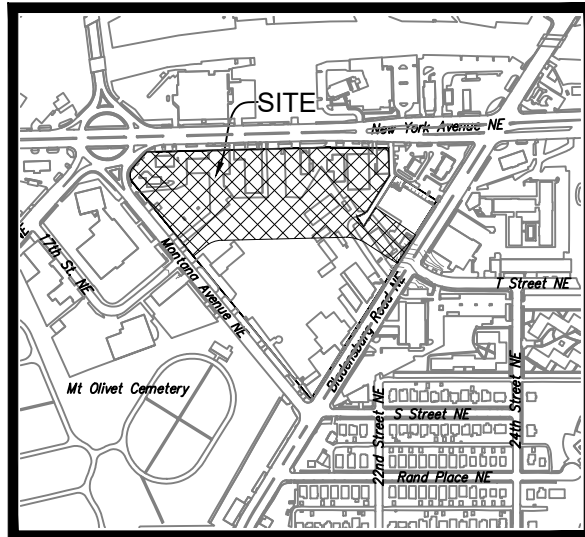
* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT



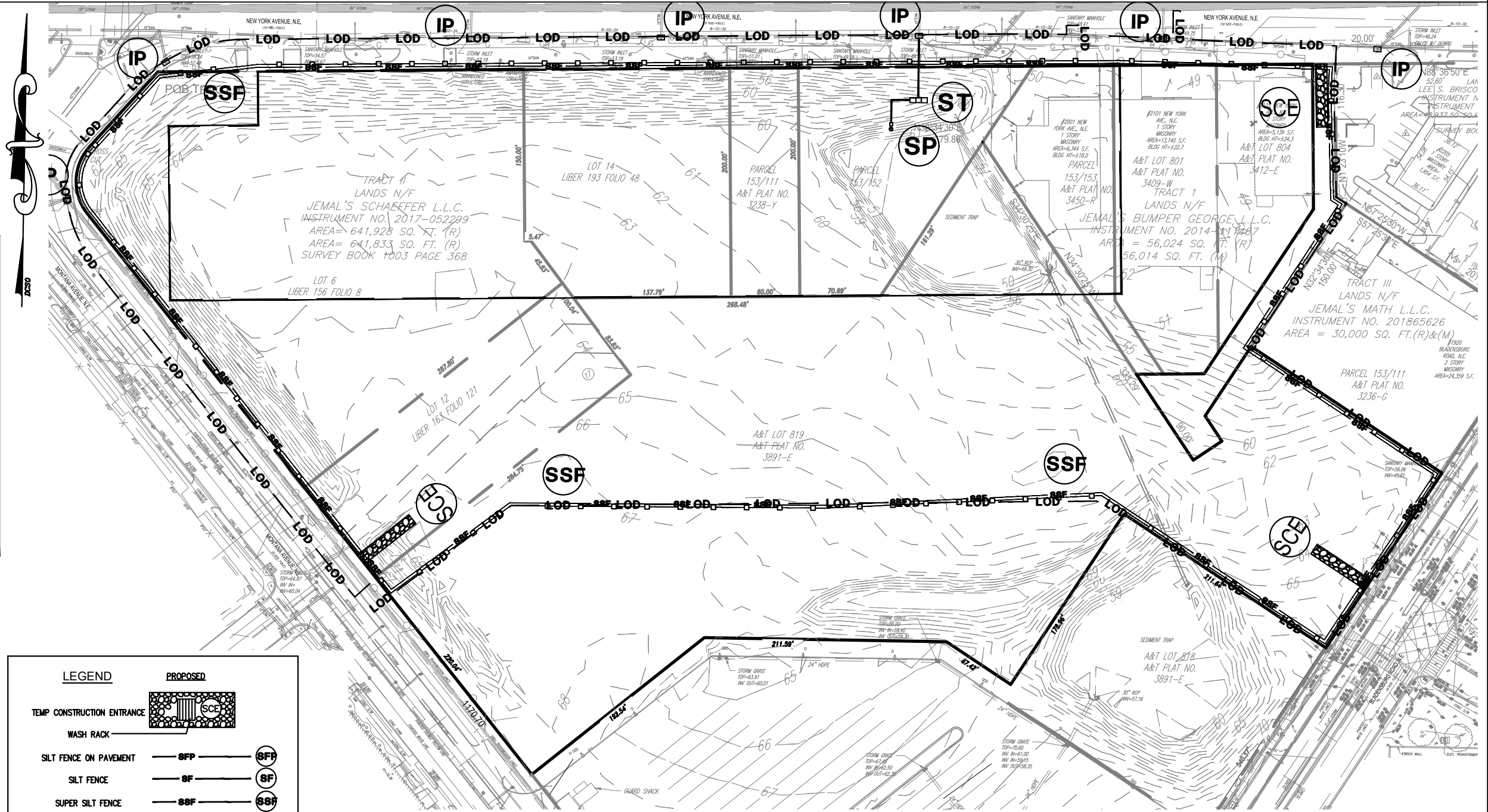
Copyright 2021 POWERS BROWN ARCHITECTURE this drawing and the architectural work depicted therein are the sole property of Powers Brown Architecture. No portion of this drawing may be copied without the express written consent of the Architect.

Erosion and Sediment Control Plan



VICINITY MAP

SCALE: 1"=800'



TOTAL SITE AREA:
TOTAL SITE AREA: 392,653 SF / 9.00 AC

TOTAL VOLUME OF CUT OF BELOW GRADE EXCAVATION:
TOTAL AREA OF EXCAVATION: 434,518 SF / 9.975 AC
VOLUME OF CUT: (434,518) SQ.FT. (AREA) X (2) FEET (DEPTH)
27

VOLUME OF CUT: (32,186) cy +/-

TOTAL VOLUME OF CUT /FILL FOR UTILITIES:
TOTAL AREA OF EXCAVATION: 15,383 SF / 0.351 AC
VOLUME OF CUT: (15,383) SQ.FT. (AREA) X (6) FEET (DEPTH)
27

VOLUME OF CUT AND FILL: (3,400) cy +/-

TOTAL AREA OF DISTURBANCE:
TOTAL AREA OF DISTURBANCE: 449,821 SQUARE FEET OR 10.326 ACRES

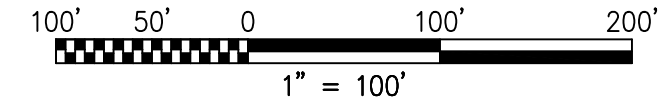
LEGEND	PROPOSED
TEMP CONSTRUCTION ENTRANCE	SCE
WASH RACK	SFP
SILT FENCE ON PAVEMENT	SFP
SILT FENCE	SF
SUPER SILT FENCE	SSF
SAFETY FENCE	SAF
INLET PROTECTION	IP
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION	LOD
APPROXIMATE LIMIT OF DISTURBANCE	LOD
TREE PROTECTION	TP
SUMP PUMP	SP
SEDIMENT TANK	ST

EROSION AND SEDIMENT CONTROL NARRATIVE:

EROSION AND SEDIMENT CONTROL WILL BE ACHIEVED THROUGH THE USE OF SUPER SILT FENCE, SILT FENCE, INLET PROTECTION, SILT FENCE ON PAVEMENT, AND STABILIZED CONSTRUCTION ENTRANCE. THE SITE WILL ALSO INCLUDE SAFETY FENCE FOR SITE PROTECTION. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE IMPLEMENTED PRIOR TO DEMOLITION AND REMOVAL OF WASTE MATERIALS. ALL DEMO MATERIALS WILL BE TAKEN TO AN OFF-SITE DESIGNATED DUMPING AREA VIA DUMP TRUCKS OR DUMPSTERS.

DESCRIPTION OF PREDOMINANT SOIL TYPE:

U1 UDORTHERENTS
U_b URBAN LAND



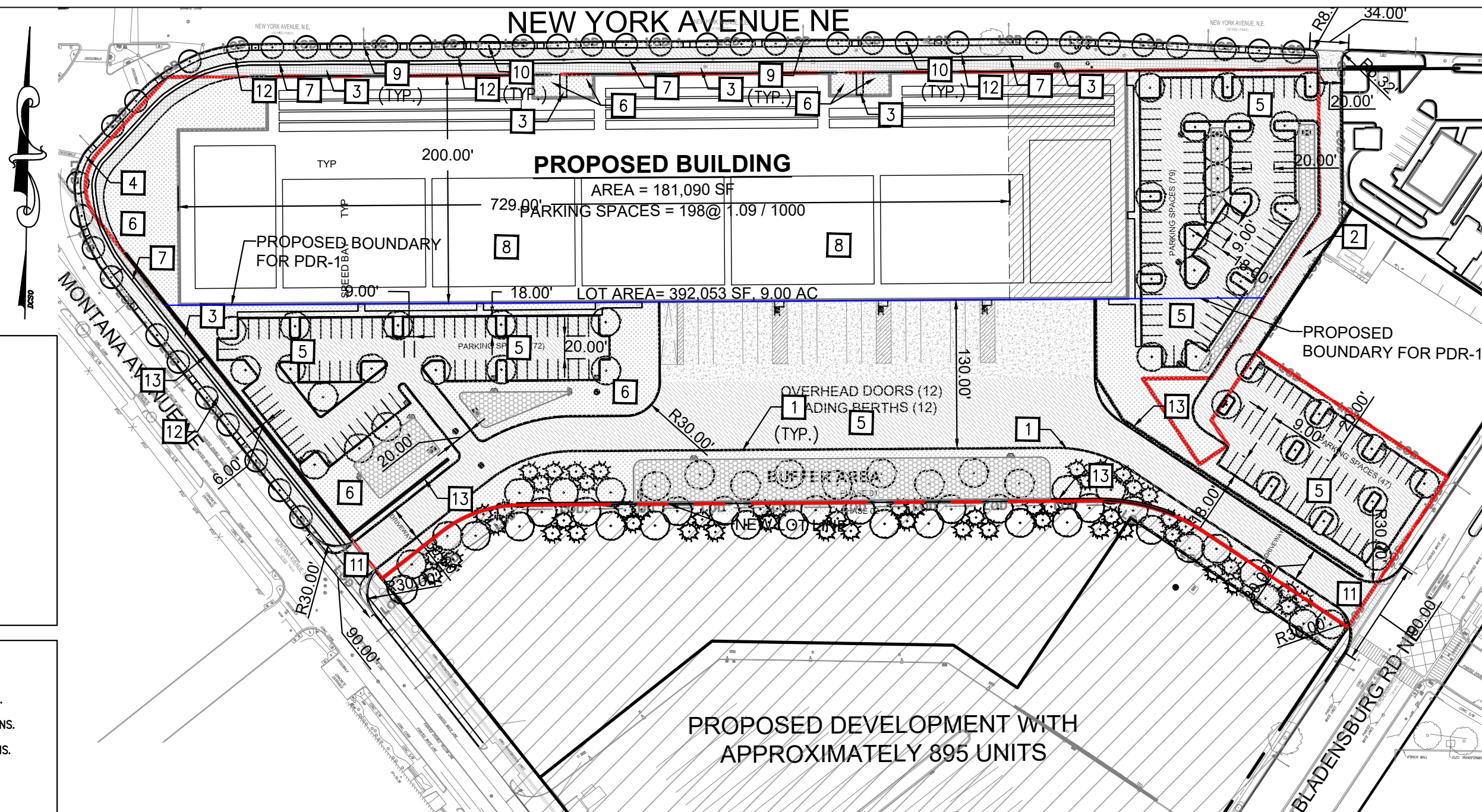
* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT

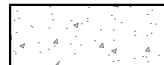



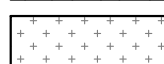


Copyright 2021 POWERS BROWN ARCHITECTURE this drawing and the architectural work depicted therein are the sole property of Powers Brown Architecture. No portion of this drawing may be copied without the express written consent of the Architect.

Site Plan



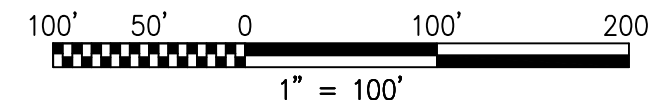
SITE PLAN LEGEND

-  NEW CONCRETE PAVEMENT
-  NEW CONCRETE SIDEWALK
-  NEW ASPHALT PAVEMENT (FULL DEPTH)
-  NEW BIORETENTION AREA
-  NEW LANDSCAPE AREA

SITE KEYNOTES:

- 1 NEW CURB AND GUTTER PER DDOT STANDARDS AND SPECIFICATIONS.
- 2 NEW CONCRETE PAVEMENT PER DDOT STANDARDS AND SPECIFICATIONS.
- 3 NEW CONCRETE SIDEWALK PER DDOT STANDARDS AND SPECIFICATIONS.
- 4 NEW HANDICAP RAMP PER DDOT STANDARDS AND SPECIFICATIONS.
- 5 NEW PARKING LOT AREA.
- 6 NEW PLANTING AREA.
- 7 NEW 3' BUFFER AREA.
- 8 NEW BUILDING.
- 9 NEW PUBLIC STREETLIGHT PER DDOT STANDARDS AND SPECIFICATIONS.
- 10 NEW PUBLIC SPACE STREET TREE PER DDOT STANDARDS AND SPECIFICATIONS.
- 11 NEW CURB CUT PER DDOT STANDARDS AND SPECIFICATIONS.
- 12 NEW 10' BIKE PATH.
- 13 NEW RETAINING WALL

PROPOSED DEVELOPMENT WITH APPROXIMATELY 895 UNITS

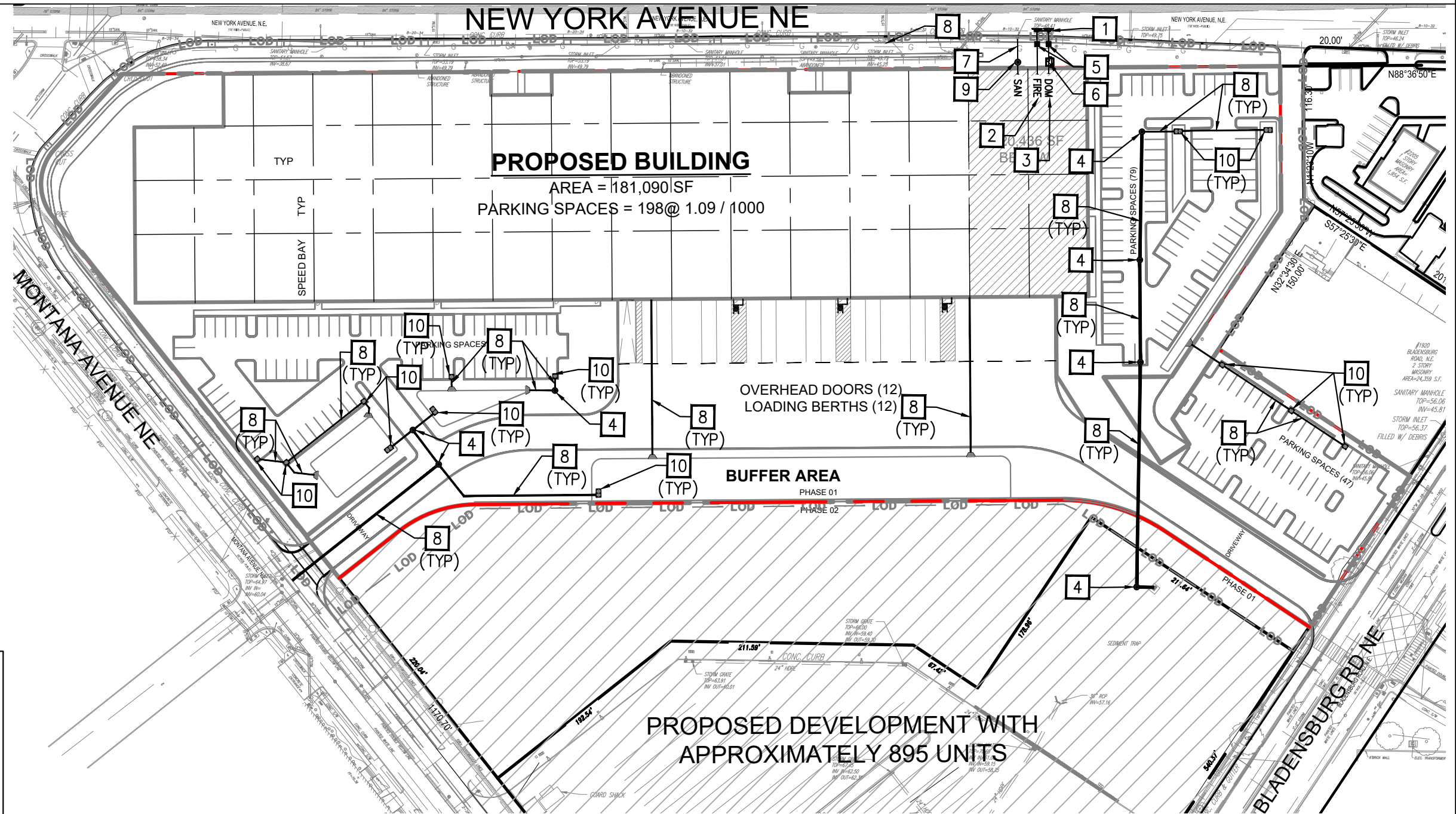


* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT



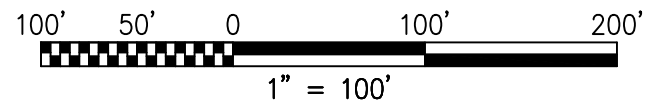
Utility Plan



UTILITY KEYNOTES:

- 1 NEW WATER MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
- 2 NEW FIRE SERVICE LATERAL PER DC WATER STANDARDS AND SPECIFICATIONS
- 3 NEW DOMESTIC SERVICE LATERAL PER DC WATER STANDARDS AND SPECIFICATIONS.
- 4 NEW PRECAST MANHOLE PER DC WATER STANDARDS AND SPECIFICATIONS.
- 5 NEW WATER VALVE PER DC WATER STANDARDS AND SPECIFICATIONS.
- 6 NEW WATER METER PER DC WATER STANDARDS AND SPECIFICATIONS.
- 7 NEW SANITARY LATERAL PER DC WATER STANDARDS AND SPECIFICATIONS.
- 8 NEW PVC SCH-40 STORM PIPE.
- 9 NEW CLEANOUT MANHOLE PER DC WATER STANDARDS AND SPECIFICATIONS.
- 10 NEW FIELD GRATE INLET PER DC WATER STANDARDS AND SPECIFICATIONS.

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM DRAIN TRENCHING OR INSTALLATION.



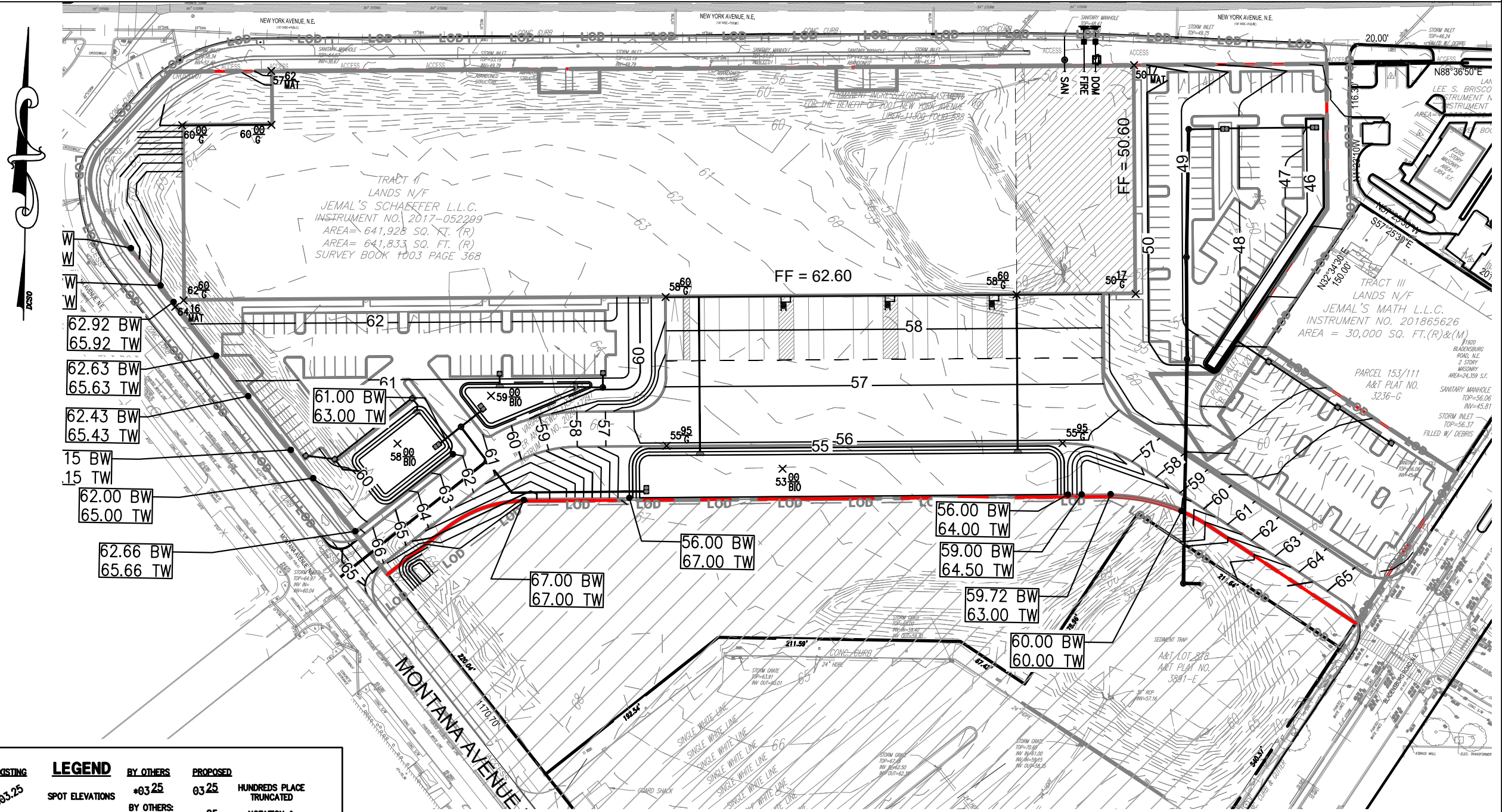
* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT

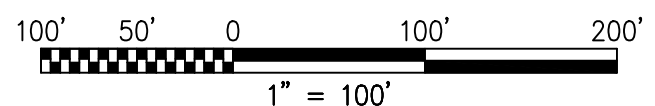


Copyright 2021 POWERS BROWN ARCHITECTURE this drawing and the architectural work depicted therein are the sole property of Powers Brown Architecture. No portion of this drawing may be copied without the express written consent of the Architect.

Grading Plan



EXISTING	LEGEND	BY OTHERS	PROPOSED
383.25	SPOT ELEVATIONS	*03.25	03.25 HUNDREDS PLACE TRUNCATED
AS-BUILT [03.25]	SPOT ELEVATIONS (WITH NOTATION)	BY OTHERS: DESIGN INFORMATION FROM PLANS OTHER THAN THIS CONTRACT.	03.25 TC NOTATION & REVEAL
			UP DATED (DUE TO AS-BUILT) <03.25>
	SLOPE		2% BC: BOTTOM OF CURB CRN: CROWN GB: GRADE BREAK INV: INVERT MAT: MATCH (EXISTING CONDITION) LP: LOW POINT TC: TOP OF CURB BW: BOTTOM OF WALL BR: BOTTOM OF RAMP TR: TOP OF RAMP TS: TOP OF STAIRS BS: BOTTOM OF STAIRS HP: HIGH POINT ES: EDGE OF SIDEWALK FL: FLOW LINE



* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT

WM WILES MENSCH
powers brown archit ecture

Storm Water Management Plan

SWM/BMP NARRATIVE:

EXISTING CONDITIONS:

THE PRIVATE SPACE PROPERTY CONSISTS OF AN EMPTY LOT AND EXISTING BUILDINGS.

THE PUBLIC SPACE IN THE DEVELOPED AREA CONSISTS OF TYPICAL STREETSCAPE ALONG NEW YORK AVENUE NE AND MONTANA AVENUE NE. STREETSCAPE INCLUDES SIDEWALK WITH CURBSIDE GREEN PANEL WITH STREET TREES.

PUBLIC SPACE PROPOSED CONDITIONS:

THE PRIVATE SPACE IN THE DEVELOPED AREA PROPOSES THE CONSTRUCTION OF A NEW BUILDING WITH SURFACE PARKING LOTS. PROJECT ADDITIONALLY INCLUDES NEW LANDSCAPE, UTILITY, AND STORMWATER FEATURES TO SERVE THE NEW BUILDING.

STORMWATER MANAGEMENT:

STORMWATER RETENTION FOR THE SITE WILL MEET THE DISTRICT DEPARTMENT OF ENERGY AND ENVIRONMENT REQUIREMENTS FOR MAJOR LAND DISTURBING ACTIVITY. THEREFORE, THE FIRST 1.2" OF RAINFALL SHALL BE RETAINED ON-SITE FOR THE PROPOSED DEVELOPMENT.

STORMWATER DETENTION FOR THE SITE WILL ALSO MEET THE DISTRICT DEPARTMENT OF ENERGY AND ENVIRONMENT REQUIREMENTS FOR BOTH THE 2-YEAR AND 15-YEAR DETENTION. THE 15-YEAR POST-DEVELOPMENT DISCHARGE WILL BE REDUCED TO BE EQUAL OR LOWER THAN THE 15-YEAR PRE-DEVELOPMENT PEAK DISCHARGE.

THE DEVELOPMENT SITE WILL BE ONE DRAINAGE AREA. ALL SITE WATER WILL DRAIN TO A SEPARATED STORM SYSTEM IN NEW YORK AVENUE NE. STORMWATER FOR THE DRAINAGE AREA WILL BE ACHIEVED THROUGH THE USE OF BIORETENTIONS.

PUBLIC SPACE PROPOSED CONDITIONS:

THE PUBLIC SPACE IN THE DEVELOPED AREA PROPOSES THE CONSTRUCTION OF NEW STREETSCAPE ON NEW YORK AVENUE NE AND MONTANA AVENUE NE. STORMWATER MANAGEMENT TO THE MEP WILL BE MET BY PROVIDING NEW STREET TREES ON BOTH ROADS AND PRESERVING THE EXISTING STREET TREES.

NOTES:

- BIORETENTION MATERIALS AND CONSTRUCTION SHALL MEET CURRENT APPROVED DSDI SPECIFICATION FOR BIORETENTION, PLANTING, AND STRUCTURAL SOILS.
- SCAFFY SUBGRADE 3" MIN. BEFORE INSTALLATION.
- SIDE SLOPES STEEPER THAN 3% MAY BE ALLOWED; HOWEVER, MUST BE STABILIZED IN ACCORDANCE WITH DSDI DESIGN REQUIREMENTS.
- FOR ALTERNATIVE EDGE TREATMENT CONDITIONS, SEE DSDI NO. 625.10 TO 625.12.
- BOTTOM OF BIOWALL SHALL BE AT LEAST 2" ABOVE THE ORIGINAL HIGH WATER TABLE AND BODIUM AS DETERMINED BY GEOTECHNICAL INVESTIGATION.
- STONE DEPTH SHALL VARY PER DESIGN PLANS TO ACHIEVE A WATER STORAGE LAYER; INSTALLATION SHALL BE AS SHOWN.
- PROVIDE UNDERDRAIN WHEN CALLED FOR PER DESIGN PLANS. SEE DSDI 605.05 FOR MIN. DESIGN REQUIREMENT.
- DISTANCE TO ROADWAY MAY BE REDUCED WHEN USE OF PRACTICE IS LINED WITH WATERPROOF MEMBRANE PER DESIGN PLANS.
- SEE DSDI NO. 605.01 FOR CLEAN OUT AND OBSERVATION WELL DETAIL.
- BIORETENTION FACILITY DESIGNED IS ONE WITH AN OVERFLOW STRUCTURE. "TOP-LINE" FACILITIES DESIGNED TO LIMIT INFLOW SO THAT OVERFLOW STRUCTURES ARE NOT REQUIRED ARE ALSO PERMISSIBLE, AS SHOWN ON DESIGN PLANS.
- 6" DEPTH FROM SURROUNDING GRADE TO LOW POINT OF FACILITY EXCEEDS 5 FEET, A FENCE IS REQUIRED AROUND ENTIRE FACILITY.



LEGEND: ① BIORETENTION SOIL ② MULCH, PER PLANTING PLAN ③ OVERFLOW STRUCTURE ④ PERFORATED PIPE UNDERDRAIN ⑤ CHECKER LAYER, SAND & GRAVEL ⑥ GEOTEXTILE, CLASS 2 ⑦ PLANT BED SOIL

RECOMMENDED: SILVY CHIEF DESIGNER

APPROVED: [Signature]

DATE: [Blank]

SCALE: [Blank]

PROJECT: CHIEF TRANSPORTATION ENGINEER

BIORETENTION IN OPEN AREA

DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION

DWG. NO. 621.20

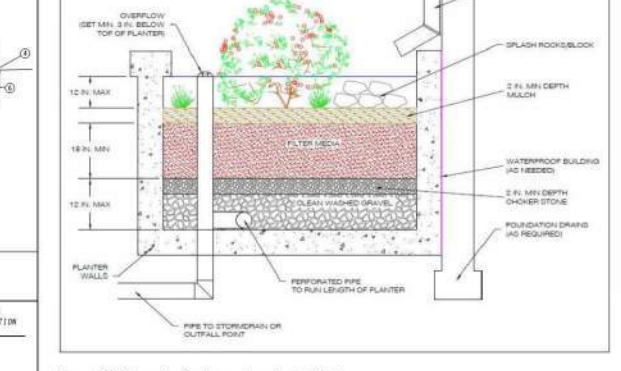
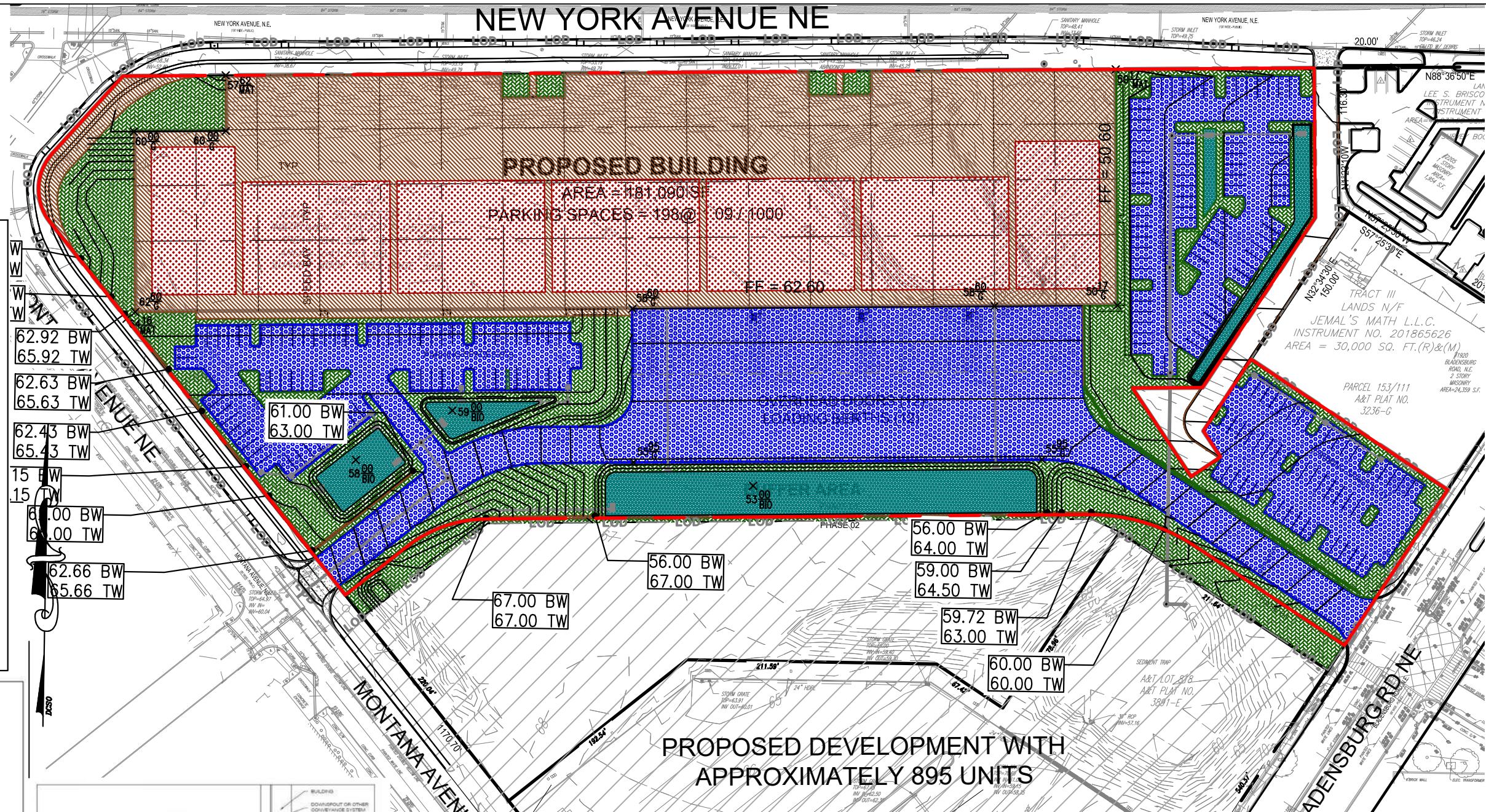
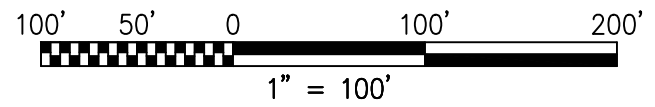


Figure 3.24 Example of a stormwater planter (B-4).

PRIVATE SPACE LEGEND:

- TOTAL SITE AREA: 401,912 SQ. FT.
- IMPERVIOUS COVER (124,985 SQ. FT.)
- COMPACTED COVER (178,900 SQ. FT.)
- VEHICLE RELATED COVER (134,129 SQ. FT.)
- BIORETENTION BMP COVER (20,897 SQ. FT.)
- GREEN ROOF BMP COVER (77,130 SQ. FT.)



* PRELIMINARY NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL. * BOUNDARY LINES AND EASEMENTS ARE PRELIMINARY & REQUIRE VERIFICATION - SURVEY NOT PROVIDED. * ALL BUILDING AREAS ARE APPROXIMATE UNTIL BUILDING FOOTPRINT/ ENTRY DESIGNS ARE FINALIZED. * RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES. * PRELIMINARY DETENTION CALCULATIONS. CALCULATIONS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED BY A LICENSED ENGINEER. *

NEW CITY, DC
a project for
DOUGLAS DEVELOPMENT

WM WILES MENSCH

powers brown architecture