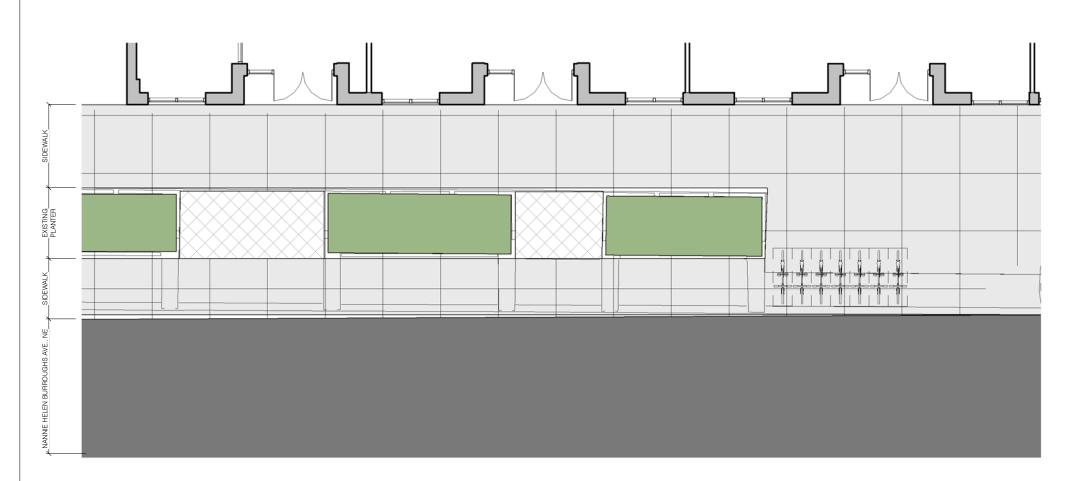
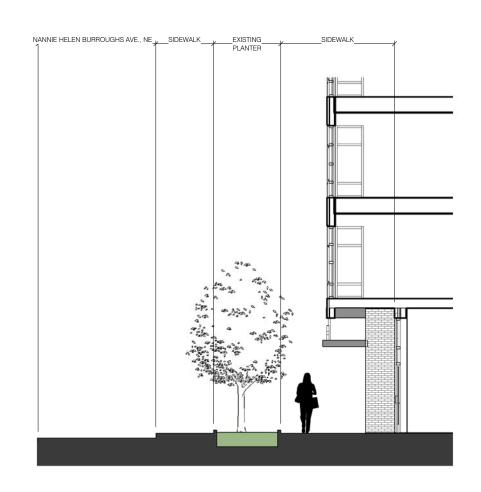




2 PARTIAL NORTH ELEVATION 1" = 10'-0"





FIRST FLOOR STREETSCAPE
1" = 10'-0"

NORTH FACADE- STREETSCAPE SECTION

1" = 10'-0"

THE STRAND RESIDENCES



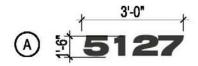
PGN ARCHITECTS, PLLC 210 7th Street SE - Suite 201 Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

ZONING COMMISSION District of Columbia CASE NO.17-10 EXHIBIT NO.28AA2

STREETSCAPE DETAILS | A-31





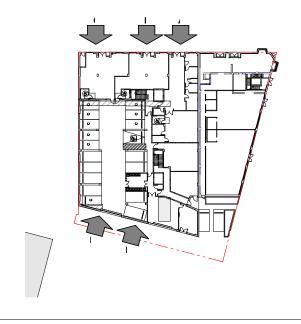








*ALL SIGNAGE TO BE ALUMINUM METAL

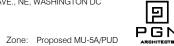


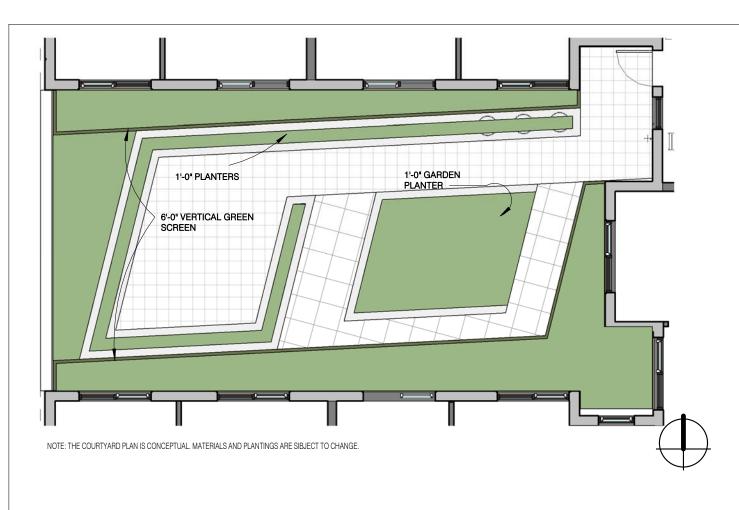
THE STRAND RESIDENCES

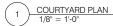
SIGNAGE DETAILS | A-32

10/26/2017

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC









THE STRAND RESIDENCES

COURTYARD DETAILS | A-33

PGN ARCHITECTS, PLLC 210 7th Street SE - Suite 201 Washington, DC 20003 202.822.5995 (P); 202.822.0908 (F)



Enterprise Green Scommunities

Project Name: Strand Residences
Certification: 2015 Enterprise Green Commit Project type: New Construction, Midrise Energy Path; 5.1b ASHRAE 90.1 Appendix G - 15% over baseline (2010)

Date Prepared; June 19, 2017 Minimum points required; 35
Yes Points; 102
Maybe Points; 50
Mandatory Measures; M
Blue Criteria; Docume

	Criteria Item	Description	Action Items	Aval.	Po Ves	Maybe	No	Assigned to:
		1; INTEGRATIVE DESIGN						
1.1a	Goal Setting	Devoto an integrative design process that works best for your project teem and intention. An intermine, document: 1. A statement of the overall green development goals of the project and the expected intended contones from addressing those goals. 2. A summary of the integrative process used to select the green building strategies, systems and materials that will be incroposed into the project. 3. A description of how progress and success against these goals will be measured throughout the completion of design, contraction and operation to ensure that the green features are included and correctly installed.	Provide completed Green Development Goals Template.	м	×			Typical: Owner/Architect
1.1b	Criteria, Documentation	Create design and construction documentation (i.e. plans, details, and specifications) to include information on implementation of appropriate Enterprise Green Communities Criteria	For each criterion, provide location in construction documents.	м	v			
1.1c	Designing for Project Performance	identify how the expected performance of your project compares to the actual performance of other projects in your portfolio and/or community. (e.g. utility benchmarking)	Provide narrative describing how this will be demonstrated.	9		9		Typical: Architect Typical: Owner
1.2a	Resident Health and Well-Being: Design for Health	Design your project to address resident health and well-being. Using the matrix provided on page 2-73 of the 2015 ECC Chiesis Manual, identify potential resident, health factors specific to your community. Select one Resident Health Campaign, its corresponding Building Design/Programming factors, and one optional related criteria that the project plans to meet. Indicate source of health data referenced.	Provide completed Design for Health Excel template.	м	×			Typical: Owner
1.26	Resident Health and Well-Beinz, Health Action Plan	Beginning at pre-design and continuing throughout the project life cycle, collaborate with public health professionals and community stateholders to assess, destroif, in imprement and mornize activative actions to enhance health promoting features of the project and minimize features that could present health risks. Specifically, create it MINIMI ACTION Plass or diregars the selected interventions and a plan for mornizoring and evaluating progress per the full criterion.	See Criteria page 29, Product for additional documentation requirements.	12		12		Typical: Owner
1.3a	Resilient Communities: Design for Resilience	(New Construction & Substantial Rehab Only) From the list on page \$4 of the 2015 SeC Orderia Manual, identify at least one Design for Resiliance Criteria selected for the project. Explain in a short narrative the rationals for selecting the criteria above the others on the fast. Accessor-people quistioner both only and the selection of the second project project of the second project of the second project of the second project project of the second project project of the second project pr	Provide narrative identifying selected criteria and rationale.	м	×			Typical: Owner
1.3b	Resilient Communities: Multi- Hazard Risk/Vulnerability Assessment	Carry out a Vulnerabilities Assessment and implement building elements designed to enable the project to adapt to, and mitigate, climate impacts given the project location, building/construction type and resident population. Location-specific guidance tools available.	Incorporate measures into 8.2 Emergency Management Manual.	15				Typical: Owner
		NEIGHBORHOOD FABRIC (& points required for New Construction projects, Rehab.	Total Section projects exempt from mond	on Points latory crit	0 eria but n	21 nay earn	optional p	xoints./
2.1	Sensitive Site Profestion	(New Construction Only) Do not locate new projects, including buildings, build structures, roads or parking arraws, or portion of lates that meet any of the following provisions: 1. Land within 100 feet of westlands, including soluted wesflands or stream. Maintain or establish prosint offer onling native spectation where possible. Rike and foot gaths are allowed if at least 55 feet from the westlands boundary. 2. Land on slong experts than 15%. 1. Land with prime soils, unique soils or soils of state significance per USDA designations. 4. Public parkined. 5. Land synthesis of the state of t		м	¥			Typicat: CivI/I invironmental
2.2	Connections to Existing, Development and, Infrastructure	New Construction only, except for projects located on rurel tribled lands, in colonies communities, or in communities of propulation less than 10,000 in Cauche the projects on a site with society to outling roads, water, severs and other what success the control of the control of the projects of the perimeter what success the control of the control of the project to the projects the projects that powdering existing development. Control the project to the predestrian grid.	Provide Site Plan indicating connections to existing development and infrastructure.	м	1.5			Typical: Civil/Environmental
2.3	Compact Development	At a minimum, build to the residential density (dwelling units/acre) of the census block group in which your project is located. 1. Calculate units per acre. 2. Find the density of your cream block group or yaping your project address into the Center for Neighborhood Technology (see 2015 EGC Criteria Manual, page 41 for link).	Provide density calculation and density of your census block group.	м	- >			Typical: Architect/Civil
2.4	Compact. Development	Project density exceeds the census block group density by 2x = 5 points. If 3x, then 7 points.	same as above	5 or 7	7			Typical: Architect/Civil
2.5	Proximity to Services	The project is located within 0.5-mile walk distance of at least 4 services, or a 1-mile walk distance of at least 7 services. Each service type has not be counted more than twice. For Rural/Tribal/Small Town, the project is within 5 miles of 4 services.	Provide Context Map showing walk distance from center of the site to services.	м	×			Typical: Architect/Civil
2.6	Preservation of and Access to Open Space for Bural/Tribal/Small Towns	 Set aside a minimum of 10% (minimum of 0.25 acre) of the total project acreage as non-paved open space for use by all residents. OR 2. Locate the project within a 0.25- mile walk distance of dedicated public non-paved open space that is a minimum of 0.75 acres. 	Provide calculation or Site plan w/location of additional open space in relationship to the project.	м	Y			Typical: Architect/Owner
2.7	Preservation of and Access to Open Space	Set aside a percentage of non-paved open space for use by all residents. 20% (2 points); 30% (4 points); 40% with written statement of preservation/ conservation policy set-aside land (6 points).	On site plan, indicate the location of additional open space in relationship to the project.	2 to 6				Typical: Architect/Owner
2.8	Access to Public Transportation	ocate projects within a 0.5-mile walk distance of transit services combined (bus, rall and for ferry), constituting at least 50 or more transit sinds per weekfur, with tome year of weekfurd feet option. [8] partial for project that quality as fourd 7 fields / Issuell Tome, footet the project within a 5-th mile distance of a team over of the following team of options: 1) vehicle share program, regional teamportation, 6 points, or project the project of the service of the project of the service of the footen of the project of t	On Context Map, show location and distances of public transit stops AND provide daily schedule of stops.	8 or 10	(*)			Typical: Architect/Owner
2.9	Improving Connectivity to the Community	improve access to community amenities through at least one of the transit, auto or biking mobility measures listed.	Indicate strategy. Provide location of specs	1 to 8		1		Typical: Owner/Arch
2.10	Passive Solar Heating/Cooling	Design and build with passive solar design, orientation and shading that meet specified guidelines. Refer to pages 50-51 of the 2015 EGC Criteria Manual	in construction of specs documents.	2 to 5				Typical: Architect
2.11	Brownfield OR Adaptive Reuse Building	Locate the project on a brownfield site or rehabilitate an existing structure that was not previously used as housing. Parsue one of three options to provide residents and staff with access to freely, local	On Contest Man show	4		4		Typical: Owner
2.12	Access to Fresh, Local Foods	foods, including neighborhood farms and gardens, community-supported agriculture, or proximity to farmers markets.	On Context Map, show location and distance to qualifying service.	6				Typical: Architect/Owner
2.13	Certification	Locate building(s) in a Stage 2 Pre-Certified or Stage 3 Certified Neighborhood Development.		4				Typical: Owner
2.14	Local Economic Development and Community Wealth Creation	Demonstrate that local preference for construction employment and subcontractor hiring was part of your bidding process [2] points] OR demonstrate that you achieved at least 20% scolar employment [3] points] OR provide physical space for small business, nongeofits, and /or skills and workforce education [3] points].	Indicate strategy.	2 to 6	3			Typical: Contractor
	•		Total Section	on Points	18	5		

	Criteria Item	Description 3: SITE IMPROVEMENTS	Action Items	Aval.		Maybe	No	Assigned to:
3.1	Environmental Remediation	3: SITE IMPROVEMENTS Conduct an environmental site assessment to determine whether any hazardous materials are gresent on-site; mitigate any found.	Provide location of specs in construction	м	1			Typical: Environmental
3.2	Erosion and Sedimentation. Control	Except for infull sites with buildable area smaller than one acre, implement EPA's BMP for erosion construction site storm water runoff control, or local requirements, whichever is more stringent including the recommendations found on pases 58 and 59 of the SCC Criteria Manuface.	Provide location of specs in construction documents.	м	n/a			
3.3	Low Impact Development	For projects located on greenfields, must meet the low-impact development criteria listed on page 59 of the 2015 EGC Criteria Manual. Requires c3.6, Option 1 for 4 points.	Provide location of specs in construction documents.	м	n/a			Typical: Civil
3,4	Landscaping	If providing plantings, all should be native or adapted to the region, appropriate to the site's soil and microclimate, and none of the new plants is an invasive species. Reseed or xeriscape all disturbed areas.	Provide location of specs in construction documents.	м	×			Typical: Civil/Landscape
3.5a	Efficient Irrigation and Water Reuse	Mandatory for permanent landscaping that requires regular irrigation. Install an efficient irrigation system. See pages 62 and 63 of the EGC Criteria Manual for regirements.	Provide location of specs in construction documents.	м	~			Typical: Civil/Landscape
3.5b	Efficient Irrigation and Water Reuse	install an efficient irrigation system equipped with a WaterSense-labeled weather- based irrigation controller (WBIC) OR at least 50% of the site's irrigation is satisfied with reuse of water (i.e. greywater, rainwater, municipal recycled).	Provide location of specs in construction documents.	4 or 8				Typical: Civil/Landscape
3.6	Surface Stormwater Management	Retain, infiltrate and/or harvest the first 1 inch of rainfall in 24 hr period (4 points) OR as calculated for a 24-hour, one-year storm event, retain, infiltrate and/or harvest so that no stormwater is dischaged to drain/infels. (8 points) For both options, permanently label all storm drains and infets.	Provide location of specs in construction documents.	4 or 8	4			Typical: Civil/Landscape
3.7	Reducing Heat- Island Effect: Paving	Use light-colored, high-albedo materials and/or an open-grid pavement, with a minimum solar reflectance of 0.3, over at least 50% of the site's hardscaped area.	Provide location of specs in construction documents.	1	1			Typical: Architect
		4: WATER CONSERVATION	Total Section	on Points	5	0	7 150	
4.1	Water-Conserving Extures	install water-conserving fishtness in all units and any common facilities with the following specifics: Toletts: Water-fines-baseled at 1.2 Bg for less. Unitals: Water-fines-baseled and 0.5 gpt or less. Shower-basels: Water-fines-baseled and 2.0 gpt or less. Stathen faunctes: 2.0 gpm or less. Later faunctes: 20 gpm or less. Later faunctes: Water-fines-baseled and 1.5 gpm. For all single-finmly, and all dealing units in the buildings three stories or fevere, the static pressure will not exceed 60 psi.	Provide location of specs in construction documents.	м	v			Typical: Architect/MEP
4.2	Advanced Water Conservation	OFIGN 1. Reduce water consumption either by setalling water conserving flutzers and units and discomen page batherones with the following perceiter. Tolers: Water-Sense-labeled and 1.1 gg fl [1 goint]; Showerheads: Water-Sense-labeled and 1.5 gg man day a faucets: Water-Sense-labeled and 1.0 ggs m [1 goint]; Showerheads: Water-Sense-labeled and 1.0 ggs m [2 goint] of the sense of	if Option 2, provide completed Advanced Water Conservation template.	1 to 6	6			Typicat:
43	Leaks and Water Metering	Conduct pressure-loss tests and visual inspections to determine if there are any leaks; fix any leaks found. Meter or submeter each dwelling unit with a technology capable of tracking water use. Separately meter outdoor water consumption.	Provide location of specs in construction documents.		4			Architect/MEP Typical: Architect/MEP
4.4	Efficient Flumbing, Layout and Design	Minimize water loss from delivering hot water. Ensure hot water delivery system will store on more than 0.5 gallons of water in any piping/manifold between the hot water source and my hot water fishure. Follow the requirements and recommendations found on pages 73 and 74 of the EGC Criteria Manual.	Provide design narrative at Prebuild. If deviations occur, provide revised narrative at Postbuild explaining how requirements were met.	4	4			Typical: Architect/MEP
4.5	Water Reuse	Harvest, treat, and reuse rainwater and/or greywater to meet a portion of the project's total water needs: 10% reuse [3 points]; 20% reuse [4 points]; 30% reuse [5 points]; 40% reuse [6 points].	Provide location of specs in construction documents.	3 to 6				Typicat: Architect/MEP
4.5	Access to Potable Water During Emergencies	Provide residents with access to potable water in the event of an emergency that disrupts normal access to potable water, including disruptions celetable to gover- outages that prevent pumping water to upper floors of multifarrily buildings or pumping of water from on-site wells, per one of the three options described on pages 75-76 of ECC criteria Manual.	Provide location of specs in construction documents.					Typical:
			Total Section	on Points	14	0		Architect/MEP
5.1b	Building Performance	S: ENERGY EFFICIENCY New Construction: Some multiformity, per ENERGY STAR Decision Tree Design project to perform at least 15b better than the baseline code (ASHRAE 90.1: 2010). Certify the project through ENERGY STAR MIRRO M Sollow the MFHR modeling.	At Prebuild, provide Energy Performance Report Form. At	м	,			
	Standard	protocols and LEED v4 Commissioning Path as outlined in criterion. <u>Escotion</u> : Four or five story multifamily buildings in which dwelling units comprise at least 80% of CFA (excluding commercial) should comply with Criterion 5.1a.	Postbuild, resubmit for as- built condition.					Typical: Modeler
5.2a	Additional Reductions in Energy Use	Design and construct a building that is projected to be at least 5% more efficient than what is required of the project by 5.1a-d (per page 84 of the 2015 EGC Criteria Manual) Not applicable if toking HERS 100 exception.	Provide certificates at Postbuild.	5 to 12				Typical: HERS Rater
5.2b	Advanced.	Certify the project in a program that requires advanced levels of building envelope						
	Certification: Nearing Net Zero	performance such as PHIUS, Living Building Challenge and/or DOE Zero Energy Ready Home. (Projects receiving points in Criterion 5.2b may not receive points per Criterion 5.2a)	Provide certificates at Postbuild.	12				Typical: HERS Rater
5.3		performance such as PHIUS, Living Building Challenge and/or DOE Zero Energy Ready Home. (Projects receiving points in Criterion 5.2b may not receive points per Criterion		12 M	~			Typical: HERS Rater Typical: MEP
5.3	Nearing Net Zero Sizing of Heating, and Cooling	performance such as PHIUS, Living Building Challenge and/or DOE Zero Energy Ready Home. (Projects receiving points in Criterion 5.2b may not receive points per Criterion 5.2a) Size and select heating and cooling equipment in accordance with the Air	Postbuild.		×			
	Nearing Net Zero Sizing of Heating, and Cooling Equipment ENERGY STAR	performance such as PHUS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, Phrojects receiving points in Criterion 5-2b may not receive points per Criterion 5-2b. Size and select heating and cooling equipment in accordance with the Air Conditioning Contractors of America (ACCA) Manuals 1 and 6 or ASHAR handbooks. If providing appliances, install ENERGY STAR clothes weather, dishwashers and refrigeration.	Provide Manual J and S. Provide location of specs in construction documents. Provide location of specs in construction documents.	м				Typical: MEP
5.4	Nearing Net Zero Sizing of Heating, and Cooling Equipment ENERGY STAR Appliances	performance such as PHUIS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, (Projects receiving poteits in Criticon 32 may not receive points per Criterion 5.2a). See and select heating and cooling equipment in accordance with the Air Conditioning Contractors of America (ACCA) Manuals and so or ASHARA headbooks. If providing appliances, install ENERGY STAR clothes swaken, dishwashers and refrigerators. If appliances will not be installed or replaced at this time, specify that, at the time of installation or replacement, INSIROT STAR models must be used. Follow galakous for high-efficiery lighting controls and other characteristics or all permanently installed plating fibrius by specific delifficing introls on common spaces and proposed and specific project delified in common spaces and project delified in the common space and common spaces and project delified in the common space and project delified in the common s	Provide Manual i and 5. Provide location of specs in construction documents.	м	×			Typical: MEP Typical: Architect Typical:
5.4	Nearing Net Zero String of Heating and Cooling Equipment ENERGY STAR Appliances Uighting	performance such as PHUIS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, Phojects receiving points in Criterion S.12 may not receive points per Criterion S.21 in Criterion S.22 may not receive points per Criterion S.22 in Criterion S.22 may and the property of the Propert	Provide Manual J and S. Provide location of specs in construction documents. Provide location of specs in construction documents. Provide location of specs in construction documents. Provide location of specs in construction	M M	×	-4		Typical: MEP Typical: Architect Typical: Architect/MEP
5.4 5.5 5.6 5.7a	Nearing Net Zero Sizing of Heating and Cooling Rossimment ENERGY STAR Appliances Ushting Electricity Meter Photovoltaic / Solar	performance such as PHUS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, Phojects receiving points in Criticrion S.12 may not receive points per Criterion 5.2a. 5.2a. See and select healthing and cooling equipment in accordance with the Air Conditioning Contractors of America (ACCA) Manuals 1 and 5 or ASHARA handbooks. If providing appliances, install EURISO'STAR (orbots washers, dishwashers and refrigeration. If appliances will not be installed or replaced at this time, specify that, at the time of installation or replacement, EURISO'STAR (orbots washers, dishwashers and refrigeration. Follow galdance for high-efficient proteins and other characteristics for all remainstallation or replacement, EURISO'STAR (orbots washers, dishwashers and extension of the contraction of substantial Rehability and the contraction of photopotiats (PV) or older has water system in the future. Onlond, design, engineer, wire and /or plumb the development to accommodate installation of photopotiats (PV) or older has water system in the future. Install photopotiats (PV) ganels or other electric-generating renewable energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy source to provide a specified percentage of the project's estimated total energy sour	Provide Manual I and S. Provide Nanual I and S. Provide location of specs in construction documents. Provide location of specs in construction of comments. Provide location of specs in construction of specs in construction. Provide location of specs in construction in construction in construction.	M M M	×	4		Typical: Architect Typical: Architect Typical: Architect/MEP Typical: Architect Typical: Typical:
5.4 5.5 5.6 5.7a	Nearing Net Zero Stains of Heating and Scoling Equipment ENERGY STAR Appliances Lighting Electricity Meter Photovoltaic / Solar Hot Water Ready	performance such as PHUIS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, Phojects receiving points in Criticrion 5.2 haw not receive points per Criterion 5.2 has possible to the performance of the performance	Provide Manual J and S. Provide Manual J and S. Provide location of specs in construction documents.	M M M	×	-4		Typical: Architect Typical: Architect
5.4 5.5 5.6 5.7a	Nearina Met Zero Sions of Heatine, and Cooline, Coalescent Loadscent Loadsce	performance such as PHUIS, Living Bulding Challenge and/or DCZ zero Energy Ready Home, (Projects receiving potent in Circines 32 may not receive points per Cirterion 5.3.a) 5.3.a) 5.3.a and select healthing and cooling equipment in accordance with the Air Conditioning Contractors of America (ACCA) Manuals) and 5 or ASHARA handbooks. If providing appliances, install ENERGY STAR clothes washen, dishwashers and refrigerators. If appliances will not be installed or replaced at this time, specify that, at the time of installation or replacement, INTROF STAR models must be used. Follow gradance for high-efficiery fighting controls and other characteristics for all permanently installed plating fightines in project develfing units, common spaces and exterior, See EGC Circleria Manual, pages ST-48 for details. *New Construction and Substantial Arhaba calla individual or submistered electric maters for all dwelling units. *Delend, design, regimene, wire and for plants the development to accommodate installation of photovoltaxic (PV) or solar lot water system in the future. Install photovoltaxic (PV) provide or their electric generating remewable energy source to provide a specified percentage of the project's estimated total energy demand or water heating energy demand. (Project more, Design and installation of patients with the operation of those systems as specified by the full criterion S. Page of the project's estimated total energy demand or water heating energy demand. (Project not both.) For fixed percent users, conclust thodgreeding, including perimenter floodproofing that in control the post post of those systems as specified by the full criterion. Single or the post pages of the project's estimated total energy demand or water heating energy terms.	Provide Manual J and S. Provide Manual J and S. Provide location of specs in construction documents. Provide location of specs in construction of specs in construction in documents.	M M M 4 6 to 10 8	×	4		Typical: Architect Typical: Architect Typical: Architect Architect/MEP Typical: Architect/MEP Typical: Architect/MEP Typical: Architect/MEP Typical: Architect/MEP

	Criteria Item	Description	Action Items	Aval.	Tei	Maybe	No	Assigned to:
		6: MATERIALS BENEFICIAL TO THE ENVI	RONMENT	pattern of the	Name of	STATE OF STREET		<u>u</u>
5.1	Low / No VOC Paints, Coatings and Primers	All Interior paints and primers in grams per liter, less than or equal to the thresholds established by South Coast Air Quality Management District (SCAQMO) Rule 1113 (as required on page 96 of the 2015 EGC Criteria Manual).	Provide location of specs in construction documents.	м	~		¥	Typical: Architec
.2	Low / No VOC Adhesives and Sealants	All adhesives and sealants (including caulis) must have volatile organic compound (VOC) levels, in grams per lier, less than or equal to the thresholds established by the South Coast Air Quality Management District (SCAQMD) Rule 1168. Requirements shown on pages 97-96 of the 2015 EGC Criteria Manual.	Provide location of specs in construction documents.	м	,	0		Typical: Architec
3	Recycled Content Material	incorporate building materials that are composed of at least 25% post-consumer recycled content or at least 50% post-industrial recycled content. [1 point] Building materials that make up at least 75% of their project component (by weight or oost) each receive 1 point.	Provide location of specs in construction documents.	1 to 3				Typical: Archites
.4	Regional Materials	Use products that were extracted, processed and manufactured within 500 miles of the project for a minimum of \$50%, based on cost, of the building materials' value. Framing materials' copions (each material qualifies for 1 goint, up to 6) **Carriang material** **Locarion materials** **Loc	Provide location of specs in construction documents.	1 to 4	1			Typical: Architec
.5	Certified, Salvaged and Engineered. Wood Products	For at least 25% of all structural wood products, by cost or value, commit to using either FSC-certified products, salvaged products or engineered framing materials without urea formaldehyde.	Provide location of specs in construction documents.	1				Typical: Architec
1.6	Composite Wood Products that Emit Low / No Formaldehyde	All composite wood products must be certified as compliant with California 93120 Phase 2 OR, if using a composite wood product that does not comply with California 93120 Phase 2, all exposed edges and sides must be sealed with low-VOC sealarts, per Criterion 6.2	Provide location of specs in construction documents.	м	~			Typical: Architec
.7a	Environmentally, Preferable Flooring	On not install corpets in building entryways, boundry rooms, bothrooms, Albaheva (Airchenters, utility rooms or any rooms in contact with flouridation slabs. Where installed, all capes products must neet the Curpet and flouridation slabs. Where installed all capes products must neet the Curpet and buy lastistudin's Gireen label or Green Label Plac certification for carpet, and and carpet adhesives. Any hard surface flooring products must be either certains title or solid unlinked hardwood floors, or meet the Scientific Certification System's Risoriscore program criteria (including per finishing hardwood flooring).	Provide location of specs in construction documents.	м	,			Typical: Architec
.76	Environmentally Preferable Flooring: Throughout Building	Use non-virryl, non-carpet floor coverings throughout each building in the project.	Provide location of specs in construction documents.	6		6		Typical: Architec
6.8	Mold Prevention: Surfaces	Use materials that have durable, cleanable surfaces throughout bathrooms, kitchens and laundry rooms. Materials installed in these rooms should not be prone to deterioration due to moisture intrusion or encourage the growth of mold.	Provide location of specs in construction documents.	м	¥			Typical: Archite
6.9	Mold Prevention: Tub and Shower Enclosures	Use moisture-resistant backing materials such as cement board, fiber cement board or equivalent per ASTM #D3273 behind tub/shower enclosures. Projects using a one- piece fiberglass tub/shower enclosure are exempt from this requirement.	Provide location of specs in construction documents.	м	,			Typical: Archite
5.10	Authmagen-Free Materials	On not install products that contain ingredients that are known to cause or trigger asthma. Key products to avoid ser: "evaluation. On on our surger polywerbane foam (SPT) or formatdelyde-containing, "Routing. Do not use surger polywerbane foam (SPT) or formatdelyde-containing, "Routing. Do not use flexible two (IPCI) roll or sheet flooring or carpert backed with yield with philability. Do not use flexible definished floors, I goints]. "Valid coverings: Where installed, in not made from why (IPCI) with philabilities or site specified high-performance coatings that are egover or polywerbane based. I glorist] * Composte wood: Use only ULTs futra low-emitting formaldehydol products for clasherts, subformag and other interior composite wood user, I glorist].	Provide location of specs in construction documents.	4 to 12	4			Typical: Archite
5.11	Reduced Heat- Island Effect: Boofing	Use an ENERGY STAR-certified roofing product for 100% of the roof area OR install a "green" (vegetated) roof for at least 50% of the roof area and ENERGY STAR-certified roofing product for the remainder of the roof area.	Provide location of specs in construction documents.	5		5		Typical: Architec
5.12	Construction Waste Management	Commit to a waste management plan that reduces non-hazardous construction and demolition waste through recycling, salvaging or diversion strategies through one of the three options (% diversion, metaria-specific, or 18545) Achieve optional points by exceeding the minimum requirements. (Criteria Pgs. 107-108)	Provide location of specs in construction documents. If Option 3, provide waste slips.	M + 1 to 6	2	4		Typical: Contract
i,13	Recycling Storage	Provide separate bins for the collection of trush and recycling for each dwelling unit and flagislicate, and threed community returns. Additionally, in multifamily buildings, provide at least one easily accessible, manufactured and experiment of the collection and storage of materials for recycling, in single-family homes, points will be accrued only if curb-side recycling pickup is available. Collected materials should ducke, at a minimum, paper, cardibount, glass, metals and glastics, assuring a recycling program for these interest instead studies.	Provide location of specs in construction documents.	3		3		Typical: Architec
			Total Section	on Points	7	18		
		7: HEALTHY LIVING ENVIRONME	NI .					
7.1	Ventilation	New Construction and Substantiol Rehab For each develling unit, in fall accordance with ASHAE 82.2-2010, install a local improduction and substance with ASHAE 82.2-2010, install a local improduction explained, in such bashroom and lixthrea, and a whole-house mechanical venetion system. Beautiful and the substance of the substance of the substance of the substance of the SHAE 82.2-2012, install a mechanical venetiation system for all hallways and common pasce. For all project types, in addition to the above requirements: 4.8 systems and associated dutwork matube installed part emanufacturer's recommendations. 4.8 individual ablancement of the substance of the control of the substance of th	Provide location of specs in construction documents.	м	~			Typical:
7.2	Clothes Driver Exhaust	All clothes dryers will exhaust directly to the outdoors using rigid-type duct work, except for condensing dryers, which must be plumbed to a drain.	Provide location of specs in construction documents.	м	,			
-		For New Construction and All Rehab projects, specify power-vent or direct vent equipment when installing any new combustion appliance for space or water heating that will be located within the conditioned space.	Provide location of specs in construction documents.	м	4			Typical: MEP
7.3	Combustion Equipment	Install one hard-wired carbon monoxide (CO) alarm with battery backup function for each sleeping zone, placed per National Fire Protection Association (NFPA) 720.	documents.					Typical: MEP

	Criteria Item	Description	Action Items	Aust.	Points Yes Maybe No		Assigned to:	
7.4	Elimination of, Combustion Within, the Conditioned, Space	No combustion equipment is used for cooking (to include, but not limited to ranges, cookitops, stoves, ovens) as part of the building project [9 points] OR no combustion equipment is used as part of the building project [11 points].	Provide location of specs in construction documents.	9 or 11	9	2		Typical: MEP
7.5	Vapor Retarder Strategies	For New Construction and Rehabs with Foundation Work in Scope Install vapor barries that meet specified criteria appropriate for the foundation type (min 6 mil). Refer to pages 115-116 in the EGC Criteria Manual.	Provide location of specs in construction documents.	м	×			Typical: Architect
7.6	Water Drainage	For New Construction and Rehab projects replacing wall, window or roof assemblies Provide drainage of water away from walls, windows and roofs by irreplementing the techniques is listed on page 117 of the EGC Criteria Manual.	Provide location of specs in construction documents.	м	2		8	Typical: Architec
7.7	Mold Prevention Water Heaters	All water heaters installed with catch pans and drains piped to the enterior of the deeding and located in rooms with non-water sensitive floor coverings. Drain pans stoped and control on-recistant flee, a states or plantly with drains at the New point. Condensate fines drained to draininger system, and not just deposited under slab. Note: Tankless water heaters do not require drains or catch pans with drains piped to exertific.	Provide location of specs in construction documents.	м	,		1	Typical: Architec
7.8	Badon Mitigation	(New Construction and Substantial Rehab only) For New Construction in IPA Zone 1 area, install passive radion-resistant features below the sibla not avertical very tipe with junction box within 10 feet of an electrical outlet, thould an active system should prove necessary in the future. For Substantial Rehab projects in IPA Zone 1, Let and mingetip per the specified protocols.		м	,			Typical: Architect/MEP
7.9	Garage bolation	• Provide a continuous air barrier between the conditioned space and any garage space to prevent impation of any contaminants into the birns space. Visually impect are already impect and a provided in the provided p		м	,			Typical: MEP/Architect
7.10	Integrated Pest Management	Design for easy inspection of all pest-grone areas (interior and exterior), and engineer stats to minimize pest entry. Provide airsealing glan to include sealing all wall, floor and joint penetrations with sealants and other barrier netrolos. Specilly redent- and corrosion-groot screens (e.g., statiless mesh or rigid metal doth). ORM manual should reference restoring these barriers following any repear work.	Provide location of specs in construction documents.	м	,			Typical: Architec
7.11a	Beyond ADA: Universal Design	(New Construction only) Design a minimum of 35% of the dwelling units (no fewer than one) in accordance with ICC (ANSI A171. Type A, Fully Accessible guidelines. Design the remainder of the ground-floor units and elevator-reachable units in accordance with ICC (ANSI A171.7, Type B		9	9			Typical: Architect
7.12	Active Design: Promoting Physical Activity Within the Building	(Multiplamily only) Situate at least one building stainway per the criterion to encourage use OR emphasize at least one strategy inside the building designed to lucrosate frequency and duration of physical activity per the criterion. See pgs 124- 125 of EGC Criteria.	Provide a short narrative demonstrating compliance with either Option 1 or Option 2.	м	N/A			Typical: Owner/Architect
7.13	Active Design: Staircases and Building Circulation	(Mohtfieldin) projects w/statis on/oll). A statiscase must be accessible and stuble from the main tobby as well as suitable within a 25-5-cto valling distance from any edge of lobby. Emuse that no turns or obstacles prevent visibility of or accessiblity to the qualifying statiscase from the tobby, and that the statiscase is reconstructed before or at the same time as the elevators. From the condro, are cessible statiscases should be made visible by. Providing transparent glaring of at least 10 square free It is super enterly at all state doors of at a size legit ORT providing magnetic door hold on all doors leading to the tasks ORT.	Provide location of specs in construction documents.	10	10		£	Typical;
7.14	Interior and Outdoor Activity Spaces for Children and Adults	removing door enclosures / vestibules. Provide an on-site dedicated recreation space with exercise or play opportunities for adults and for children that is open and accessible to all residents. See pg. 127 for design criteria.	Provide location of specs in construction documents.	9	9			Owner/Architect Typical: Owner/Architect
7.16	Smoke-Free Building	Implement and enforce a no-amoking policy (including e-cigarettes) in all common and individual living areas, and within a 25-foot perimeter around the exterior of all residential projects. Lease language must prohibit.	Provide location of specs in construction documents.	10	10			Typical: Owner
	y	8: OPERATIONS, MAINTENANCE + RESIDENT	Yotal Secti ENGAGEMENT	on Points	47	2	70 Y	3
8.1	Building Operations & Maintenance Manual	(for all multifamily projects) Using the resources provided, develop a manual with thorough building operations and maintenance guistance and a complementary plan. The manual and plan should be developed over the course of the project design, development and construction tagge, and include exclosin/dappers addressing each of the topics found on pages 132-135 of the EGC Criteria Manual).	Provide outline for Pre- Build Submittal. Provide completed PDF at Postbuild.	м				Typical: Owner/GC/Proper Manager
8.2	Emergency, Management, Manual	(for all multiflumity projects). Using the resources provided, develops a manual on emergency operations tastested. Using the resources provided, develops a manual on emergency operations tastested. The resources provided in the control of the	Provide outline for Pre- Build Submittal. Provide completed PDF at Postbuild.	м				Typical: Owner/Property
1.3	Resident Manual	Using the resources provided, provide a guide for homeowners and renters that explains the intent, benefits, use and maintenance of their home's green features and practices. The Resident Manual should encourage green and healthy activities per the last of spois found on pages 136–138 of the EOC Criters (Manual.	Provide outline for Pre- Build Submittal. Provide completed PDF at Postbuild.	м	,			Manager Typical: Owner/Property Manager
8.4	Resident and, Property Manager, Orientation	Provide a comprehensive walk-drough and orientation for all residents, property manager(s) and buildings operations staff. Using the appropriate manuals (see Citetias 8.1, 8.2, 3.1) as the base of the curriculum, review the project's green features, operations and maintenance procedures, and emergency protocols found on pages 138-139 of the ECC Criteria Manual.		м	,			Typical: Owner/Property Manager
8.5	Preject Data Collection and Monitoring System: 190% Owner-Paid Utility Accounts; 15% Tenant-Paid Utility Accounts.	For rental properties: Collect and monitor project energy and water performance data for 100% of owner past utilities and 15% of transin paid utilities for at least 5 monitor in, evaluable when to make informed operations and capital planning and decisions. Also allow finterprise access to this data. For owner-coopied units: Collect and monitor energy and water performance data in a manner that allows for easy access and review and provides the ability units with the contraction of the collection of the collect	At Postbuild, provide releases for 100% of owner-paid utilities, and 15% of resident households.	м	v			Typical: Owner/Property
8.6	Project Data Collection and Monitoring System: Greater than 15% Tenant-Paid Utility Accounts	Collect and monitor project energy and water performance data for at least 5 years. This data must be maintained in a manner that allows staff to easily access and monitor is, enabling them to make informed operations and capital planning decisions. Also allow infereprise access to this data. 16-40% of units [7 points]: 60-100% of units [11 points].	At Postbuild, provide releases for 100% of owner-paid utilities, and >15% of resident households.	7 or 11	11			Typical: Owner/Property Manager
_			Total Secti	on Points	11	0		
			TOTAL INTENDE					
			TOTAL MAYE	E POINTS		50		

THE STRAND RESIDENCES

ENTERPRISE GREEN COMMUNTIES CHECKLIST

A-34

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC



PGN ARCHITECTS, PLLC 210 7th Street SE - Suite 201 Washington, DC 20003 202.822.5995 (P); 202.822.0908 (F) ASTM

BOV

C&G

CIP

CO

CONC

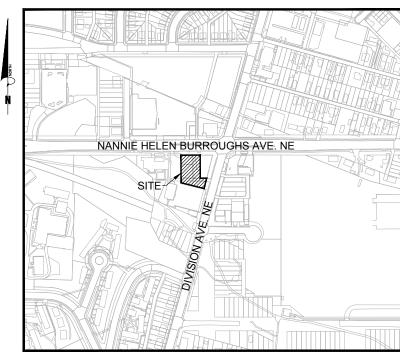
ELEC

ESMT

STRAND THEATER

SQUARE 5196; LOTS 37, 805, 19, AND 814 **ABBREVIATIONS:** 5119 - 5123, 5127 NANNIE HELEN BURROUGHS APPROX APPROXIMATE ASPHALT EXISTING ASPH

AVENUE NE 612 DIVISION AVENUE NE WASHINGTON, DC



VICINITY MAP SCALE: 1" = 500'

ENGINEER

BOWMAN CONSULTING GROUP DC PC 888 17TH STREET NW SUITE 510 WASHINGTON, DC 20006 (202) 750-2474ÀTTN: RYAN J BRANNAN, P.E.

LEGEND PROPOSED EXISTING INDEX CONTOUR INTERMEDIATE CONTOUR NEW E.P. EDGE OF PAVEMENT CURB AND GUTTER TRANSITION PROPOSED HEADER CURE PROPERTY LINE LOT LINE RIGHT-OF-WAY EASEMENT EX 8" WATER 8" DIP WATER WATER LINE WATER VALVE WATER REDUCER WATER METER _____(S)_EX_8"_S SAN SANITARY SEWER STORM SEWER CABLE TV ELECTRIC SERVICE-UNDERGROUND ELECTRIC SERVICE-OVERHEAD OVERHEAD TELEPHONE TELEPHONE SERVICE GAS LINE ₊00<u>00</u> SPOT ELEVATION Ø UTILITY POLE GUY POLE T TRANSFORMER SIGN \{\} SANITARY SEWER IDENTIFIER 4 STORM DRAIN IDENTIFIER FIRE HYDRANT STREET LIGHT TEST PIT LOCATION RECOMMENDED/REQUIRED HANDICAP RAMP TREE CONCRETE SIDEWALK

CIVIL DRAWING LIST - PUD:

STORMWATER MANAGEMENT PLAN

COVER SHEET CIV0001 CIV0002 GENERAL NOTES CIV0110 EXISTING CONDITIONS PLAN EROSION AND SEDIMENT CONTROL PLAN CIV0130 CIV0140 SITE PLAN CIV0150 CIV0160 GRADING PLAN FROSION AND SEDIMENT CONTROL NOTES CIV0510 EROSION AND SEDIMENT CONTROL DETAILS

STRAND RESIDENCES

COVER SHEET

CIV0001

10/25/2017

AMERICAN SOCIETY FOR TESTING AND MATERIALS

AMERICAN WATER WORKS ASSOCIATION

BACK OF CURB BASEMENT FLOOR

BLOW OFF VALVE

CURB AND GUTTER

CATCH BASIN

CENTERLINE

CLEAN OUT

DROP INLET

CONCRETE

DOMESTIC

ELEVATION ENTRANCE

EQUIPMENT EASEMENT

CONCRETE CURB

CAST IRON PIPE

DUCTILE IRON PIPE

EAST BOUND LANE EDGE OF GUTTER ELEVATION ELECTRIC

EDGE OF PAVEMENT

UTILITY CONTACTS:

SEWER/WATER:

ELECTRICITY:

COMMUNICATIONS:

BUILDING RESTRICTION LINE BOTTOM OF WALL

CORRUGATED METAL PIPE

BUILDING

BENCHMARK

FACE OF CURB

FLOOR DRAIN

FIRST FLOOR

FINISH GRADE

FLOW LINE

HANDICAP HIGH POINT

INVERT

LOW POINT

MANHOLE OVERHEAD

PROPOSED

PAVEMENT SANITARY

SEWER STANDARD

TOP OF CURB TELEPHONE

LINDERGROUND

WATER LINE

WATER METER

SIDEWALK

PVMT SAN SEW STD S/W

UG UGE UGT

FIRE HYDRANT

GAS GUARD RAIL OR GRATE INLET

PORTLAND CEMENT CONCRETE

TEST PIT OR TREE PROTECTION TOP OF WALL OR TAILWATER UTILITY POLE

UNDERGROUND FLECTRIC

UNDERGROUND CABLE UNDERDRAIN

UNDERGROUND TELEPHONE

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE Washington, DC Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

DC WATER - (202) 787-4299 5000 OVERLOOK AVE. SW 5TH FLOOR

PEPCO - FRED JOHNSON (202) 872-2833 701 9TH STREET NW, ROOM 6005

WASHINGTON GAS CO. - VANN JONES (703) 750-5983

VERIZON COMMUNICATIONS - DIVINA YANCEY (301) 282-7736

WASHINGTON, DC 20032

WASHINGTON, DC 20068

SPRINGFIELD, VA 22151

FDC-1 13101 COLUMBIA PIKE

CONDUIT GROUP — LOWER LEVEL SILVER SPRING, MD 20904

PGN Architects. PLLC 210 7th Street SE - Suite 201 Washington, DC 20003 (P) 202-822-5995 (F) 202-822-0908

OPERATIONS TO A LEGAL DISPOSAL OFF SITE.

- REMOVAL OF ASPHALT AND CONCRETE PAVEMENT SHALL INCLUDE THE REMOVAL OF ALL SURFACE, BASE AND SUBBASE MATFRIALS.
- 4. EXISTING CONDITIONS SHOWN HEREON WERE TAKEN FROM GIS AND AVAILABLE UTILITY COMPANY RECORDS.
- ALL UNDERGROUND UTILITY LOCATIONS, INCLUDING WATER, STORM DRAINAGE, SANITARY SEWER, ELECTRICAL, TELEPHONE AND GAS WERE TAKEN FROM AVAILABLE RECORDS AND FIELD VERIFIED WHERE POSSIBLE. THE LOCATION OF ALL UTILITIES SHOWN ARE APPROXIMATE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCY TO THE ENGINEER. MARKING LOCATIONS OF EXISTING UTILITIES, CONTACT "MISS UTILITY" AT 1-800-257-7777, 48-HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR MUST <u>HAND-DIG</u> TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AS WELL IN DEMOLITION WORK AND PRIOR TO ORDERING PIPE MATERIALS AND STRUCTURE, UTILITIES FOUND DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY UTILITY FINDINGS WHICH DEVIATE FROM THE CONDITIONS SHOWN
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR DEMOLITION AS PER DISTRICT OF COLUMBIA EROSION AND CONTROL HANDBOOK. IF ANY ONSITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED. REFER TO SHEETS CIVO130, CIVO510, AND CIVO520 FOR SEDIMENTATION AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- SEE SEDIMENTATION AND EROSION CONTROL PLAN FOR ALL EXISTING TREES TO REMAIN AND BE PROTECTED.
- NOTE PROXIMITY OF ADJACENT STRUCTURES AND UTILITY LINES AND MAINTAIN CONTINUED SERVICE DURING CONSTRUCTION. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND ENGINEER SHOULD RELOCATION OF SERVICE BE REQUIRED.
- 10. EXISTING UTILITIES (STRUCTURES AND LINES) NOT REQUIRED FOR FUTURE SERVICE TO BE REMOVED TO FACILITATE CONSTRUCTION. UTILITIES TO BE CAPPED AS PER UTILITY PURVEYOR'S STANDARDS AND SPECIFICATIONS. COORDINATE REQUIREMENTS WITH UTILITY PURVEYOR'S.
- REMOVAL OF ALL WALLS/RETAINING WALLS AND FENCES SHALL INCLUDE THE REMOVAL OF THEIR FOUNDATION UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.
- 12. ALL EXISTING DC STREETLIGHT POLES THAT ARE BEING PERMANENTLY REMOVED MUST BE RETURNED IN GOOD CONDITION TO THE 13. ALL ON-SITE WATER LINES TO HAVE A MINIMUM COVER OF 4'-0". WATER FITTINGS SHALL BE 12. DISTRICT OF COLUMBIA WAREHOUSE AT 1735 15TH STREET NE OFF WEST VIRGINIA AVENUE CONTACT NUMBER 202-576-5258.
- 13. EXISTING WATER AND SEWER SERVICES NOT REQUIRED FOR FUTURE USE TO BE REMOVED TO EXTENT NECESSARY TO FACILITATE. NEW CONSTRUCTION. REMAINDER OF SERVICE TO BE CAPPED AT MAIN AND EXISTING VALVES AND TEES TO BE REMOVED PER DC/WATER STANDARDS SPECIFICATIONS.COORDINATE REQUIREMENTS WITH DC WATER UTILITY INSPECTOR AT 202-787-4299. PAVEMENT TO BE REMOVED PER DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- 14. CONTRACTOR TO BE RESPONSIBLE FOR LAYOUT, EXTENT AND DESIGN OF SHEETING, SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES, SHORING, BRACING AND UNDERPINNING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN THE DISTRICT OF COLUMBIA, HIRED BY THE CONTRACTOR AS NECESSARY TO ENSURE SUPPORT OF SURROUNDING STRUCTURES AND UTILITIES.
- 15. CONTRACTOR TO RELOCATE PARKING METERS IF REQUIRED AND AS DIRECTED BY D.C. BUREAU OF PARKING. COORDINATE REQUIREMENT WITH LARRY BROWN OF PARKING SERVICES AT 202-671-2291.
- 16. NOTIFY DC WATER AT (202) 787-4024 48 HOURS PRIOR TO START OF CONSTRUCTION.
- 17 LINIESS OTHERWISE SHOWN ON THESE DRAWINGS EXISTING PAVEMENT ON NANNIE HELEN BURROLIGHS AVENUE NE AND DIVISION AVENUE NE TO REMAIN. PROVIDE PRE-CONSTRUCTION VIDEO OF EXISTING PAVEMENT ON NANNIE HELEN BURROUGHS AVENUE NE AND DIVISION AVENUE NE. EXISTING PAVEMENT THAT IS DISTURBED OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED PER DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AT NO ADDITIONAL COST.
- 18. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES VERIFY INVERT ELEVATION OF EXISTING UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH INFORMATION SHOWN PRIOR TO ORDERING ANY STRUCTURES.
- 19. CONTACT 'MISS UTILITY' AT 1 800 257-7777 48 HOURS PRIOR TO CONSTRUCTION.
- 20 CONTACT DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION—PUBLIC SPACE MAINTENANCE ADMINISTRATION 48 HOURS PRIOR TO START OF CONSTRUCTION AT (202) 645-6030 OR (202) 645-6031.
- 21. ALL PROPOSED UTILITY WORK TO BE PERFORMED UNDER THE INSPECTION OF DC WATER.
- 22. USE MANHOLE ENTRY SEALS WHERE REQUIRED.
- CONTRACTOR TO PROVIDE A PRE AND POST TV VIDEO SEWER ON EXISTING SEWER AROUND THE SITE PER DC WATER STANDARDS AND SPECIFICATIONS.

SITE NOTES:

- WHERE NEW WORK MEETS EXISTING, NOTE FIELD LOCATION AND ELEVATIONS OF EXISTING FEATURES BEFORE BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE
- 2. VERIFY LOCATION OF EXISTING UTILITIES BEFORE PROCEEDING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE, DC WATER (202-787-4024) AND "MISS UTILITY" (1-800-257-7777) 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATIONS. HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND DETERMINE EXACT CLEARANCE OF ALL PROPOSED INSTALLATIONS WELL IN ADVANCE OF CONSTRUCTION, NOTIFY ENGINEER OF ANY CONFLICTS WITH PLAN ELEVATIONS.
- 3. WORK AND MATERIALS IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE APPLICABLE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS. ON-SITE WORK AND MATERIALS CODE.
- 4. ELEVATIONS SHOWN HEREON ARE BASED ON D.C. DATUM.
- DIMENSIONS ARE TO FACE OF WALL AND CURB, EDGE OF WALK AND PAVEMENT, CENTERLINE OF COLUMN, PIPE AND UTILITY STRUCTURE. UNLESS OTHERWISE NOTED.
- FRAMES AND COVERS OF EXISTING STRUCTURES TO BE ADJUSTED TO MATCH NEW FINISHED GRADES.
- OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY OF ANY INFORMATION CONCERNING FOUND UTILITY. NOT SHOWN
- 8. EXISTING SURFACE CONDITIONS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXTENT WITH
- 9. TEST PITS ARE REQUIRED AT ALL LOCATIONS) WHERE PROPOSED UTILITIES CROSS EXISTING UTILITIES. INVESTIGATIONS) TO IDENTIFY HORIZONTAL LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES. THE ENGINEER IS TO BE NOTIFIED OF THIS INFORMATION.
- 10. IF A 1' MINIMUM VERTICAL CLEARANCE CAN NOT BE MAINTAINED AT UTILITY CROSSING, THE CONTRACTOR IS TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH WORK.
- 11. TRANSITION CURB, GUTTER, PAVING AND SIDEWALK TO MEET EXISTING IN LINE AND ON GRADE OR AS DIRECTED BY ENGINEER.
- 12. ALL DEBRIS AND EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED OFF-SITE LOCATION.
- PROPERLY TIED AND ANCHORED, PER DC WATER STANDARDS AND SPECIFICATIONS.
- 14. WHERE PORTIONS OF EXISTING BITUMINOUS OR CONCRETE PAVING ARE TO BE REMOVED, THE EXISTING PAVEMENT SHALL BE SAW-CUT.
- 15. REMOVE FRAMES AND COVERS OF SEWER MANHOLE/INLETS AND/OR WATER MAIN VALVE CASTINGS TO BE ABANDONED AND FILL TO GRADE.
- 16. ALL CURB SPOT SHOTS ARE TOP OF CURB, UNLESS OTHERWISE NOTED.
- 17. NOTIFY WASHINGTON GAS AT 202-750-4205, 48 HOURS PRIOR TO ANY EXCAVATION IN THE VICINITY OF ANY TRANSMISSION MAIN. FOR FURTHER INFORMATION OR PROBLEMS, CONTACT MR. CHUCK WHITEY AT WASHINGTON GAS AT 703-750-4205.
- 18. PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 1 FOOT VERTICAL CLEARANCE BETWEEN 12" DIAMETER AND SMALLER DISTRIBUTION EXISTING GAS FACILITIES AND PROPOSED FACILITIES.
- 19. PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 2 FEET VERTICAL CLEARANCE BETWEEN 16" 17. DIAMETER OR GREATER TRANSMISSION GAS FACILITIES AND PROPOSED FACILITIES.
- 20. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION AND WATER AND SEWER AUTHORITY.
- 21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING
- 22. EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

DC WATER STANDARD CONSTRUCTION NOTES:

- CONTACT: NOTIFY THE FOLLOWING DC WATER DEPARTMENTS PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION.
- a) CONSTRUCTION INSPECTION SECTION AT 202-787-4024 AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING.
- b) WATER SERVICES AT 202-612-3400 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION
- c) SEWER SERVICES AT 202-264-3862 OR 3873 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION.
- STANDARDS: ALL CONSTRUCTION, MATERIALS, AND APPURTENANCES SHALL COMPLY WITH THE LATEST EDITIONS OF THE DC WATER PROJECT DESIGN MANUAL, STANDARD DETAILS & DESIGN GUIDELINES, AND SPECIFICATIONS.
- LEAD SERVICE REPLACEMENT: IF THIS PROJECT INCLUDES THE REPLACEMENT OF A WATER MAIN THAT HAS EXISTING LEAD WATER SERVICE LATERALS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DC WATER CONSTRUCTION INSPECTION SECTION AT 202-787-4024 AT LEAST 90 DAYS PRIOR TO CONSTRUCTION TO ALLOW ADEQUATE TIME TO INITIATE STANDARD LEAD SERVICE REPLACEMENT PROTOCOL. LATERAL REPLACEMENT INCLUDES THE FULL LENGTH OF PIPE IN PUBLIC SPACE.
- OWNER RESPONSIBILITY: THE OWNER IS RESPONSIBLE FOR ALL WORK AND COSTS ASSOCIATED WITH EXCAVATION, INSTALLATION, AND RESTORATION OF PUBLIC SPACE TO PERFORM A WATER/SEWER CONNECTION/ABANDONMENT, ONCE THE CONTRACTOR HAS OBTAINED A PUBLIC SPACE PERMIT HE/SHE MUST THEN CONTACT DC WATER PRIOR TO PERFORMING THE EXCAVATION TO INSTALL/INSPECT THE UTILITY WORK. THE OWNER SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES TO EXISTING STRUCTURES AND UTILITIES CAUSED BY CONSTRUCTION ACTIVITY.
- DC WATER RESPONSIBILITY: DC WATER IS RESPONSIBLE FOR INSTALLATION OF SMALL WATER SERVICE TAPS (2" DIAMETER AND LESS) TO THE PUBLIC MAIN, SMALL WATER SERVICE TAP REMOVALS FROM THE PUBLIC MAIN, FURNISHING & INSTALLING THE METER IN PUBLIC SPACE, AND INSPECTION OF WORK PERFORMED ON THE PUBLIC SYSTEMS.
- MISS UTILITY: CONTACT MISS UTILITY AT 800-257-7777 48 HOURS BEFORE ANY DIGGING.
- PLAN SET: A SET OF SIGNED & SEALED AND DC WATER STAMPED PLANS SHALL BE KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN THE WORK, INCLUDING ALL EXISTING UTILITIES, ARE TO BE RECORDED AND/OR CORRECTED DAILY.
- ABANDONMENTS: THE OWNER MUST PHYSICALLY DISCONNECT EXISTING WATER, SEWER, AND STORM LATERALS THAT ARE ARE TO BE ABANDONED AT THEIR CONNECTION TO THE PUBLIC MAIN.
- UNMETERED WATER: THERE SHALL BE NO UNMETERED CONNECTIONS TO THE CITY'S WATER SYSTEM, INCLUDING CONNECTIONS BYPASSING METERS FOR TESTING ON-SITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER.
- 10. PRESSURE TESTING AGAINST VALVES: PRESSURE TESTING AGAINST VALVES WILL NOT BE ALLOWED.
- WATER METER INSTALLATION: TO SCHEDULE THE INSTALLATION OF A DOMESTIC WATER-METER CONTACT PERMIT OPERATIONS AT 202-646-8600. DC WATER WILL FURNISH AND INSTALL THE METER AFTER THE CONNECTION TO THE MAIN HAS BEEN MADE AND THE METER PIT/VAULT HAS BEEN
- CROSS CONTAMINATION CONTROL: ASSE 1048 CERTIFIED BACKFLOW PREVENTION ARE REQUIRED ON ALL FIRE SERVICES AND ARE TO BE LOCATED INSIDE THE BUILDING (UNLESS AN EXTERNAL LOCATION IS NECESSARY OR REQUIRED BY DC WATER) WHERE IT IS SUPPLIED, OWNED, OPERATED, AND MAINTAINED BY THE OWNER. DC WATER DOES NOT FURNISH NOR INSTALL FIRE DOUBLE CHECK DETECTOR FIRE PROTECTION BACKFLOW PREVENTION
- UTILITY SERVICE DISRUPTIONS: PHASE ALL UTILITY WORK TO MAINTAIN UTILITY SERVICES TO THE SURROUNDING AREA DURING ALL PHASES OF 13. CONSTRUCTION. LIMIT REQUIRED UTILITY SHUT-DOWNS IN NUMBER AND DURATION. COORDINATE THESE SHUT DOWNS WITH DC WATER CONSTRUCTION
- WATER VALVE OPERATION: THE CONTRACTOR IS REQUIRED TO COORDINATE WITH DC WATER FOR ALL NECESSARY WATER MAIN SHUT DOWNS WITH ADEQUATE ADVANCED NOTICE. ONLY DC WATER EMPLOYEES MAY SHUT DOWN A PUBLIC WATER MAIN. A CERTIFIED PLUMBER IS ONLY AUTHORIZED TO
- WATER GATE VALVE LOCATION: LOCATE GATE VALVES FOR DOMESTIC AND FIRE SERVICES AS CLOSE TO THE PUBLIC WATER MAIN TEE AS POSSIBLE. HOWEVER, IF NECESSARY ADJUSTMENTS ARE REQUIRED DUE TO CONFLICTS, COORDINATE WITH A DC WATER INSPECTOR.
- MATERIAL: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP CUTS TO THE APPROPRIATE DC WATER OFFICE FOR APPROVAL OR OBTAINING A DC WATER APPROVAL STAMP FOR ALL WORK IN PUBLIC SPACE IN ADVANCE OF INSTALLATION, ONLY APPROVED MATERIALS MAY BE USED.
- TEMPORARY CONDITIONS MINIMUM COVER: A NOMINAL FOUR FEET OF COVER IS REQUIRED FOR ALL WATER MAINS AT FINAL GRADE. COVER OF LESS THAN FOUR FEET REQUIRES DC WATER APPROVAL.
- AS-BUILT: DEVELOPERS, CONTRACTORS AND/OR PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DC WATER INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF INSTALLATION OF NEW SERVICES OR ABANDONMENT OF EXISTING SERVICES WHEN THE FINAL AS-BUILT IS APPROVED THE DEPOSIT WILL BE RETURNED TO THE APPLICANT. SEE DC WATER AS-BUILT REQUIREMENTS FOR ADDITIONAL INFORMATION.
- 19. CONFLICTS: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES. A MINIMUM OF ONE FOOT VERTICAL AND FIVE FEET HORIZONTAL CLEARANCE FROM OTHER UTILITIES SHALL BE MAINTAINED FROM ANY UTILITIES AND PUBLIC WATER AND SEWER MAINS.
- 20. FIRE HYDRANT USE: THE USE OF A FIRE HYDRANT AS A WATER SOURCE IS PROHIBITED UNLESS A PERMIT HAS BEEN OBTAINED FROM DC WATER FOR USE OF A SPECIFIC HYDRANT(S). DAILY OR EXTENDED USE PERMITS CAN BE OBTAINED FROM DC WATER PERMIT OPERATIONS DEPARTMENT
- FIRE HYDRANT STATUS: THE CONTRACTOR SHALL NOTIFY FEMS AT 202-277-1889, PRIOR TO TAKING ANY FIRE HYDRANT OUT OF SERVICE OR RENDERING ANY HYDRANT INACCESSIBLE FOR ANY REASON. FEMS IS ALSO TO BE PROVIDED WITH THE LOCATION OF ANY NEW INSTALLATION OF
- 22. DC WATER SAFETY OFFICE: THE DC WATER SAFETY OFFICE CAN BE CONTACTED AT 202-787-4350.
- SEWER BACKWATER PREVENTION: THE PLUMBING SYSTEM MUST BE IN COMPLIANCE WITH SECTION 715 OF THE 2006 INTERNATIONAL PLUMBING CODE WHICH STATES A BACKWATER VALVE IS REQUIRED FOR ALL PLUMBING FIXTURES BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.

STRAND RESIDENCES

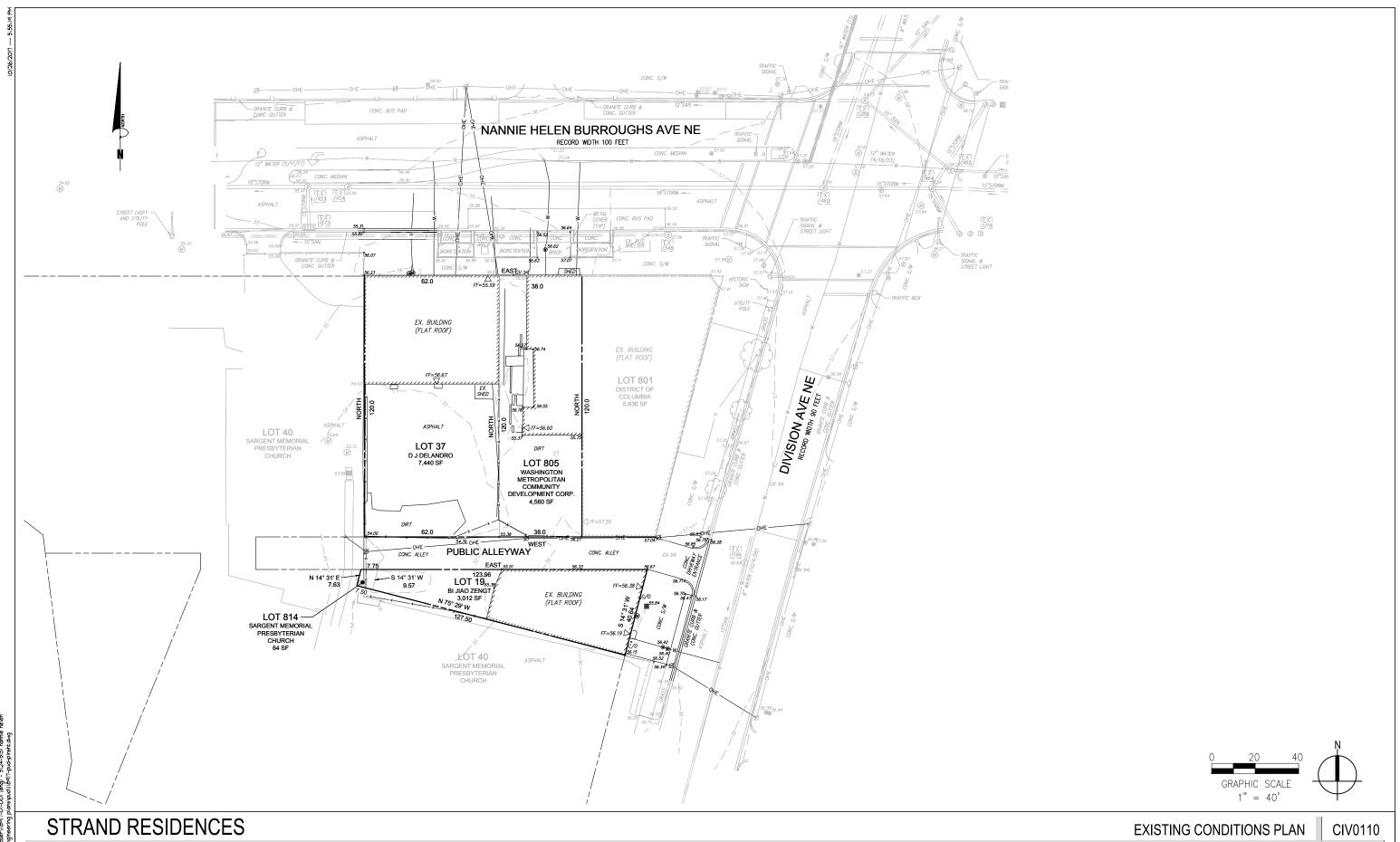
GENERAL NOTES

CIV0002 10/25/2017

Washington, DC Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE

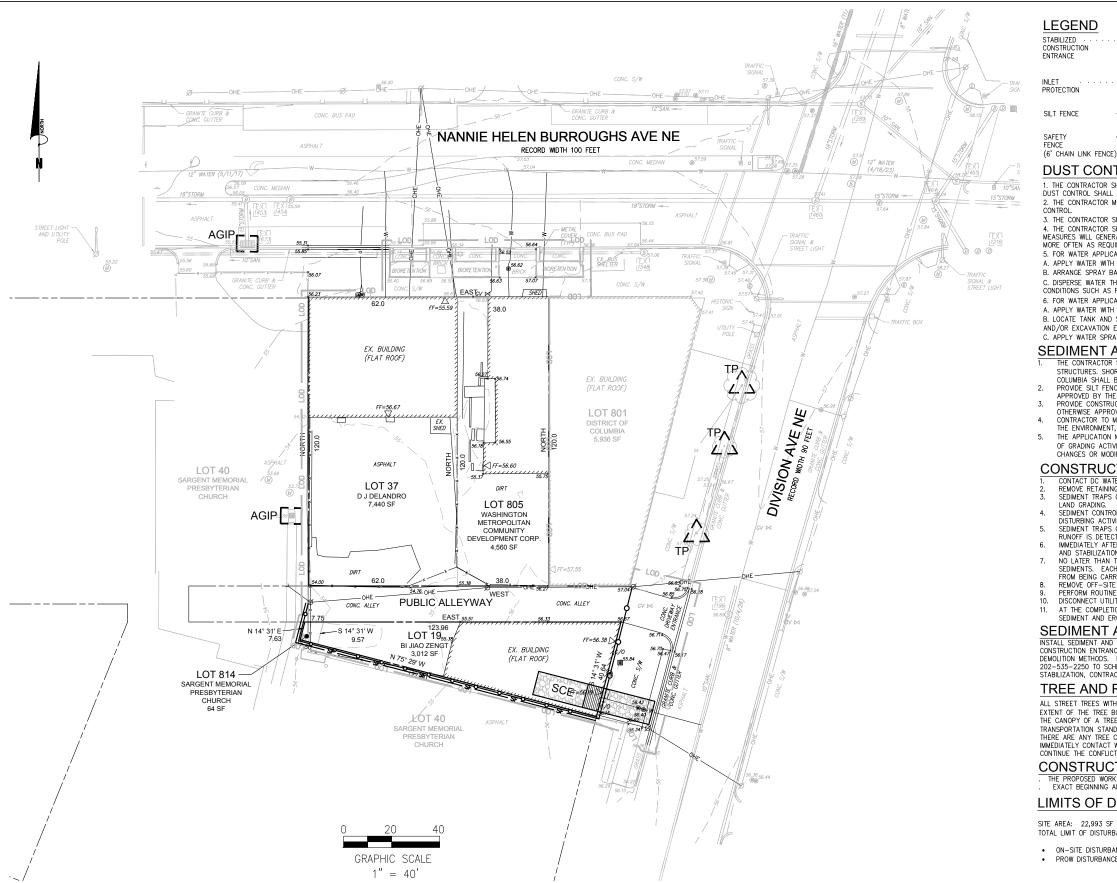
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LEGEND TREE PROTECTION ΤP STABILIZED SCE CONSTRUCTION (ORANGE FENCE) ENTRANCE CIP / AGIP PROTECTION SILT FENCE

DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.

2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST

- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON—SITE. THESE CONTROL
 MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR
 MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES
- B. LOCATE TANK AND SPRAYING FOUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

SEDIMENT AND EROSION CONTROL NOTE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
 PROVIDE SILT FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE
- PROVIDE CONSTRUCTION FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR
- CONTRACTOR TO MAINTAIN ON-SITE STAMPED AND SIGNED, SEDIMENT AND EROSION CONTROL DRAWINGS APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION.
- THE APPLICATION MUST NOTIFY THE DEPARTMENT OF THE ENVIRONMENT BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO START OF GRADING ACTIVITY AND WITHIN TWO (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.

CONSTRUCTION AND STABILIZATION SEQUENCE:

- CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
- REMOVE RETAINING WALL TO THE SOUTH OF THE SITE USING TEMPORARY MEASURES TO STABILIZE LIMITED SITE WORK.
 SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF
- LAND GRADING.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND
- DISTURBING ACTIVITIES.

 SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AS SOON AS NEW SITE—RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT—PRODUCING AREAS.
- IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD
- MAND STABILIZATION BLANKET.

 NO LATER THAN THE FIRST DAY OF CONSTRUCTION INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF
 SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT
- FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
 REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.
- PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.
- DISCONNECT LITHLITIES AND RAZE BUILDING TO SURFACE
- AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED

SEDIMENT AND EROSION CONTROL NARRATIVE:
INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE RAZED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. REMOVE OTHER SITE FEATURES AND ROUGH GRADE SITE. CONTACT DC DOEE, WATERSHED PROTECTION DIVISION AT 202–535–2250 TO SCHEDULE PRE-CONSTRUCTION MEETING. SHOULD MEASURES SHOWN ON THE PLAN NOT BE NEEDED UPON SITE STABILIZATION, CONTRACTOR TO REMOVE WITH PERMISSION OF DOEE INSPECTOR.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) — SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

CONSTRUCTION DATES:

THE PROPOSED WORK DUE TO COMMENCE IN THE FALL OF 2017 AND IS ANTICIPATED TO TAKE APPROXIMATELY 18 MONTHS. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

LIMITS OF DISTURBANCE:

TOTAL LIMIT OF DISTURBANCE: 22,027 SF (0.51 AC)

- ON-SITE DISTURBANCE = 17,926 SE (0.41 AC) PROW DISTURBANCE = 4,101 SF (0.10 AC)



STRAND RESIDENCES

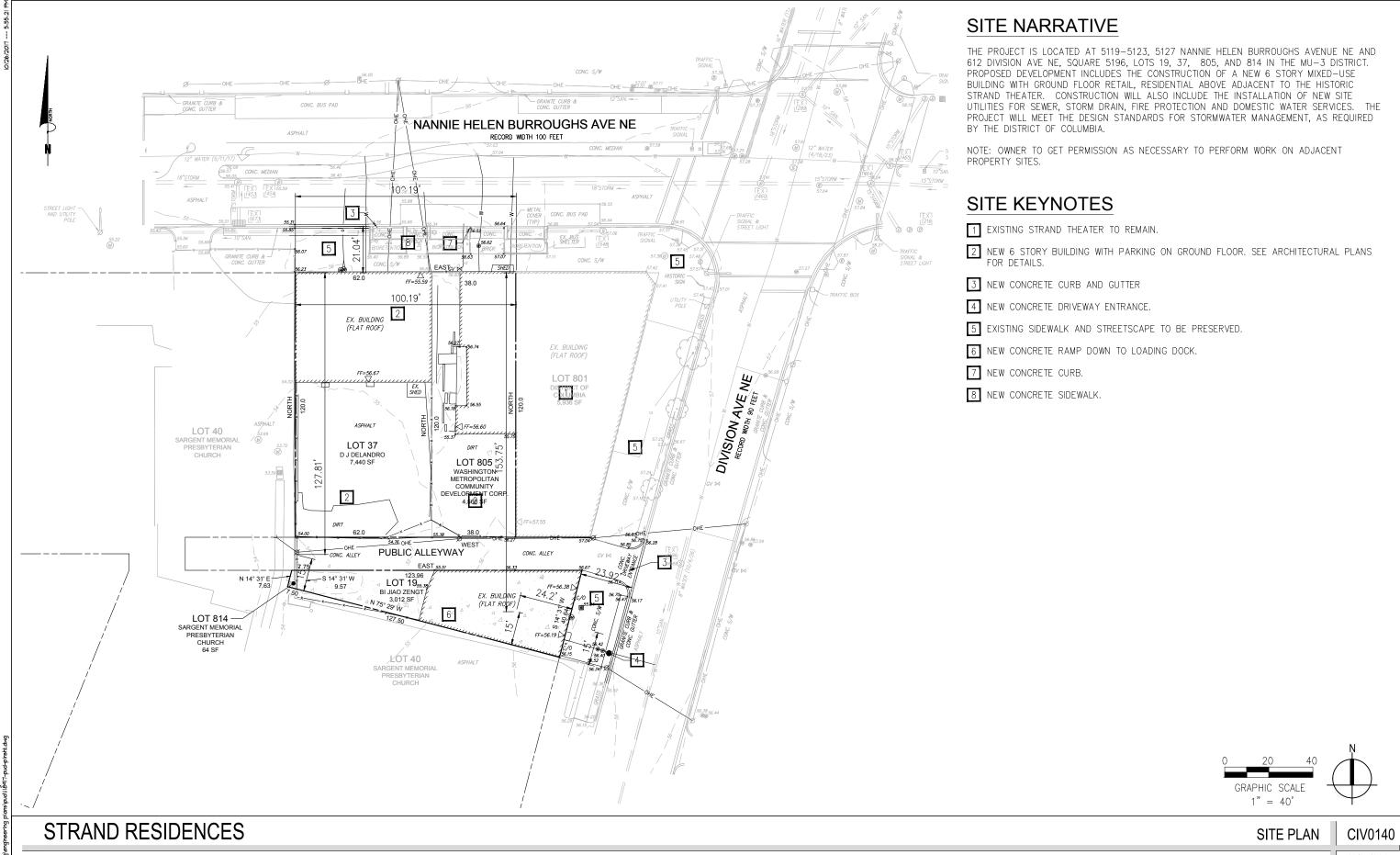
EROSION AND SEDIMENT CONTROL PLAN

10/25/2017

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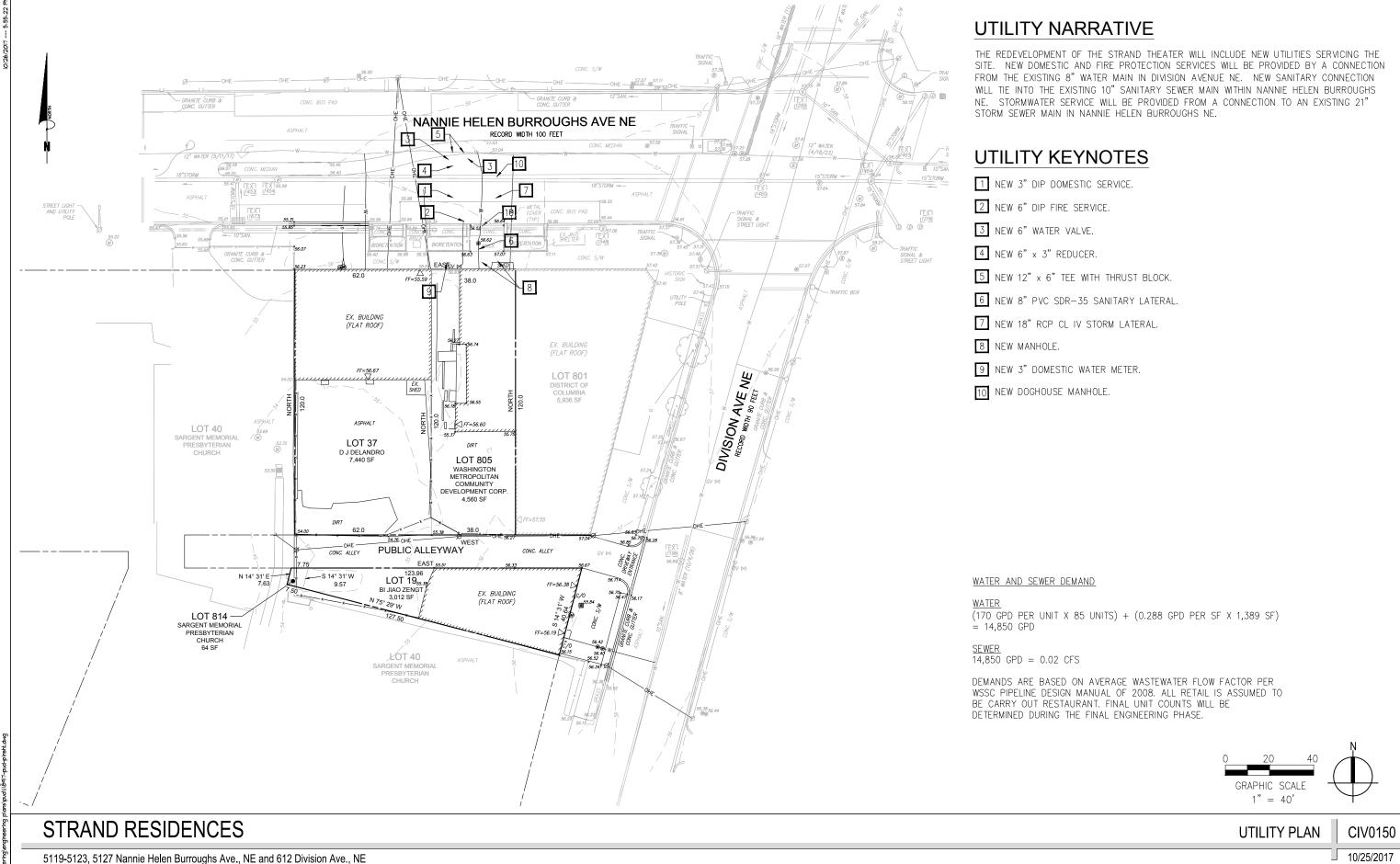
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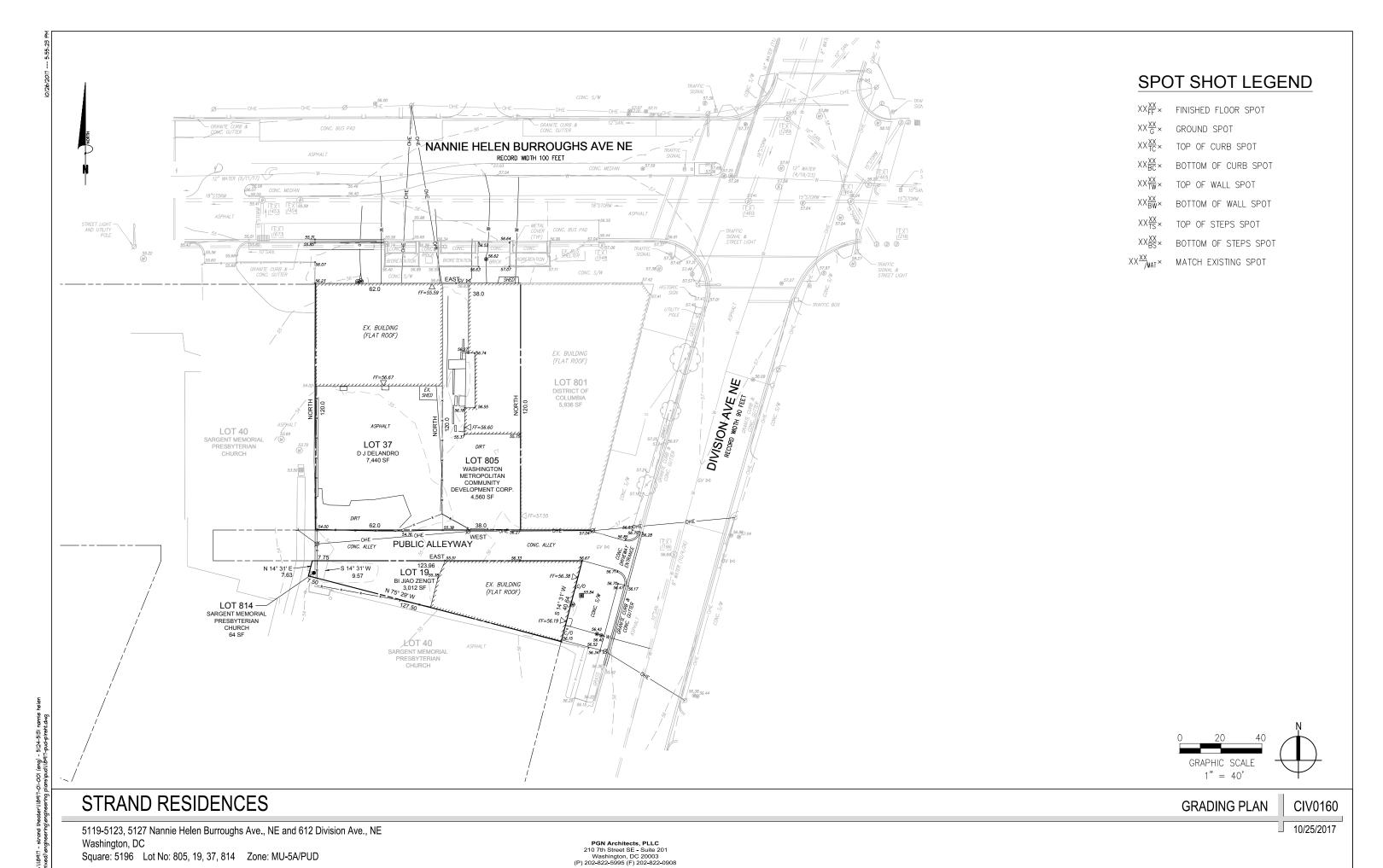
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DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN **GENERAL NOTES**

- 1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEYEM (7) CALENDAR DAYS FOR THE SUPPRICES OF ALL PERMIETER CONTROLS, DIKES, SWALES, DITCHES, PERMIETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1), AND FOURTER OIL (4) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROCECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPURM, OF FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBAT STANDARD. AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE.
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY.
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DODE INSPECTORS.
- 5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AND EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORABLY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STREALIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE.
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE.
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VECETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION.
- 8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION.
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OR EROSION AND SEDIMENT CONTROLS.
- 11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLDWING CRITERIA HAVE BEEN MET: (1) A UNFORM FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNAL VECTATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (705) OF THE NATIVE BACKGROUND VECETATIVE COVER FOR THE AREA HAVE BEEN ESTABLISHED ON ALL UNIFAVED AREAS AND AREAS NOT COVERED BY PERMANNET STRUCTURES, OR (2) EQUIVALENT FERMANNET). STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES).
- 13. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOSE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN MILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOSE INSPECTOR. EACH SIGN WILL BE LESS THAN 18 X 22 MICHORS IN SIZE AND MADE OF MATERIALS THAT WILL, WITHSTAND WATHER FOR THE DURATION OF THE PROJECT. LETTERNO WILL BE AT LEAST IN MOST INSTANTIAL THE PUBLIC FROM A DISTANCE OF THELVE FEET (12 F1). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE POLLOWING FORM: "TO REPORT EROSION, RUNGEF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION ADDRESS, DOSE'S TELEPHONE NUMBER (202–535–2977), DOSE'S BALL ADDRESS (BESCHEDULINGDOC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION—EROSION RUNOFF").

IF A SITE DISTURBS 5,000 SQUARE FEET OF LAND OR GREATER, THE ESC PLAN MUST CONTAIN THE FOLLOWING STATEMENT:

14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE DIMENELY AND ATTER A RAINALL EVEN TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR CONTINUED WE ACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) CS PEAK ON SITE WITH DOES TO REMEDY EACH POTENTIAL. INJAHUSED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOCE TO REMEDY EACH POTENTIA OR ACTUAL REGION PROBLEM. A RESPONSIBLE PERSON SHALL BE (C) JUCKINED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR CEDITCHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT: OR (6) CERTIFIED THROUGH A TRANNIC PROFORM THAT DOCE APPONS. INCLUMEN A COLUMES ON REGION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION, DURBNG CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOCE APPROVED TRAINIGN PROGRAM.

STREET SWEEPING

- STREETS WITHIN ONE MILE (1.6km) SHALL BE INSPECTED DAILY, ANY DROPPED SOIL, DUST AND/OR DEBRIS SHALL BE REMOVED.
- 2. VACUUM TYPE STREET CLEANER SHALL BE USED TO EFFECTIVELY REMOVE TOTAL DUST AND DIRT ON PAVED SURFACES.
- ROADS SHALL BE SWEPT ON A WEEKLY BASIS (MINIMUM) DURING ALL ON AND OFF-SITE HAULING OPERATIONS FOR UP TO ONE MILE

2.0 STANDARDS AND SPECIFICATIONS FOR STABLIZED CONSTRUCION ENTRANCE WITH WASH RACK

<u>DEFINITION:</u> A STABILIZED LAYER OF AGGREGATE, THAT IS UNDERLAIN WITH GEOTEXTILE CLASS SE ENHANCED BY THE USE OF A WASH RACK. STABLIZED ENTRANCES ARE LOCATED AT ANY POINT WHERE TRAFFIC ENTERS OR LEAVES A CONSTRUCTION STE.

<u>PURPOSE:</u> STABILIZED CONSTRUCTION ENTRANCES REDUCE TRACKING OF SEDIMENT ONTO STREETS OR PUBLIC RIGHTS-OF-WAY AND PROVIDE A STABLE AREA FOR ENTRANCE OR EXIT FROM THE CONSTRUCTION SITE.

CONDITIONS WHERE PRACTICE APPLIES, STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS SHOULD BE CONSIDERED WHEREVER SOIL AND/OR TRAFFIC CONDITIONS ON SITE ENGINEE WASHING THE CONSTRUCTION VEHICLE WHELES PRIOR TO ENSITING THE SITE TO AVOID EXCESSIVE FRACKING OF MUD ONTO A HIGHWAY.

STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS SHOULD BE CONSTRUCTED TO THE MINIMUM LENGTH, WIDTH, AND THICKNESS DIMENSIONS SHOWN ON STANDARD CONSTRUCTION DETAIL 2. A METAL WASH RACK IS AN ACCEPTABLE ALTERNATIVE TO THE REINFORCED CONCRETE ONE SHOWN.

APPROACHES TO THE WASH RACK SHOULD BE LINED WITH CRUSHED AGGREGATE (2"-3") ROCK A MINIMUM OF 25" ON BOTH SIDES.

THE WASH RACK SHOULD DISCHARGE TO A SEDIMENT REMOVAL FACILITY, SUCH AS A VEGETATED FILTER STRIP OR INTO A CHANNEL LEADING TO A SEDIMENT REMOVAL DEVICE, SUCH AS A SEDIMENT TRAP OR TANK. STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS SHOULD BE MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK MATERIAL SHOULD BE MAINTAINED ON SITE FOR THIS PURPOSE.

SEDIMENT DEPOSITED ON PAYED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. NOTE: WASHING THE ROADWAY OF SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CLIVERTS, OR OTHER DRAINAGE WAYS IS NOT ACCEPTABLE UNLESS A SEDIMENT FILTER BED IS INSTALLED IN THE DITCH OR CATCH BASIN.

DAMAGED WASH RACKS SHOULD BE REPAIRED AS NECESSARY TO MAINTAIN THEIR EFFECTIVENESS.

STRAND RESIDENCES

37.0 STANDARDS AND SPECIFICATIONS FOR LAND **GRADING**

 $\underline{\text{DEFINITION:}}$ reshaping of the existing land surface in accordance with a plan as determined by engineering survey and layout.

<u>PURPOSE</u>: THE PURPOSE OF A LAND GRADING SPECIFICATION IS TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON THOSE AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING ACCORDING TO PLAN.

ISSIDE CRITERIA: THE GRADME FLAN STAULD BE BASED UPON THE INCORPORATION OF BUILDING DESIGNS AND STREET LAVORDS THAT IT AND INITIZE DESIGNS FOR FOROSCRAPH AND DESPARAGE MATURAS JISRODANDINGS TO ANDD EXTREME GRADE MODIFICATIONS, INFORMATION SUBMITTER MUST PROMISE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE MUSTATIONS THAT MUST BE IMPOSED UPON THE GRADMIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE MUSTATIONS THAT MUST BE IMPOSED UPON THE GRADMIC SURVEYS AND WATER REMOVAL, AND VECTATION TERCHIEFT, ITS

THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREA(S) TO BE GRADED. THE PLAN SHALL ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAZE DISPOSAL OF RUNGEF WATER AND DRAINACE, SUCH AS WATERWAYS, LIMED DITCHES, EVERESE SLOPE BENCHES (NICLUDE GRADE AND

2. CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES SHALL NOT BE STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED THE SLOPE SHOULD BE NO STEEPER THAN 3:1, 4:1 IS PRETERRED BECAUSE OF SAFETY FACTORS RELIZED TO MOWING STEEP SLOPES, SLOPES SICKEDINO 2:1 SHALL REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS THAT SHALL BE ADEQUATELY SHOWN ON THE PLANS.

3. REVERSE BENCHES SHALL BE PROVIDED WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 SLOPE EXCEDED 20 FEET; FOR 3:1 SLOPE IT SHALL BE INCREASED TO 30 FEET AND FOR 4:1 TO 40 FEET, BENCHES SHALL BE LOCATED TO DIMDE THE SLOPE FACE AS EQUALITY AS POSSIBLE AND SHALL CONVEY THE WATER TO A STABLE OUTLET. SOILS, SEEPS, ROCK OUTCROPS, ETC., SHALL ALSO BE TAKEN INTO CONSIDERATION WHEN DESIGNING BENCHES.

- A. BENCHES SHALL BE A MINIMUM OF SIX-FEET WIDE TO PROVIDE FOR EASE OF MAINTENANCE.
- B. BENCHES SHALL BE DESIGNED WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH SECHOL GRADIENT TO THE OUTLET SHALL BE BETWEEN 2 PERCENT AND 3 PERCENT, AND 3 PERCENT, AND 3 PERCENT AND 3 DEFECTOR AND COMPUTATIONS.
- C. THE FLOW LENGTH WITHIN A BENCH SHALL NOT EXCEED 800' UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. FOR FLOW CHANNEL STABILIZATION, SEE TEMPORARY SWALE.

4. SURFACE WATER SHALL BE DIVERTED FROM THE FACE OF ALL CUT AND/OR FILL SLOPES BY THE USE OF EARTH DIKES, DITCHES AND SWALES OR CONVEYED DOWNSLOPE BY THE USE OF A DESIGNED STRUCTURE, EXCEPT WHERE:

A. THE FACE OF THE SLOPE IS OR SHALL BE STABILIZED AND THE FACE OF ALL GRADED SLOPES SHALL BE PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.

B. THE FACE OF THE SLOPE SHALL NOT BE SUBJECT TO ANY CONCENTRATE FLOWS OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGEWAYS, GRADED SWALES, DOWNSPOUTS, ETC.

5. CUT SLOPES OCCURRING IN RIPABLE ROCK SHALL BE SERRATED AS SHOWN IN DETAIL 70 (WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH, PAGE 1–37-5), SERRATED SLOPES ON THE FOLLOWING DIAGRAM. HEES SERRATIONS SHALL BE MADE WITH CONVINCINCIAL EQUIPMENT AS THE EXCAVATION IS MADE. EACH STEP OR SERRATION SHALL BE CONSTRUCTED ON THE CONTOUR AND WILL HAVE STEPS CUT AT MOMINAL TWO-FOOT HITERVALS WITH MOMINAL TWO-FOOT HITERVALS WITH MOMINAL TWO-FOOT HITERVALS WITH MOMINAL TWO-FOOT HITERVALS WITH MOMINAL TWO-FOOT HITERVALS WEST STEPS WILL VARY DEPENDING ON THE SLOPE RATIO OR THE CUT SLOPE. THE NOMINAL SLOPE LIVE IS 15:1. THESE STEPS WILL VARY DEPENDING ON THE SLOPE RATIO OR THE CUT SLOPE. THE NOMINAL SLOPE LIVE IS 15:1. THESE STEPS WILL LAWRY DEPENDING ON THE SLOPE RATIO OR THE CUT SLOPE. THE NOMINAL SLOPE LIVE IS 15:1. THESE STEPS WILL LAWRY DEPARTMENT OVER AND GETTER SLOPE STEPS WILL STEP SHALL STEP WILL STEP SHALL SH

6. SUBSURFACE DRAINAGE SHALL BE PROVIDED WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.

7. SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAINST SEDIMENTATION, EROSION, SUPPAGE, SETTLEMENT SUBSIDENCE OR OTHER RELATED DAMAGES.

8. FILL MATERIAL SHALL BE FREE OF SNOW, ICE, FROZEN MATERIALS, TRASH, BRICK, CLAY LUMPS, HAZARDOUS MATERIAL, BROKEN CONDERTE, TREE ROOTS, SOO, ASHES, CHOBERS, GLASS, PLASTER, ORGANIC MATTER, BRUSH, COGS, STUMPS, BUILDING DEBRIS, AND ANY OTHER FOREIGN AUTERIAL. IT SHOULD BE FREE OF STONGS OF INCHES IN DIAMETER WHERE COMPACTED BY HAND OR MECHANICAL TAMPERS OR OVER 8 MOIES IN DIAMETER WHERE COMPACTED BY ROLLERS OR OTHER EQUIPMENT, FROZEN MATERIAL SHALL NOT BE PLACED IN THE FILL NOR SHALL THE FILL MATERIAL BE PLACED ON A FROZEN FOUNDATION.

9. STOCKPILES, BORROW AREAS, AND SPOIL SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

10. ALL DISTURBED AREAS SHALL BE STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH 42.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION.

38.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

<u>DEFINITION:</u> PLACEMENT OF TOPSOIL OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

<u>PURPOSE:</u> TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE CROWTH
- B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF THE TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL. TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED IN THE NRCS DISTRICT OF COLUMBIA SOIL SURVEY MANUAL

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

I. A TOPSOIL SHALL BE A LOAM, SANDY LOAM. CLAY LOAM, SLT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOLS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOL SCIENTIST AND APPROVED BY THE WATERSHED PROTECTION DIVISION, RECRADLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTINED SUBSOIL AND SHALL CONTAIN LISS THAN SET YOULDNE OF ENDERS, STONES, SLAG, COARSE TRAGMENTS, GRAVEL, STOKES, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN I 1/21 INCHES IN DIMMETER.

III. WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 LBS/1,000 SF) PRIOR TO THE PLACEMENT OF TOPS LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

38.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL (CONT'D)

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

- i. Place topsoil (if required) and apply soil amendments as specified in 42.0 vegetative stabilization section I vegetative stabilization method and materials.
- IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- b. ORGANIC CONTENT OF TOPSOIL SHALL NOT BE LESS THAN 1.5% BY WEIGHT.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE WATERSHED PROTECTION AGENCY, MAY BE USED IN—LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 42.0 VEGETATIVE STABILIZATION — SECTION I — VEGETATIVE STABILIZATION METHOD AND MATERIALS.

WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOL. PEPRARTION AND ILLIACE, ANY INFECULARITIES IN THE SURFACE RESULTING FROM TOPSCHING OR OTHER OFERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE PROMATION OF DEPRESSIONS OR WAITER POCKETS.

W. TOPSOIL SHALL BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING — INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAWING DISTURBED AREAS OVER ACRES SHALL BE TESTED TO THE PRESCRIBE AMENDMENTS AND FOR SITES HAWING DISTURBED AREAS UNDER 5 ACRES SHALL DONFORM TO THE FOLLOWING REQUIREMENTS: a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY EITHER THE STATE OF MARYLAND OR THE STATE OF PRIEST.

b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1.0% NITROGEN, 1.5% PHOSPHOROUS, AND 0.2% POTASSIUM AND HAVE A pH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE. c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SF.

ii. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LBS/1,000 SF AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSIVE SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973. 42.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. SITE PREPARATION

STABILIZATION

I. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS. OR SEDIMENT CONTROL BASINS. II. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE. FINAL GRADING AND SHAPING NOT USUALLY NECESSARY FOR TEMPORARY SEEDING.

iii. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES.

B. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

I. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIONS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED APEAS OVER 5 ACRES. SOIL AMALYSIS MAY BE PERFORMED BY THE UNIVERSITY OF THE DISTRICT OF COLUMBIA OR A CERTIFIED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PUMPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.

II. FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION AND APPROVED EQUIPMENT, MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL AIR MAY, FERTILIZERS SHALL ALL BE DELIVERED 10 THE STIFF FULLY LABELY ACCORDING TO THE APPLICABLE STATE FERTILIZER LAWS AND SHALL BEAR THE NAME, TRADE NAME OR TRADELAWAR, AND WARRANITE OF THE PRODUCES.

III LIME MATERIALS SHALL BE CROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98-100% WILL PASS THROUGH A #100 MESH SIEVE AND 98-100% WILL PASS THROUGH A #20 MESH SIEVE.

IV. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3"-5" OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

AS SECIPED PREPARATION SHALL CONSIST OF LOCESING SQU. TO A DEPTH OF 3" TO 5" BY MEANS OF SUITABLE ARROUNDING AND CONSTRUCTION COMPRENT, SICK IS A SSC MARROWS OF CHISEL PLONG REPERS MOINTED ON CONSTRUCTION COMPRENT. AFTER THE SQU. IS LOCSINED, IT SHOULD NOT BE ROLLED OR PRACED SMOOTH BUT LETT IN THE ROUGHEND COOMITION. SLOPED AREAS (GREATE THAN 3:1) SHOULD BE TRACKED LEAVING THE SURFACE IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

- b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3" - 5" OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- ii. PERMANENT SEEDING a. MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT:
- 2. SOLUBLE SALTS SHALL BE LESS THAN 500 PARTS PER MILLION (PPM).
- 3. THE SOIL SHALL CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (>30% SULT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION IS IF LOVECRASS OR SERECIA LESPEDEZA IS TO BE PLANTED, THAN A SANDY SOIL (<30% SULT PLUS CLAY) WOULD BE ACCEPTIABLE.

 SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF EAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.

 A SEED MIXTURES PERMANENT SEEDING SUMMARY BE ACCEPTIABLE.
- 4. SOIL SHALL CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT.
- 5. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION
- IF THESE CONDITIONS CANNOT BE MET BY SOILS ON-SITE, ADDING TOPSOIL IS REQUIRED IN ACCORDANCE WITH SECTION 38, STANDARD AND SPECIFICATION FOR TOPSOIL.
- b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarried or otherwise loosened to a depth of 3"-5" to perfut doubing of the topsoil to the sufface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
- c. APPLY SOIL AMENDMENTS AS PER SOIL TEST OR AS INCLUDED ON THE PLANS.
- C. MIX SOIL AMERIMMENTS AS YEM SUIL TEST OR AS INCLUDED ON THE PLANS.

 C. MIX SOIL AMENDMENTS INTO THE TOP 37-5° OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. LAWN AREAS SHOULD BE RINKED TO SHOOM THE SUITABLE, REMOVE TAKED GALECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION, WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PERPEARATION, LOCSEN SUPRACE SOIL BY DRAGGON WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHN THE SURFACE. STEEP SUPPES (STEEPER THAN 3:1) SHOULD BE TRACKED BY A DOZER LEAVING THE SOIL IN AI RERGULAR CONTION WITH THOSE SIMUNING PARALLEL TO THE CONTION OF THE SUPPLEMENT OF SOIL SHOULD BE LOOSE AND FRIABLE. SEEDBED LOOSENING MAY NOT BE NECESSARY ON NEWLY DISTURBED OF AREAS.

42.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION (CONT'D)

I. ALL SEED MUST MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA DPW STANDARD AND SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES AND SPECIFICATION 4.2.0 VECETATIVE STABILIZATION. ALL SEED SHALL BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATOR. ALL SEED USED SHALL HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON THIS JOB.

NOTE: SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED.

IE SELD HAS SHALL BE MADE AVAILABLE TO THE HIS LEVEL TO THE METAL TO THE METAL TO THE MEDILATE THE HOLDING TO REPORT THE MEDILATE THAN THE ATTEMPORATE SPECIFICALLY FOR THE SPECIES. INDOLLANTS SHALL NOT BE USED LATER THAN THE DATE INDOCEMENT ON THE CONTRACT AND THE MEDICALED ON THE CONTRACT ADD THEST MOOCLANT AS DROCEED ON PRACE. USE FOUR THISS THE RECOMMENDED RATE HIGH THROUGHOUR. NOTE: IT IS VERY IMPORTANT TO KEEP MOOLLANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ASON'S 75-60° CAN WEACHE MOCHEM AND MARE THE INCOLLANT LESS FRECTIVE.

E. METHODS OF SEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER.

o. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES AMOUNTS WILL NOT EXCEED THE FOLLOWING: NITROCEN; MAXIMUM OF 100 LBS PER ACRE TOTAL OF SCUBLE NITROCEN; P205 (PHOSPHOROUS): 200 LBS/AC; K20 (POTASSUM): 200 LBS/AC.

b. LIME — USE ONLY GROUND AGRICULTURAL LIMESTONE, (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.

c. SEED AND FERTILIZER SHALL BE MIXED ON-SITE AND SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION

ii. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS

g. SEED SPREAD DRY SHALL BE INCORPORATED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY OR PERMANENT SEEDING SUMMARIES OR TABLES 42 OR 43. THE SEEDED AREA SHALL THEN BE ROLLED WITH A WEIGHTED ROLLET TO PROVIDE GOOD SEED TO SOIL CONTACT. b. WHERE PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

III. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. Cultipacking seeders are required to bury the seed is such a fashion as to provide at least 1/4 inch of soil covering. Seeders must be firm after planting.

b. WHERE PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

MULCH SPECIFICATIONS (IN ORDER OF PREFERENCE)

I. STRAW SHALL CONSIST OF THOROUGHLY THRESHED WHEAT, RYE, OR OAT STRAW, REASONABLY BRIGHT IN COLOR, AND SHALL NOT BE MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY AND SHALL BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED BY THE NICES SEED LAW.

NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

ii. WOOD CELLULOSE FIBER MULCH (WCFM)

g. WCFM SHALL CONSIST OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. b. WCFM SHALL BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

c. WCFM, INCLUDING DYE, SHALL CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.

d. Worm Materials Shall be manufactured and processed in such a manner that the wood cellulose fiber much mul. Reman in uniform suspension in water under agitation buil belind with seed, ferfilizer and other additives to form a honogeneous suspension. The mulcin material shall form a blotter-luck ground cover, on application, having omistine, absorption and percolation propersis and shall cover and hold grass seed in control the southern the south without inhelling the regovery of the person seed in the southern the southern the southern shall cover and hold grass seed in control that the southern shall be southern the southern shall cover and hold grass seed in control that the southern shall be southern than the southern shall be southern that the southern shall be southern that the southern shall be southern the southern the southern shall be southern t

e. WCFM MATERIAL SHALL CONTAIN NO ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC f. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH TO APPROXIMATELY 10 MM., DIAMETER APPROXIMATELY 1 MM., pH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6% MAXIMUM AND WATER HOLDING CAPACITY OF 90% MAXIMUM AND WATER HOLDING MULCHING SEEDED AREAS - MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.

I. IF GRADING IS COMPLETED OUTSIDE OF THE SEEDING SEASON, MULCH ALONE SHALL BE APPLIED AS PRESCRIBED IN THIS SECTION AND MAINTAINED WITH THE SEEDING SEASON RETURNS AND SEEDING CAN BE PERFORMED IN ACCORDANCE WITH THESE SPECIFICATIONS. II. WHEN STRAW MULCH IS USED, IT SHALL BE SPREAD OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS/AGRE. MULCH SHALL BE APPLED TO A UNFORM LOOSE DEPTH OF BETWEEN 1" AND 2". MULCH APPLED SHALL ACHIEVE A UNFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. IF A MULCH ANCHORING TOOL IS TO BE USED, THE RATE SHOULD BE INCREASED TO 2.5 TONS/AGRE.

II. WOOD CELLULOSE FIBER USED AS A MULCH SHALL BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS. PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

H. SECURING STRAW MULCH (MULCH ANCHORING): MULCH ANCHORING SHALL BE PERFORMED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMAZE LOSS BY WIND OR WATER. THIS WAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING ON THE SIZE OF AREA AND BEOSOIN HAZAZIN AS

I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 MONES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD BE USED ON THE CONTOUR IF POSSIBLE.

TO SOLUTION OF THE MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS/ACRE. THE WOOD CELLULOSE FIBER SHALL BE WINED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER FER TOO CALLONS OF WATER. III. APPLICATION OF LIQUID BINDERS SHOULD BE HEAVER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. THE REMANDER OF AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. SYNTHETIC BINDERS — SUCH AS ACRYLLO (BL (ARGO—TACK), DCA—70, PETROST, TERRA TAX, II. JERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH.

iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4' TO 15' FEET WIDE AND 300 TO 3,000 FEET LONG.

VEGETATION — ANNUAL GRASS OR GRAIN USED TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. FOR LONGER DURATION OF VEGETATIVE COVER, PERMANENT SEEDING IS REQUIRED.

	D MIXTURE (HA M TABLE 43	RDINESS ZONE	7A)		FERTILIZER RATE	LIME RATE
١0.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	
	RYE PLUS FOXTAIL MILLET	150	2/1-4/30 5/1-8/30 8/15-11/30	1	600 lb/ac (14 lb/1000 sf)	2 tons/ac (92 lb/1000sf)
	WEEPING LOVEGRASS	4	5/1-8/14	1/4	(14 lb/1000 sf)	(92 lb/1000sf)

SECTION III - PERMANENT SEEDING

	D MIXTURE (HA)M TABLE 42		,			ER RATE (0-20)		LIME RATE
N0.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	
	TALL FESCUE (85%)	125	7.4 5.45		90 lb/ac	175 lb/oc	175 lb/oc	2 tons/ac
	PERENNIAL RYEGRASS (10%)	15		1/4" MIN.	(2.0 lb/ 1000 sf)	(4 lb/ 1000 sf)	(4 lb/ 1000 sf)	(92 lb/ 1000 sf)
	Kentucky Bluegrass (5%)	10	8/15-11/15	2 MIN.				

42.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION (CONT'D)

SECTION IV - SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

II. SOO SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4", PLUS OR MINUS 1/4", AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. INNIPOUNDLA PECES OF SOO SHALL BE CUIT TO THE SUPPLIERS WOTH AND LENGTH. MAND HANTH MALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5%, BROKEN PADS AND TORN OF UNEVER BOS WILL NOT BE ACCEPTABLE.

III. STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE LUPPER 10% OF THE SECTION

iv. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL

v. SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

AREAS WHERE TURFORASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS TO RECEIVE SEED SHALL BE THAT BY STANKE OF A PROPEYDE WHENDS TO A DEPTH OF 2 TO 4 NOVES, LEVELED AND RAKED TO PREPARE A PROPER SEEDBED. STONES AND DEBMIS OVER 1 1/2 INCHES IN DIAMETER SHALL BE REMOVED. THE RESULTING SEEDBED SHALL BE IN SUCH CONDITION THAT FUTURE MOMING OF GRASSES WILL POSE NO DIFFICULTY.

NOTE: CHOOSE CERTIFIED MATERIAL, CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY.

. Kentucky bluegrass – full sun mixture – for use in areas that receive intensive Management, recommended certified kentucky bluegrass cultivars seeding rate: 1.5 to 2.0 LBS/1,000 SF. A MINIMUM OF THREE BLUEGRASS CULTIVARS SHOULD BE CHOSEN RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY WEIGHT.

II. KENTUCKY BLUEGRASS/PERENNIAL RYE — FULL SUN MIXTURE — FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURY WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERSHAM, RYEGRASS CULTIVAS/CERTIER DENTUCKY BLUEGRASS SECTION RATE: 2 LBS. MIXTURE/1,000 SF. A MINIMUM OF S KENTUCKY BLUEGRASS CULTIVARS MUST BE CHOSEN, WITH EACH CULTIVAR RANGING FROM 105 TO 35% OF THE MIXTURE BY WEIGHT.

III. TALL FESCUE/KENTUCKY BLUEGRASS – FULL SUN MIXTURE – FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE FULLUES; CERTIFIED TALL FESCUE CULTIVARS 95-006, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 9-5%. SEEDING RATE: 5 TO 8 LB/1,000 SF, ONE OR MORE CULTIVARS MAY BE BLENDED. IN. KENTUCKY BLUEGRASS/FINE FESCUE — SHADE MIXTURE — FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, MITENSVELY MANAGEMENT TURF AREA. MIXTURE INCLUDES; CERTIFIED EXEMITICAT SUBJECT OF ACT AND CERTIFIED FINE FESCUE 60—70%. SEEDING RATE: 1/2 — 3 LISS/1,000 SF. A MINMAUM OF 3 KENTUCKY BLUEGRAS CULTIVARS MUST BE CHOSEN, WITH EACH CULTIVAR RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY WEIGHT.

NOTE: TURFGRASS VARIETIES SHOULD BE SELECTED FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MIMEO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

44.0 STANDARDS AND SPECIFICATIONS FOR

DEFINITION: CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

<u>PURPOSE:</u> TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

SPECIFICATIONS

A. MULCHES — SEE STANDARDS FOR CRITICAL AREA STABLIZED WITH MULCHES ONLY. CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. B. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.

C. SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER	TYPE_OF_	APPLY
	DILUTION	NOZZLE	GALLONS/AC
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

D. TILLAGE — TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON MINDWARD SOE OF STIE. CHISELT-TYPE PLOWS SPACED ABOUT 12" APAIT, SPRING-TOOTHEN HARROWS, AND SIMILAR PLOWS ARE EXAMPLE OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

E. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED.

F. BARRIERS — SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING, BARRIERS PLACED AT RIGHT ANALES TO PERVALING LURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.

G. CALCIUM CHLORIDE - APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT

A. PERMANENT VECETATION — SEE STANDARDS FOR PERMANENT VECETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE. B. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING

C. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

1. AGRICULTURAL HANDBOOK 346. WIND EROSION FORCES IN THE UNITED STATES AND THEIR USE IN PREDICTING SOIL LOSS. 2. AGRICULTURAL INFORMATION BULLETIN 354. HOW TO CONTROL WIND EROSION, USDA-ARS.

EROSION AND SEDIMENT CONTROL NOTES

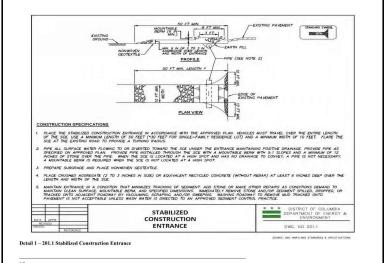
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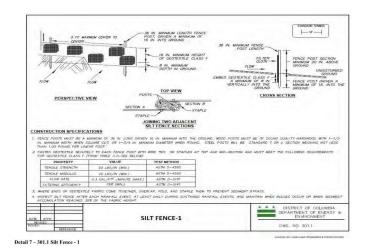
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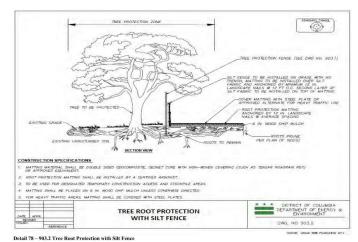
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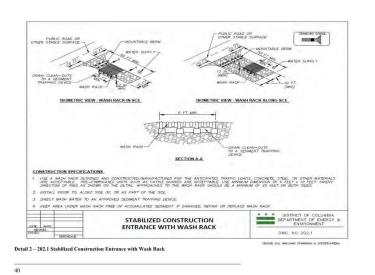
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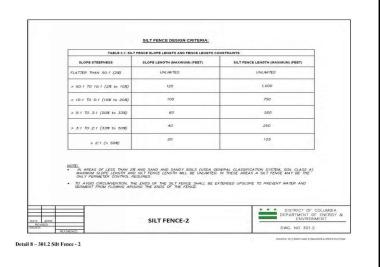
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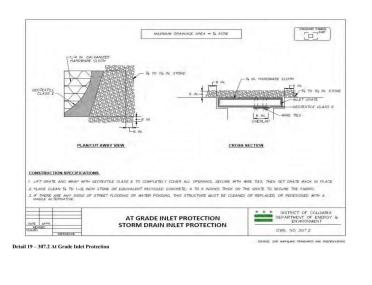


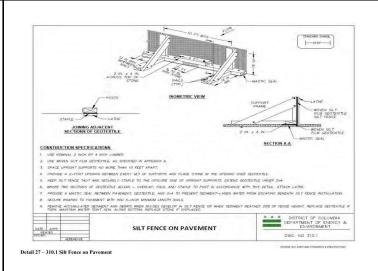












STRAND RESIDENCES

EROSION AND SEDIMENT CONTROL DETAILS

CIV0520 10/25/2017

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE Washington, DC Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

STORMWATER MANAGEMENT NARRATIVE:

ACCORDING TO THE 2013 SWM GUIDEBOOK FOR THE DISTRICT OF COLUMBIA, THIS PROJECT SITE DEVELOPMENT IS CATEGORIZED AS A "MAJOR LAND DISTURBANCE" FOR THE ENTIRETY OF THE BUILDING FOOTPRINT, THUS REQUIRING A STORMWATER RETENTION VOLUME (SWRv) BASED ON THE 1.2" STORM EVENT. IN ADDITION TO THE RETAINED VOLUME, THE SWM FACILITIES MUST PROVIDE 15-YR STORM CONTROL FOR PEAK DISCHARGE TO THE PRE-PROJECT RATE.

SITE AREA DISTURBED = 17.029 sf REQUIRED SWRV = 1,618 cf

THE SWRV REQUIREMENT IS ACHIEVED BY THE DESIGN AND IMPLEMENTATION OF GREEN ROOF. THE RUNOFF FROM THE EXISTING BUILDING IS ROUTED DIRECTLY TO GREEN ROOF AREAS FOR TREATMENT. ADDITIONALLY, THE DETENTION REQUIREMENT WILL BE MET THROUGH A COMBINATION OF GREEN ROOF AND DETENTION VAULT. THE STORAGE CAPACITY OF THESE FACILITIES ARE SIZED TO ATTENUATE THE 2-YR STORM PEAK DISCHARGE BACK TO PRE-DEVELOPMENT CONDITION AND THE 15-YR STORM PEAK DISCHARGE BACK TO PRE-PROJECT CONDITIONS.

DESIGN CRITERIA IS BASED OFF THE DISTRICT'S 2013 SWM GUIDEBOOK FOR GREEN ROOF.

STORMWATER MANAGEMENT EXEMPTIONS:

CHAPTER 21 DCMR : 517

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL.

GREEN ROOF PROVIDED:

ASSUMED 6" GREEN ROOF AT 0.50 POROSITY

±6,500 sf OF 6" GREEN ROOF IS REQUIRED TO MEET RETENTION REQUIREMENTS.

PLAN CURRENTLY SHOWS 8,568 SQUARE FEET OF 6" GREEN ROOF AND 193 SQUARE FEET OF 24" GREEN ROOF

CONCEPTUAL STORMWATER MANAGEMENT PROVIDED FOR PUD REVIEW ONLY. DURING THE FINAL ENGINEERING PHASE, STORMWATER MANAGEMENT DESIGN WILL BE ADVANCED AND MAY USE OTHER METHOD WHICH WILL PROVIDE THE REQUIRED RETENTION TO BE IN ACCORDANCE WTIH THE 2013 SWM GUIDEBOOK FOR THE DISTRICT OF COLUMBIA.



STRAND RESIDENCES

STORMWATER MANAGEMENT PLAN

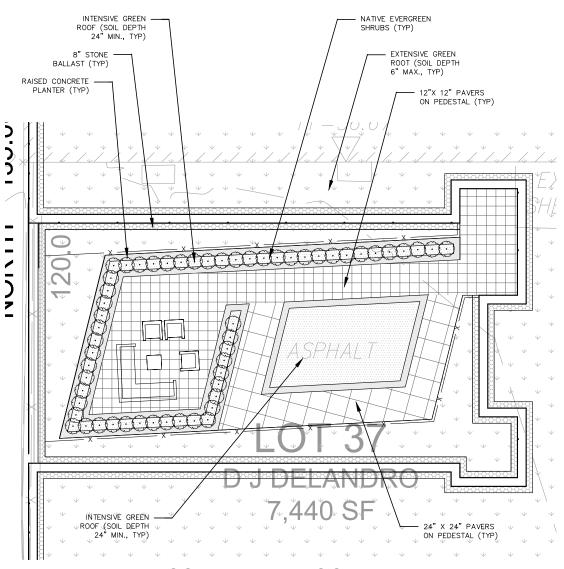
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10/25/2017



COURTYARD ROOF PLAN

SCALE: 1"=10'



STRAND RESIDENCES

LANDSCAPE PLAN

CIV0800

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