



**1348 4TH STREET NE
@ UNION MARKET**
CONSOLIDATED PUD APPLICATION
DECEMBER 16, 2021



OWNER
EDENS

ARCHITECT
STUDIOS ARCHITECTURE

LANDSCAPE ARCHITECT
LAND COLLECTIVE

LAND USE COUNSEL
GOULSTON & STORRS

CIVIL ENGINEER
BOHLER

TRAFFIC ENGINEER
GOROVE/SLADE ASSOCIATES, INC.

STRUCTURAL ENGINEER
SK&A

MEP ENGINEER
INTERFACE

ZONING COMMISSION
District of Columbia
CASE NO.19-29
EXHIBIT NO.34F1

DEVELOPMENT/ZONING DATA & DIAGRAMS

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NOTE: * INDICATES CONTENT ON PAGE EDITED OR ADDED



 **APPROVED PUD**



1" = 200'-0" 0' 200'

1348 4TH STREET NE

AREA ZONING MAP CONSOLIDATED PUD APPLICATION

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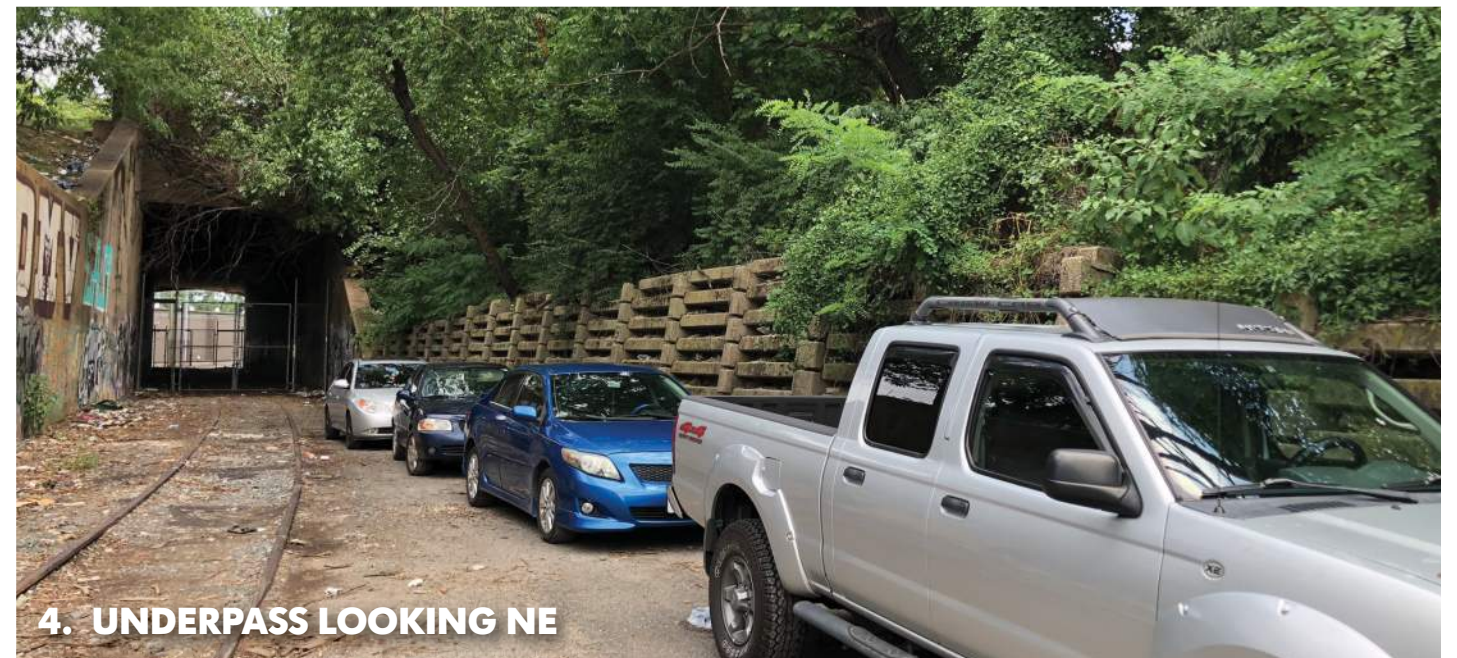
1. NEW YORK AVE LOOKING S



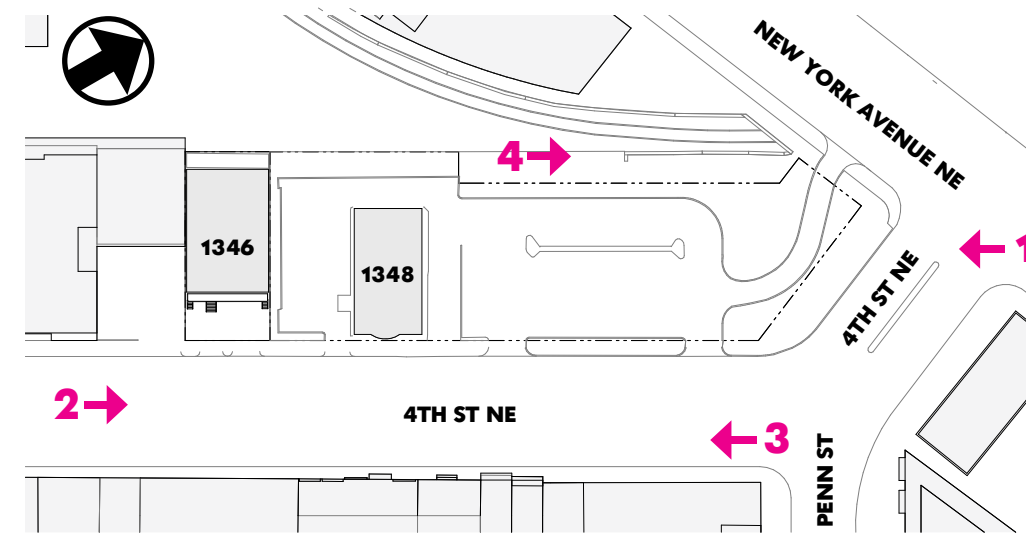
3. 4TH & PENN LOOKING SW



2. 4TH LOOKING N



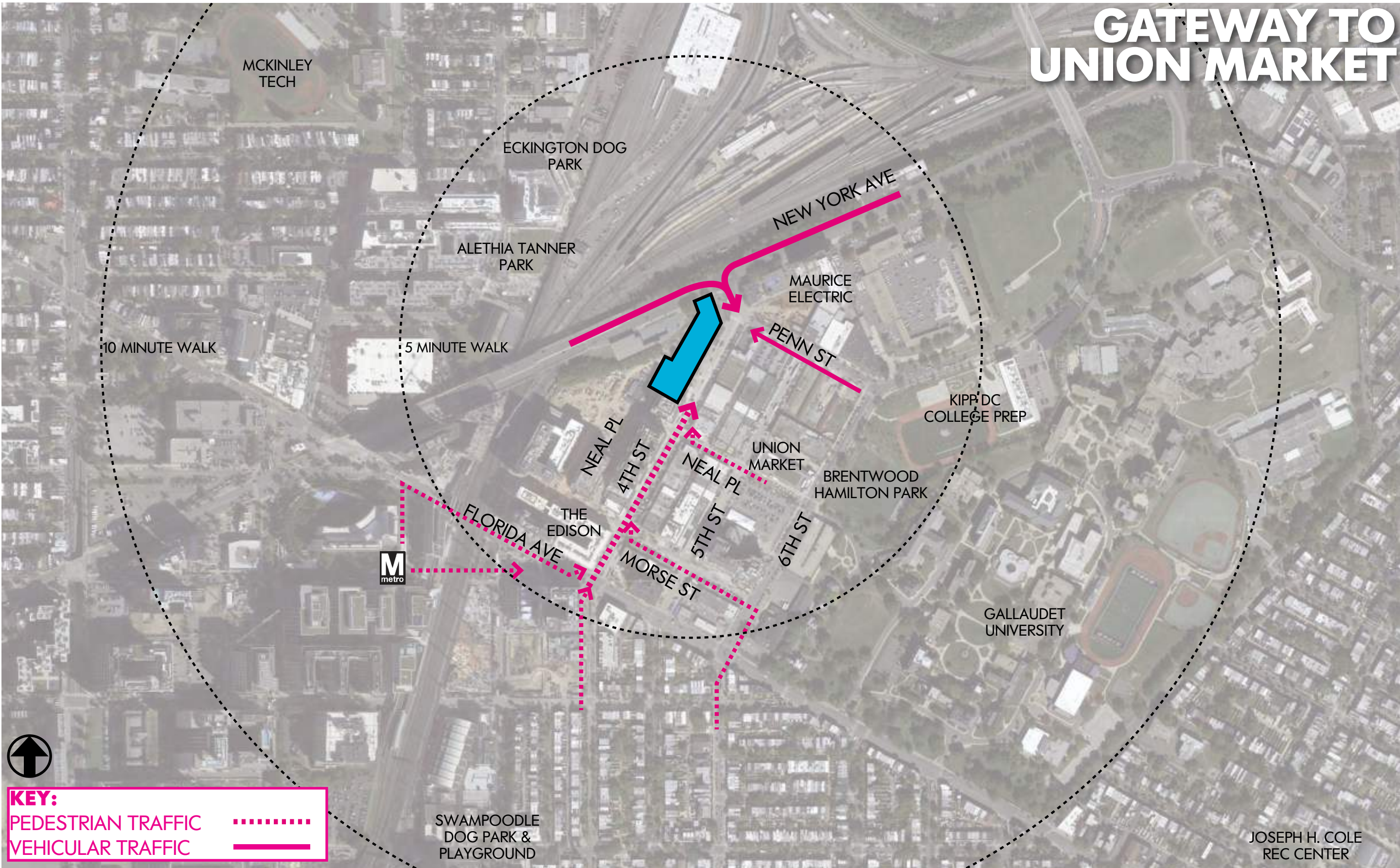
4. UNDERPASS LOOKING NE



1348 4TH STREET NE

SITE CONTEXT - EXISTING PHOTOS
CONSOLIDATED PUD APPLICATION

GATEWAY TO UNION MARKET

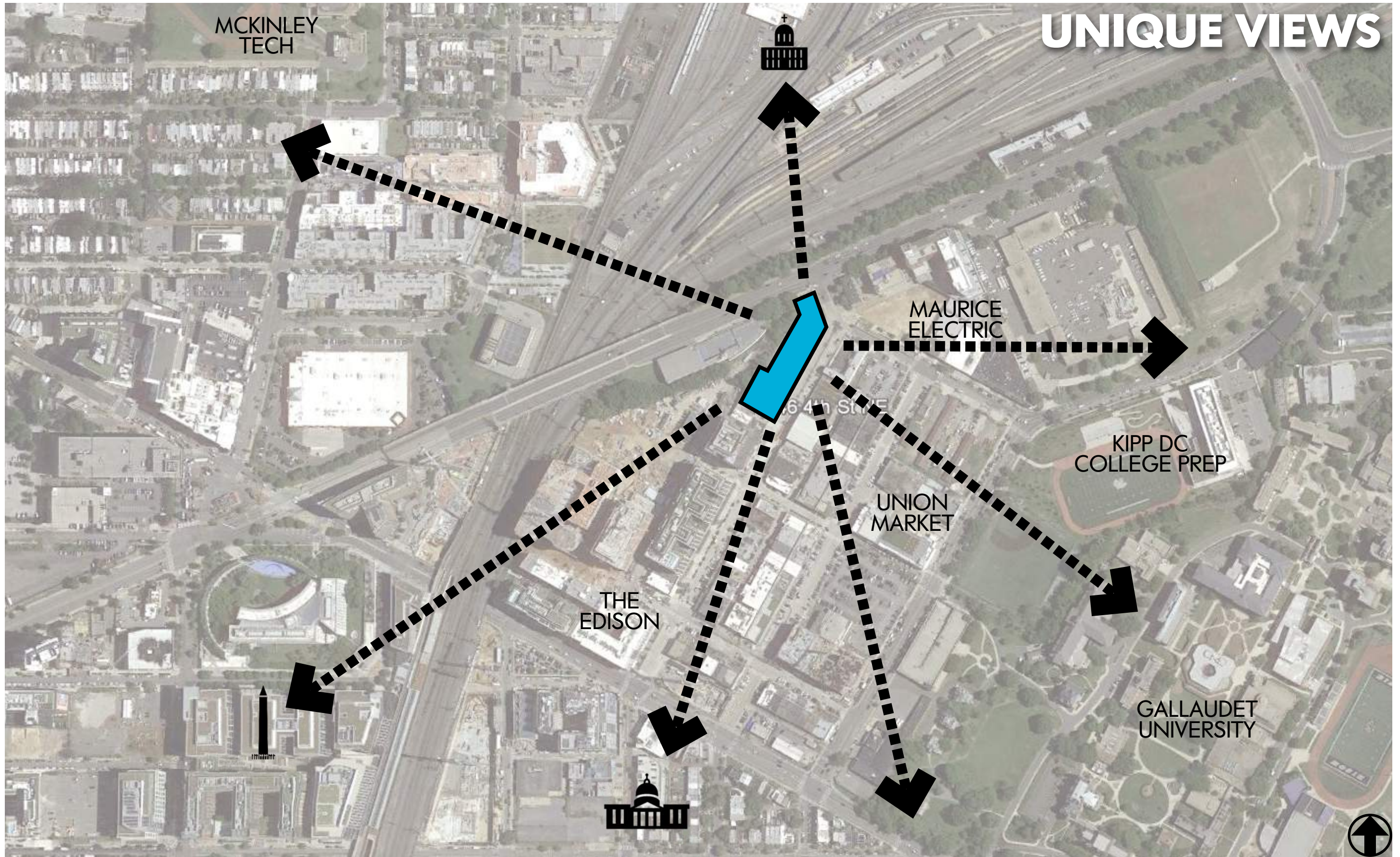


KEY:
 PEDESTRIAN TRAFFIC
 VEHICULAR TRAFFIC ———

1348 4TH STREET NE

VICINITY DIAGRAM
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UNIQUE VIEWS

1348 4TH STREET NE

**VICINITY DIAGRAM
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Market Terminal - Kettler | Carmel |



North Building - Gables | Edens



500 Morse - LCOR



Ranger - MOB Hotel



Signal House - Carr



Shapiro North - Great Gulf | Edens



Morse - Grosvenor



440 Penn - UDR | Edens



The Gantry - Kettler | Carmel Partners



Gallaudet Parcel - JBGS



Gallaudet Parcel 3 - JBGS

1348 4TH STREET NE

SITE DATA

SQUARE	3587	
LOT	3	7
CURRENT ZONING	PDR-1	PDR-1
PROPOSED ZONING	MU-9	
CURRENT SITE AREAS	37,320 SF	6,462 SF
COMBINED SITE AREA	43,782 SF	

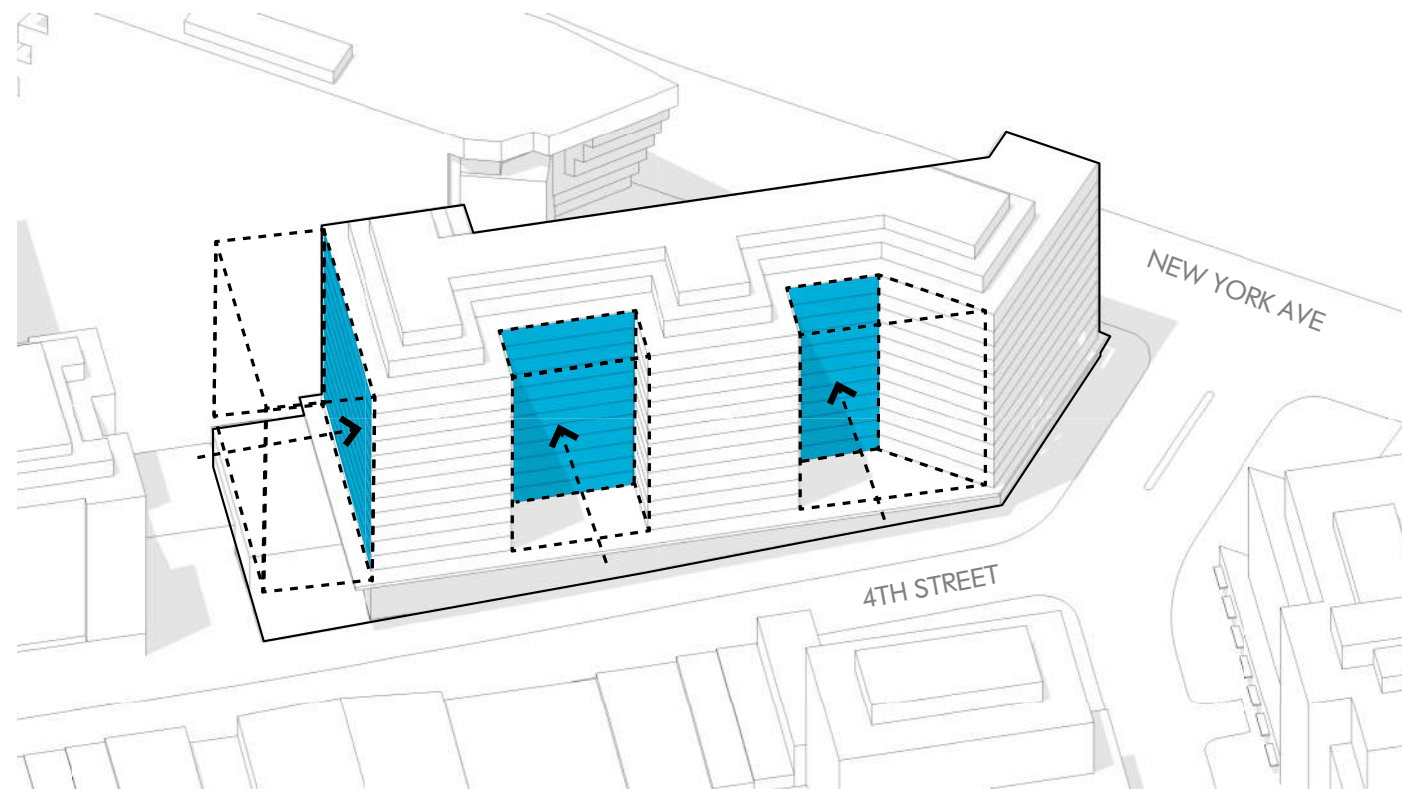
DETAILED DEVELOPMENT DATA

	PROPOSED ZONING (MU-9)	ALLOWED/REQUIRED	PROPOSED DEVELOPMENT		FLEXIBILITY REQUESTED	
FAR	7.8 W/ IZ + 20% PUD BONUS = 9.36 X 43,782SF +4% SF ADDITIONAL GFA PER 11-X DCMR § 303.10 = 0.38 X 43,782 SF	409,799 SF PER IZ AND PUD BONUSES +16,884 SF PER 11-X DCMR § 303.10 (4% ADDITIONAL) = 426,426 SF TOTAL	COMMERCIAL:	44,882	1.02 FAR	YES
			RESIDENTIAL:	373,100	8.52 FAR	
			PARKING & LOADING	8,504	0.19 FAR	
			TOTAL:	426,426 SF	9.74 FAR	
LOT OCCUPANCY		100% ALLOWED	LEVEL 1: 37,775 SF	86.3%	NO	
BUILDING HEIGHT		130 FT	LEVEL 2: 32,008 SF	73.1%		
NUMBER OF STORIES		NO LIMIT	BHMP @ NY AVE; CURB EL. +119'-6"		130 FT	NO
PENTHOUSE	1:1 SETBACK		13 STORIES		NO	
	MAXIMUM HEIGHT	20FT	1:1 SETBACK		NO	
	VERTICAL WALLS		20FT		NO	
	AREA = 0.4 FAR X 43,782SF SITE AREA	17,512 SF	VERTICAL WALLS		NO	
REAR YARD SETBACK	2.5IN / FT OF HEIGHT	2.5" X 130' = 27'-1"	16,000 SF	0.37 FAR	NO	
SIDE YARD SETBACK	NONE		REAR YARD DEFINED AS ONE HALF 4TH STREET		45'-0"	NO
COURTS	NOT REQUIRED; IF PROVIDED: 4IN PER FOOT OF HEIGHT, 10' MIN (RESIDENTIAL) 2.5IN PER FOOT OF HEIGHT, 6' MIN (NON-RESIDENTIAL)	SEE DIAGRAMS ON PAGE 22-29	SEE DIAGRAMS ON PAGE 22-29		YES, SEE PAGES 22-29	
GREEN AREA RATIO		0.2 MIN	0.2		NO	
LOADING BERTHS	2 RETAIL / 1 RESIDENTIAL - CAN BE SHARED	2 REQUIRED	2		NO	
LOADING PLATFORMS	1 PER LOADING BERTH	2 REQUIRED	2		NO	
DELIVERY/SERVICE SPACE	1 RETAIL / 1 RESIDENTIAL - CAN BE SHARED	1 REQUIRED	1		NO	
RETAIL PARKING	1.333 PER 1,000 SF IN EXCESS OF 3,000 SF	78 SPACES REQUIRED	178 - 276 TOTAL PARKING SPACES		YES, SEE NOTE (D)	
RESIDENTIAL PARKING	1 PER 3 DU IN EXCESS OF 4 DU	138 SPACES REQUIRED				
SHORT TERM BIKE PARKING	COMMERCIAL: 1 SPACE PER 3,500 SF	18 SHORT TERM SPACES REQUIRED	TOTAL: 39	18 SHORT TERM SPACES	TOTAL: 39	NO
	RESIDENTIAL: 1 SPACE PER 20 DWELLINGS	21 SHORT TERM SPACES REQUIRED		21 SHORT TERM SPACES		
LONG TERM BIKE PARKING	COMMERCIAL: 1 SPACE PER 10,000 SF	7 LONG TERM SPACES REQUIRED	TOTAL: 146	40 LONG TERM SPACES	TOTAL: 146-305	YES, SEE NOTE (C)
	RESIDENTIAL: 1 SPACE PER 3 DWELLINGS	139 LONG TERM SPACES REQUIRED		265 LONG TERM SPACES		
COMMERCIAL BIKE SHOWERS	MIN 2 AT 25,000 SF, 2 EVERY 50,000 SF	4 SHOWERS REQUIRED	4 SHOWERS PROPOSED		NO	
COMMERCIAL BIKE LOCKERS	0.6 X REQUIRED LONG TERM SPACES	4 LOCKERS REQUIRED	4 LOCKERS PROPOSED		NO	

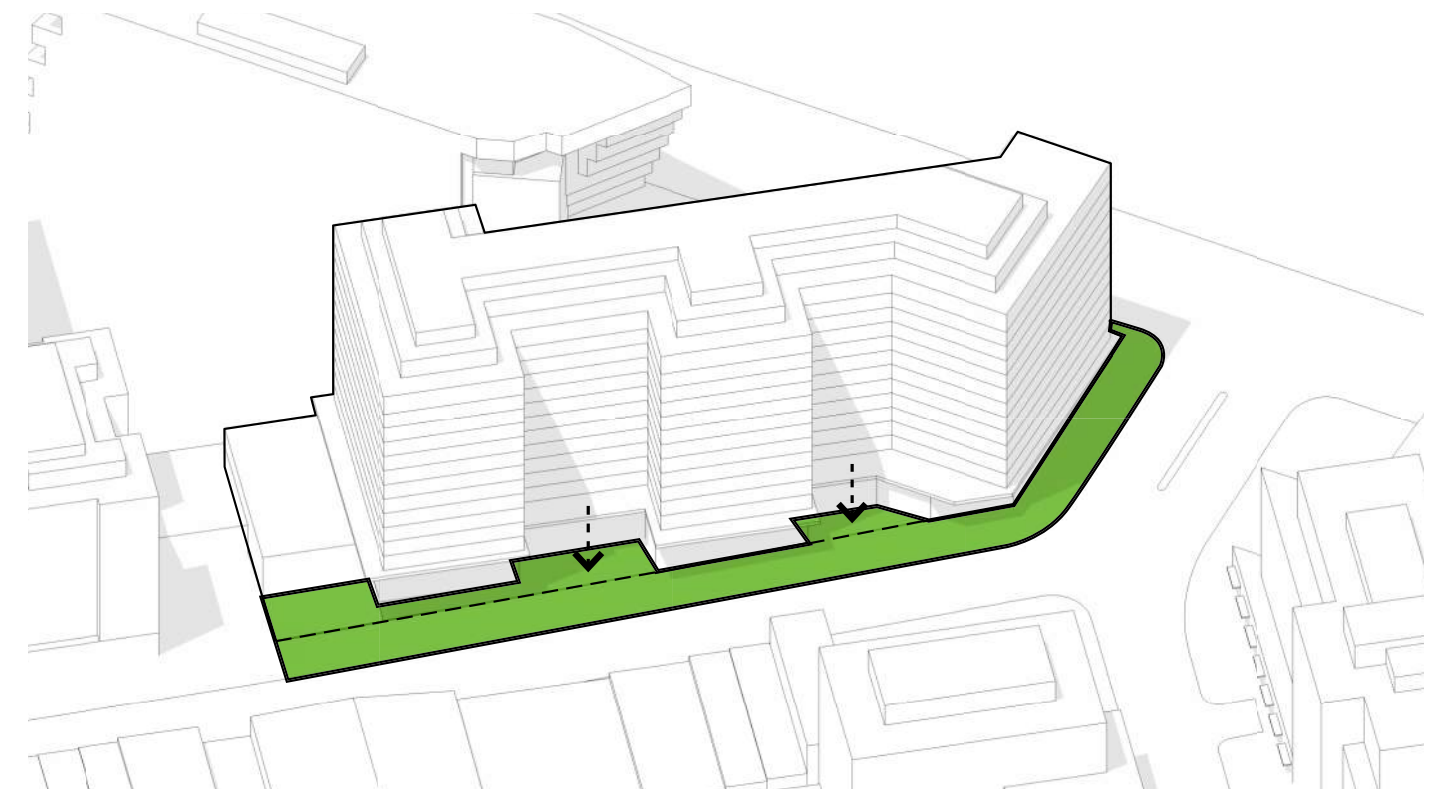
ADDITIONAL NOTES:

- (A) ~380 RESIDENTIAL (+/- 10%) UNITS ARE PROVIDED. REQUIREMENTS SHOWN ARE CALCULATED BASED ON MAXIMUM NUMBER OF RESIDENTIAL UNITS.
- (B) APPLICANT REQUESTS FLEXIBILITY TO LOCATE BALCONIES ON THE FAÇADE THAT PROJECT ONTO THE ADJACENT LOT, KNOWN AS LOT 819, SQUARE 3587.
- (C) APPLICANT REQUESTS FLEXIBILITY TO PROVIDE ONLY THE ZONING MINIMUM LONG TERM BIKE PARKING SPACES IF THE P3 LEVEL IS NOT BUILT. LONG TERM BIKE PARKING SPACES WILL BE REDUCED TO 146 SPACES IF P3 IS NOT BUILT.
- (D) APPLICANT REQUESTS FLEXIBILITY TO NOT BUILD THE P3 LEVEL OF THE GARAGE, WHICH WOULD RESULT IN APPROXIMATELY 178 SPACES BEING PROVIDED.

1) CARVE TO VARY FORM AND CREATE EAST/WEST OPEN SPACE

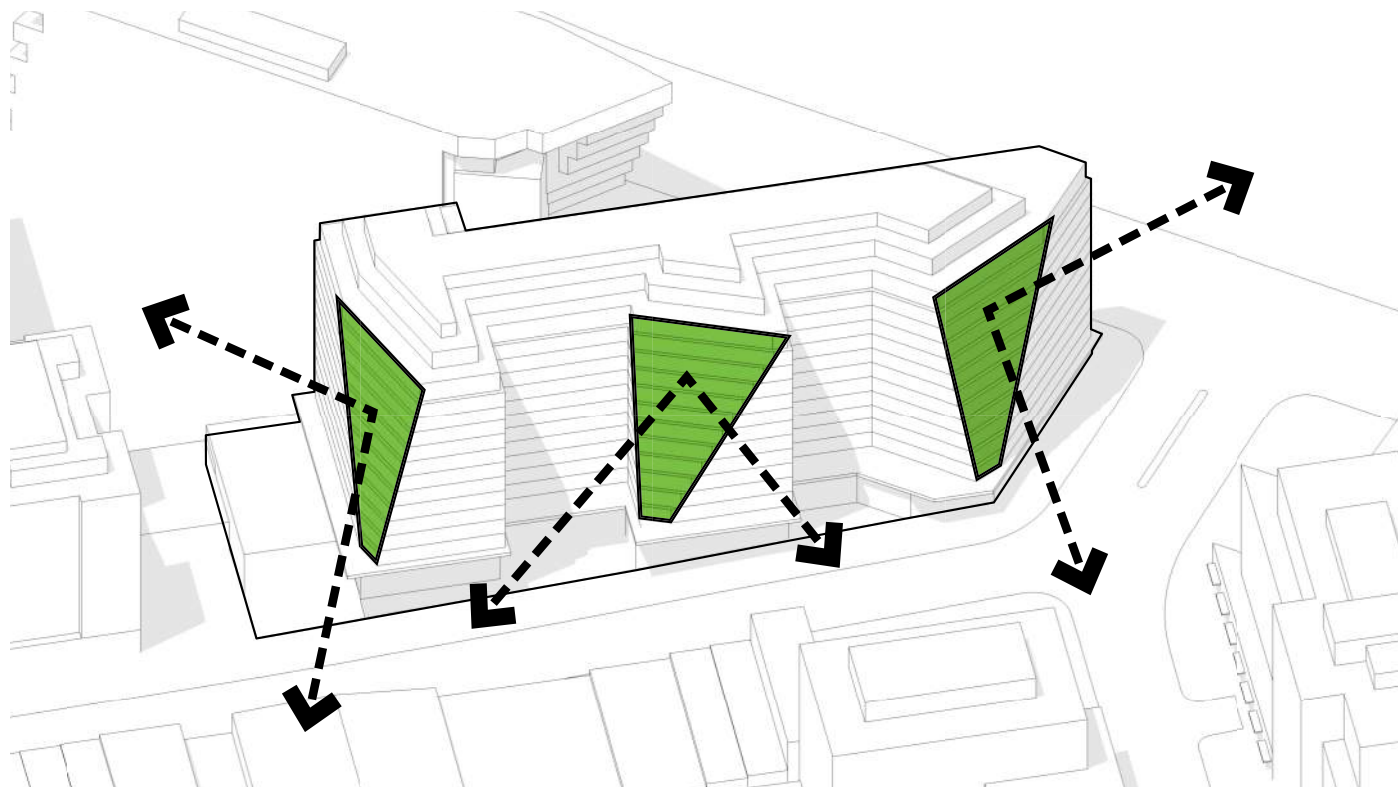


2) ACTIVATE STREETScape



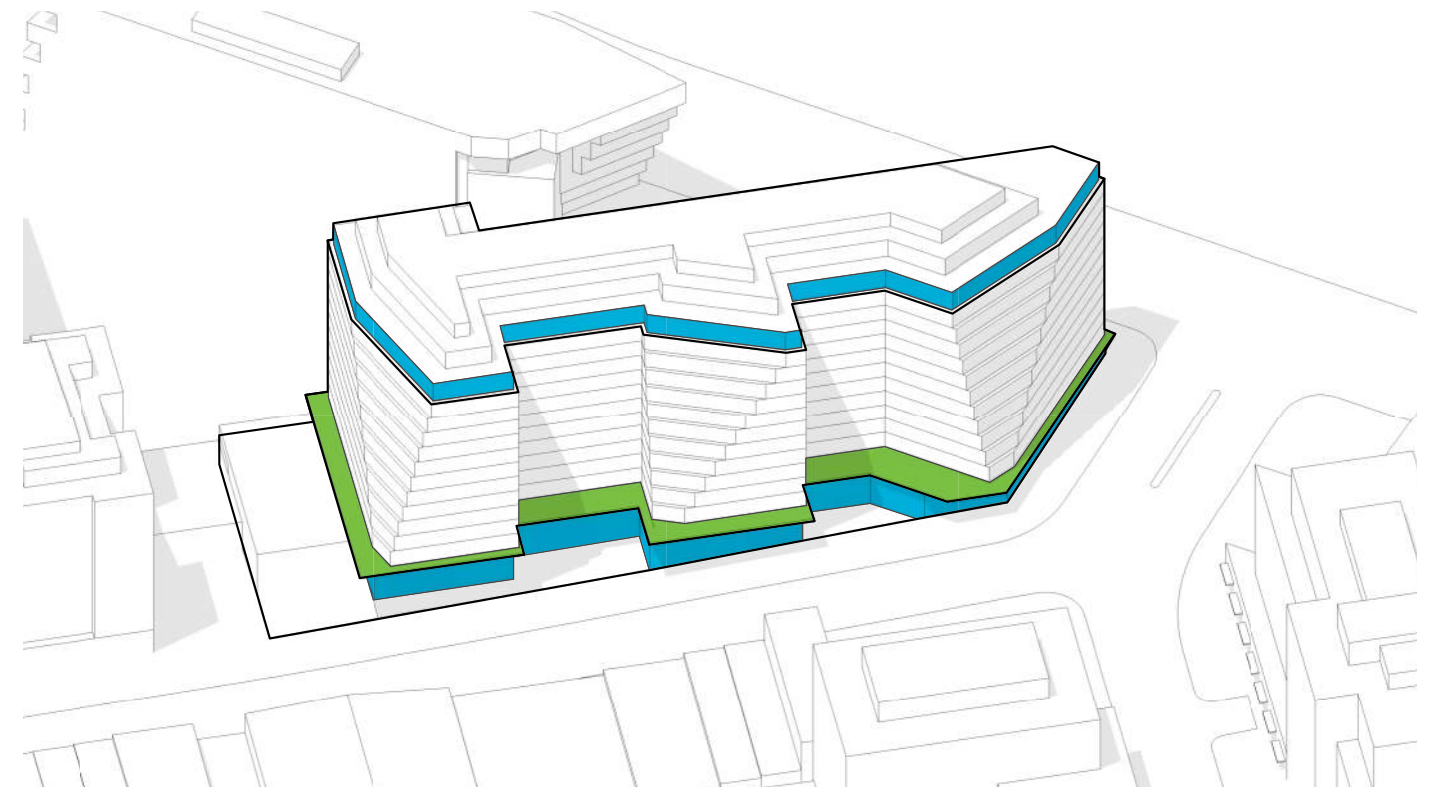
3) CHAMFER CORNERS

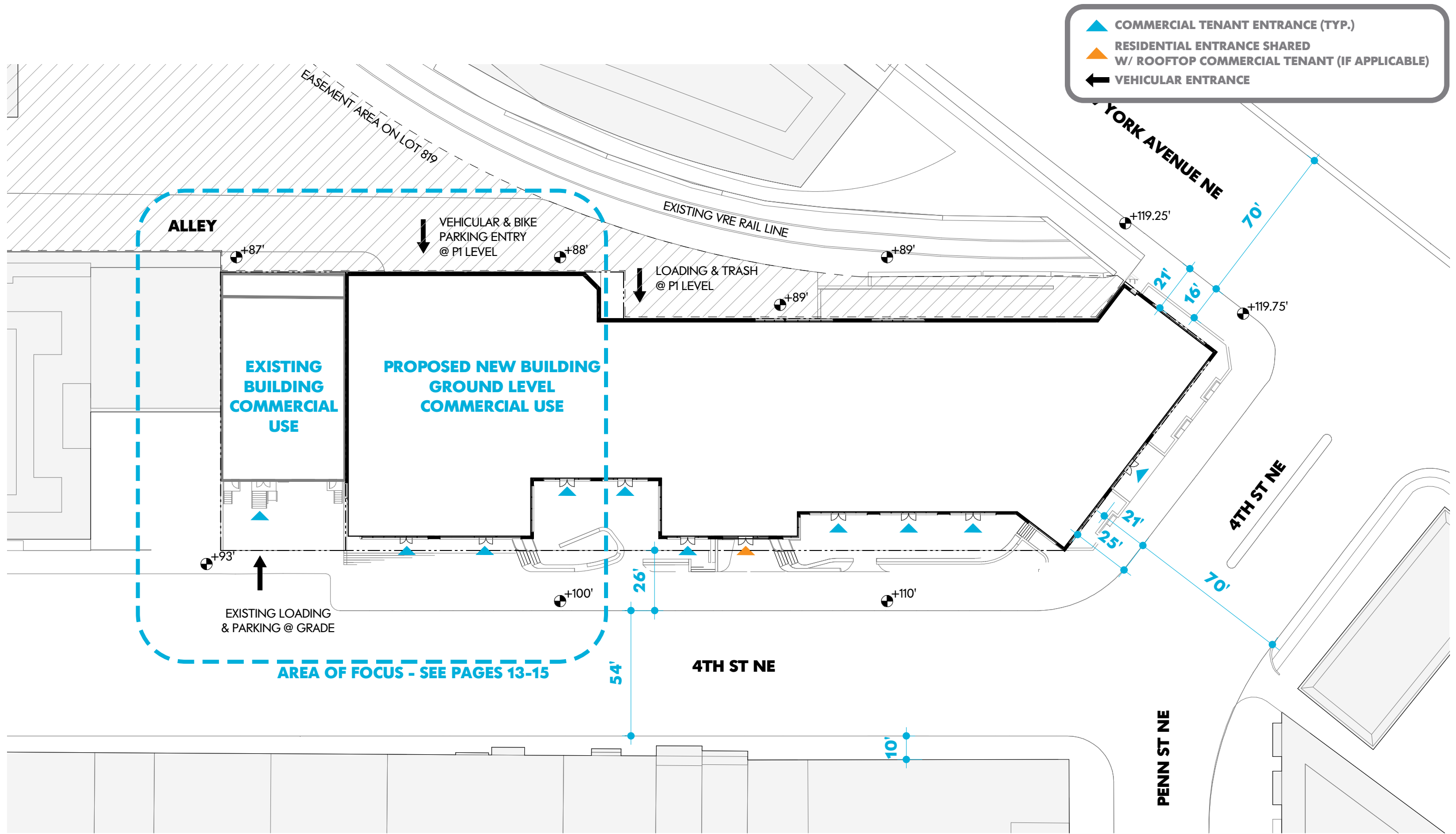
DYNAMIC UNIT TERRACES MAINTAIN
NEIGHBOR VIEWS



4) DISTINCT BASE & TOP

ARTICULATE WHERE THE BUILDING MEETS THE
STREET AND THE SKY



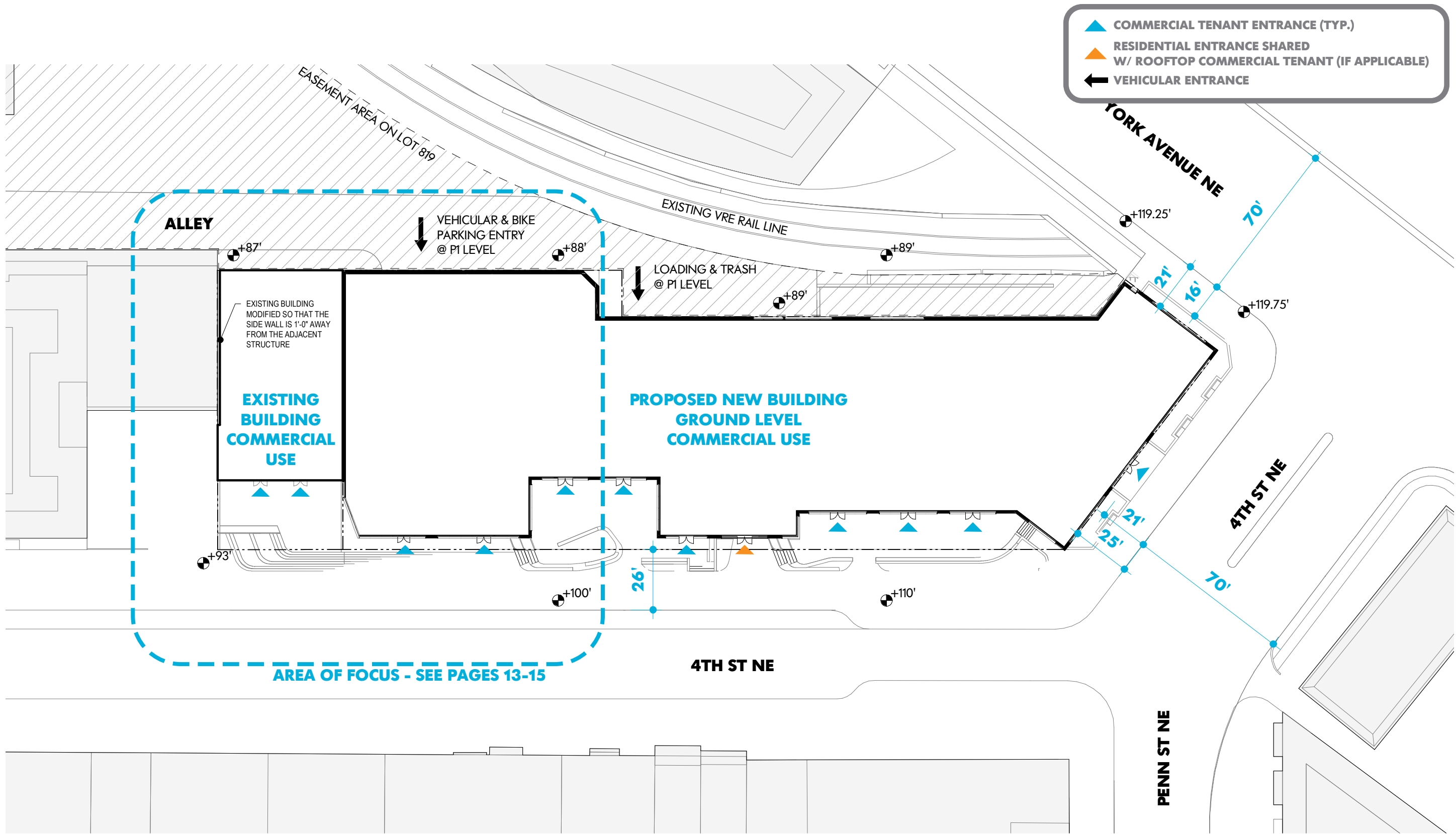


- ▲ COMMERCIAL TENANT ENTRANCE (TYP.)
- ▲ RESIDENTIAL ENTRANCE SHARED W/ ROOFTOP COMMERCIAL TENANT (IF APPLICABLE)
- ← VEHICULAR ENTRANCE

1348 4TH STREET NE
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INTERIM CONDITION SITE AND CIRCULATION PLAN
CONSOLIDATED PUD APPLICATION





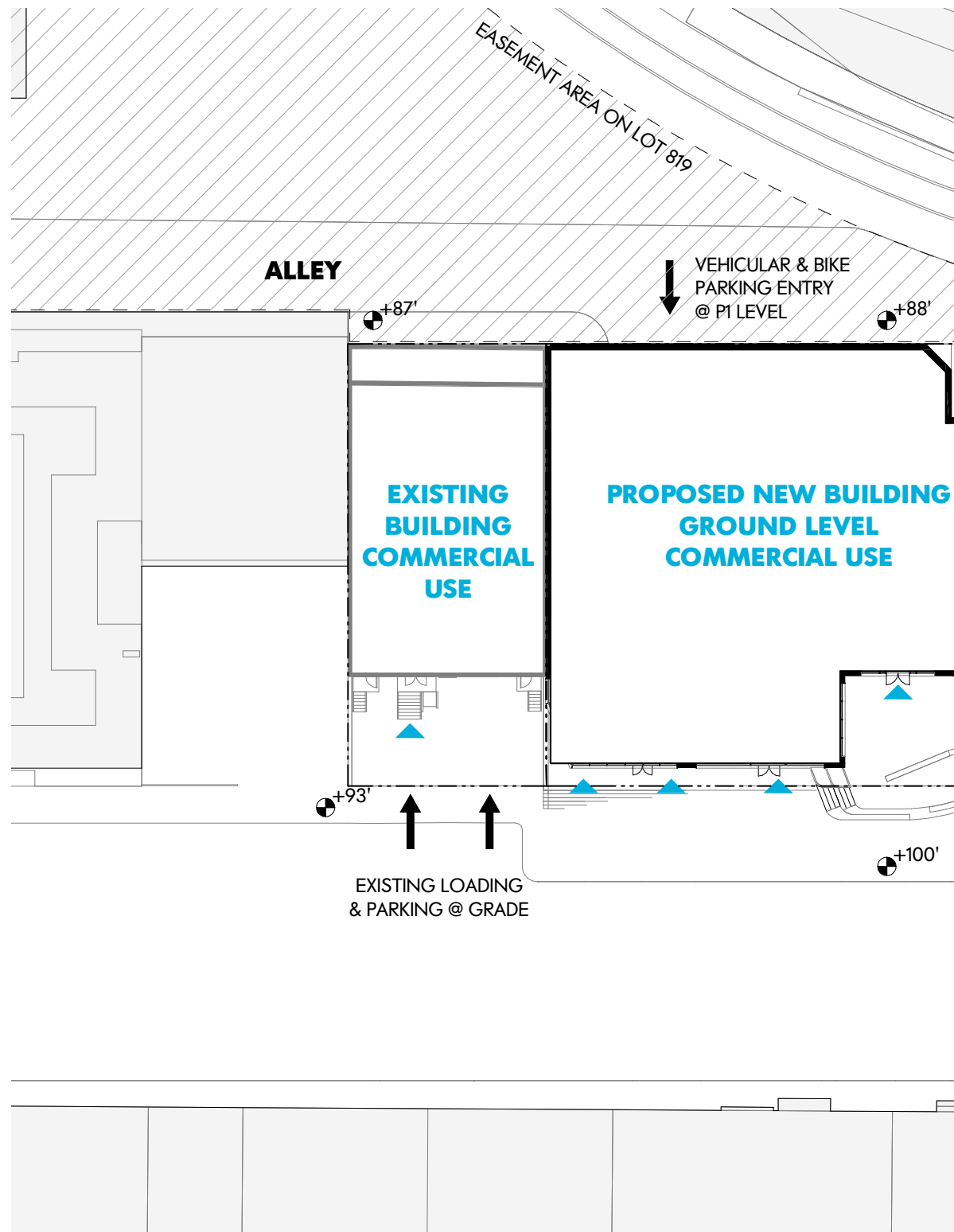
- ▲ COMMERCIAL TENANT ENTRANCE (TYP.)
- ▲ RESIDENTIAL ENTRANCE SHARED W/ ROOFTOP COMMERCIAL TENANT (IF APPLICABLE)
- ← VEHICULAR ENTRANCE



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FINAL SITE AND CIRCULATION PLAN
CONSOLIDATED PUD APPLICATION

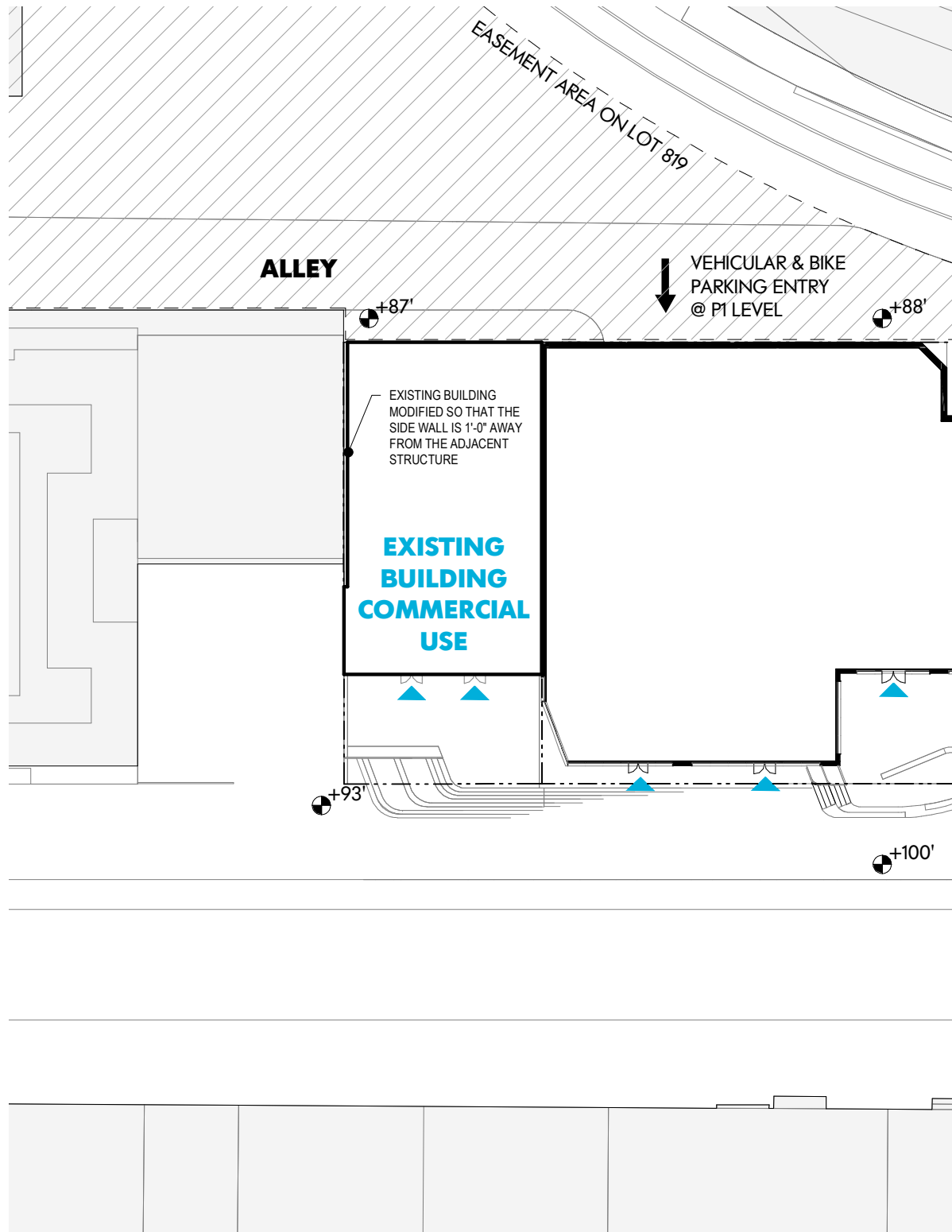
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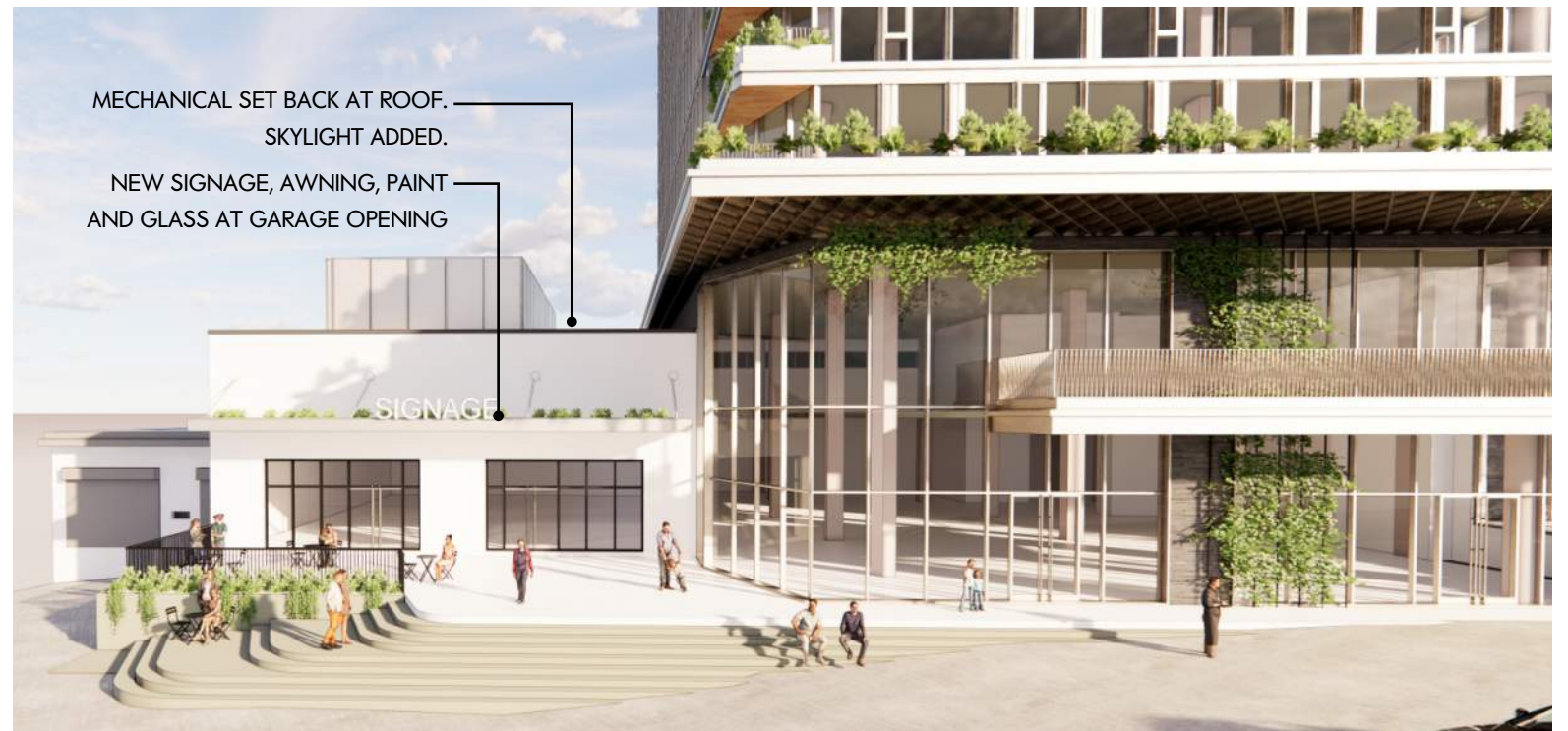
RENDERED VIGNETTE



RENDERED ELEVATION



RENDERED VIGNETTE



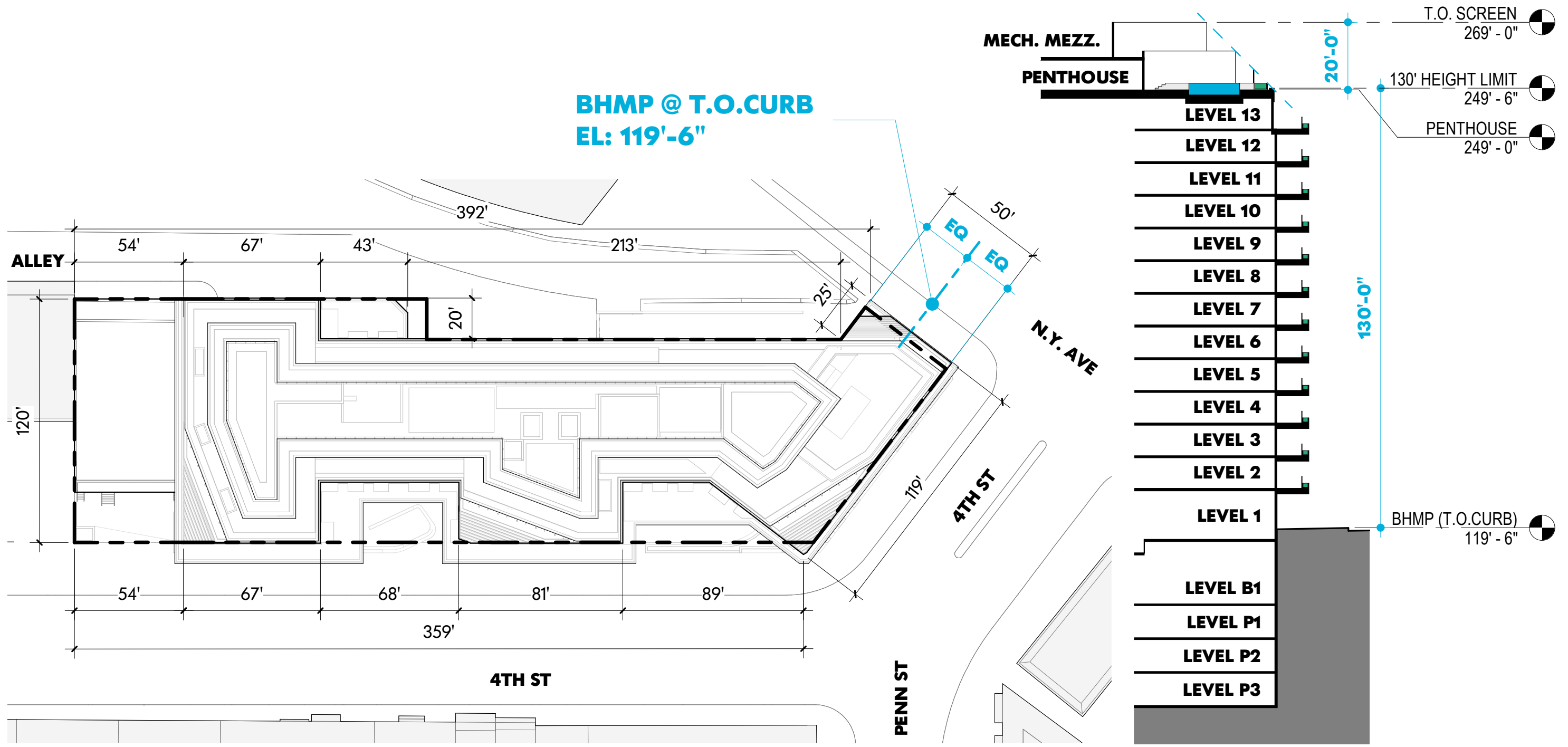
RENDERED ELEVATION

NOTE: LANDSCAPE SHOWN IN RENDERINGS IS ILLUSTRATIVE; REFER TO LANDSCAPE PLANS FOR DETAILS.

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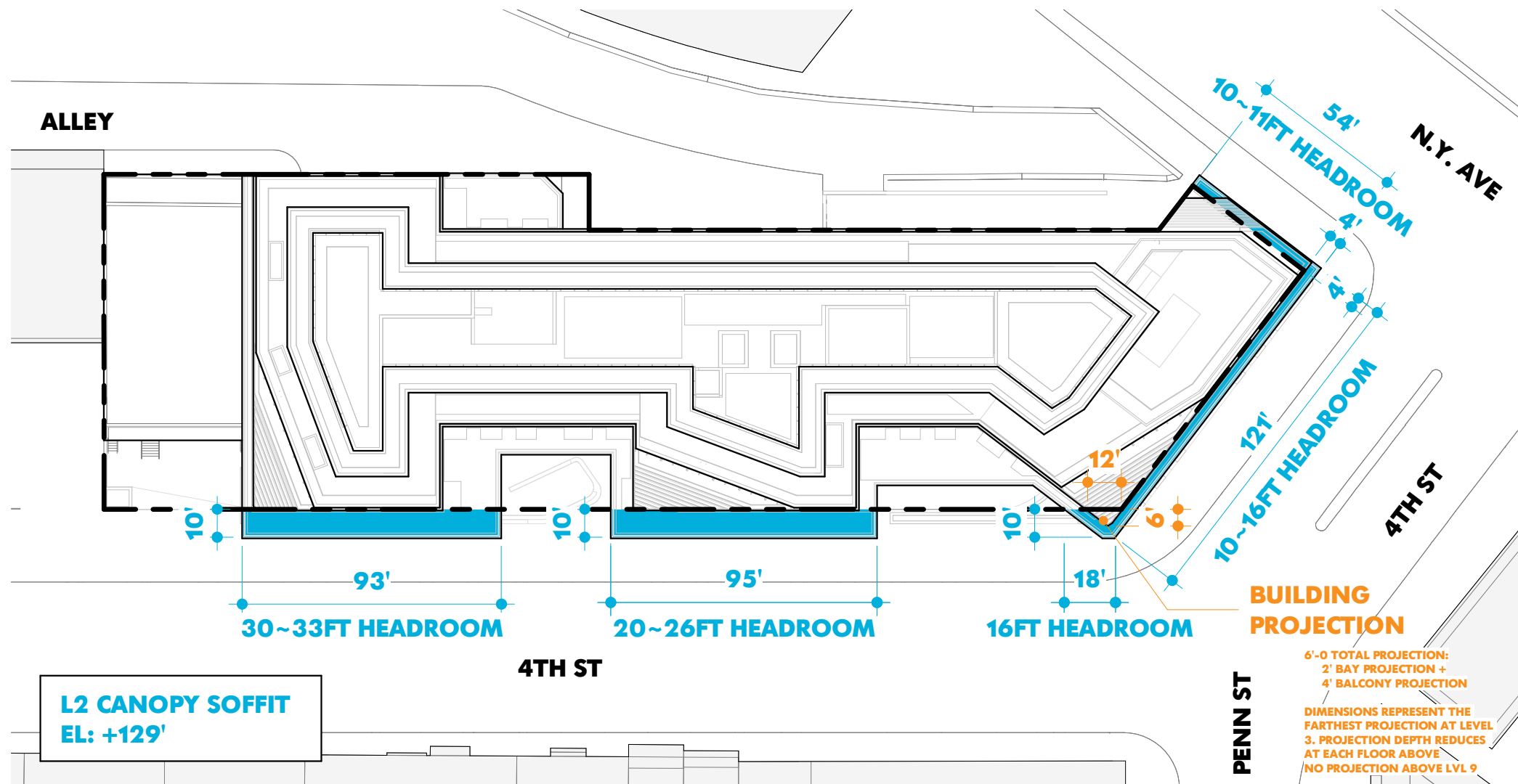
**FINAL CONDITION IMAGERY
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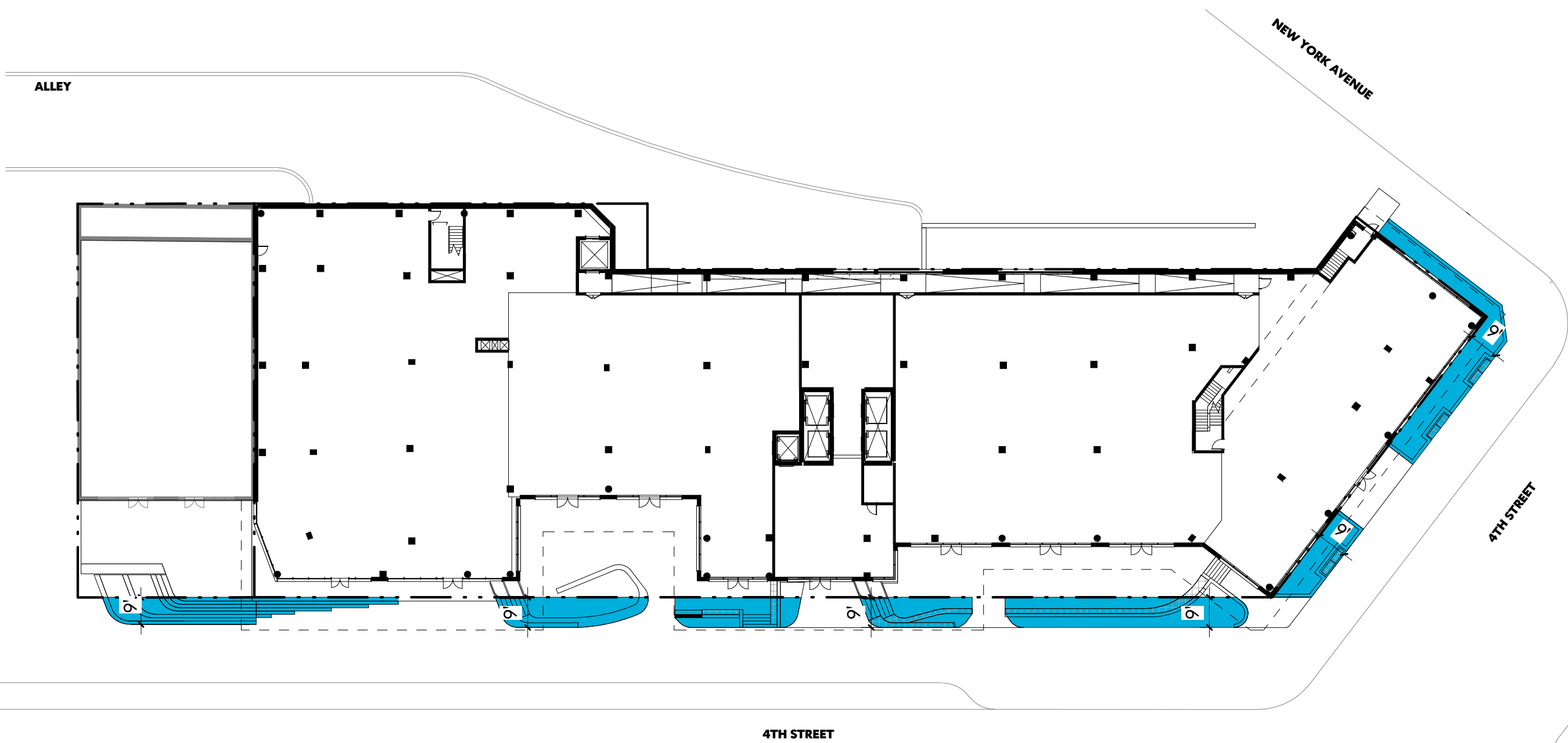
1348 4TH STREET NE

**PROPOSED DEVELOPMENT HEIGHT AND DIMENSIONS
CONSOLIDATED PUD APPLICATION**

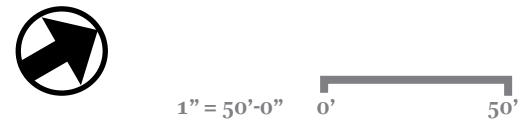


PUBLIC SPACE PROJECTIONS PLAN

*NOTE: PROPOSED PROJECTIONS ARE SUBJECT TO APPROVAL UNDER THE DC CONSTRUCTION CODE AND/OR THE PUBLIC SPACE PERMITTING PROCESS, AS RELEVANT, AND MIGHT BE MODIFIED AS A RESULT.



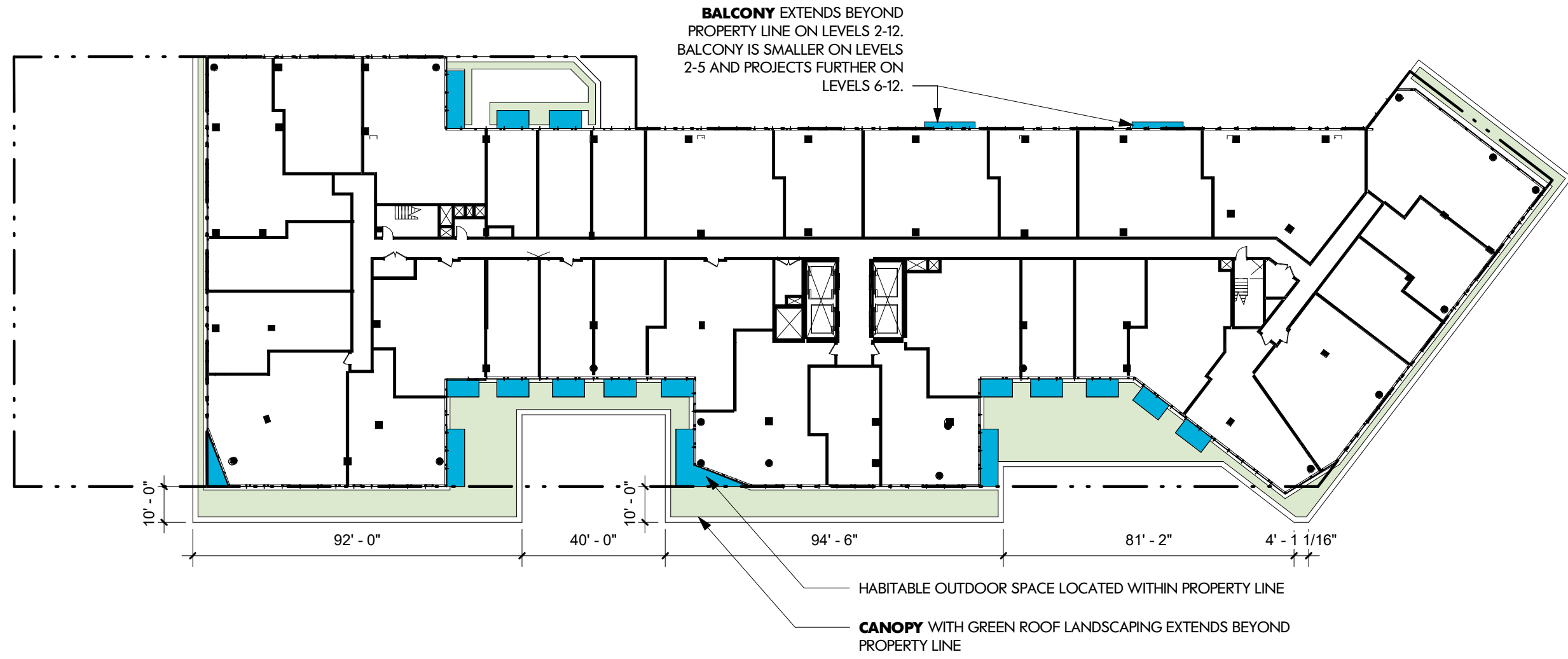
*NOTE: ELEMENTS IN PUBLIC SPACE ARE SUBJECT TO APPROVAL UNDER THE DC CONSTRUCTION CODE AND/OR THE PUBLIC SPACE PERMITTING PROCESS, AS RELEVANT, AND MIGHT BE MODIFIED AS A RESULT.

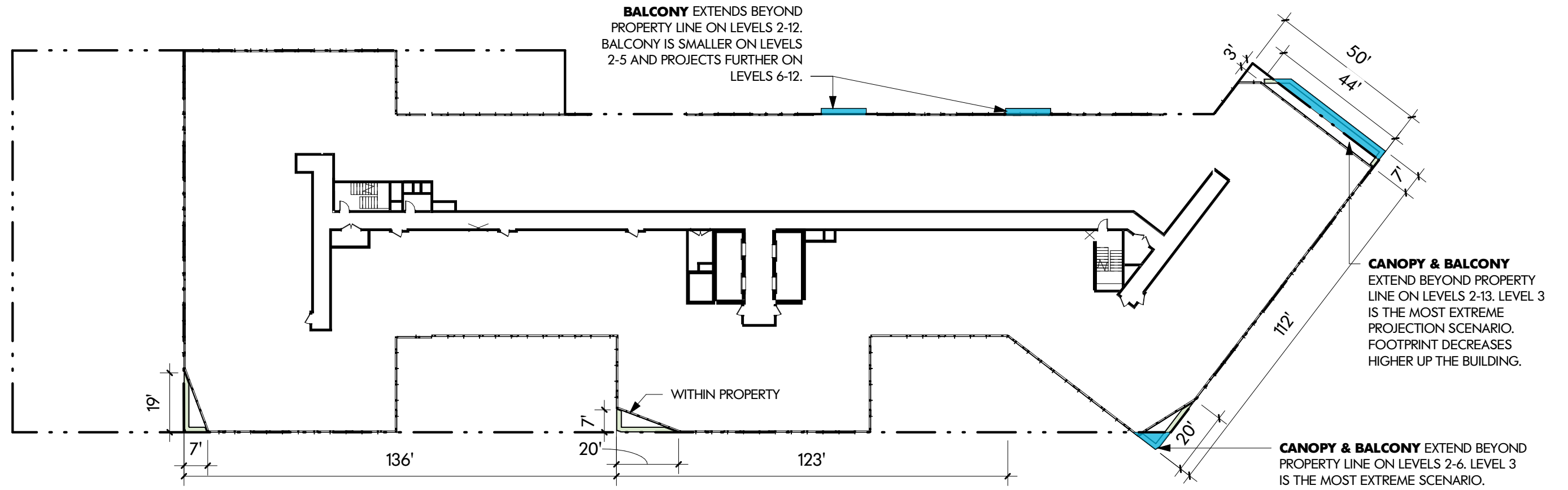


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PROPOSED PROJECTIONS INTO PUBLIC SPACE- LEVEL 1
CONSOLIDATED PUD APPLICATION

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WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC-1	119FT	39'-8" MIN	29'-8" *
OC-1A	21FT	10'-0" MIN	16'-0"
OC-2	119FT	39'-8" MIN	68'-2"
OC-2A	31FT	10'-4" MIN	68'-2"
OC-3	119FT	39'-8" MIN	20'-0" *
OC-4	126FT	42'-0" MIN	120'-0"
OC-4A	29FT	10'-0" MIN	53'-10"

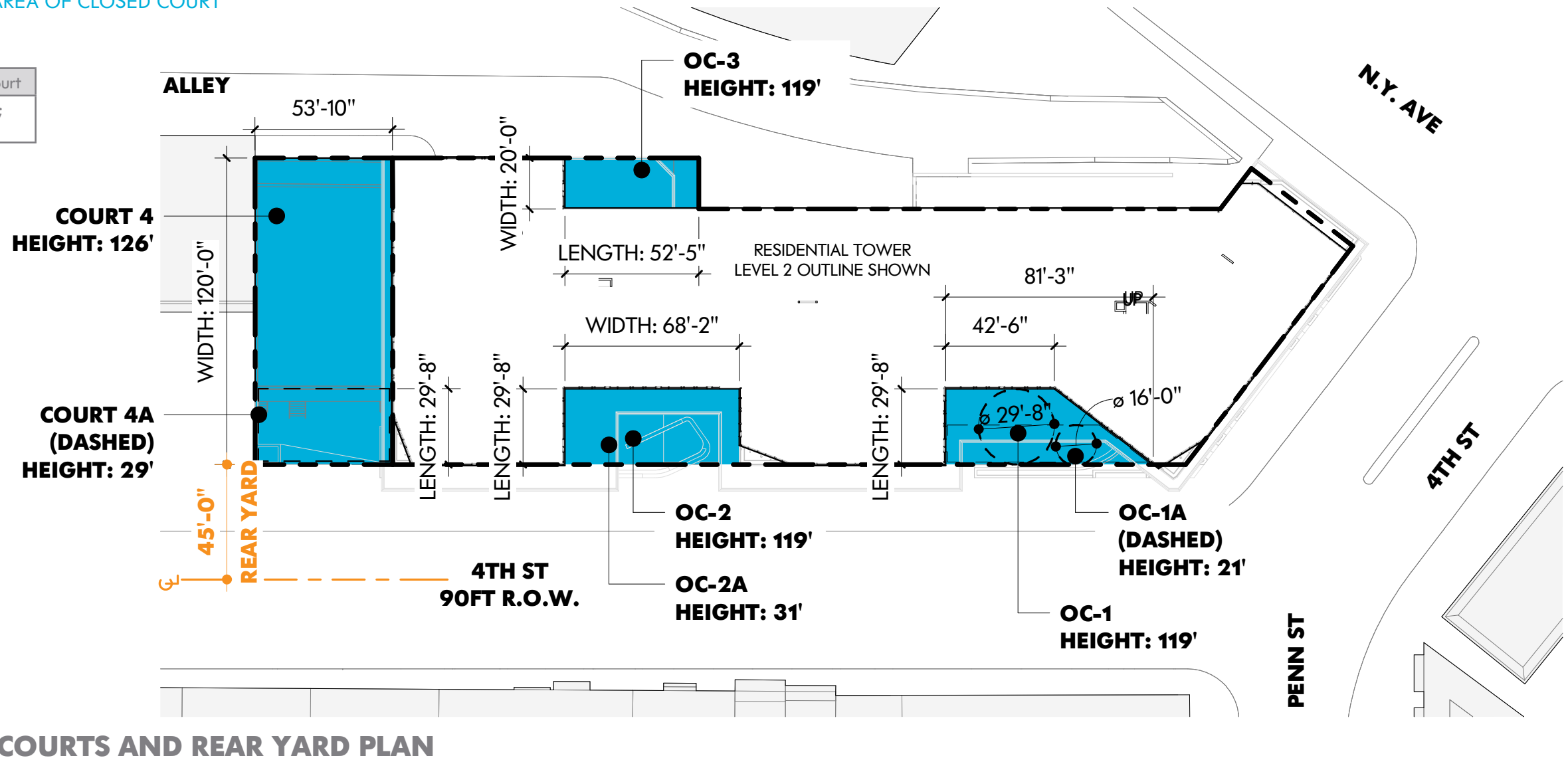
AREA OF COURTS

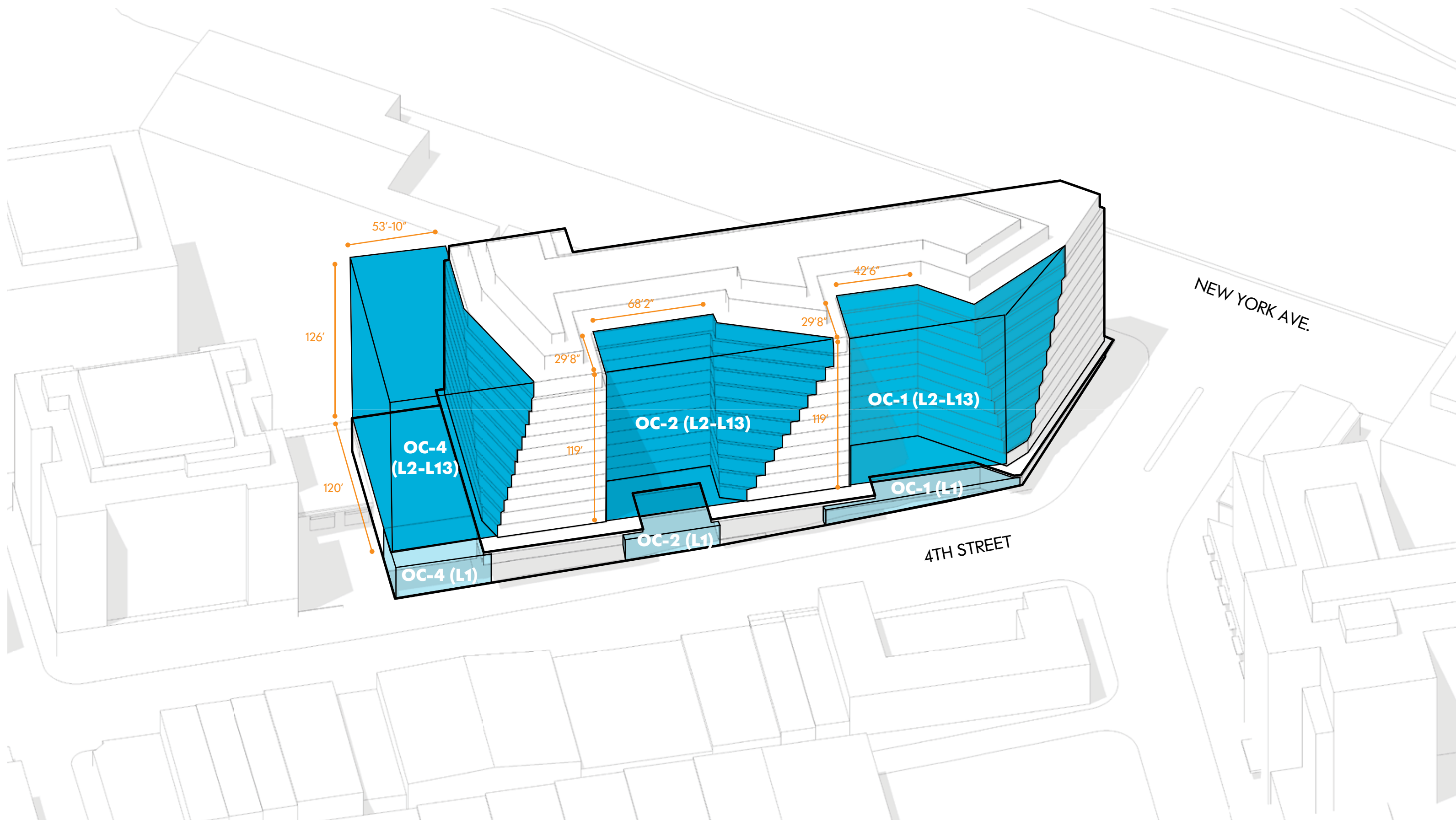
	HEIGHT	WIDTH REQUIRED	AREA REQUIRED	AREA PROPOSED
OC-3	119FT	39'-8" MIN	3,146 SQFT	1,057 SQFT *

* APPLICANT REQUESTS RELIEF FOR THE WIDTHS OF NON-RECTANGULAR OPEN COURT OC-1 AND FOR CLOSED COURT OC-3. RELIEF ALSO REQUESTED FOR AREA OF CLOSED COURT OC-3

Title 11 Subtitle G § 202.1 Table

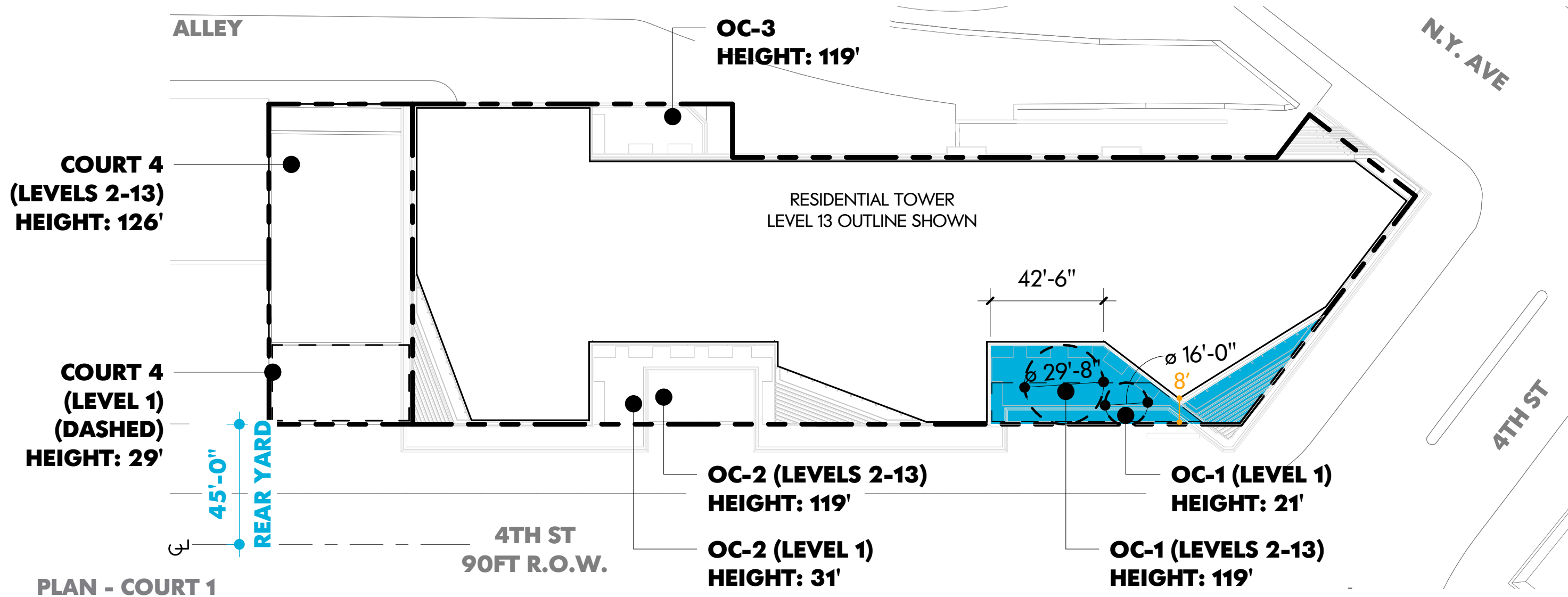
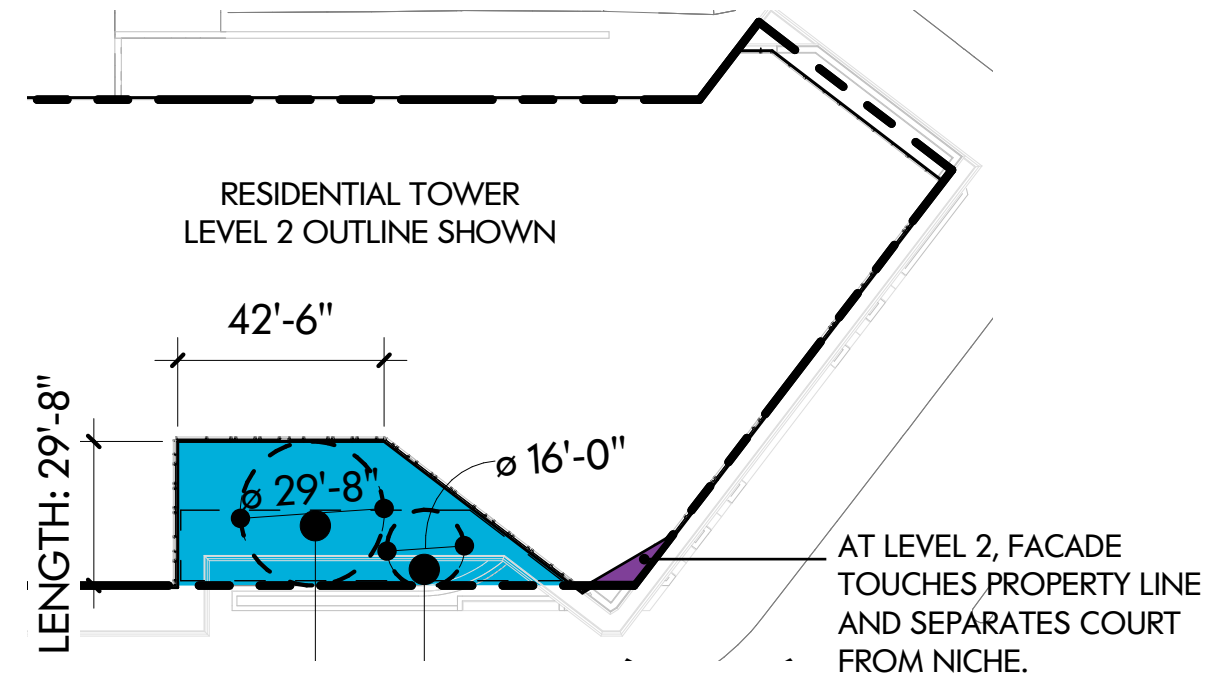
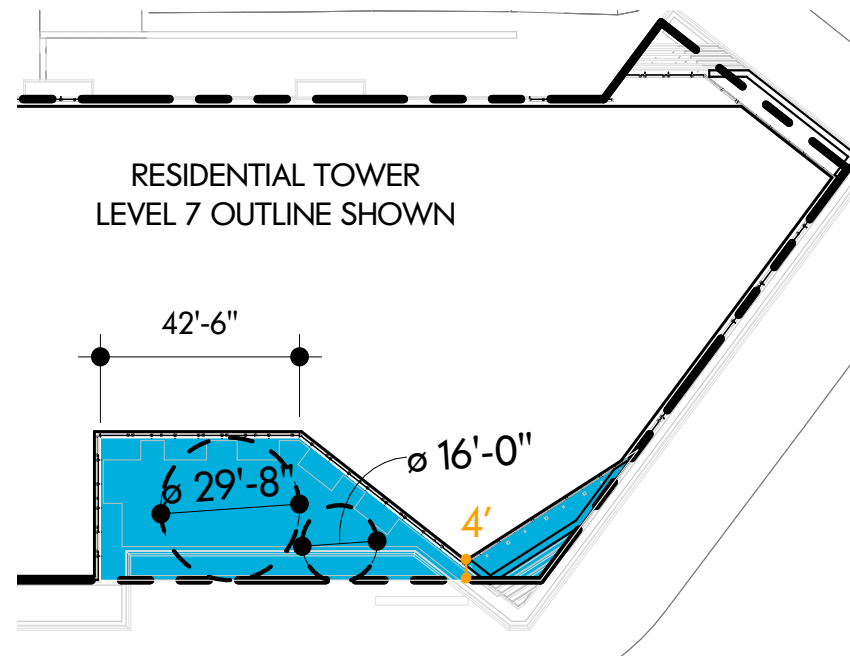
Type of Structure	Minimum Width Open Court
Residential, more than 3 units	4 in./ft. of height of court; 10 ft. minimum





COURT 1 - WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC - 1 L13	11'6"	3'10" (10'-0" MIN)	29'-8"*
OC - 1 L12	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L11	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L10	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L9	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L8	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L7	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L6	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L5	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L4	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L3	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L2	9'-8"	3'-3" (10'-0" MIN)	29'-8"*
OC - 1 L1	21'-0"	10'-0" MIN	16'-0"



PLAN - COURT 1

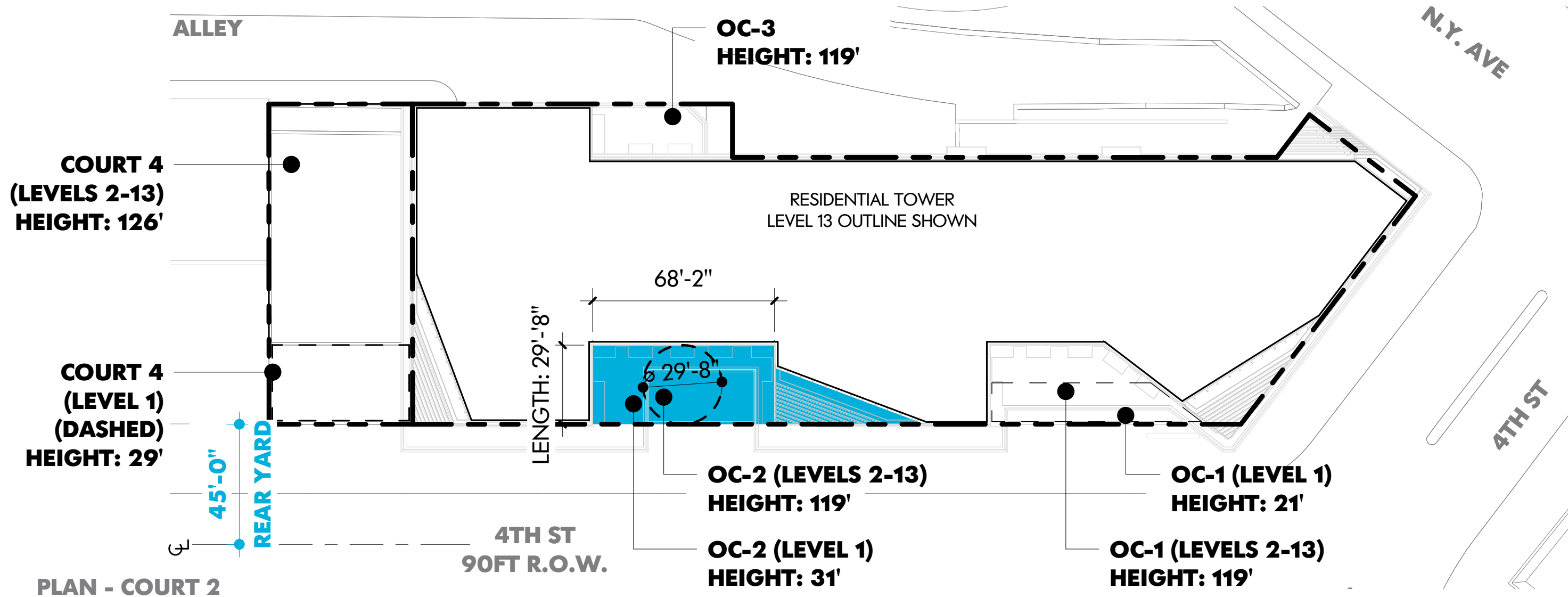
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**PROPOSED COURTS AND REAR YARD
CONSOLIDATED PUD APPLICATION**

COURT 2 - WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC - 2 L13	11'6"	3'10" (10'-0" MIN)	68'-2"*
OC - 2 L12	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L11	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L10	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L9	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L8	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L7	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L6	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L5	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L4	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L3	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L2	9'-8"	3'-3" (10'-0" MIN)	68'-2"*
OC - 2 L1	31'-0"	10'-0" MIN	68'-2"



PLAN - COURT 2

1348 4TH STREET NE

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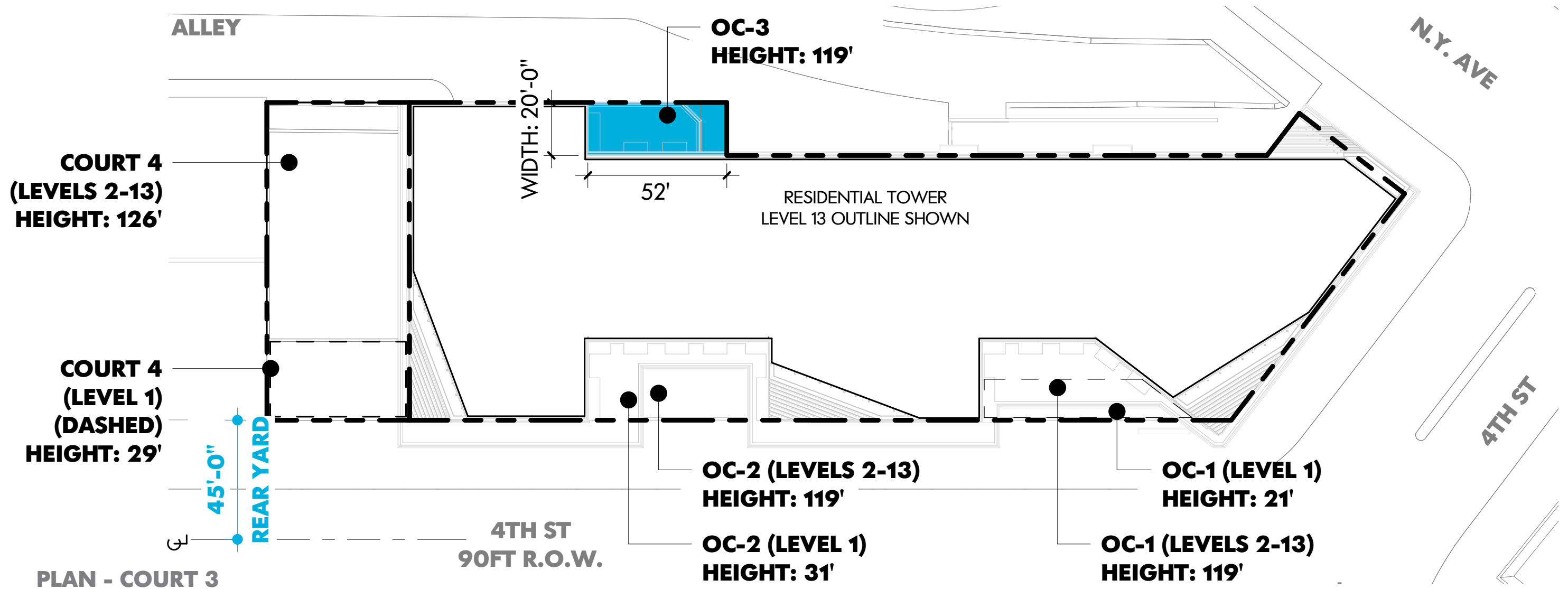
**PROPOSED COURTS AND REAR YARD
CONSOLIDATED PUD APPLICATION**

COURT 3 - WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC - 3 L13	11'6"	3'10" (10'-0" MIN)	20'-0"*
OC - 3 L12	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L11	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L10	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L9	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L8	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L7	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L6	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L5	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L4	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L3	9'-8"	3'-3" (10'-0" MIN)	20'-0"*
OC - 3 L2	9'-8"	3'-3" (10'-0" MIN)	20'-0"*

COURT 3 - AREA OF COURT

	HEIGHT	WIDTH REQUIRED	AREA REQUIRED	AREA PROPOSED
OC - 3	119'-0"	39'-8" MIN	3,146 SQ. FT.	1,057 SQ. FT.



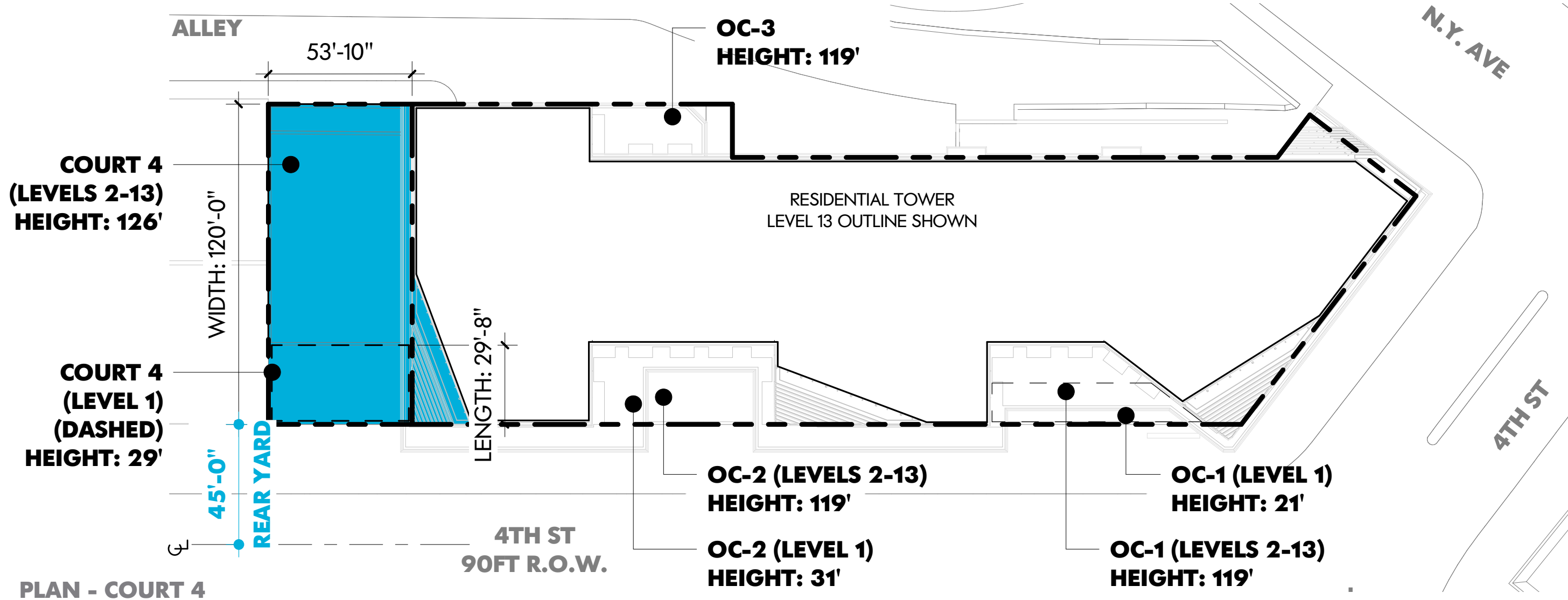
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**PROPOSED COURTS AND REAR YARD
CONSOLIDATED PUD APPLICATION**

COURT 4 - WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC - 4 L13	11'6"	3'10" (10'-0" MIN)	120'-0"*
OC - 4 L12	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L11	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L10	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L9	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L8	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L7	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L6	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L5	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L4	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L3	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L2	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L1	29'-0"	10'-0" MIN	53'-10"



PLAN - COURT 4

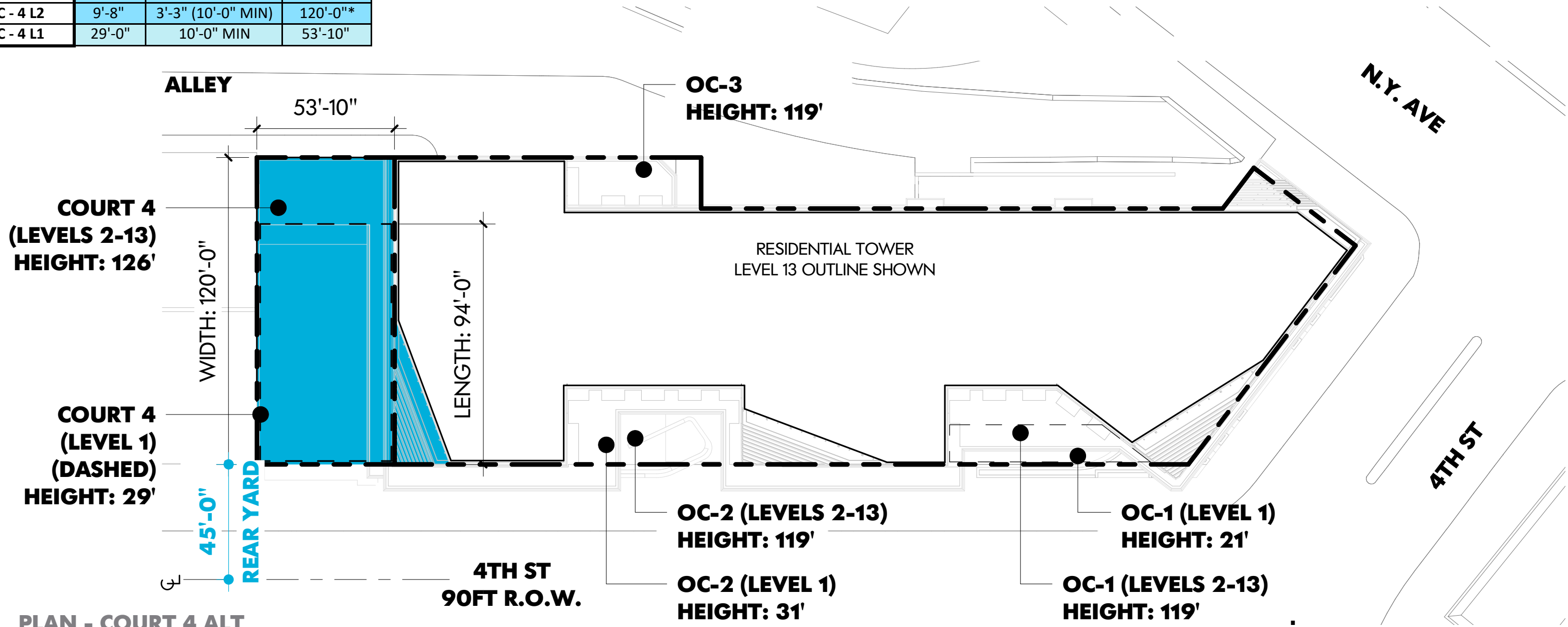
1348 4TH STREET NE

*CONTENT ON PAGE EDITED OR ADDED

**PROPOSED COURTS AND REAR YARD
CONSOLIDATED PUD APPLICATION**

COURT 4 ALT- WIDTHS OF COURTS

	HEIGHT	WIDTH REQUIRED	PROPOSED
OC - 4 L13	11'6"	3'10" (10'-0" MIN)	120'-0"*
OC - 4 L12	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L11	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L10	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L9	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L8	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L7	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L6	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L5	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L4	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L3	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L2	9'-8"	3'-3" (10'-0" MIN)	120'-0"*
OC - 4 L1	29'-0"	10'-0" MIN	53'-10"

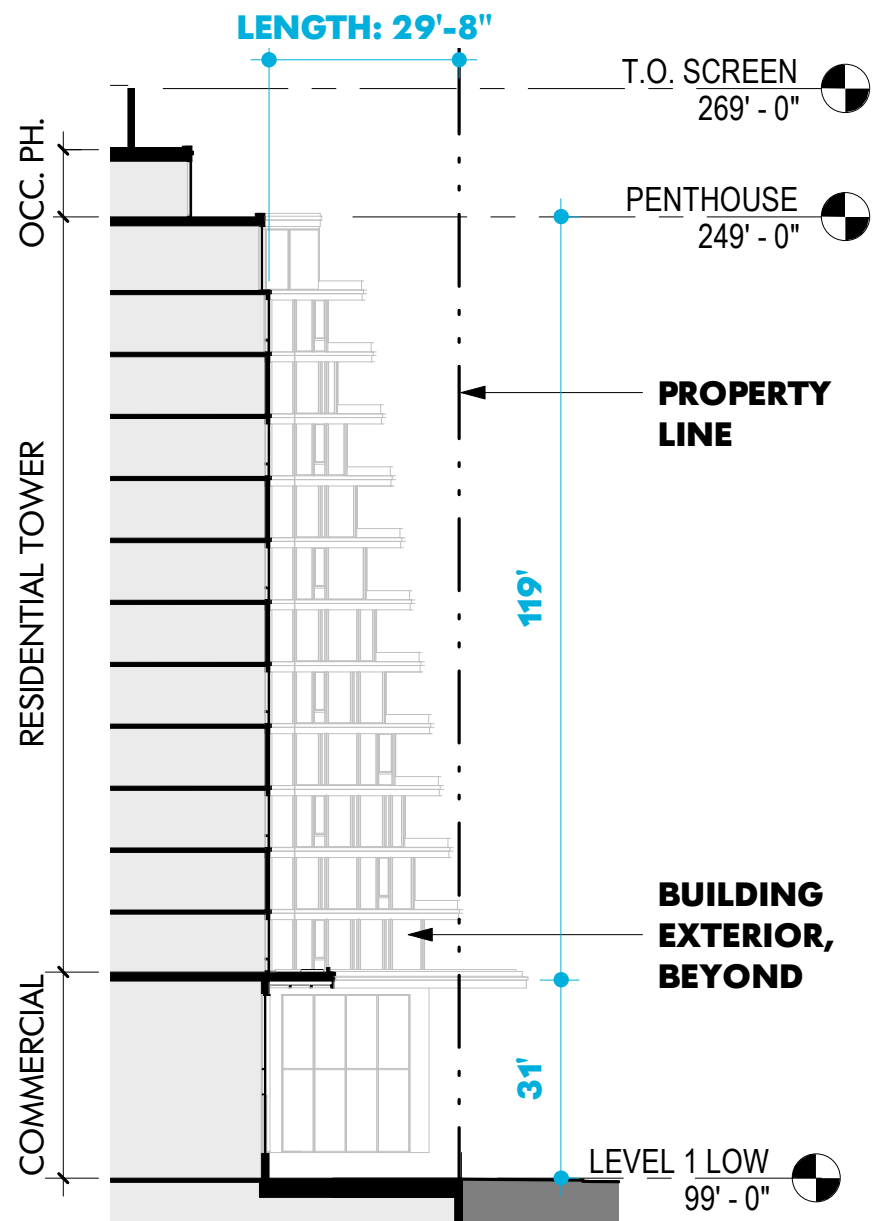


PLAN - COURT 4 ALT

1348 4TH STREET NE

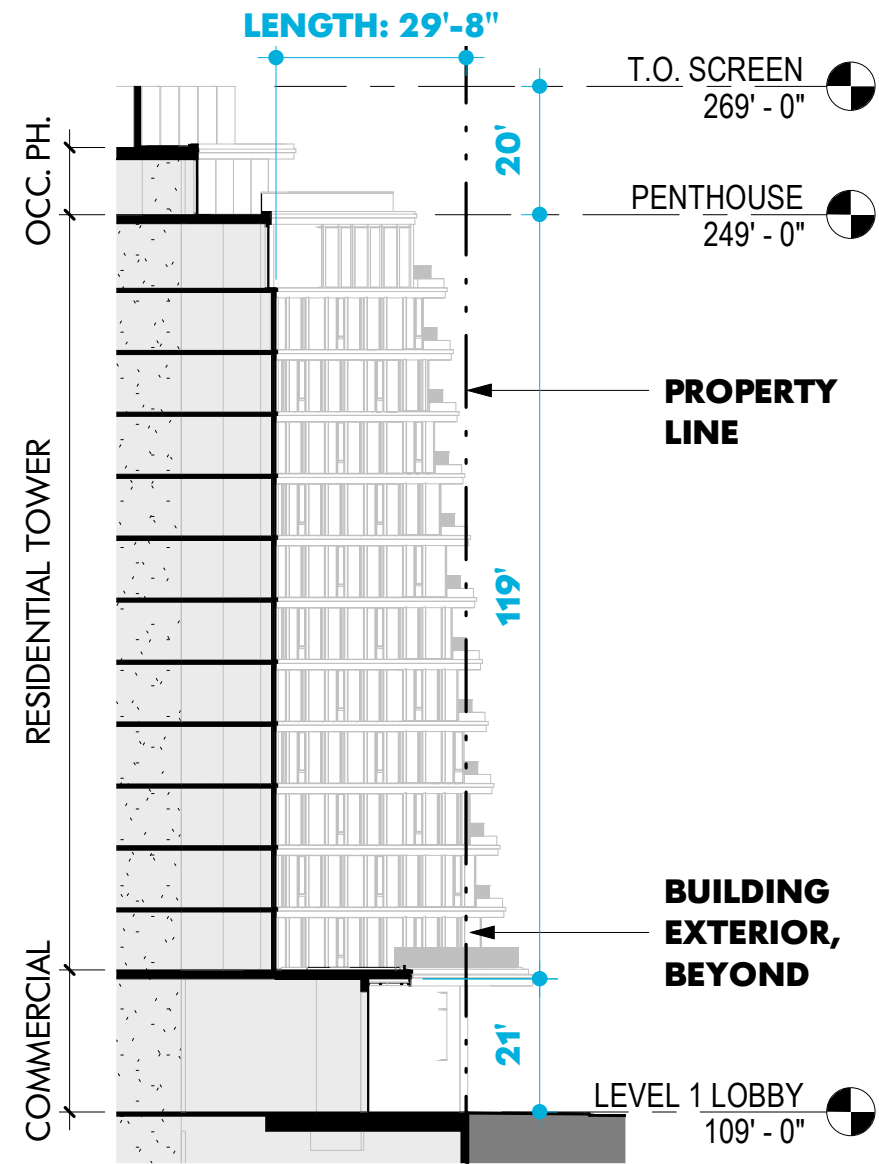
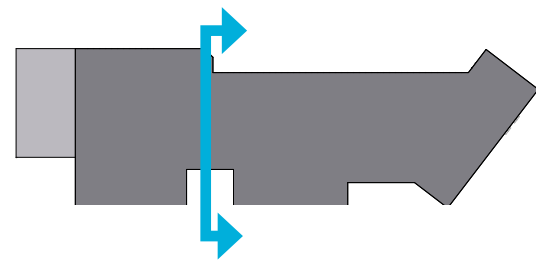
*CONTENT ON PAGE EDITED OR ADDED

**PROPOSED COURTS AND REAR YARD
CONSOLIDATED PUD APPLICATION**



SECTION THRU SOUTH COURT

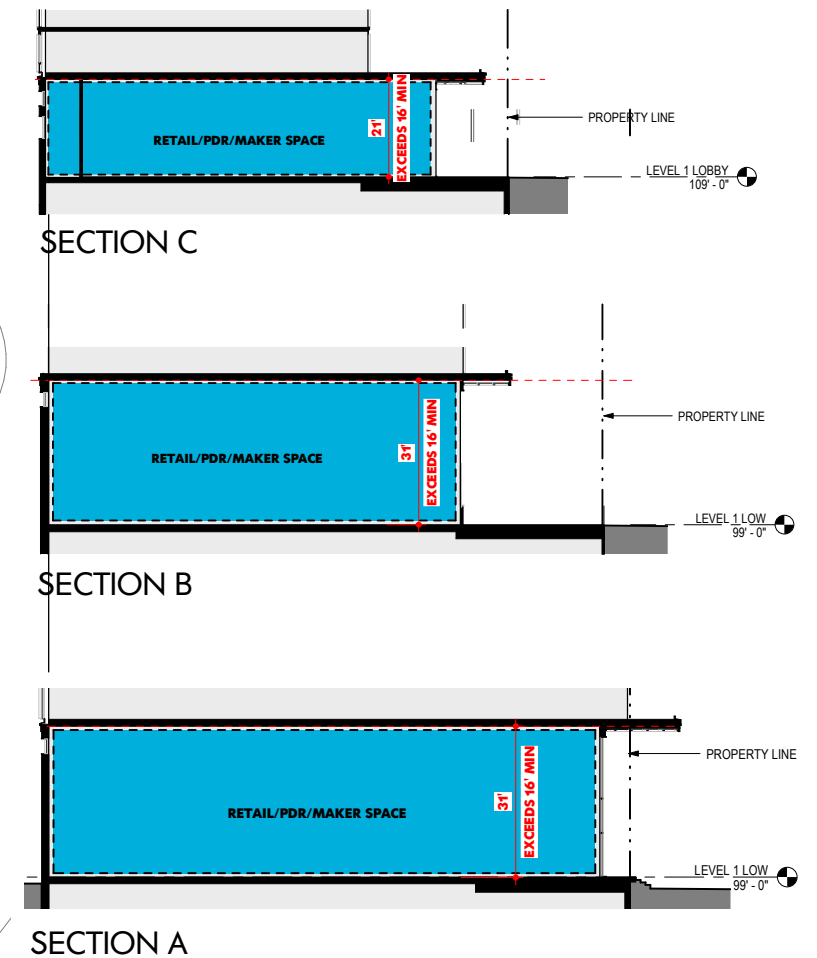
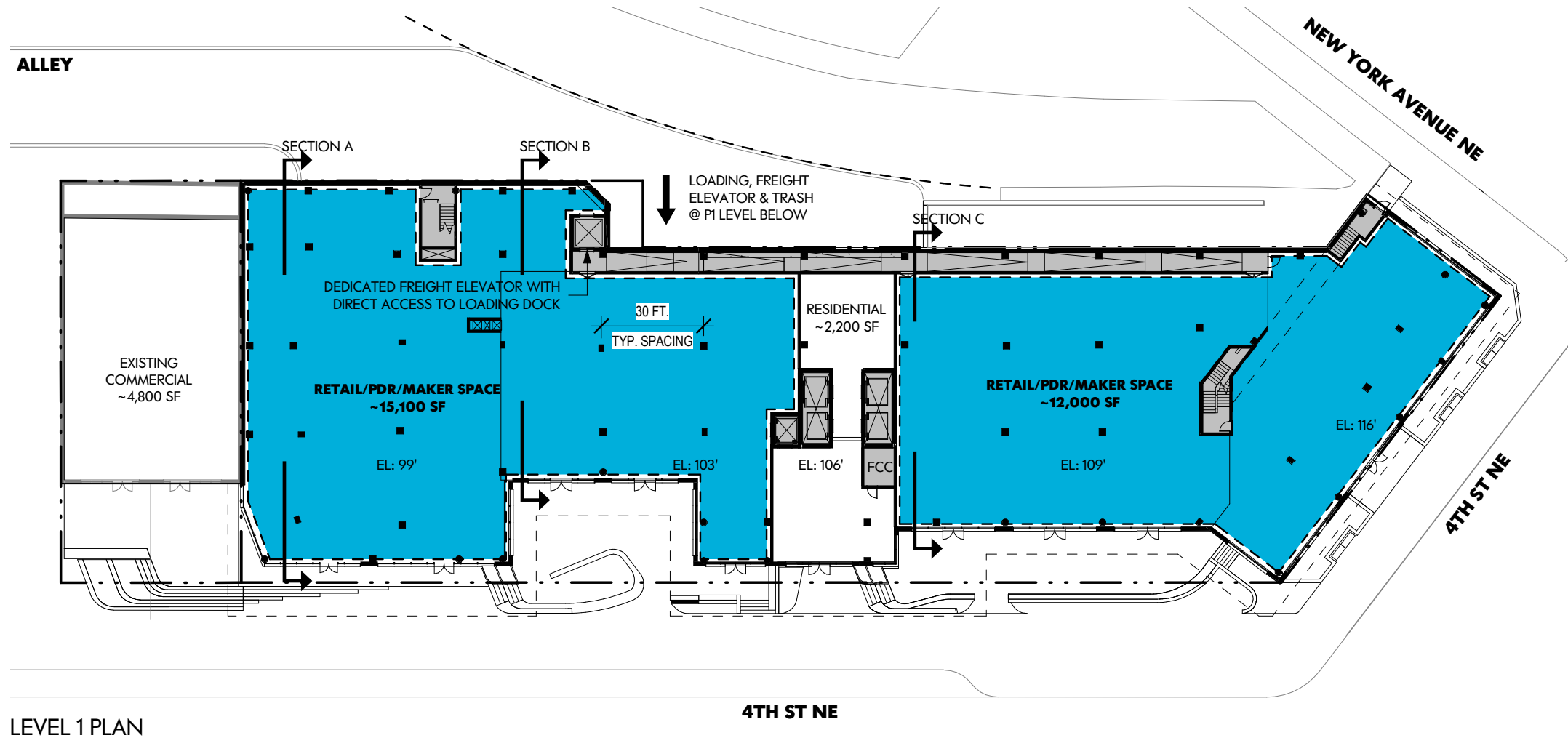
N.T.S.



SECTION THRU NORTH COURT

N.T.S.



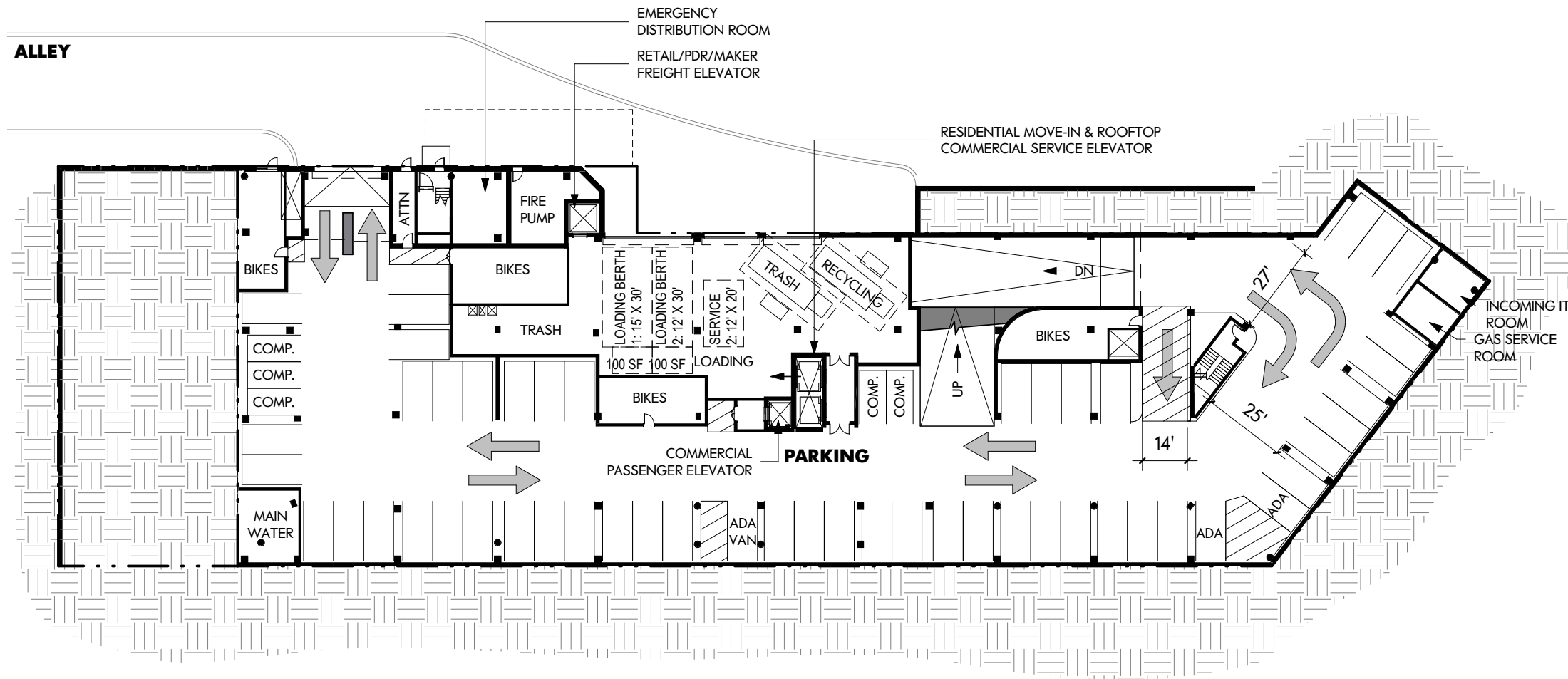


TYPICAL SPECIFICATIONS:

- (a) a structural slab load (ground floor) live load of 100 pounds per square foot;
- (b) clear height of approximately 10-12 feet from ground-floor slab to bottom of structure above;
- (c) an electrical supply of 30-35 watts per square foot;
- (d) a flat loading dock with no platform or levelers;
- (e) typical column bays of 22-24' from residential above;
- (f) NC-35 noise criteria and includes six-inch-thick minimum concrete podium slab;
- (g) HVAC designed for one ton per 300 square feet; and
- (h) limited ventilation (Fresh Air / Make-Up Air) louvers at façade

PROJECT'S MAKER SPACE SPECIFICATIONS:

- (a) a structural slab load (ground floor) live load of 125 pounds per square foot;
- (b) clear height of approximately 16 feet from ground-floor slab to bottom of structure above;
- (c) an electrical supply of 50 watts per square foot;
- (d) a loading dock that includes a 48-inch raised loading dock and/or levelers;
- (e) an open floor plan layout;
- (f) a sound attenuation for mixed-use that satisfies NC-25 minimum noise criteria and includes seven-inch-thick minimum concrete podium slab;
- (g) HVAC designed for one ton per 300 square feet; and
- (h) ventilation (Fresh Air / Make-Up Air) louvers at façade;



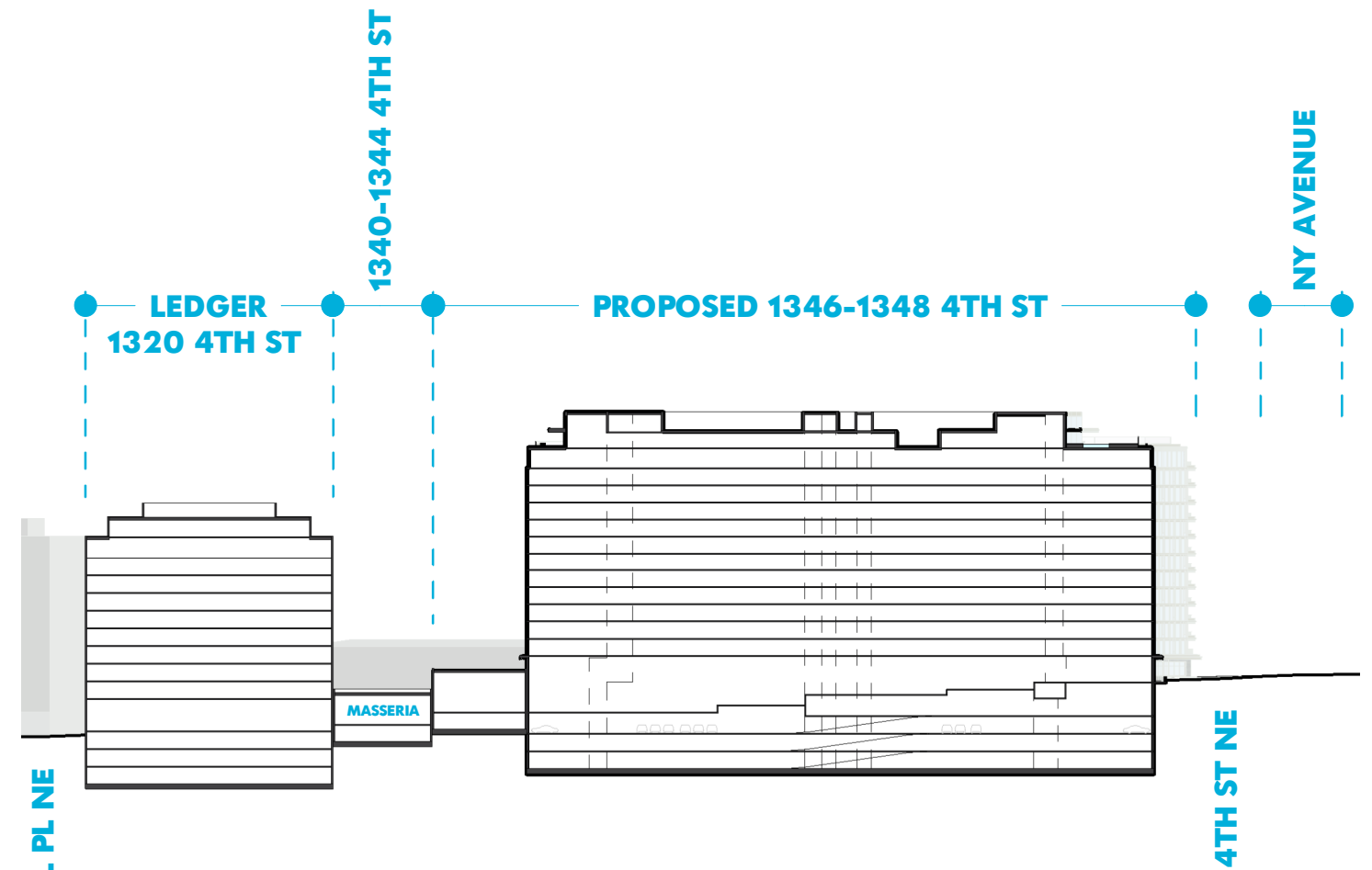
LEVEL P1 PLAN

TYPICAL SPECIFICATIONS:

- (a) a structural slab load (ground floor) live load of 100 pounds per square foot;
- (b) clear height of approximately 10-12 feet from ground-floor slab to bottom of structure above;
- (c) an electrical supply of 30-35 watts per square foot;
- (d) a flat loading dock with no platform or levelers;
- (e) typical column bays of 22-24' from residential above;
- (f) NC-35 noise criteria and includes six-inch-thick minimum concrete podium slab;
- (g) HVAC designed for one ton per 300 square feet; and
- (h) limited ventilation (Fresh Air / Make-Up Air) louvers at façade

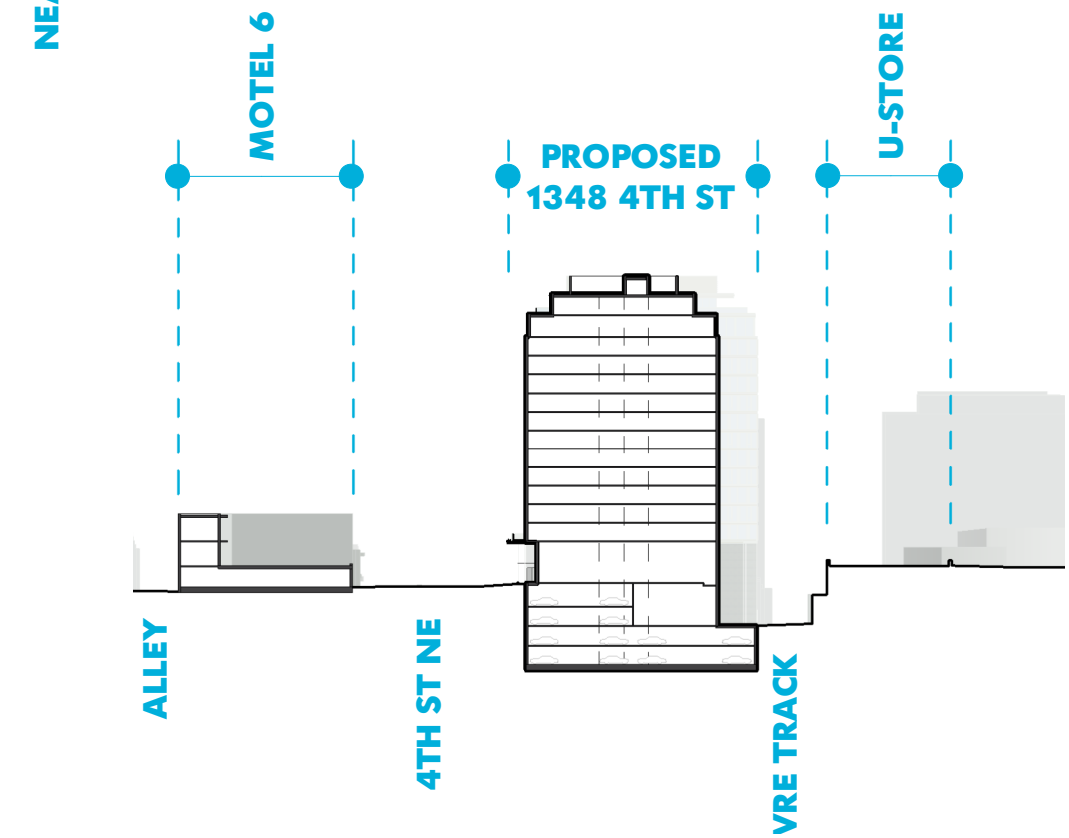
PROJECT'S MAKER SPACE SPECIFICATIONS:

- (a) a structural slab load (ground floor) live load of 125 pounds per square foot;
- (b) clear height of approximately 16 feet from ground-floor slab to bottom of structure above;
- (c) an electrical supply of 50 watts per square foot;
- (d) a loading dock that includes a 48-inch raised loading dock and/or levelers;
- (e) an open floor plan layout;
- (f) a sound attenuation for mixed-use that satisfies NC-25 minimum noise criteria and includes seven-inch-thick minimum concrete podium slab;
- (g) HVAC designed for one ton per 300 square feet; and
- (h) ventilation (Fresh Air / Make-Up Air) louvers at façade;



BLOCK SECTION A-A

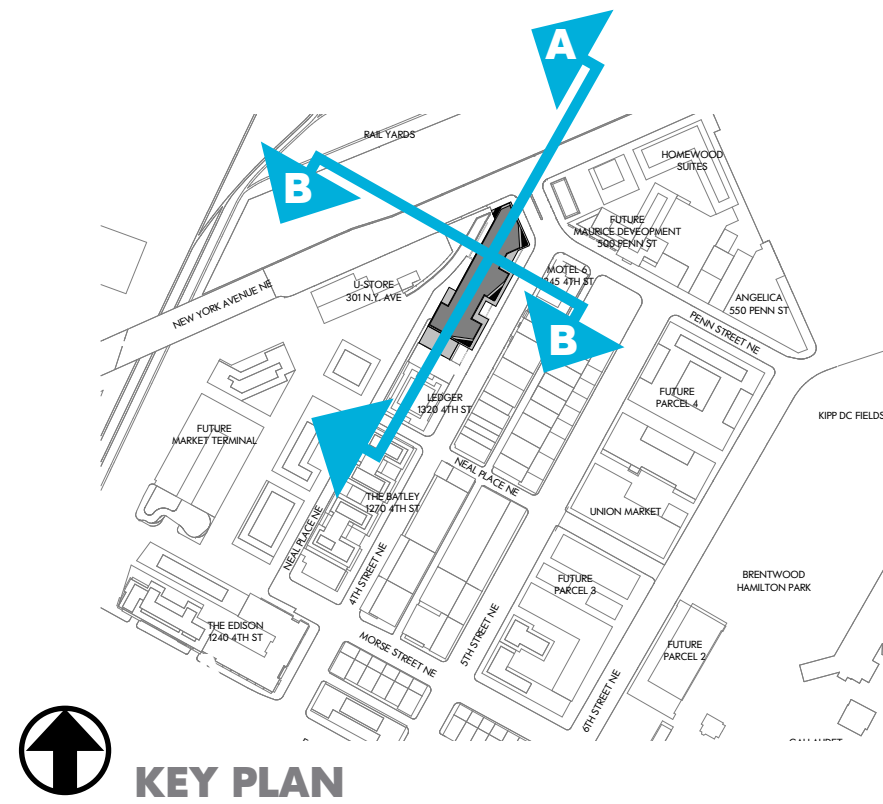
1" = 100'-0" 0' 100'



BLOCK SECTION B-B

1" = 100'-0" 0' 100'

**PROPOSED BLOCK SECTIONS SHOWING TOPOGRAPHICAL CHANGES
CONSOLIDATED PUD APPLICATION**



KEY PLAN

1348 4TH STREET NE

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., November 4, 2020

Plat for Building Permit of: SQUARE 3587 Lots 3 & 7

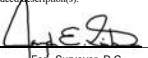
Scale: 1 inch = 50 feet

Recorded in Book 151 Page 56

Receipt No. 21-00731 Drawn by: A.S.

Furnished to: DIANA HERNDON

"I hereby certify that the dimensions and configuration of the lot(s) herein depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."


For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade; any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;

3) I have not (circle one) filed a subdivision application with the Office of the Surveyor;

4) I have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and

5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

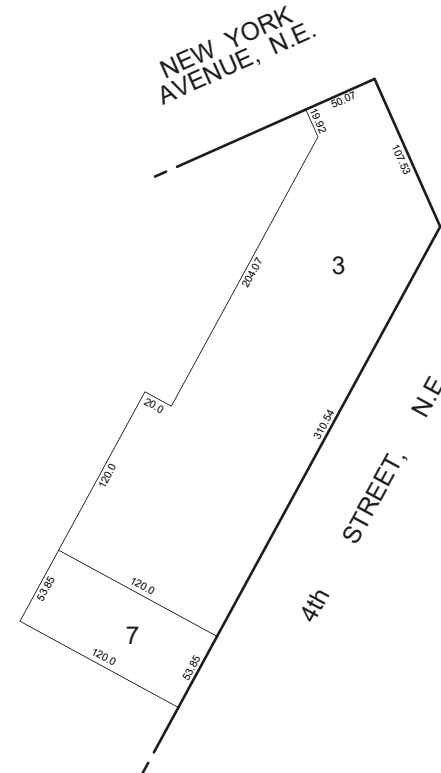
The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date D.C.R.A. accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the D.C.M.R.) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: _____ Date: _____

Printed Name: _____ Relationship to Lot Owner: _____

If a registered design professional, provide license number _____ and include stamp below.



0 10 30 60 100 200
SCALE: 1:50

SR-21-00731(2020)
* E-MAIL



NOTE: LANDSCAPE SHOWN IN RENDERINGS IS ILLUSTRATIVE; REFER TO LANDSCAPE PLANS FOR DETAILS.

1348 4TH STREET NE

*CONTENT ON PAGE EDITED OR ADDED

SOUTHEAST PERSPECTIVE FROM 4TH STREET
CONSOLIDATED PUD APPLICATION

December 2021



NOTE: LANDSCAPE SHOWN IN RENDERINGS IS ILLUSTRATIVE; REFER TO LANDSCAPE PLANS FOR DETAILS.

1348 4TH STREET NE

*CONTENT ON PAGE EDITED OR ADDED

NORTHEAST PERSPECTIVE FROM PENN STREET
CONSOLIDATED PUD APPLICATION

December 2021



NOTE: LANDSCAPE SHOWN IN RENDERINGS IS ILLUSTRATIVE; REFER TO LANDSCAPE PLANS FOR DETAILS.

1348 4TH STREET NE

NORTH PERSPECTIVE FROM NEW YORK AVENUE
CONSOLIDATED PUD APPLICATION

December 2021



NOTE: LANDSCAPE SHOWN IN RENDERINGS IS ILLUSTRATIVE; REFER TO LANDSCAPE PLANS FOR DETAILS.

1348 4TH STREET NE

*CONTENT ON PAGE EDITED OR ADDED

NORTHWEST PERSPECTIVE FROM NEW YORK AVENUE
CONSOLIDATED PUD APPLICATION

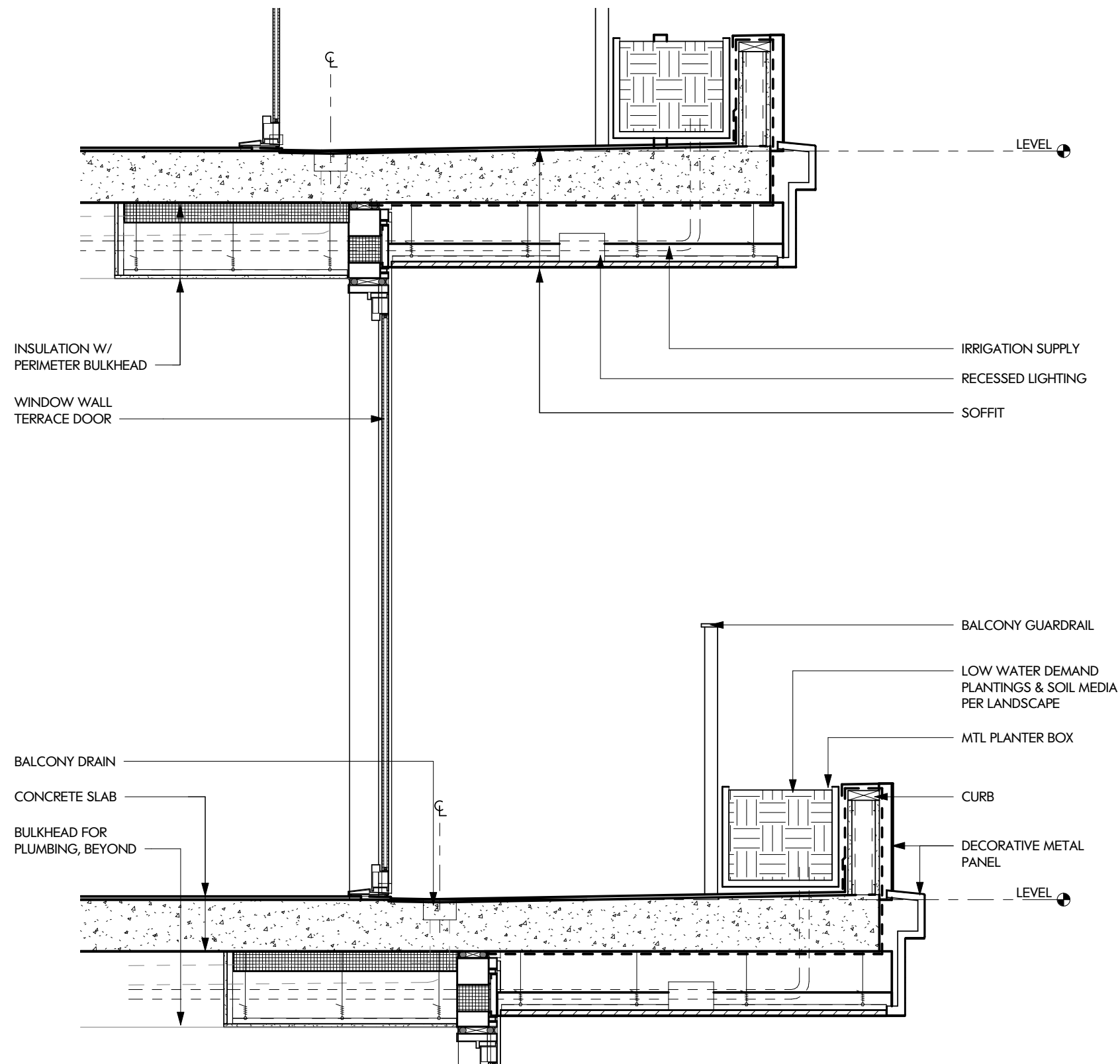
December 2021



1348 4TH STREET NE

**VIEW OF CHAMFER BALCONY
CONSOLIDATED PUD APPLICATION**

December 2021



*NOTE: THIS SECTION DEPICTS CONCEPTUALLY HOW THE VEGETATED BALCONIES WILL BE IRRIGATED. BALCONY COMPONENTS REMAIN SUBJECT TO MODIFICATIONS TO ACCOMODATE FINAL DESIGN AND COMPLIANCE WITH THE CONSTRUCTION CODE,