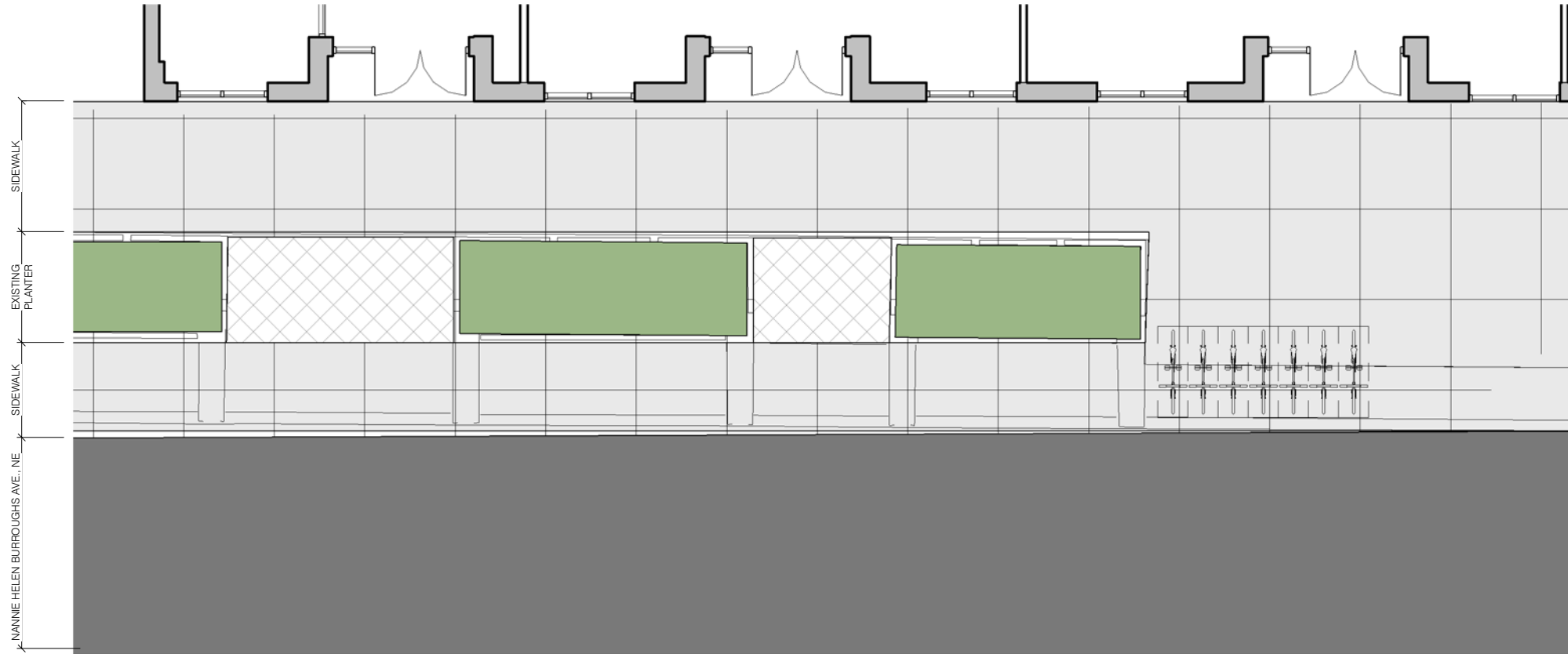
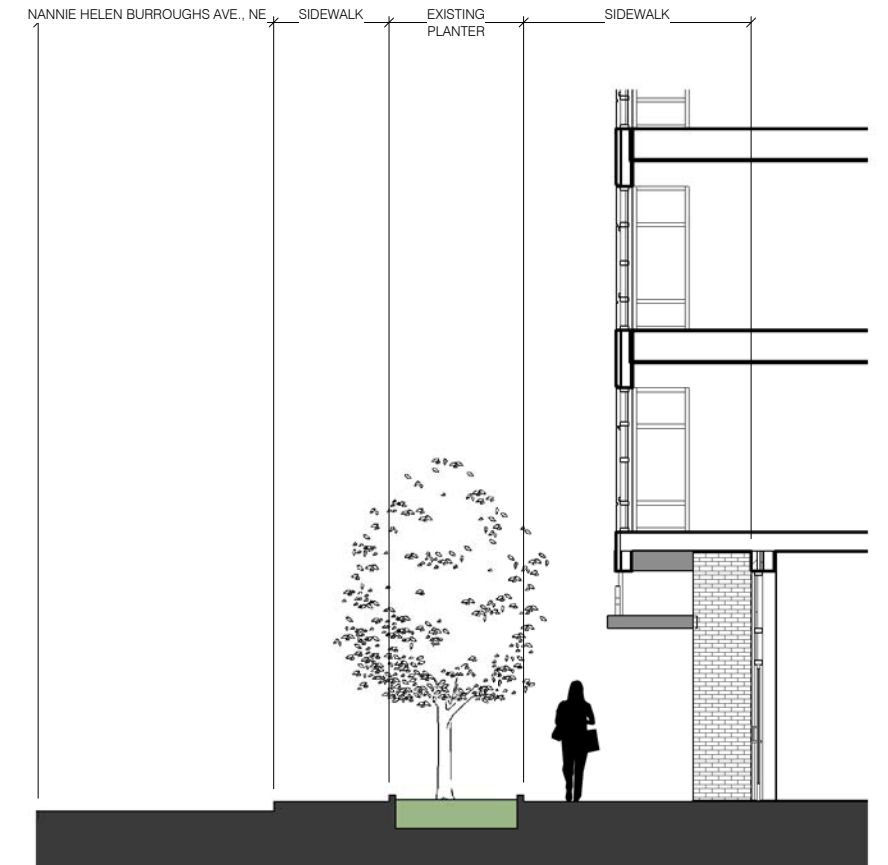




2 PARTIAL NORTH ELEVATION  
1" = 10'-0"



1 FIRST FLOOR STREETScape  
1" = 10'-0"



3 NORTH FACADE- STREETScape SECTION  
1" = 10'-0"

# THE STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196

Lot No: 0019, 0031, 0805, 0814

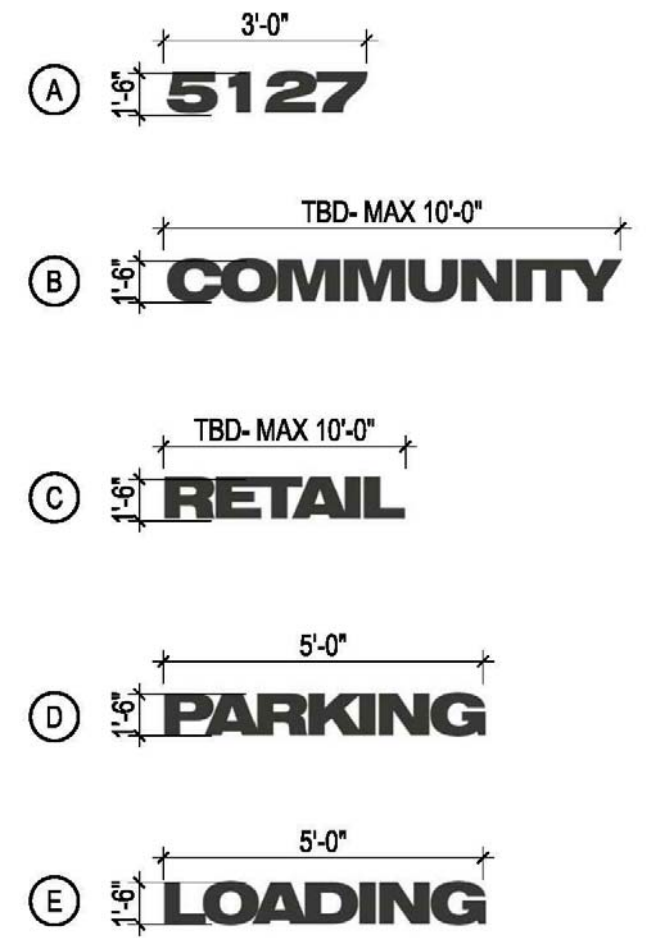
Zone: Proposed MU-5A/PUD



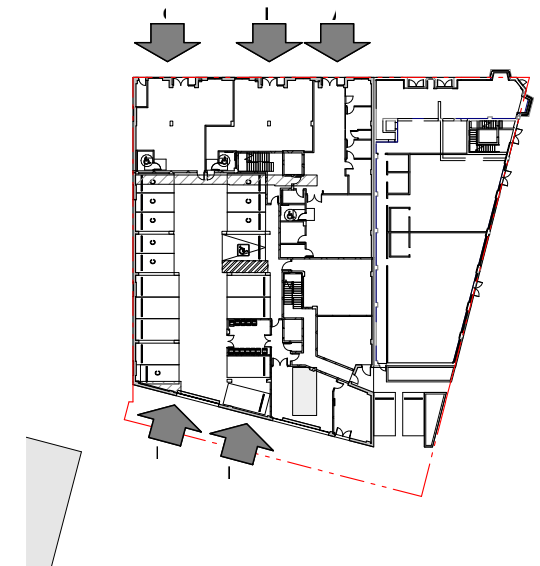
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

STREETScape DETAILS | A-31

10/26/2017  
ZONING COMMISSION  
District of Columbia  
CASE NO.17-10  
EXHIBIT NO.28AA2



\*ALL SIGNAGE TO BE ALUMINUM METAL



# THE STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

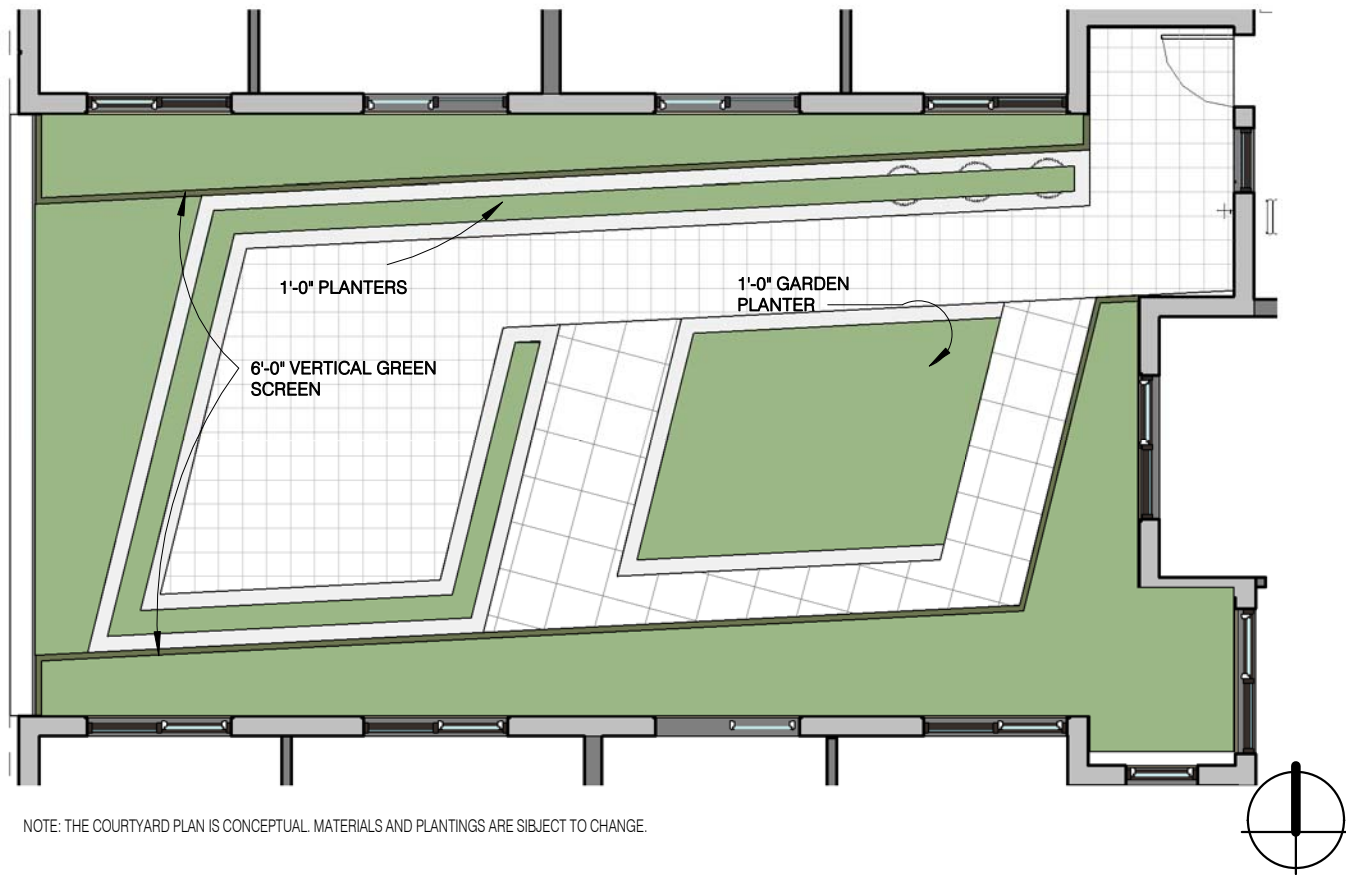
Square: 5196

Lot No: 0019, 0031, 0805, 0814

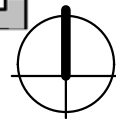
Zone: Proposed MU-5A/PUD



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



NOTE: THE COURTYARD PLAN IS CONCEPTUAL. MATERIALS AND PLANTINGS ARE SUBJECT TO CHANGE.



1 COURTYARD PLAN  
1/8" = 1'-0"



# THE STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD

10/26/2017



10/26/2017 --- 5:55:04 PM

v:\118117 - strand theater\118117-01-001 (eng) - 5124-5151 nannie helen  
(mixed)engineering\engineering\plans\pud\118117-pud-detsit.dwg

# STRAND THEATER

SQUARE 5196; LOTS 37, 805, 19, AND 814

5119 - 5123, 5127 NANNIE HELEN BURROUGHS

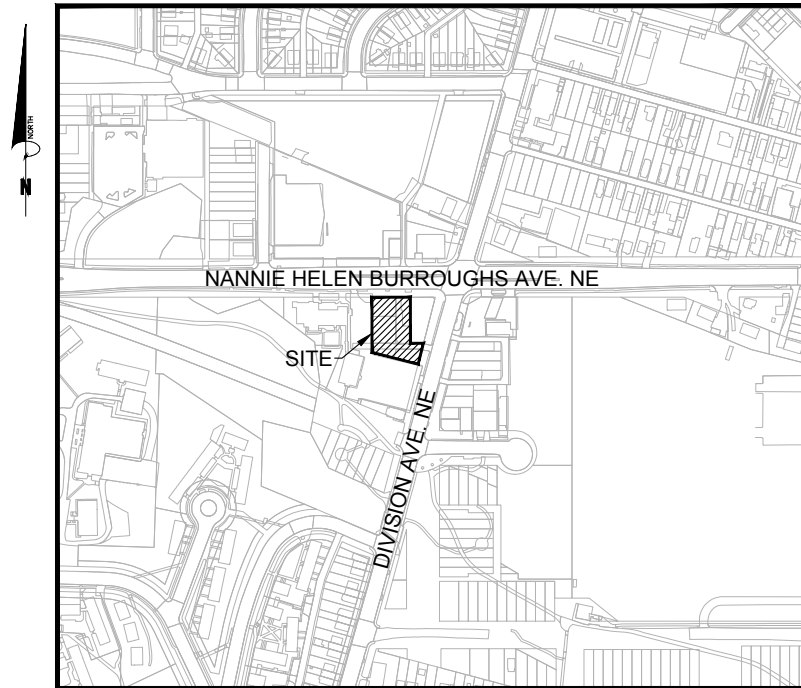
AVENUE NE

612 DIVISION AVENUE NE

WASHINGTON, DC

### ABBREVIATIONS:

APPROX	APPROXIMATE	EX	EXISTING
ASPH	ASPHALT	FC	FACE OF CURB
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FD	FLOOR DRAIN
AWWA	AMERICAN WATER WORKS ASSOCIATION	FF	FIRST FLOOR
BC	BACK OF CURB	FG	FINISH GRADE
BF	BASEMENT FLOOR	FH	FIRE HYDRANT
BLDG	BUILDING	FL	FLOW LINE
BM	BENCHMARK	G	GAS
BOV	BLOW OFF VALVE	GR	GUARD RAIL OR GRATE INLET
BRL	BUILDING RESTRICTION LINE	HC	HANDICAP
BW	BOTTOM OF WALL	HP	HIGH POINT
C&G	CURB AND GUTTER	HR	HAND RAIL
CB	CATCH BASIN	INV	INVERT
CC	CONCRETE CURB	IP	IRON PIPE
CIP	CAST IRON PIPE	IPS	IRON PIPE SET
L	CENTERLINE	LP	LOW POINT
CMP	CORRUGATED METAL PIPE	MH	MANHOLE
CO	CLEAN OUT	O/H	OVERHEAD
CONC	CONCRETE	PCC	PORTLAND CEMENT CONCRETE
DIP	DUCTILE IRON PIPE	PROP	PROPOSED
DI	DROP INLET	PVMT	PAVEMENT
DOM	DOMESTIC	SAN	SANITARY
EBL	EAST BOUND LANE	SEW	SEWER
EG	EDGE OF GUTTER	STD	STANDARD
EL	ELEVATION	S/W	SIDEWALK
ELEC	ELECTRIC	TC	TOP OF CURB
ELEV	ELEVATION	TEL	TELEPHONE
ENT	ENTRANCE	TP	TEST PIT OR TREE PROTECTION
EP	EDGE OF PAVEMENT	TW	TOP OF WALL OR TAILWATER
EQUIP	EQUIPMENT	UP	UTILITY POLE
ESMT	EASEMENT	UG	UNDERGROUND
EW	END WALL	UGE	UNDERGROUND ELECTRIC
		UGT	UNDERGROUND TELEPHONE
		UGC	UNDERGROUND CABLE
		UD	UNDERDRAIN
		WL	WATER LINE
		WM	WATER METER



VICINITY MAP

SCALE: 1" = 500'

### UTILITY CONTACTS:

SEWER/WATER:	DC WATER - (202) 787-4299 5000 OVERLOOK AVE. SW 5TH FLOOR WASHINGTON, DC 20032
ELECTRICITY:	PEPCO - FRED JOHNSON (202) 872-2833 701 9TH STREET NW, ROOM 6005 WASHINGTON, DC 20068
GAS:	WASHINGTON GAS CO. - VANN JONES (703) 750-5983 6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151
COMMUNICATIONS:	VERIZON COMMUNICATIONS - DIVINA YANCEY (301) 282-7736 FDC-1 13101 COLUMBIA PIKE CONDUIT GROUP - LOWER LEVEL SILVER SPRING, MD 20904

### ENGINEER

BOWMAN CONSULTING GROUP DC PC  
888 17TH STREET NW  
SUITE 510  
WASHINGTON, DC 20006  
(202) 750-2474  
ATTN: RYAN J BRANNAN, P.E.

EXISTING	LEGEND	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER TRANSITION	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY EASEMENT	
	WATER LINE	
	WATER VALVE	
	WATER REDUCER	
	WATER METER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE-UNDERGROUND	
	ELECTRIC SERVICE-OVERHEAD	
	OVERHEAD TELEPHONE	
	TELEPHONE SERVICE	
	GAS LINE	
	SPOT ELEVATION	
	UTILITY POLE	
	GUY POLE	
	TRANSFORMER	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	FIRE HYDRANT	
	STREET LIGHT	
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	HANDICAP RAMP	
	TREE	
	CONCRETE SIDEWALK	

### CIVIL DRAWING LIST - PUD:

CIV0001	COVER SHEET
CIV0002	GENERAL NOTES
CIV0110	EXISTING CONDITIONS PLAN
CIV0130	EROSION AND SEDIMENT CONTROL PLAN
CIV0140	SITE PLAN
CIV0150	UTILITY PLAN
CIV0160	GRADING PLAN
CIV0510	EROSION AND SEDIMENT CONTROL NOTES
CIV0520	EROSION AND SEDIMENT CONTROL DETAILS
CIV0710	STORMWATER MANAGEMENT PLAN

## STRAND RESIDENCES

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
Washington, DC  
Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
(P) 202-822-5995 (F) 202-822-0908

COVER SHEET CIV0001

10/25/2017

**DEMOLITION NOTES:**

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- CONTRACTOR SHALL REMOVE AND TRANSPORT ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM ALL DEMOLITION OPERATIONS TO A LEGAL DISPOSAL OFF SITE.
- REMOVAL OF ASPHALT AND CONCRETE PAVEMENT SHALL INCLUDE THE REMOVAL OF ALL SURFACE, BASE AND SUBBASE MATERIALS.
- EXISTING CONDITIONS SHOWN HEREON WERE TAKEN FROM GIS AND AVAILABLE UTILITY COMPANY RECORDS.
- ALL UNDERGROUND UTILITY LOCATIONS, INCLUDING WATER, STORM DRAINAGE, SANITARY SEWER, ELECTRICAL, TELEPHONE AND GAS WERE TAKEN FROM AVAILABLE RECORDS AND FIELD VERIFIED WHERE POSSIBLE. THE LOCATION OF ALL UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCY TO THE ENGINEER. MARKING LOCATIONS OF EXISTING UTILITIES, CONTACT "MISS UTILITY" AT 1-800-257-7777, 48-HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR MUST HAND-DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AS WELL IN DEMOLITION WORK AND PRIOR TO ORDERING PIPE MATERIALS AND STRUCTURE. UTILITIES FOUND DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY UTILITY FINDINGS WHICH DEVIATE FROM THE CONDITIONS SHOWN.
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR DEMOLITION AS PER DISTRICT OF COLUMBIA EROSION AND CONTROL HANDBOOK. IF ANY ONSITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED. REFER TO SHEETS CIV0130, CIV0510, AND CIV0520 FOR SEDIMENTATION AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- SEE SEDIMENTATION AND EROSION CONTROL PLAN FOR ALL EXISTING TREES TO REMAIN AND BE PROTECTED.
- NOTE PROXIMITY OF ADJACENT STRUCTURES AND UTILITY LINES AND MAINTAIN CONTINUED SERVICE DURING CONSTRUCTION. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND ENGINEER SHOULD RELOCATION OF SERVICE BE REQUIRED.
- EXISTING UTILITIES (STRUCTURES AND LINES) NOT REQUIRED FOR FUTURE SERVICE TO BE REMOVED TO FACILITATE CONSTRUCTION. UTILITIES TO BE CAPPED AS PER UTILITY PURVEYOR'S STANDARDS AND SPECIFICATIONS. COORDINATE REQUIREMENTS WITH UTILITY PURVEYOR'S.
- REMOVAL OF ALL WALLS/RETAINING WALLS AND FENCES SHALL INCLUDE THE REMOVAL OF THEIR FOUNDATION UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.
- ALL EXISTING DC STREETLIGHT POLES THAT ARE BEING PERMANENTLY REMOVED MUST BE RETURNED IN GOOD CONDITION TO THE DISTRICT OF COLUMBIA WAREHOUSE AT 1735 15TH STREET NE OFF WEST VIRGINIA AVENUE CONTACT NUMBER 202-576-5258.
- EXISTING WATER AND SEWER SERVICES NOT REQUIRED FOR FUTURE USE TO BE REMOVED TO EXTENT NECESSARY TO FACILITATE NEW CONSTRUCTION. REMAINDER OF SERVICE TO BE CAPPED AT MAIN AND EXISTING VALVES AND TEES TO BE REMOVED PER DC/WATER STANDARDS SPECIFICATIONS.COORDINATE REQUIREMENTS WITH DC WATER UTILITY INSPECTOR AT 202-787-4299. PAVEMENT TO BE REMOVED PER DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO BE RESPONSIBLE FOR LAYOUT, EXTENT AND DESIGN OF SHEETING, SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES, SHORING, BRACING AND UNDERPINNING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN THE DISTRICT OF COLUMBIA, HIRED BY THE CONTRACTOR AS NECESSARY TO ENSURE SUPPORT OF SURROUNDING STRUCTURES AND UTILITIES.
- CONTRACTOR TO RELOCATE PARKING METERS IF REQUIRED AND AS DIRECTED BY D.C. BUREAU OF PARKING. COORDINATE REQUIREMENT WITH LARRY BROWN OF PARKING SERVICES AT 202-671-2291.
- NOTIFY DC WATER AT (202) 787-4024 48 HOURS PRIOR TO START OF CONSTRUCTION.
- UNLESS OTHERWISE SHOWN ON THESE DRAWINGS, EXISTING PAVEMENT ON NANNIE HELEN BURROUGHS AVENUE NE AND DIVISION AVENUE NE TO REMAIN. PROVIDE PRE-CONSTRUCTION VIDEO OF EXISTING PAVEMENT ON NANNIE HELEN BURROUGHS AVENUE NE AND DIVISION AVENUE NE. EXISTING PAVEMENT THAT IS DISTURBED OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED PER DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AT NO ADDITIONAL COST.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES VERIFY INVERT ELEVATION OF EXISTING UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH INFORMATION SHOWN PRIOR TO ORDERING ANY STRUCTURES.
- CONTACT 'MISS UTILITY' AT 1 800 257-7777 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION-PUBLIC SPACE MAINTENANCE ADMINISTRATION 48 HOURS PRIOR TO START OF CONSTRUCTION AT (202) 645-6030 OR (202) 645-6031.
- ALL PROPOSED UTILITY WORK TO BE PERFORMED UNDER THE INSPECTION OF DC WATER.
- USE MANHOLE ENTRY SEALS WHERE REQUIRED.
- CONTRACTOR TO PROVIDE A PRE AND POST TV VIDEO SEWER ON EXISTING SEWER AROUND THE SITE PER DC WATER STANDARDS AND SPECIFICATIONS.

**SITE NOTES:**

- WHERE NEW WORK MEETS EXISTING, NOTE FIELD LOCATION AND ELEVATIONS OF EXISTING FEATURES BEFORE BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT OR ENGINEER.
- VERIFY LOCATION OF EXISTING UTILITIES BEFORE PROCEEDING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE, DC WATER (202-787-4024) AND "MISS UTILITY" (1-800-257-7777) 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATIONS. HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND DETERMINE EXACT CLEARANCE OF ALL PROPOSED INSTALLATIONS WELL IN ADVANCE OF CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS WITH PLAN ELEVATIONS.
- WORK AND MATERIALS IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE APPLICABLE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS. ON-SITE WORK AND MATERIALS CODE.
- ELEVATIONS SHOWN HEREON ARE BASED ON D.C. DATUM.
- DIMENSIONS ARE TO FACE OF WALL AND CURB, EDGE OF WALK AND PAVEMENT, CENTERLINE OF COLUMN, PIPE AND UTILITY STRUCTURE. UNLESS OTHERWISE NOTED.
- FRAMES AND COVERS OF EXISTING STRUCTURES TO BE ADJUSTED TO MATCH NEW FINISHED GRADES.
- OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY OF ANY INFORMATION CONCERNING FOUND UTILITY, NOT SHOWN ON PLANS.
- EXISTING SURFACE CONDITIONS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXTENT WITH ARCHITECT OR ENGINEER.
- TEST PITS ARE REQUIRED AT ALL LOCATIONS) WHERE PROPOSED UTILITIES CROSS EXISTING UTILITIES. INVESTIGATIONS) TO IDENTIFY HORIZONTAL LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES. THE ENGINEER IS TO BE NOTIFIED OF THIS INFORMATION.
- IF A 1' MINIMUM VERTICAL CLEARANCE CAN NOT BE MAINTAINED AT UTILITY CROSSING, THE CONTRACTOR IS TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH WORK.
- TRANSITION CURB, GUTTER, PAVING AND SIDEWALK TO MEET EXISTING IN LINE AND ON GRADE OR AS DIRECTED BY ENGINEER.
- ALL DEBRIS AND EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED OFF-SITE LOCATION.
- ALL ON-SITE WATER LINES TO HAVE A MINIMUM COVER OF 4'-0". WATER FITTINGS SHALL BE PROPERLY TIED AND ANCHORED, PER DC WATER STANDARDS AND SPECIFICATIONS.
- WHERE PORTIONS OF EXISTING BITUMINOUS OR CONCRETE PAVING ARE TO BE REMOVED,THE EXISTING PAVEMENT SHALL BE SAW-CUT.
- REMOVE FRAMES AND COVERS OF SEWER MANHOLE/INLETS AND/OR WATER MAIN VALVE CASTINGS TO BE ABANDONED AND FILL TO GRADE.
- ALL CURB SPOT SHOTS ARE TOP OF CURB, UNLESS OTHERWISE NOTED.
- NOTIFY WASHINGTON GAS AT 202-750-4205, 48 HOURS PRIOR TO ANY EXCAVATION IN THE VICINITY OF ANY TRANSMISSION MAIN. FOR FURTHER INFORMATION OR PROBLEMS, CONTACT MR. CHUCK WHITEY AT WASHINGTON GAS AT 703-750-4205.
- PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 1 FOOT VERTICAL CLEARANCE BETWEEN 12" DIAMETER AND SMALLER DISTRIBUTION EXISTING GAS FACILITIES AND PROPOSED FACILITIES.
- PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 2 FEET VERTICAL CLEARANCE BETWEEN 16" DIAMETER OR GREATER TRANSMISSION GAS FACILITIES AND PROPOSED FACILITIES.
- ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION AND WATER AND SEWER AUTHORITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
- EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

**DC WATER STANDARD CONSTRUCTION NOTES:**

- CONTACT: NOTIFY THE FOLLOWING DC WATER DEPARTMENTS PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION:
  - CONSTRUCTION INSPECTION SECTION AT 202-787-4024 AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING.
  - WATER SERVICES AT 202-612-3400 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION.
  - SEWER SERVICES AT 202-264-3862 OR 3873 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION.
- STANDARDS: ALL CONSTRUCTION, MATERIALS, AND APPURTENANCES SHALL COMPLY WITH THE LATEST EDITIONS OF THE DC WATER PROJECT DESIGN MANUAL, STANDARD DETAILS & DESIGN GUIDELINES, AND SPECIFICATIONS.
- LEAD SERVICE REPLACEMENT: IF THIS PROJECT INCLUDES THE REPLACEMENT OF A WATER MAIN THAT HAS EXISTING LEAD WATER SERVICE LATERALS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DC WATER CONSTRUCTION INSPECTION SECTION AT 202-787-4024 AT LEAST 90 DAYS PRIOR TO CONSTRUCTION TO ALLOW ADEQUATE TIME TO INITIATE STANDARD LEAD SERVICE REPLACEMENT PROTOCOL. LATERAL REPLACEMENT INCLUDES THE FULL LENGTH OF PIPE IN PUBLIC SPACE.
- OWNER RESPONSIBILITY: THE OWNER IS RESPONSIBLE FOR ALL WORK AND COSTS ASSOCIATED WITH EXCAVATION, INSTALLATION, AND RESTORATION OF PUBLIC SPACE TO PERFORM A WATER/SEWER CONNECTION/ABANDONMENT. ONCE THE CONTRACTOR HAS OBTAINED A PUBLIC SPACE PERMIT HE/SHE MUST THEN CONTACT DC WATER PRIOR TO PERFORMING THE EXCAVATION TO INSTALL/INSPECT THE UTILITY WORK. THE OWNER SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES TO EXISTING STRUCTURES AND UTILITIES CAUSED BY CONSTRUCTION ACTIVITY.
- DC WATER RESPONSIBILITY: DC WATER IS RESPONSIBLE FOR INSTALLATION OF SMALL WATER SERVICE TAPS (2" DIAMETER AND LESS) TO THE PUBLIC MAIN, SMALL WATER SERVICE TAP REMOVALS FROM THE PUBLIC MAIN, FURNISHING & INSTALLING THE METER IN PUBLIC SPACE, AND INSPECTION OF WORK PERFORMED ON THE PUBLIC SYSTEMS.
- MISS UTILITY: CONTACT MISS UTILITY AT 800-257-7777 48 HOURS BEFORE ANY DIGGING.
- PLAN SET: A SET OF SIGNED & SEALED AND DC WATER STAMPED PLANS SHALL BE KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN THE WORK, INCLUDING ALL EXISTING UTILITIES, ARE TO BE RECORDED AND/OR CORRECTED DAILY.
- ABANDONMENTS: THE OWNER MUST PHYSICALLY DISCONNECT EXISTING WATER, SEWER, AND STORM LATERALS THAT ARE TO BE ABANDONED AT THEIR CONNECTION TO THE PUBLIC MAIN.
- UNMETERED WATER: THERE SHALL BE NO UNMETERED CONNECTIONS TO THE CITY'S WATER SYSTEM, INCLUDING CONNECTIONS BYPASSING METERS FOR TESTING ON-SITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER.
- PRESSURE TESTING AGAINST VALVES: PRESSURE TESTING AGAINST VALVES WILL NOT BE ALLOWED.
- WATER METER INSTALLATION: TO SCHEDULE THE INSTALLATION OF A DOMESTIC WATER-METER CONTACT PERMIT OPERATIONS AT 202-646-8600. DC WATER WILL FURNISH AND INSTALL THE METER AFTER THE CONNECTION TO THE MAIN HAS BEEN MADE AND THE METER PIT/VAULT HAS BEEN INSTALLED.
- CROSS CONTAMINATION CONTROL: ASSE 1048 CERTIFIED BACKFLOW PREVENTION ARE REQUIRED ON ALL FIRE SERVICES AND ARE TO BE LOCATED INSIDE THE BUILDING (UNLESS AN EXTERNAL LOCATION IS NECESSARY OR REQUIRED BY DC WATER) WHERE IT IS SUPPLIED, OWNED, OPERATED, AND MAINTAINED BY THE OWNER. DC WATER DOES NOT FURNISH NOR INSTALL FIRE DOUBLE CHECK DETECTOR FIRE PROTECTION BACKFLOW PREVENTION ASSEMBLIES.
- UTILITY SERVICE DISRUPTIONS: PHASE ALL UTILITY WORK TO MAINTAIN UTILITY SERVICES TO THE SURROUNDING AREA DURING ALL PHASES OF CONSTRUCTION. LIMIT REQUIRED UTILITY SHUT-DOWNS IN NUMBER AND DURATION. COORDINATE THESE SHUT DOWNS WITH DC WATER CONSTRUCTION INSPECTION STAFF.
- WATER VALVE OPERATION: THE CONTRACTOR IS REQUIRED TO COORDINATE WITH DC WATER FOR ALL NECESSARY WATER MAIN SHUT DOWNS WITH ADEQUATE ADVANCED NOTICE. ONLY DC WATER EMPLOYEES MAY SHUT DOWN A PUBLIC WATER MAIN. A CERTIFIED PLUMBER IS ONLY AUTHORIZED TO TURN OFF VALVES INSIDE METER PITS.
- WATER GATE VALVE LOCATION: LOCATE GATE VALVES FOR DOMESTIC AND FIRE SERVICES AS CLOSE TO THE PUBLIC WATER MAIN TEE AS POSSIBLE. HOWEVER, IF NECESSARY ADJUSTMENTS ARE REQUIRED DUE TO CONFLICTS, COORDINATE WITH A DC WATER INSPECTOR.
- MATERIAL: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP CUTS TO THE APPROPRIATE DC WATER OFFICE FOR APPROVAL OR OBTAINING A DC WATER APPROVAL STAMP FOR ALL WORK IN PUBLIC SPACE IN ADVANCE OF INSTALLATION. ONLY APPROVED MATERIALS MAY BE USED.
- TEMPORARY CONDITIONS MINIMUM COVER: A NOMINAL FOUR FEET OF COVER IS REQUIRED FOR ALL WATER MAINS AT FINAL GRADE. COVER OF LESS THAN FOUR FEET REQUIRES DC WATER APPROVAL.
- AS-BUILT: DEVELOPERS, CONTRACTORS AND/OR PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DC WATER INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF INSTALLATION OF NEW SERVICES OR ABANDONMENT OF EXISTING SERVICES. WHEN THE FINAL AS-BUILT IS APPROVED THE DEPOSIT WILL BE RETURNED TO THE APPLICANT. SEE DC WATER AS-BUILT REQUIREMENTS FOR ADDITIONAL INFORMATION.
- CONFLICTS: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES. A MINIMUM OF ONE FOOT VERTICAL AND FIVE FEET HORIZONTAL CLEARANCE FROM OTHER UTILITIES SHALL BE MAINTAINED FROM ANY UTILITIES AND PUBLIC WATER AND SEWER MAINS.
- FIRE HYDRANT USE: THE USE OF A FIRE HYDRANT AS A WATER SOURCE IS PROHIBITED UNLESS A PERMIT HAS BEEN OBTAINED FROM DC WATER FOR USE OF A SPECIFIC HYDRANT(S). DAILY OR EXTENDED USE PERMITS CAN BE OBTAINED FROM DC WATER PERMIT OPERATIONS DEPARTMENT 202-646-8600.
- FIRE HYDRANT STATUS: THE CONTRACTOR SHALL NOTIFY FEMS AT 202-277-1889, PRIOR TO TAKING ANY FIRE HYDRANT OUT OF SERVICE OR RENDERING ANY HYDRANT INACCESSIBLE FOR ANY REASON. FEMS IS ALSO TO BE PROVIDED WITH THE LOCATION OF ANY NEW INSTALLATION OF PRIVATE FIRE HYDRANTS.
- DC WATER SAFETY OFFICE: THE DC WATER SAFETY OFFICE CAN BE CONTACTED AT 202-787-4350.
- SEWER BACKWATER PREVENTION: THE PLUMBING SYSTEM MUST BE IN COMPLIANCE WITH SECTION 715 OF THE 2006 INTERNATIONAL PLUMBING CODE WHICH STATES A BACKWATER VALVE IS REQUIRED FOR ALL PLUMBING FIXTURES BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.

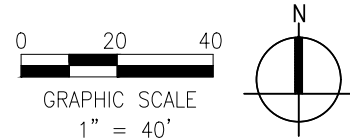
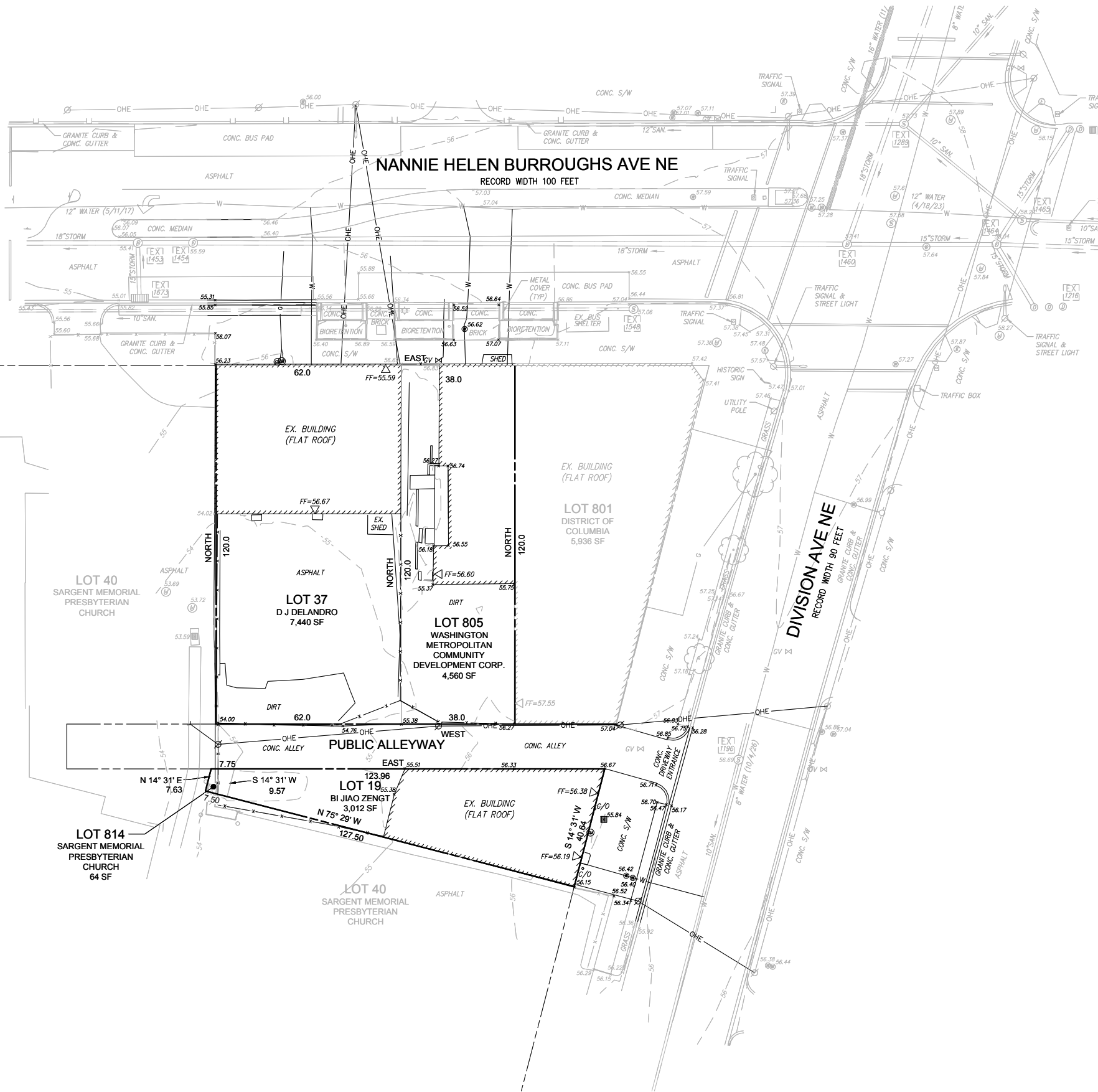
**STRAND RESIDENCES**

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
 Washington, DC  
 Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 (P) 202-822-5995 (F) 202-822-0908

GENERAL NOTES | CIV0002

10/25/2017



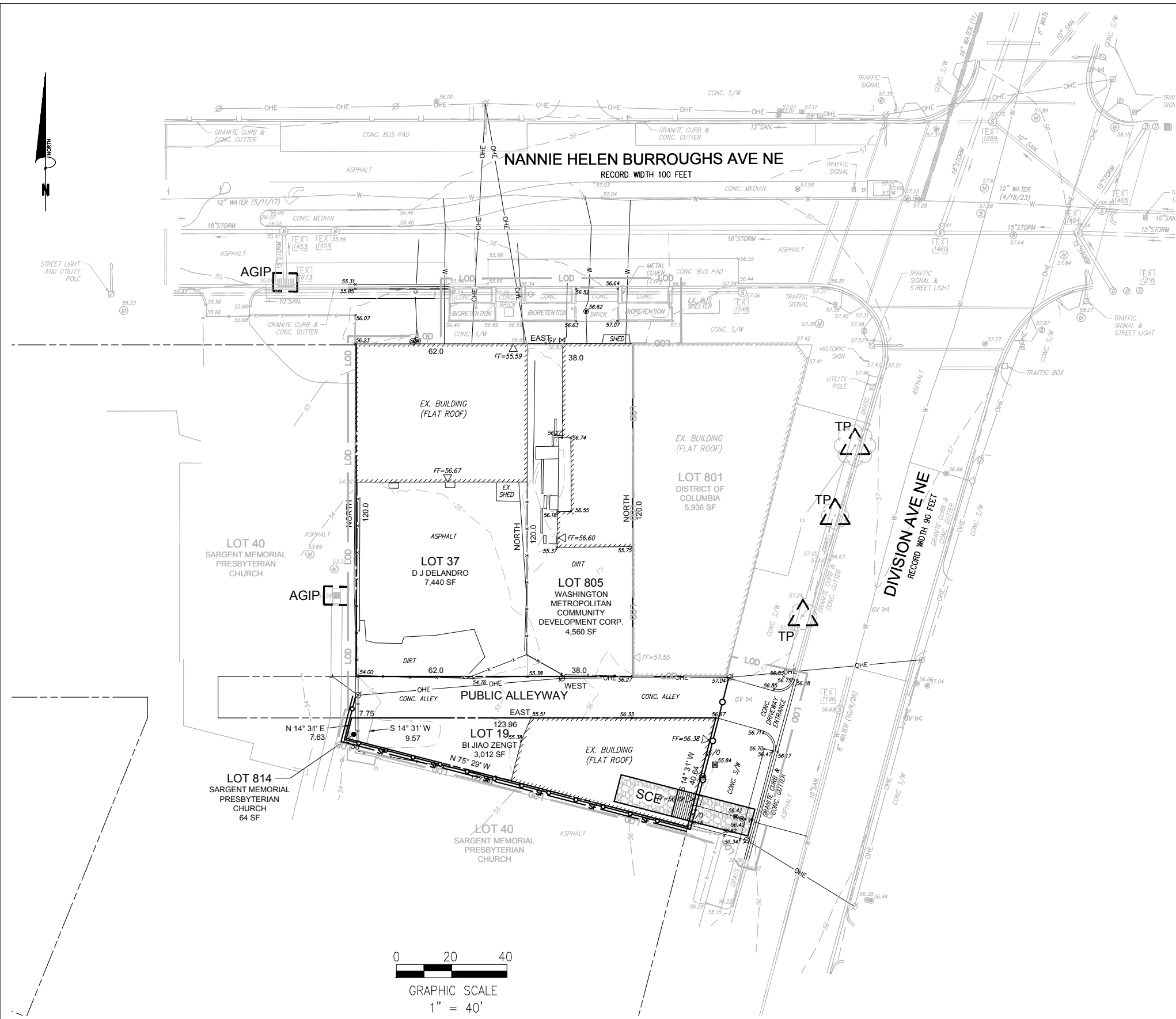
# STRAND RESIDENCES

EXISTING CONDITIONS PLAN CIV0110

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
Washington, DC  
Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

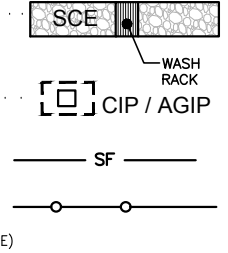
PGN Architects, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
(P) 202-822-5995 (F) 202-822-0908

10/25/2017

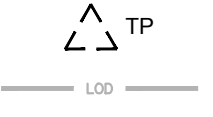


**LEGEND**

- STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION
- SILT FENCE
- SAFETY FENCE (6' CHAIN LINK FENCE)



- TREE PROTECTION (ORANGE FENCE)
- LIMITS OF DISTURBANCE



**DUST CONTROL NOTES:**

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
  - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
  - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
  - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
  - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
  - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
  - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

**SEDIMENT AND EROSION CONTROL NOTE:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
3. PROVIDE CONSTRUCTION FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
4. CONTRACTOR TO MAINTAIN ON-SITE STAMPED AND SIGNED, SEDIMENT AND EROSION CONTROL DRAWINGS APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION.
5. THE APPLICATION MUST NOTIFY THE DEPARTMENT OF THE ENVIRONMENT BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO START OF GRADING ACTIVITY AND WITHIN TWO (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.

**CONSTRUCTION AND STABILIZATION SEQUENCE:**

1. CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. REMOVE RETAINING WALL TO THE SOUTH OF THE SITE USING TEMPORARY MEASURES TO STABILIZE LIMITED SITE WORK.
3. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS.
6. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD AND STABILIZATION BLANKET.
7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
8. REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.
9. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.
10. DISCONNECT UTILITIES AND RAZE BUILDING TO SURFACE.
11. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

**SEDIMENT AND EROSION CONTROL NARRATIVE:**

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE RAZED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. REMOVE OTHER SITE FEATURES AND ROUGH GRADE SITE. CONTACT DC DOEE, WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION MEETING. SHOULD MEASURES SHOWN ON THE PLAN NOT BE NEEDED UPON SITE STABILIZATION, CONTRACTOR TO REMOVE WITH PERMISSION OF DOEE INSPECTOR.

**TREE AND ROOT PROTECTION NOTES:**

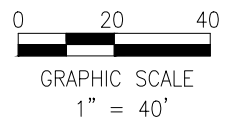
ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

**CONSTRUCTION DATES:**

- THE PROPOSED WORK DUE TO COMMENCE IN THE FALL OF 2017 AND IS ANTICIPATED TO TAKE APPROXIMATELY 18 MONTHS.
- EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

**LIMITS OF DISTURBANCE:**

- SITE AREA: 22,993 SF (0.53 AC)
- TOTAL LIMIT OF DISTURBANCE: 22,027 SF (0.51 AC)
- ON-SITE DISTURBANCE = 17,926 SF (0.41 AC)
- PROW DISTURBANCE = 4,101 SF (0.10 AC)



**STRAND RESIDENCES**

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
 Washington, DC  
 Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 (P) 202-822-5995 (F) 202-822-0908



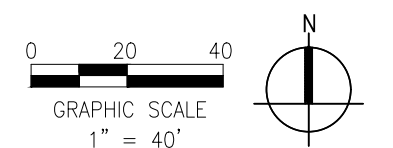
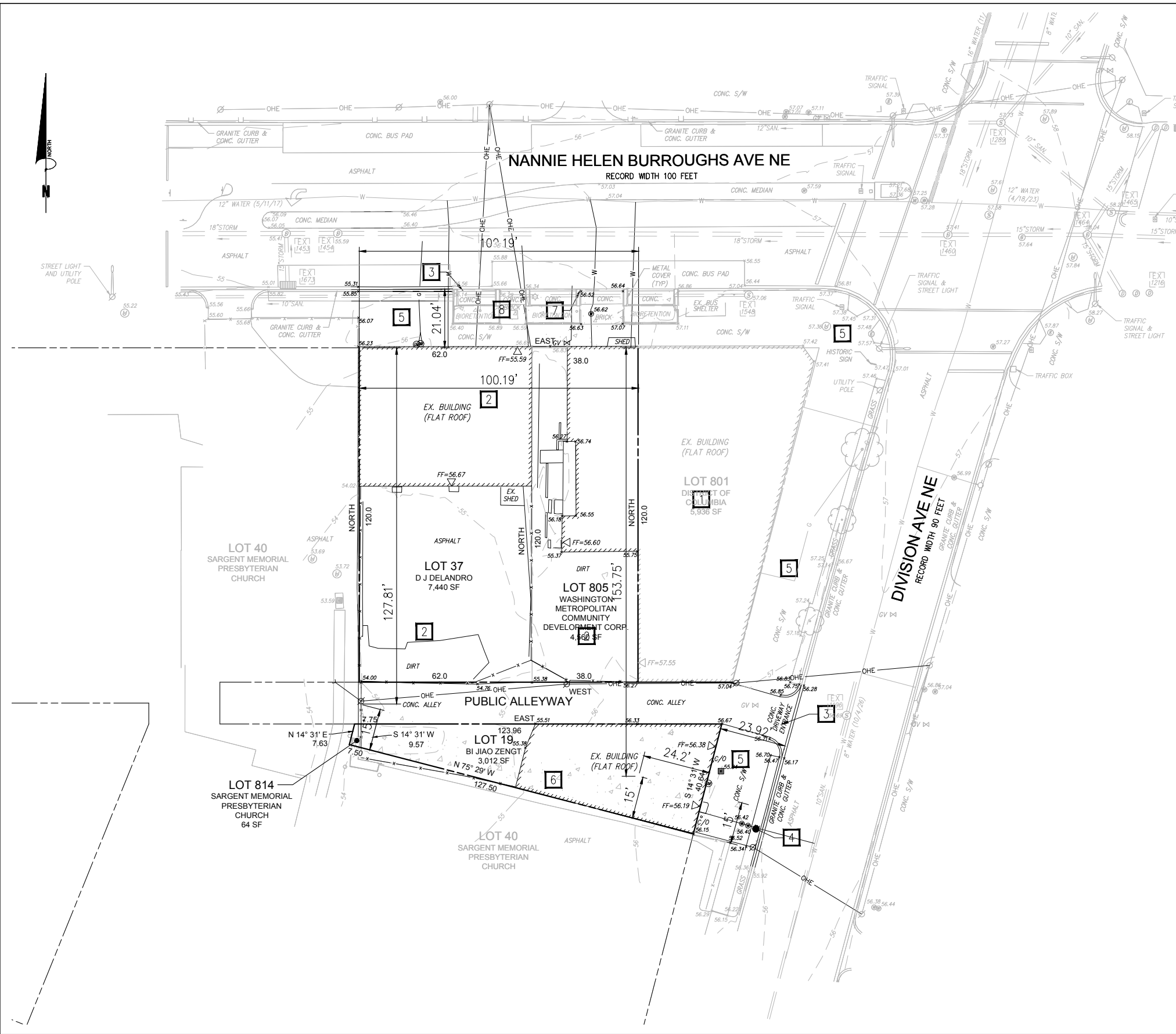
### SITE NARRATIVE

THE PROJECT IS LOCATED AT 5119-5123, 5127 NANNIE HELEN BURROUGHS AVENUE NE AND 612 DIVISION AVE NE, SQUARE 5196, LOTS 19, 37, 805, AND 814 IN THE MU-3 DISTRICT. PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A NEW 6 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL, RESIDENTIAL ABOVE ADJACENT TO THE HISTORIC STRAND THEATER. CONSTRUCTION WILL ALSO INCLUDE THE INSTALLATION OF NEW SITE UTILITIES FOR SEWER, STORM DRAIN, FIRE PROTECTION AND DOMESTIC WATER SERVICES. THE PROJECT WILL MEET THE DESIGN STANDARDS FOR STORMWATER MANAGEMENT, AS REQUIRED BY THE DISTRICT OF COLUMBIA.

NOTE: OWNER TO GET PERMISSION AS NECESSARY TO PERFORM WORK ON ADJACENT PROPERTY SITES.

### SITE KEYNOTES

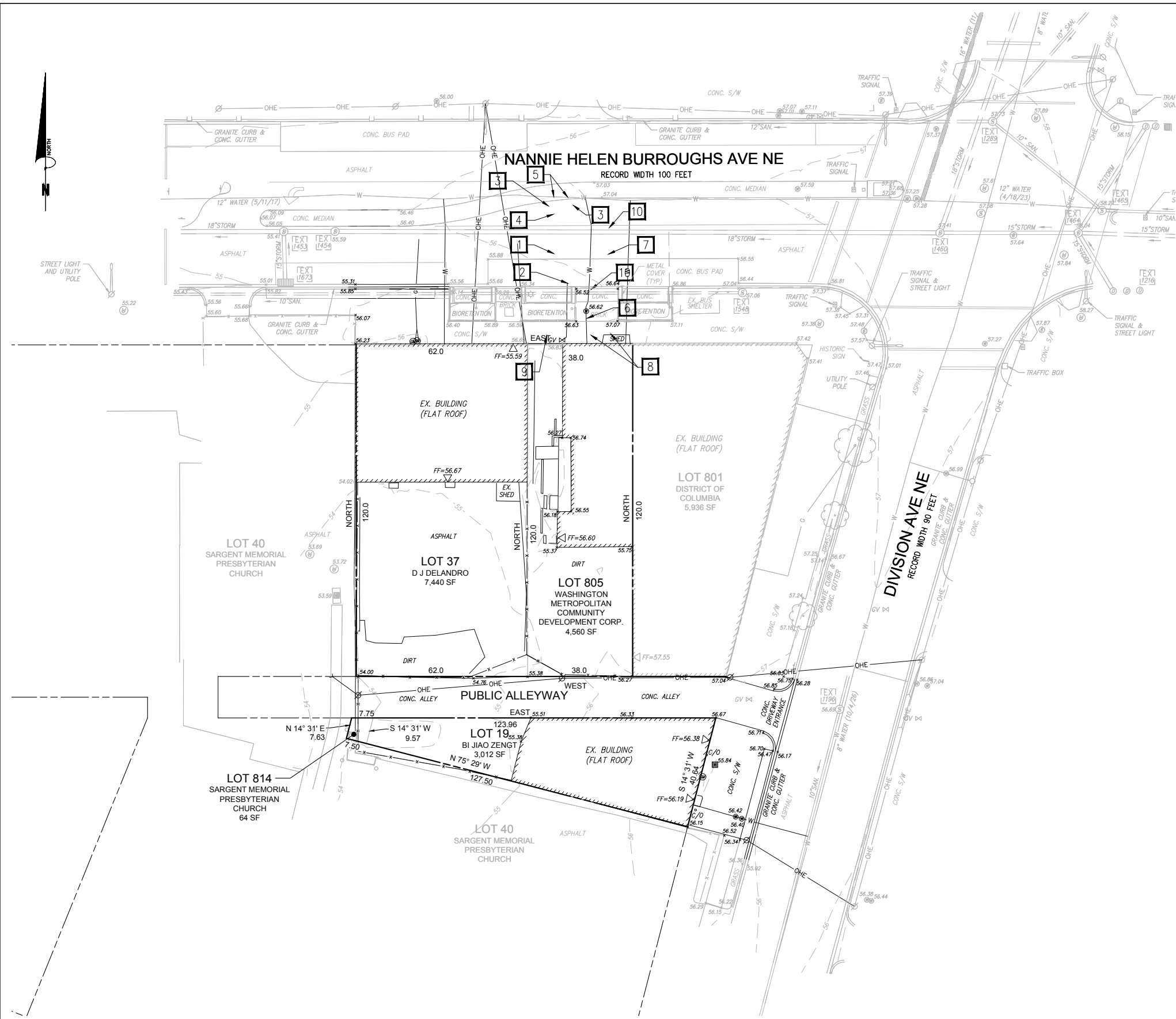
- 1 EXISTING STRAND THEATER TO REMAIN.
- 2 NEW 6 STORY BUILDING WITH PARKING ON GROUND FLOOR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 3 NEW CONCRETE CURB AND GUTTER
- 4 NEW CONCRETE DRIVEWAY ENTRANCE.
- 5 EXISTING SIDEWALK AND STREETScape TO BE PRESERVED.
- 6 NEW CONCRETE RAMP DOWN TO LOADING DOCK.
- 7 NEW CONCRETE CURB.
- 8 NEW CONCRETE SIDEWALK.



## STRAND RESIDENCES

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
Washington, DC  
Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
(P) 202-822-5995 (F) 202-822-0908



### UTILITY NARRATIVE

THE REDEVELOPMENT OF THE STRAND THEATER WILL INCLUDE NEW UTILITIES SERVICING THE SITE. NEW DOMESTIC AND FIRE PROTECTION SERVICES WILL BE PROVIDED BY A CONNECTION FROM THE EXISTING 8" WATER MAIN IN DIVISION AVENUE NE. NEW SANITARY CONNECTION WILL TIE INTO THE EXISTING 10" SANITARY SEWER MAIN WITHIN NANNIE HELEN BURROUGHS NE. STORMWATER SERVICE WILL BE PROVIDED FROM A CONNECTION TO AN EXISTING 21" STORM SEWER MAIN IN NANNIE HELEN BURROUGHS NE.

### UTILITY KEYNOTES

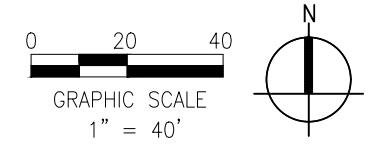
- 1 NEW 3" DIP DOMESTIC SERVICE.
- 2 NEW 6" DIP FIRE SERVICE.
- 3 NEW 6" WATER VALVE.
- 4 NEW 6" x 3" REDUCER.
- 5 NEW 12" x 6" TEE WITH THRUST BLOCK.
- 6 NEW 8" PVC SDR-35 SANITARY LATERAL.
- 7 NEW 18" RCP CL IV STORM LATERAL.
- 8 NEW MANHOLE.
- 9 NEW 3" DOMESTIC WATER METER.
- 10 NEW DOGHOUSE MANHOLE.

### WATER AND SEWER DEMAND

**WATER**  
 (170 GPD PER UNIT X 85 UNITS) + (0.288 GPD PER SF X 1,389 SF)  
 = 14,850 GPD

**SEWER**  
 14,850 GPD = 0.02 CFS

DEMANDS ARE BASED ON AVERAGE WASTEWATER FLOW FACTOR PER WSSC PIPELINE DESIGN MANUAL OF 2008. ALL RETAIL IS ASSUMED TO BE CARRY OUT RESTAURANT. FINAL UNIT COUNTS WILL BE DETERMINED DURING THE FINAL ENGINEERING PHASE.



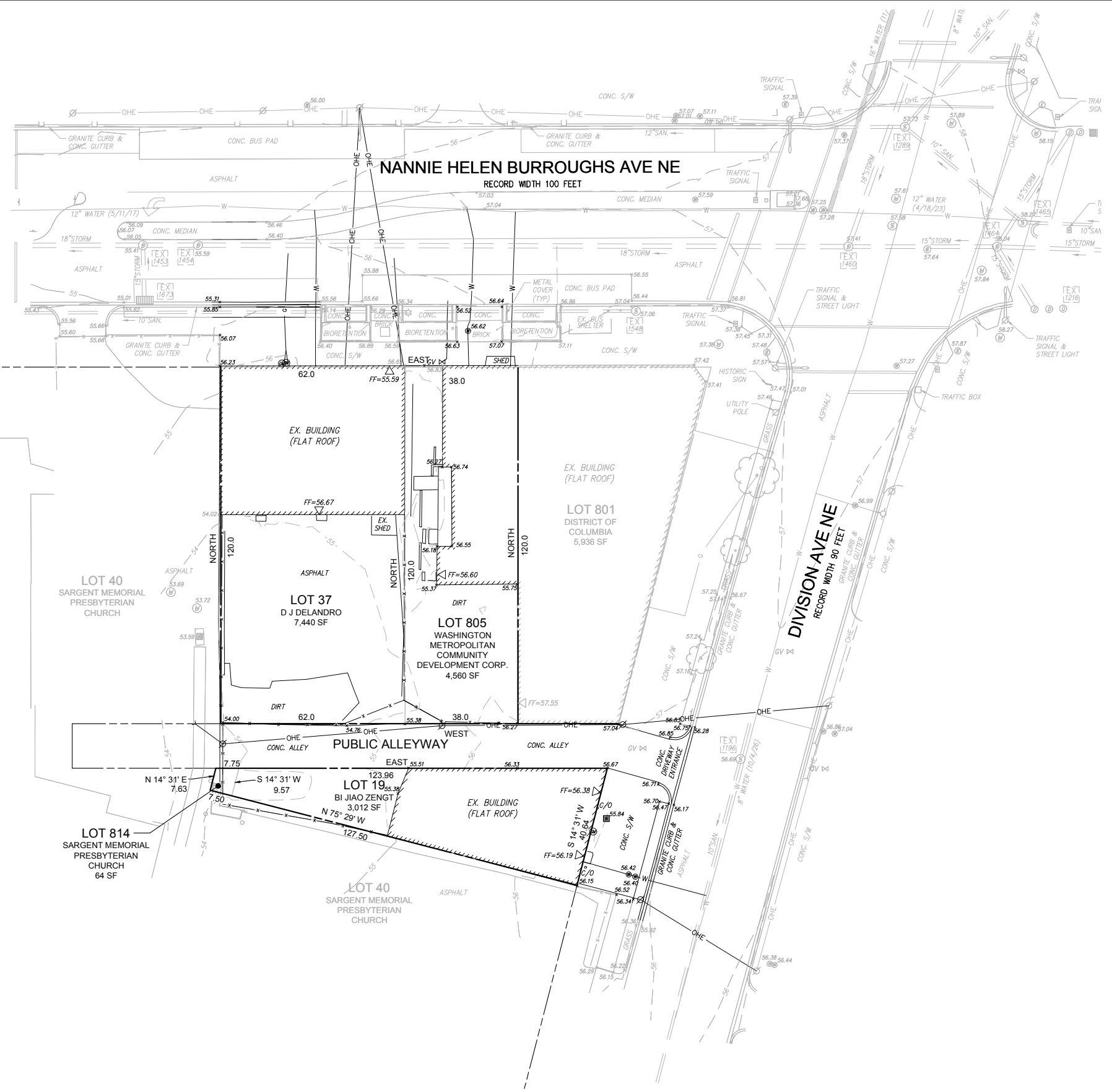
## STRAND RESIDENCES

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
 Washington, DC  
 Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 (P) 202-822-5995 (F) 202-822-0908

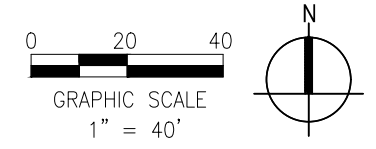
UTILITY PLAN CIV0150

10/25/2017



### SPOT SHOT LEGEND

- XX<sub>FF</sub> X FINISHED FLOOR SPOT
- XX<sub>G</sub> X GROUND SPOT
- XX<sub>TC</sub> X TOP OF CURB SPOT
- XX<sub>BC</sub> X BOTTOM OF CURB SPOT
- XX<sub>TW</sub> X TOP OF WALL SPOT
- XX<sub>BW</sub> X BOTTOM OF WALL SPOT
- XX<sub>TS</sub> X TOP OF STEPS SPOT
- XX<sub>BS</sub> X BOTTOM OF STEPS SPOT
- XX<sub>/MAT</sub> X MATCH EXISTING SPOT



## STRAND RESIDENCES

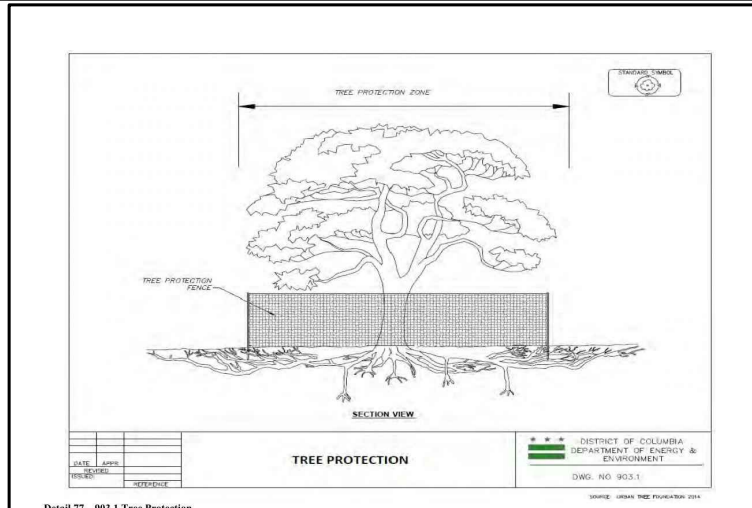
5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
 Washington, DC  
 Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 (P) 202-822-5995 (F) 202-822-0908

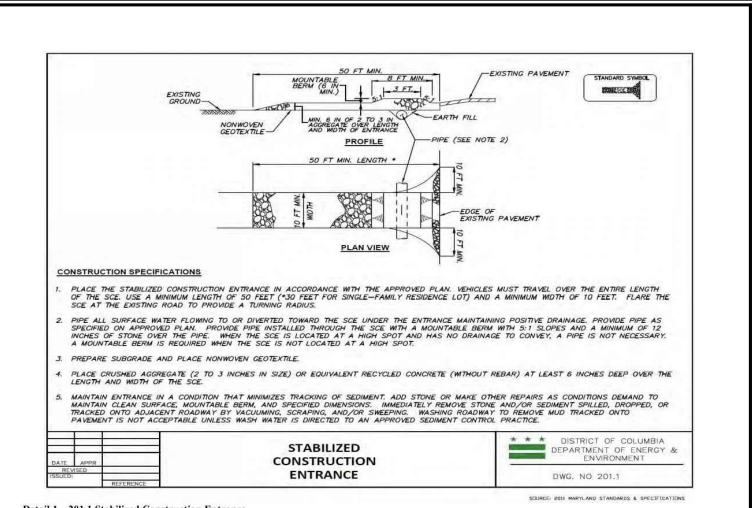
GRADING PLAN CIV0160

10/25/2017

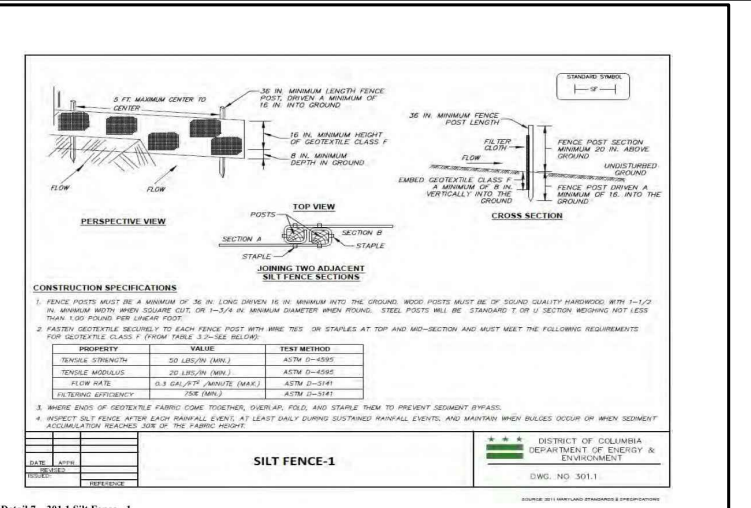




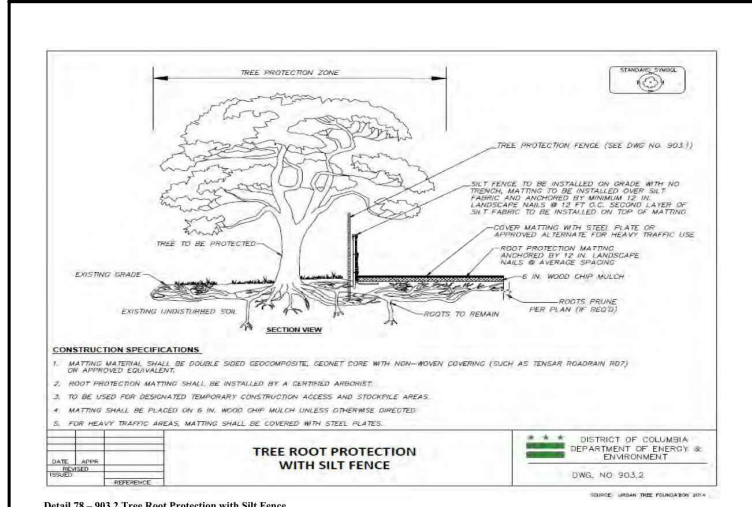
Detail 77 - 903.1 Tree Protection



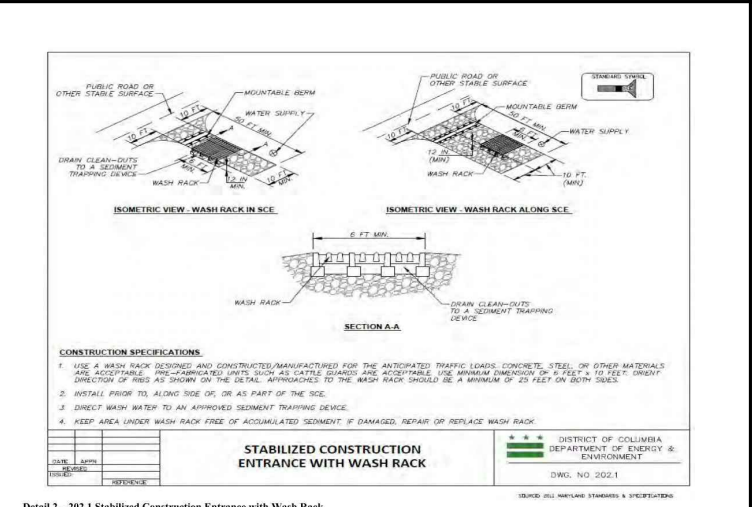
Detail 1 - 201.1 Stabilized Construction Entrance



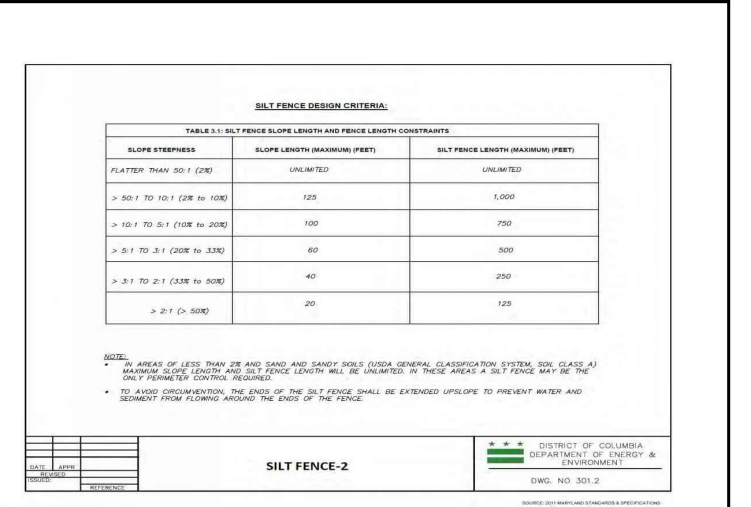
Detail 7 - 301.1 Silt Fence - 1



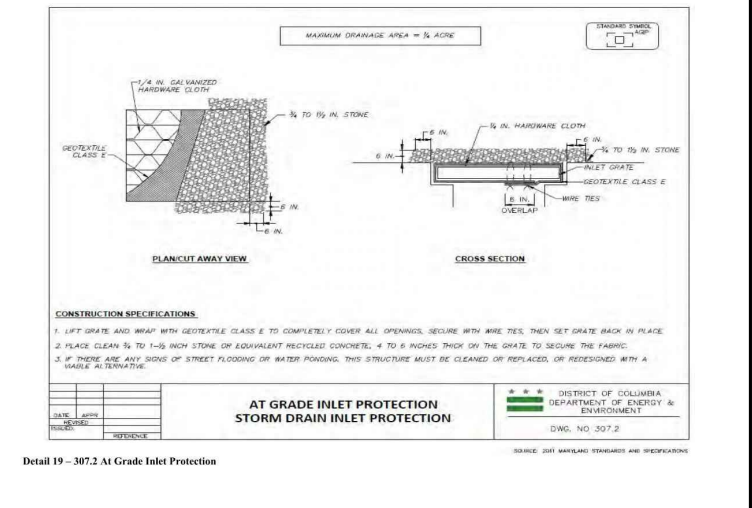
Detail 78 - 903.2 Tree Root Protection with Silt Fence



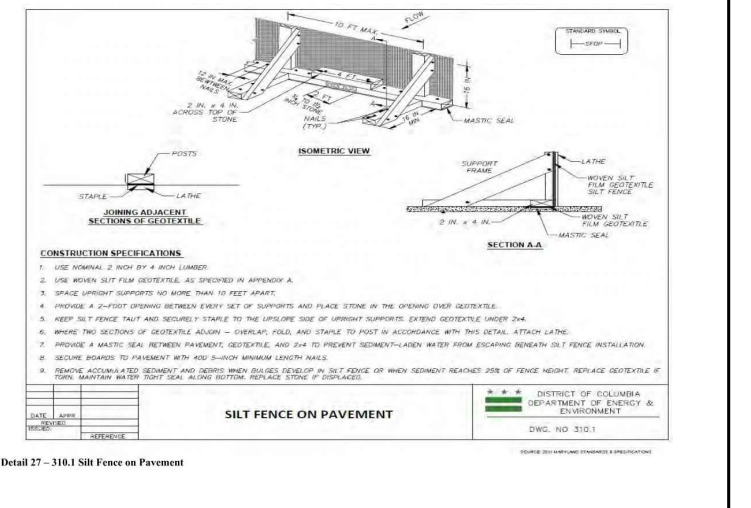
Detail 2 - 202.1 Stabilized Construction Entrance with Wash Rack



Detail 8 - 301.2 Silt Fence - 2



Detail 19 - 307.2 At Grade Inlet Protection

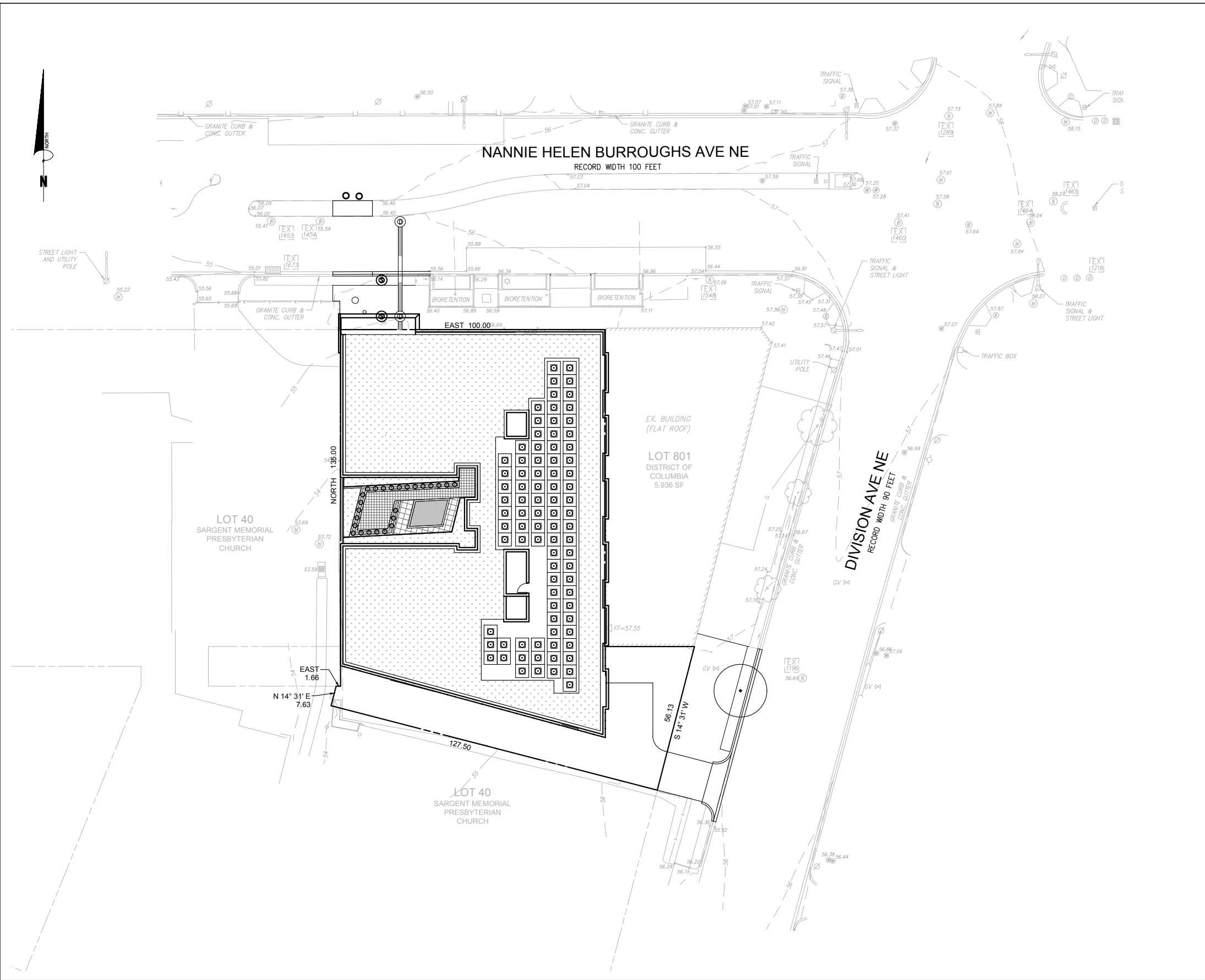


Detail 17 - 310.1 Silt Fence on Pavement

# STRAND RESIDENCES

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
Washington, DC  
Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
(P) 202-822-5995 (F) 202-822-0908



**STORMWATER MANAGEMENT NARRATIVE:**

ACCORDING TO THE 2013 SWM GUIDEBOOK FOR THE DISTRICT OF COLUMBIA, THIS PROJECT SITE DEVELOPMENT IS CATEGORIZED AS A "MAJOR LAND DISTURBANCE" FOR THE ENTIRETY OF THE BUILDING FOOTPRINT, THUS REQUIRING A STORMWATER RETENTION VOLUME (SWR<sub>v</sub>) BASED ON THE 1.2" STORM EVENT. IN ADDITION TO THE RETAINED VOLUME, THE SWM FACILITIES MUST PROVIDE 15-YR STORM CONTROL FOR PEAK DISCHARGE TO THE PRE-PROJECT RATE.

SITE AREA DISTURBED = 17,029 sf  
REQUIRED SWR<sub>v</sub> = 1,618 cf

THE SWR<sub>v</sub> REQUIREMENT IS ACHIEVED BY THE DESIGN AND IMPLEMENTATION OF GREEN ROOF. THE RUNOFF FROM THE EXISTING BUILDING IS ROUTED DIRECTLY TO GREEN ROOF AREAS FOR TREATMENT. ADDITIONALLY, THE DETENTION REQUIREMENT WILL BE MET THROUGH A COMBINATION OF GREEN ROOF AND DETENTION VAULT. THE STORAGE CAPACITY OF THESE FACILITIES ARE SIZED TO ATTENUATE THE 2-YR STORM PEAK DISCHARGE BACK TO PRE-DEVELOPMENT CONDITION AND THE 15-YR STORM PEAK DISCHARGE BACK TO PRE-PROJECT CONDITIONS.

DESIGN CRITERIA IS BASED OFF THE DISTRICT'S 2013 SWM GUIDEBOOK FOR GREEN ROOF.

**STORMWATER MANAGEMENT EXEMPTIONS:**

CHAPTER 21 DCMR :: 517  
THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL.

**GREEN ROOF PROVIDED:**

ASSUMED 6" GREEN ROOF AT 0.50 POROSITY  
  
±6,500 sf OF 6" GREEN ROOF IS REQUIRED TO MEET RETENTION REQUIREMENTS.

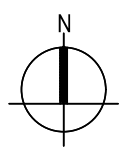
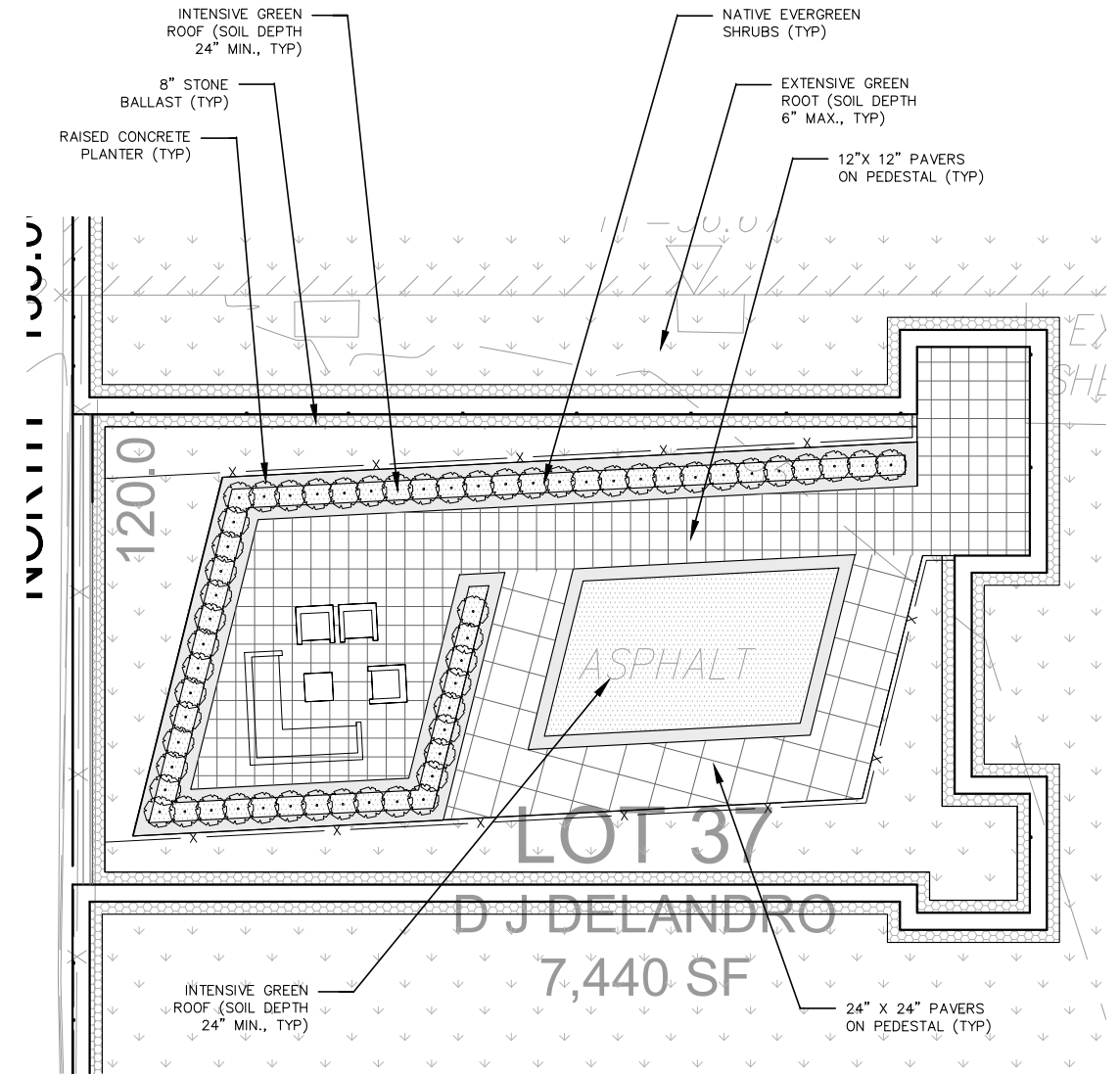
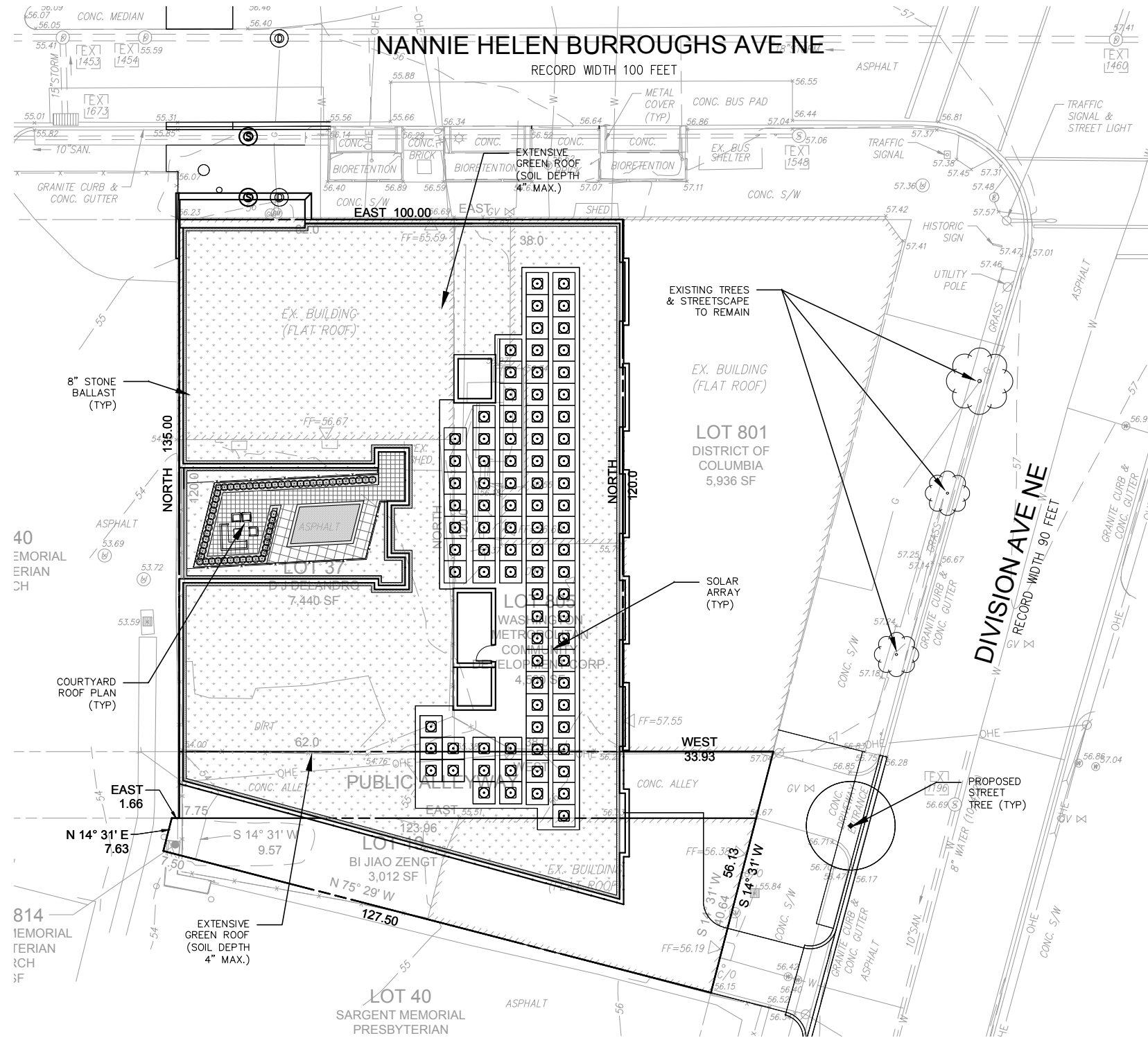
PLAN CURRENTLY SHOWS 8,568 SQUARE FEET OF 6" GREEN ROOF AND 193 SQUARE FEET OF 24" GREEN ROOF

CONCEPTUAL STORMWATER MANAGEMENT PROVIDED FOR PUD REVIEW ONLY. DURING THE FINAL ENGINEERING PHASE, STORMWATER MANAGEMENT DESIGN WILL BE ADVANCED AND MAY USE OTHER METHOD WHICH WILL PROVIDE THE REQUIRED RETENTION TO BE IN ACCORDANCE WITH THE 2013 SWM GUIDEBOOK FOR THE DISTRICT OF COLUMBIA.

**STRAND RESIDENCES**

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
Washington, DC  
Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
(P) 202-822-5995 (F) 202-822-0908



# STRAND RESIDENCES

5119-5123, 5127 Nannie Helen Burroughs Ave., NE and 612 Division Ave., NE  
 Washington, DC  
 Square: 5196 Lot No: 805, 19, 37, 814 Zone: MU-5A/PUD

PGN Architects, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 (P) 202-822-5995 (F) 202-822-0908