



STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

DRAWING INDEX- ARCHITECTURAL

Sheet Number	Sheet Name
A-00	COVER
A-01	ZONING CHART
A-02	FUTURE LAND USE MAP
A-03	ZONING AREA MAP
A-04	COMMUNITY INFRASTRUCTURE PLAN
A-05	TRANSPORTATION ROUTES
A-06	CONTEXT PHOTOS
A-07	PUD LOT AREA PLAN
A-08	SITE CIRCULATION DIAGRAMS
A-09	SITE PLAN / GROUND FLOOR PLAN
A-10	SECOND FLOOR PLAN
A-11	THIRD TO SIXTH FLOOR PLAN
A-12	ROOF PLAN
A-14	STREETSCAPE ELEVATIONS
A-15	NORTH ELEVATION
A-16	SOUTH ELEVATION
A-17	EAST ELEVATION
A-18	WEST ELEVATION
A-19	NORTH ELEVATION
A-20	SOUTH ELEVATION
A-21	EAST ELEVATION
A-22	WEST ELEVATION
A-23	BUILDING SECTIONS
A-24	BUILDING SECTIONS
A-25	MATERIAL DETAILING- NORTH ELEVATION
A-26	MATERIAL DETAILING-SOUTH ELEVATION
A-27	MATERIAL DETAILING-EAST ELEVATION
A-28	MATERIAL DETAILING- WEST ELEVATION
A-29	PERSPECTIVE
A-30	PERSPECTIVE
A-31	STREETSCAPE DETAILS
A-32	SIGNAGE DETAILS
A-33	COURTYARD DETAILS
A-34	ENTERPRISE GREEN COMMUNITIES CHECKLIST

DRAWING INDEX - CIVIL

Sheet Number	Sheet Name
CIV0001	COVER SHEET
CIV0002	GENERAL NOTES
CIV0110	EXISTING CONDITIONS PLAN
CIV0130	EROSION AND SEDIMENT CONTROL PLAN
CIV0131	Unnamed
CIV0140	SITE PLAN
CIV0150	UTILITY PLAN
CIV0160	GRADING PLAN
CIV0510	EROSION AND SEDIMENT CONTROL NOTES
CIV0520	EROSION AND SEDIMENT DETAILS
CIV0710	STORMWATER MANAGEMENT PLAN
CIV0800	LANDSCAPE PLAN

DRAWING INDEX - LANDSCAPE

Sheet Number	Sheet Name
L100	PRELIMINARY GREEN AREA RATIO PLAN

THE STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD



PGN ARCHITECTS, PLLC
210 7th Street SE - Suite 201
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COVER | A-00

10/26/2017
ZONING COMMISSION
District of Columbia
CASE NO.17-10
EXHIBIT NO.28AA1

Sq. 5196, Lots 0019, 0037, 0805, 0814

ZONING REQUIREMENTS	MU-3			MU-5A/PUD		
	Lot Area	17,029			17,029	
Lot Occupancy Ground Floor	MOR/IZ	100%	17,029	MOR/IZ	100%	17,029
Lot Occupancy Floors Residential (Floors 2-6)	MOR/IZ	60%	10,217	PROVIDED	83%	14,126
Total Permitted FAR	MOR	1.0	17,029	MOR/IZ	80%	13,623
	IZ	1.2	20,435	PROVIDED	75%	12,818
	PUD	1.4	24,522	MOR	3.5	59,602
Total Permitted FAR: Non-Residential	MOR/IZ	1.0	17,029	IZ	4.2	71,522
	PUD	1.3	22,819	PUD	5.0	85,826
Total Permitted FAR: Residential	MOR	1.0	17,029	PROVIDED	4.6	78,216
	IZ	1.2	20,435	MOR/IZ	1.5	25,544
	PUD	1.4	24,522	PUD	2.0	34,228
Height	MOR		40'-0"	PROVIDED	0.8	13,903
	IZ		40'-0"	MOR	3.5	59,602
	PUD		40'-0"	IZ	4.2	71,522
				PUD	5.0	85,826
Courts	Closed Court, Nonresidential- width @ 2.5" per foot, not less than 12'-0", not less than 250 SF. Open Court, residential- width @ 4" per foot, not less than 10'-0". Closed Court, Residential- 4" per foot, not less than 15'-0"			Closed court provided on floors 2-6. Min width required = 56'/12"4 = 18'-8". 25'-0" provided. Min. area = 2x(18'-8"x18'-8") = 697 SF. 1,175 SF provided.		
Side Yard Setback	Not required. If provided 2" per 1'-0" of height, not less than 6'-0"			Not provided.		
Rear Yard Setback	15'-0"			15'-0" Rear Yard		
Penthouse Height	MOR/IZ	12'-0" habitable, 18'-6" mech.		MOR/IZ	12'-0" habitable, 18'-6" mech.	
	PUD	12'-0" habitable, 18'-6" mech.		PUD	20'-0"	
				PROVIDED	10'-0"	
Bay Calculations	North Elevation- 13'+((100'-2")-24")x6"/12"= 51'-0"			51'-0"		

	MU-5A/PUD	PROVIDED
Residential Parking	86 Units - 1 space per 3 units = 29 Req'd Within .25 mile priority bus route- 29/2= Req'd 15	18
Retail Parking	Less than 3,000 SF(1,389 provided)- 0 Req'd	2
Community Space(Use: Arts, Design, Creation)	Less than 3,000 SF(1,223 provided)- 0 Req'd	0
Total Parking		20
Residential Loading Berth	For 50+ Units - 1 @ 30'-0" deep	0
Residential Loading Platform	For 50+ Units - 1 @ 100 SF	0
Residential Service/Delivery Loading Space	For 50+ Units - 1 @ 20'-0" deep	2
Retail Loading Berth	Less than 5,000 SF(1,389 provided)- 0 Req'd	0
Retail Loading Platform	Less than 5,000 SF(1,389 provided)- 0 Req'd	0
Retail Service/Delivery Loading Space	Less than 5,000 SF(1,389 provided)- 0 Req'd	0
Community Space(Use: Arts, Design, Creation) Loading Berth	Less than 5,000 SF(1,223 provided)- 0 Req'd	0
Community Space(Use: Arts, Design, Creation) Loading Platform	Less than 5,000 SF(1,223 provided)- 0 Req'd	0
Community Space(Use: Arts, Design, Creation) Service/Delivery	Less than 5,000 SF(1,223 provided)- 0 Req'd	0
Residential Bikes-Long Term	1 space per 3 units. 86 Units/3 Req'd 29.	36
Residential Bikes- Short Term	1 space per 20 units. 86 Units/20 Req'd 5.	5
Retail Bikes-Long Term	1 space per 10,000 SF. 1,389 sf- Req'd 1	1
Retail Bikes- Short Term	1 space per 3,500 SF. 1,389 sf- Req'd 1	1
Community Space(Use: Arts, Design, Creation) Bikes-Long Term	1 space per 10,000 SF. 1,223 sf- Req'd 1	1
Community Space(Use: Arts, Design, Creation) Bikes- Short Term	1 space per 20,000 SF. 1,223 sf- Req'd 1	1
Total Parking		45
GAR	17029 SF x .3= 5109 sf	5109 SF

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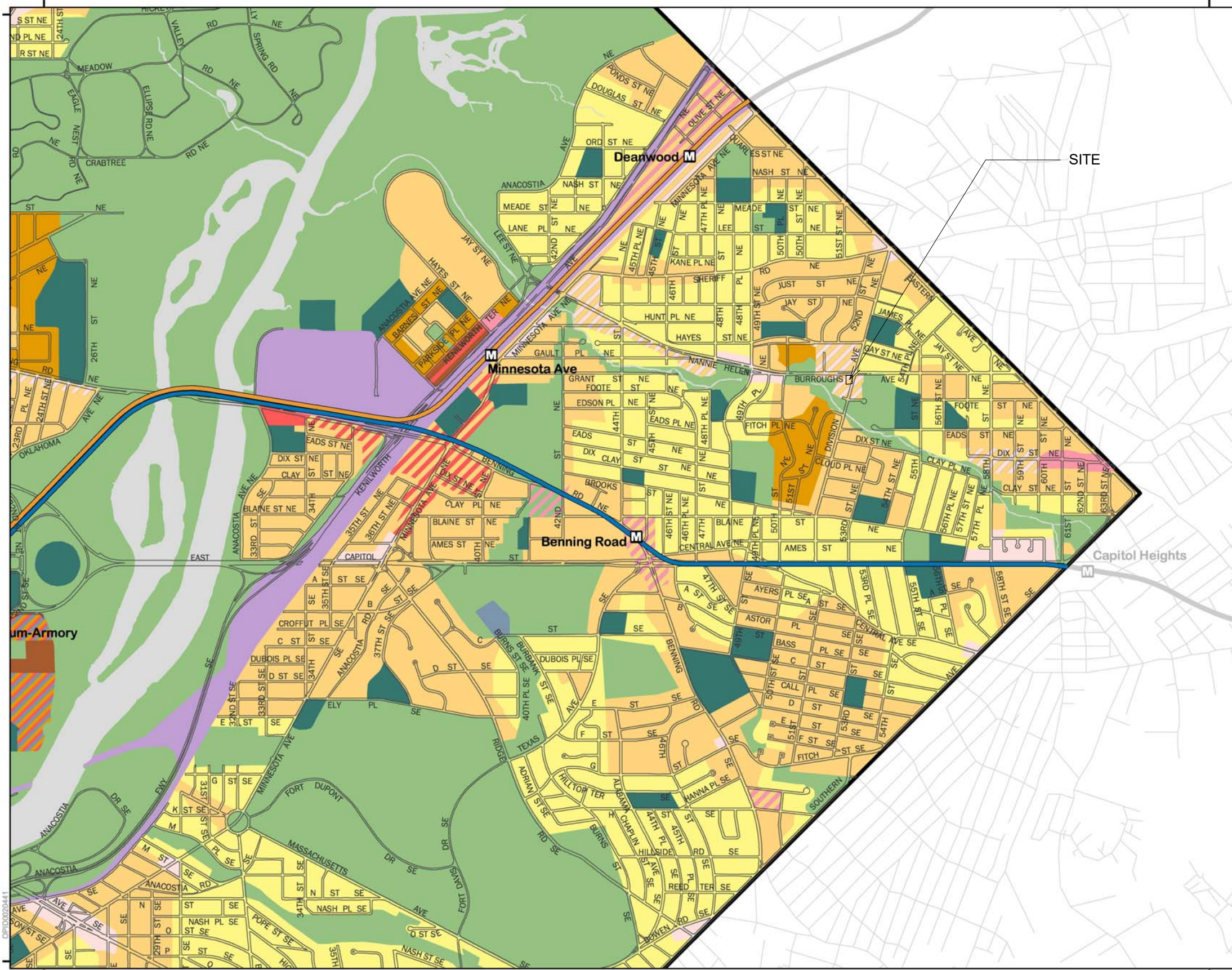
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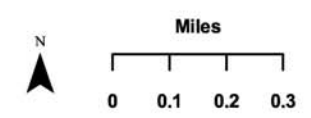
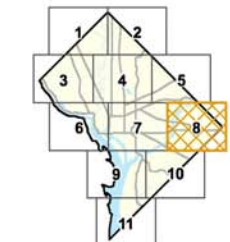
Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD

Comprehensive Plan Future Land Use Map 8



- Low Density Residential
- Moderate Density Residential
- Medium Density Residential
- High Density Residential
- Low Density Commercial
- Moderate Density Commercial
- Medium Density Commercial
- High Density Commercial
- Production, Distribution, and Repair
- Federal
- Local Public Facilities
- Institutional
- Parks, Recreation, and Open Space
- Mixed Land Use
- WATER



Government of the District of Columbia
Office of Planning ~ January 2013
This map was created for planning purposes from a variety of sources. It is neither a survey nor a legal document. Information provided by other agencies should be verified with them where appropriate.

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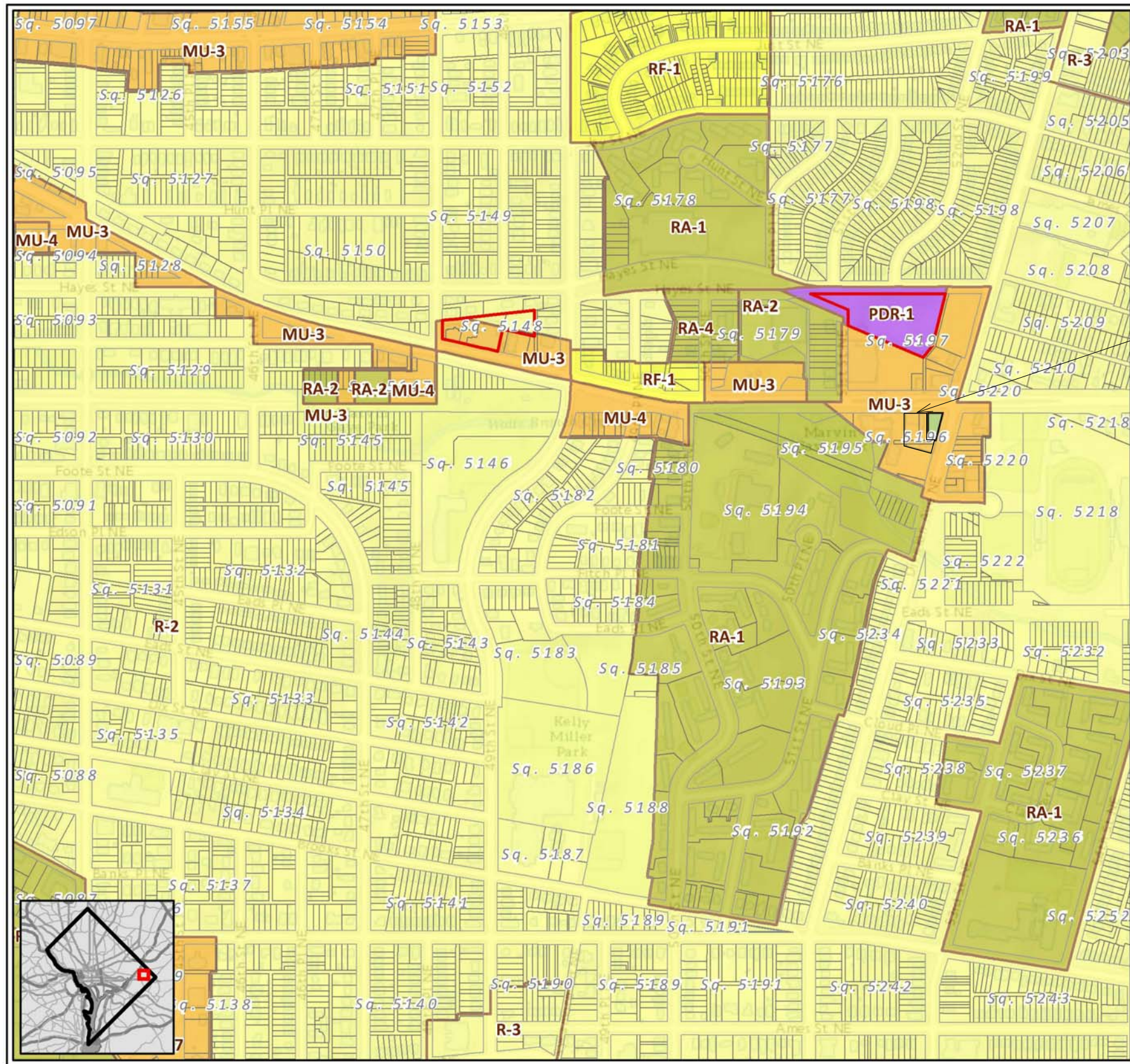
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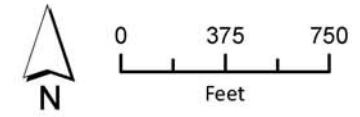


- Legend**
- Final PUD
 - Mixed-Use Zone
 - Production, Distribution, and Repair Zone
 - Residential Apartment Zone
 - Residential Flat Zone
 - Residential Zone

SITE



Zoning Map of the District of Columbia



Extracted from Online Zoning Information published by the District of Columbia Office of Zoning, DCGIS, and Office of the Chief Technology Officer (OCTO) Exported on: 3/7/2017

To certify zoning on any property in order to satisfy a legal requirement, contact the office of Zoning at the address listed below.

District of Columbia Office of Zoning,
441 4th St NW, Suite 200 South, Washington, DC 20001
202-727-6311 | dcoz@dc.gov

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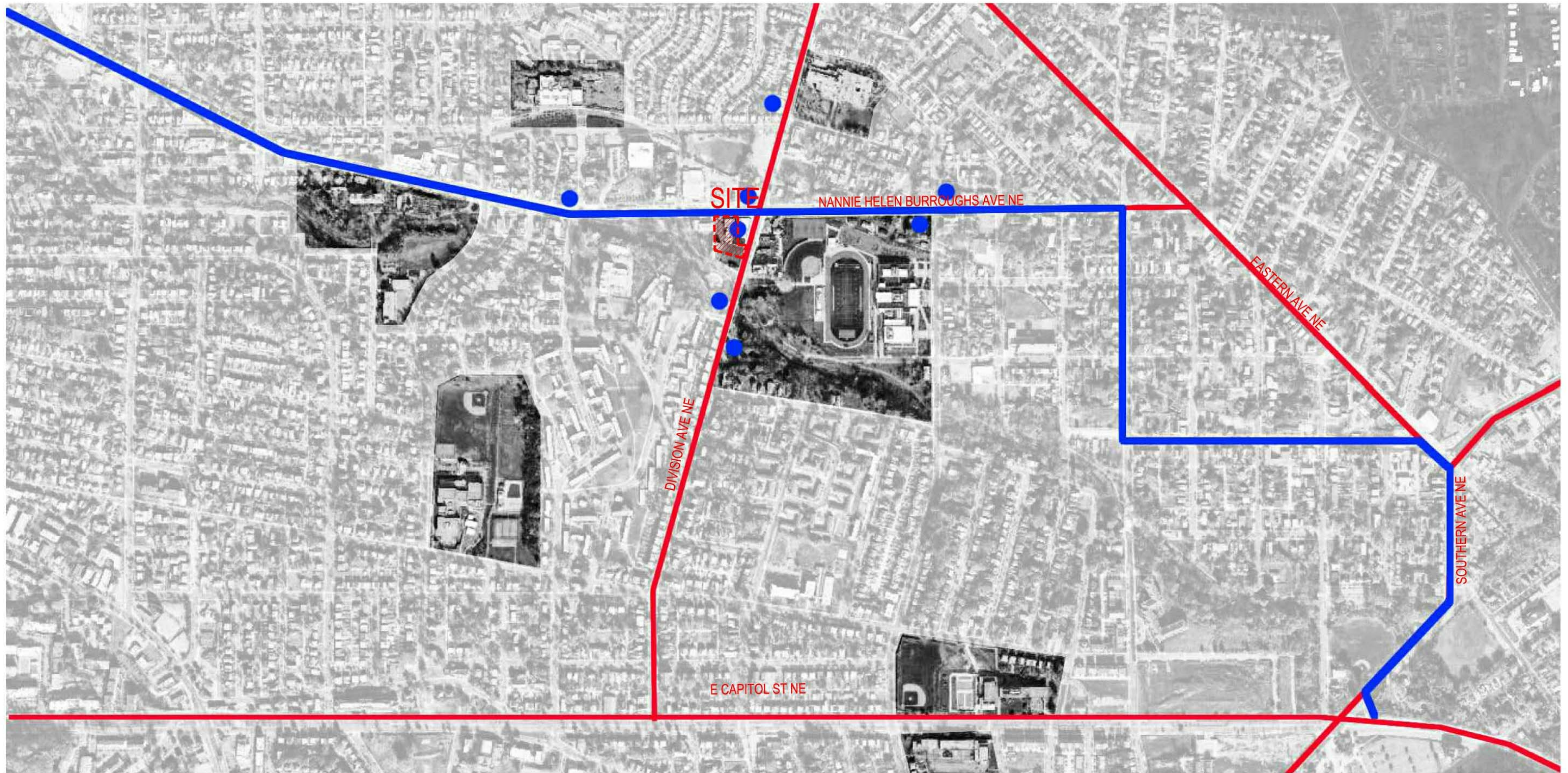
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- BUS STOP
- MAJOR THROUGHFARE
- PRIORITY BUS ROUTE: X9

THE STRAND RESIDENCES

TRANSPORTATION ROUTES | A-05

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1 VIEW EAST DOWN NANNIE HELEN BURROUGHS AVE NE



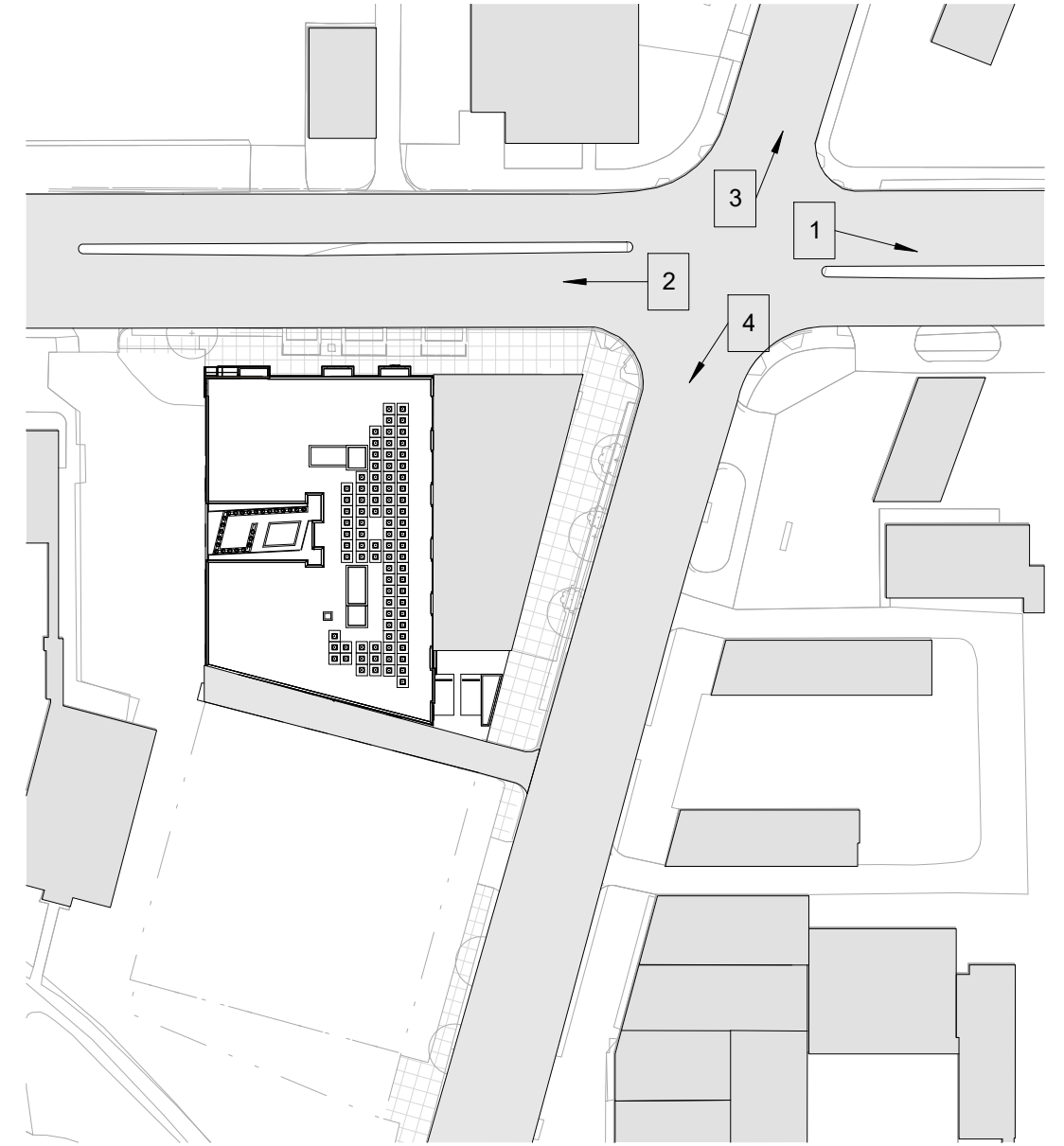
2 VIEW WEST DOWN HANNIE HELEN BURROUGHS AVE NE



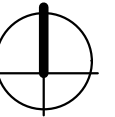
3 VIEW NORTH DOWN DIVISION AVE NE



4 VIEW SOUTH DOWN DIVISION AVE NE



1 SITE PLAN
1" = 80'-0"



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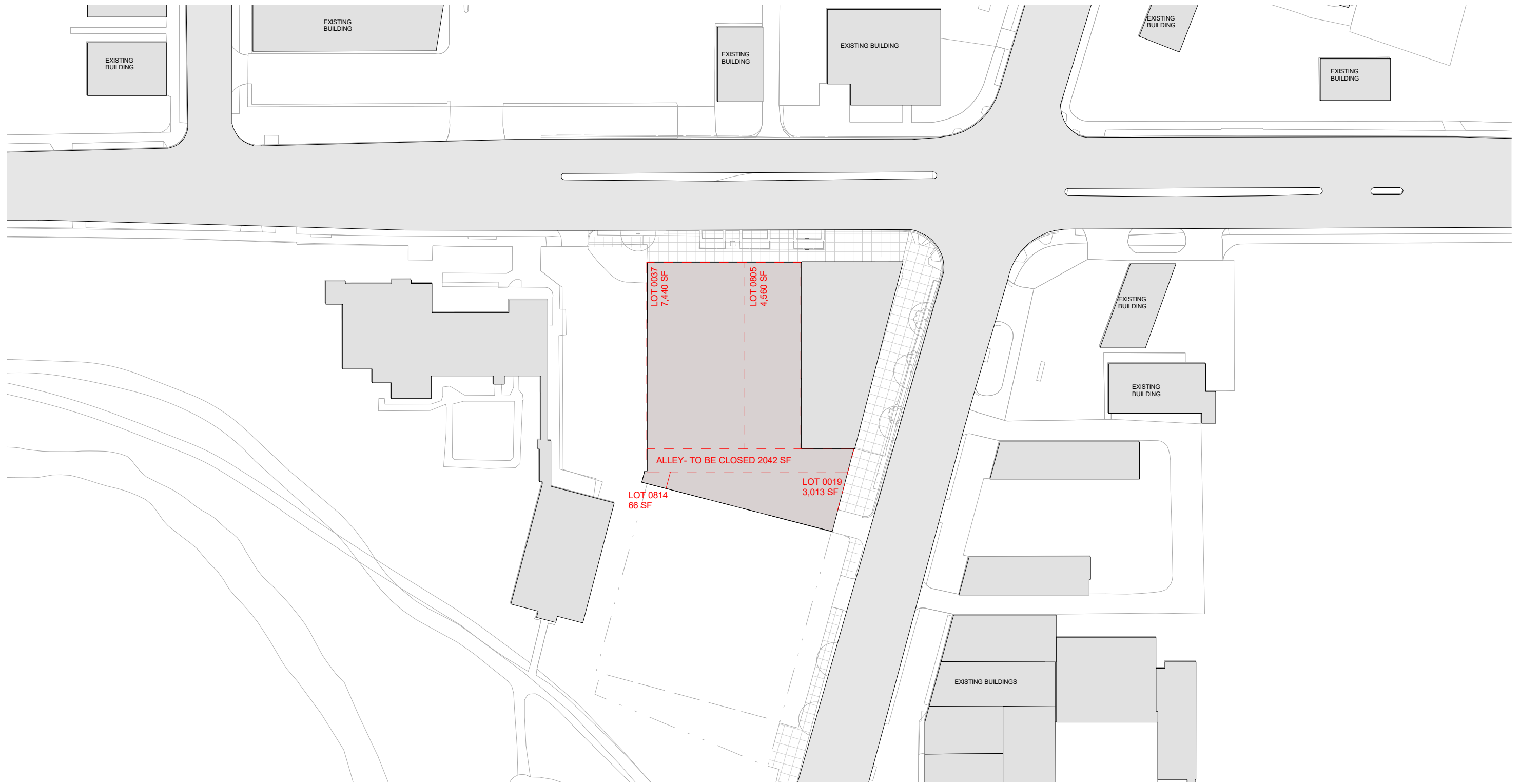
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1 PUD LOT AREA PLAN
1/64" = 1'-0"

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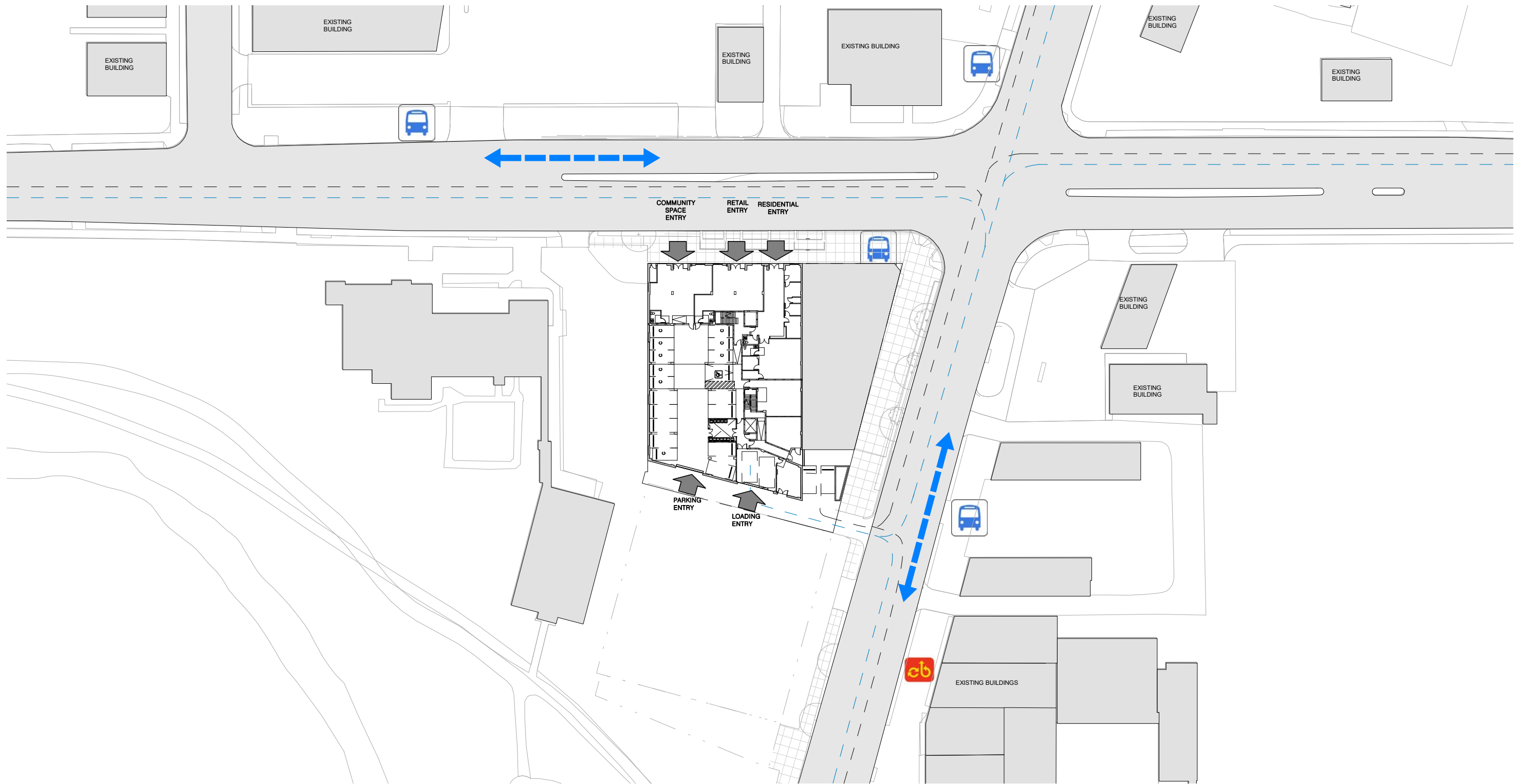
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Zone: Proposed MU-5A/PUD


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1 SITE CIRCULATION DIAGRAMS
1/64" = 1'-0"


VEHICLE ENTRY / EXIT

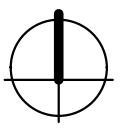

LOADING ENTRY / EXIT


TOW WAYS


ONE WAY


BUS STOP


BIKE SHARE



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SITE CIRCULATION DIAGRAMS | A-08

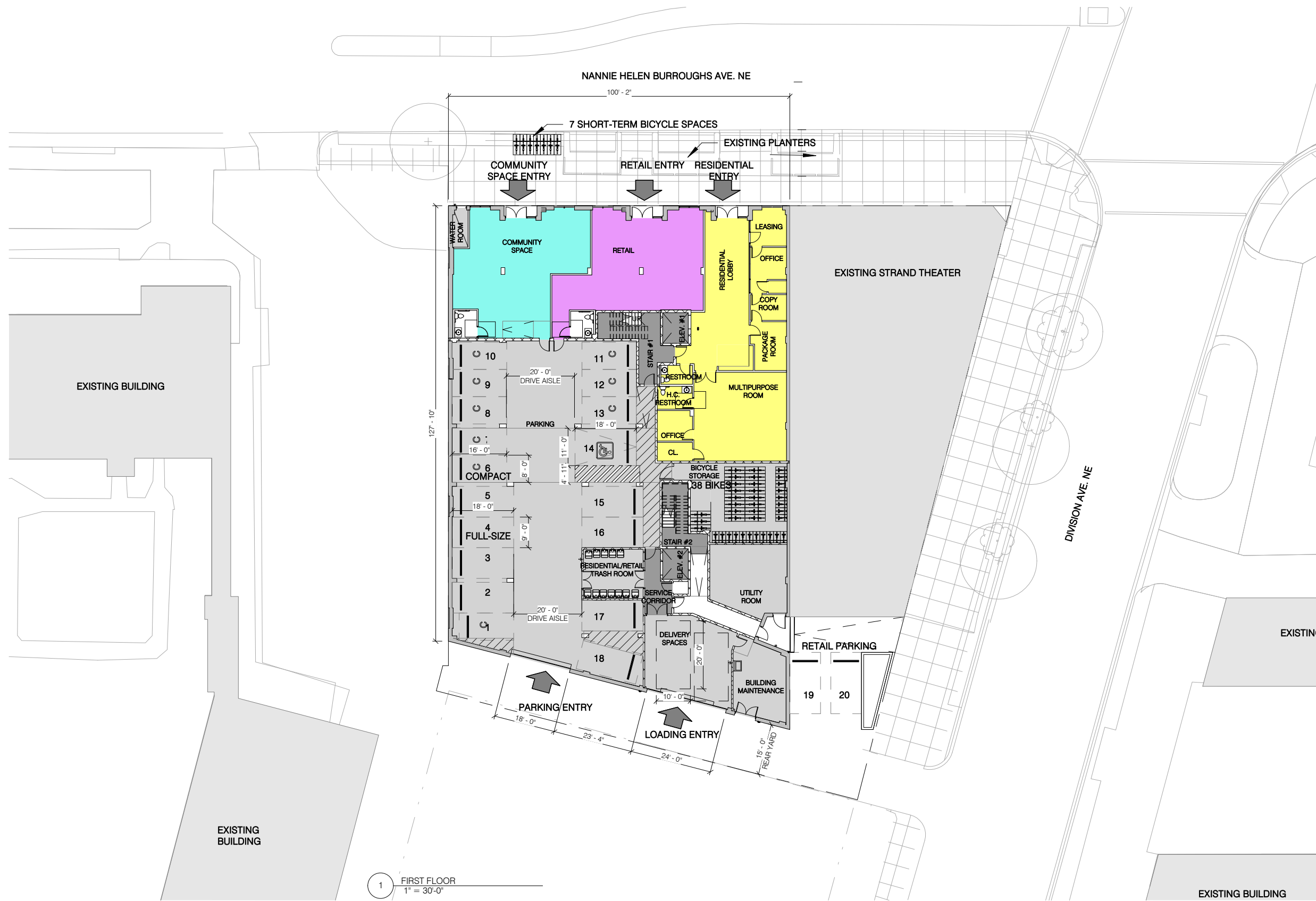
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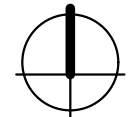
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PARKING	
RESIDENTIAL PARKING	SPACES
FULL-SIZED PARKING SPACES	8
COMPACT PARKING SPACES	9
VAN PARKING SPACES	1
RETAIL PARKING SPACES	2
TOTAL SPACES	20
BICYCLE PARKING	
RESIDENTIAL BIKE SPACES(SHORT-TERM)	SPACES
RESIDENTIAL BIKE SPACES(LONG-TERM)	5
RESIDENTIAL BIKE SPACES(LONG-TERM)	36
RETAIL BIKE SPACES(SHORT-TERM)	1
RETAIL BIKE SPACES(LONG-TERM)	1
COMMUNITY SPACE BIKE SPACES(SHORT-TERM)	1
COMMUNITY SPACE BIKE SPACES(LONG-TERM)	1
EXCESS BICYCLE STORAGE	
TOTAL SPACES	45

1 FIRST FLOOR
1" = 30'-0"



THE STRAND RESIDENCES

SITE PLAN / GROUND FLOOR PLAN | A-09

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RESIDENTIAL NET SF-			
FLOOR	1 BEDROOM	2 BEDROOMS	TOTAL # OF UNITS
SECOND	11	3	14
THIRD	15	3	18
FOURTH	15	3	18
FIFTH	15	3	18
SIXTH	15	3	18
TOTAL	71	15	86



1 SECOND FLOOR
1" = 30'-0"

THE STRAND RESIDENCES

SECOND FLOOR PLAN | A-10

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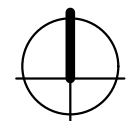
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RESIDENTIAL NET SF-			
FLOOR	1 BEDROOM	2 BEDROOMS	TOTAL # OF UNITS
SECOND	11	3	14
THIRD	15	3	18
FOURTH	15	3	18
FIFTH	15	3	18
SIXTH	15	3	18
TOTAL	71	15	86

1 TYPICAL FLOOR PLAN- THIRD TO SIXTH FLOOR
1" = 30'-0"



THE STRAND RESIDENCES

THIRD TO SIXTH FLOOR PLAN | A-11

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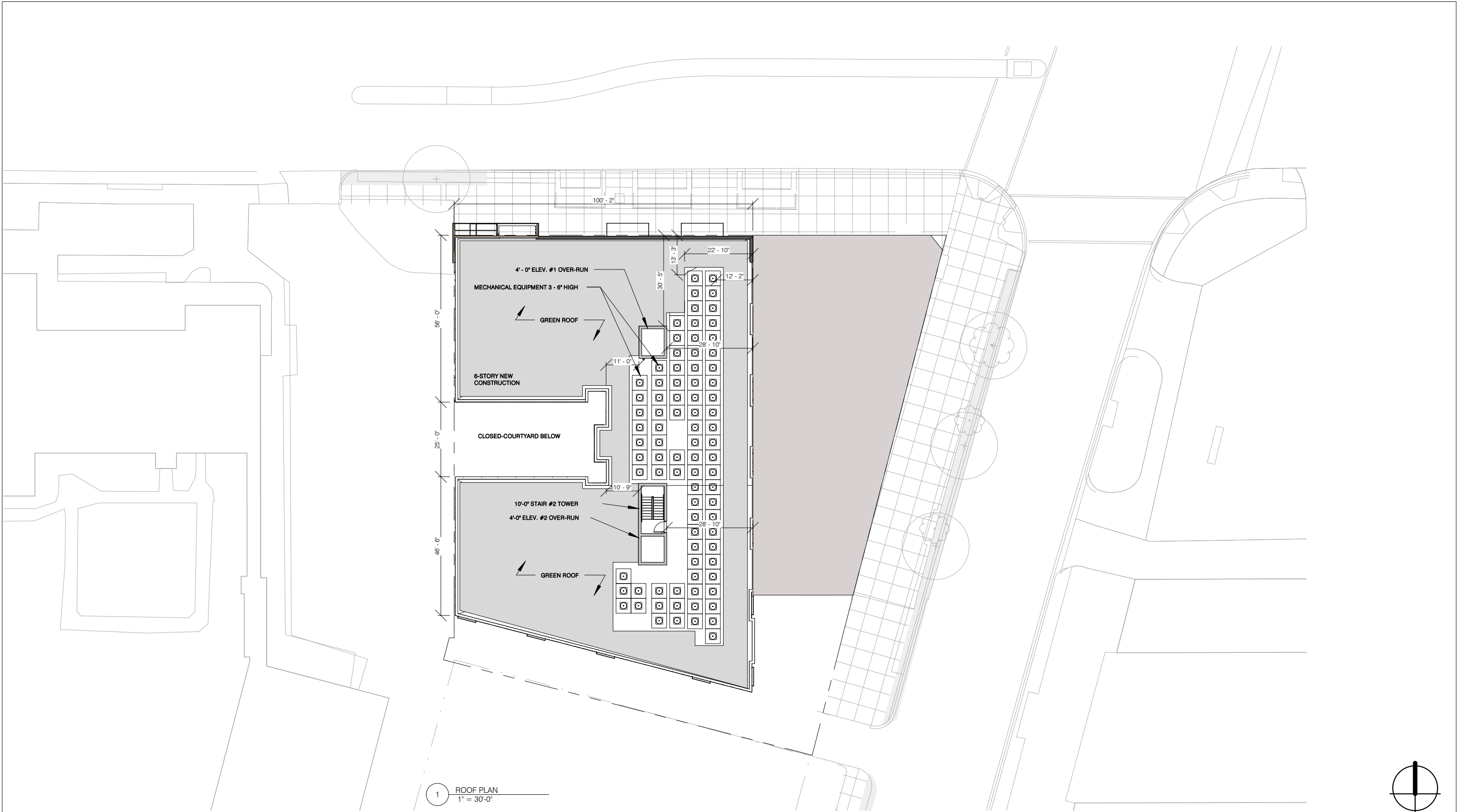
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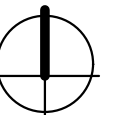
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1 ROOF PLAN
1" = 30'-0"



THE STRAND RESIDENCES

ROOF PLAN | A-12

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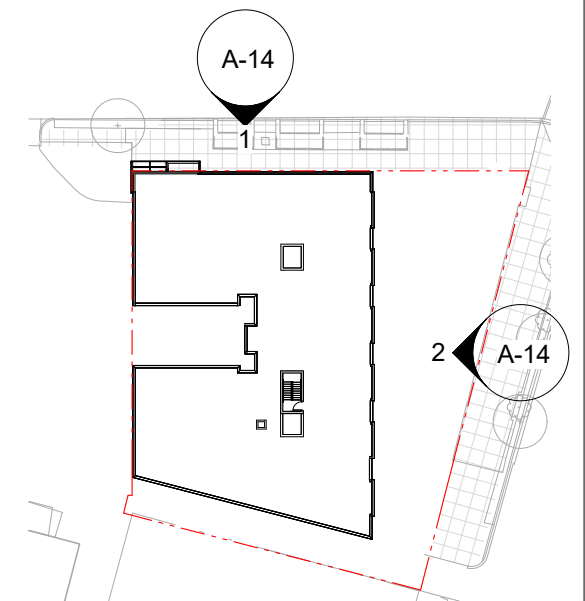
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1 NANNIE HELEN BURROUGHS AVE NE STREETScape
1" = 40'-0"



2 DIVISION AVE NE STREETScape
1" = 40'-0"



3 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

STREETScape ELEVATIONS | A-14

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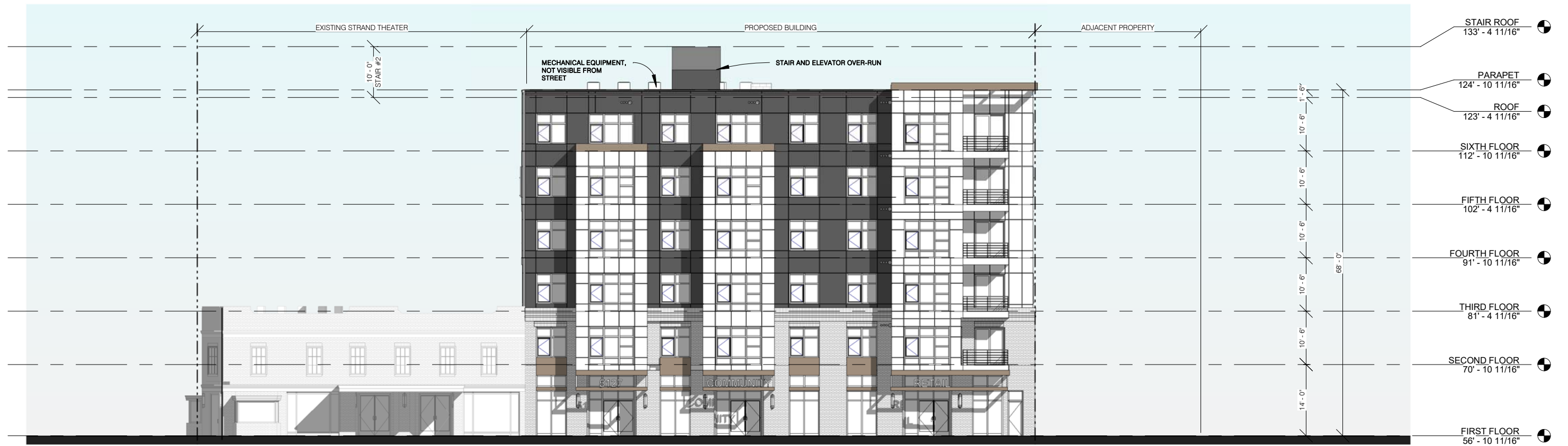
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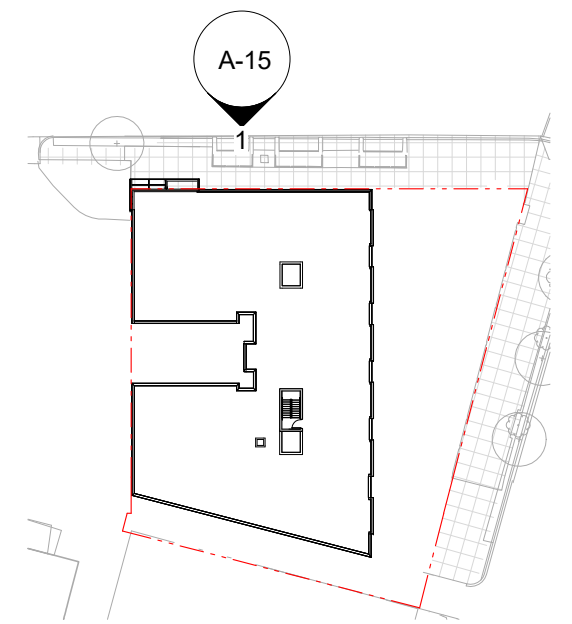
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1 NORTH ELEVATION 1
1" = 20'-0"



3 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

NORTH ELEVATION | A-15

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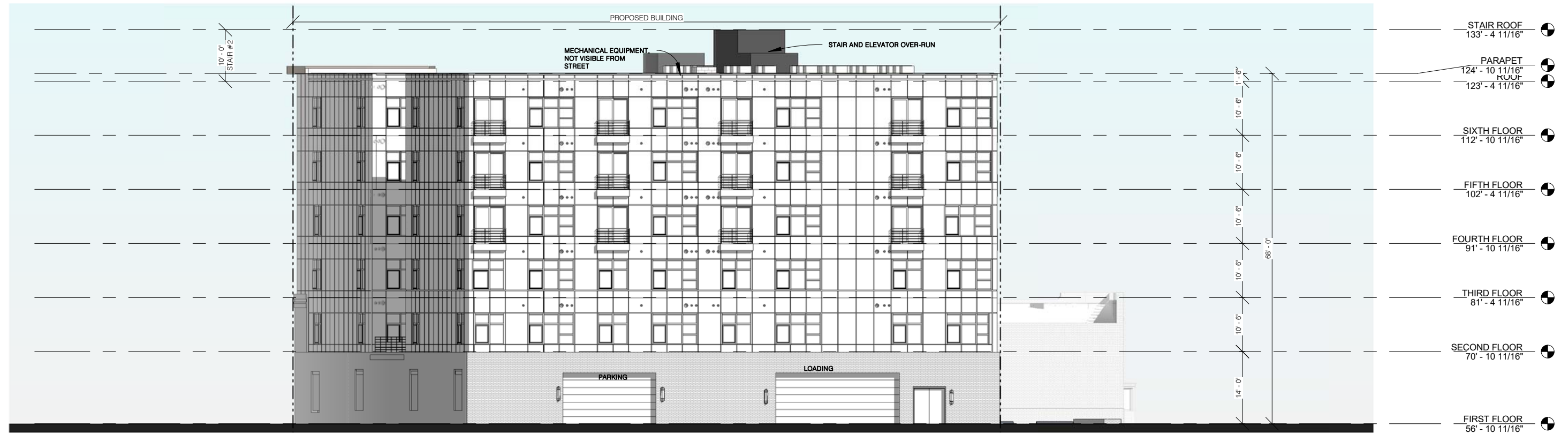
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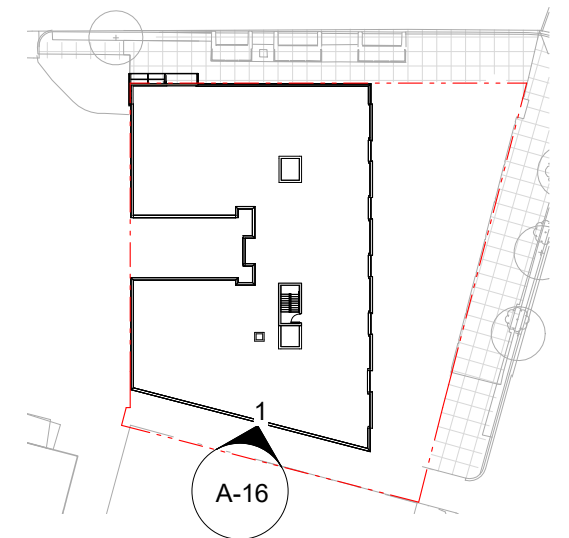
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1 SOUTH ELEVATION 1
1" = 20'-0"



3 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

SOUTH ELEVATION | A-16

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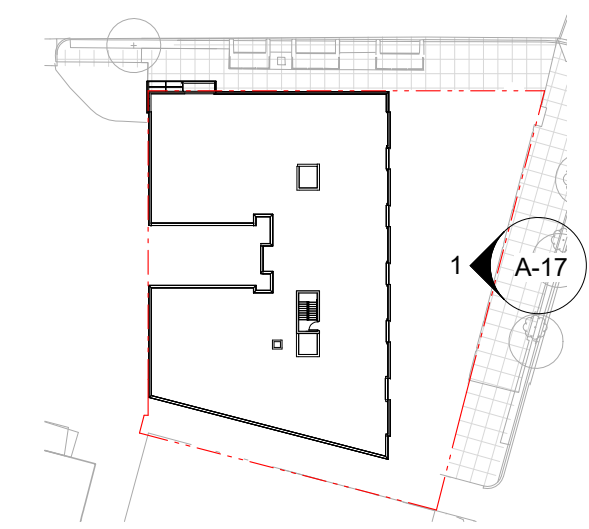
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1 EAST ELEVATION 1
1" = 20'-0"



3 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

EAST ELEVATION | A-17

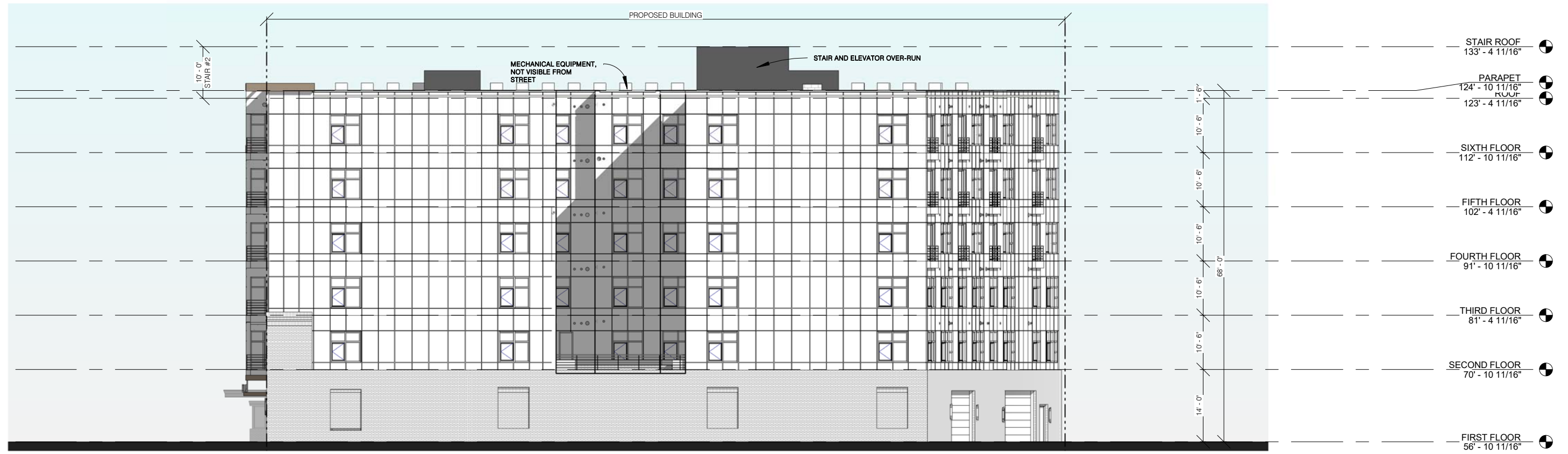
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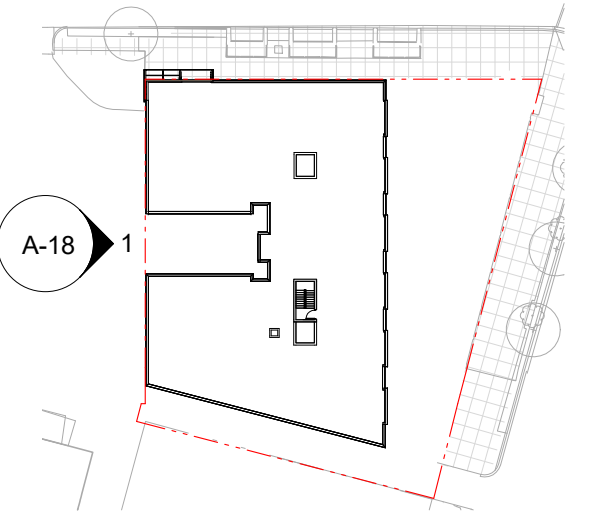


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1 WEST ELEVATION 1
1" = 20'-0"



3 KEYPLAN
1" = 80'-0"

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WEST ELEVATION | A-18

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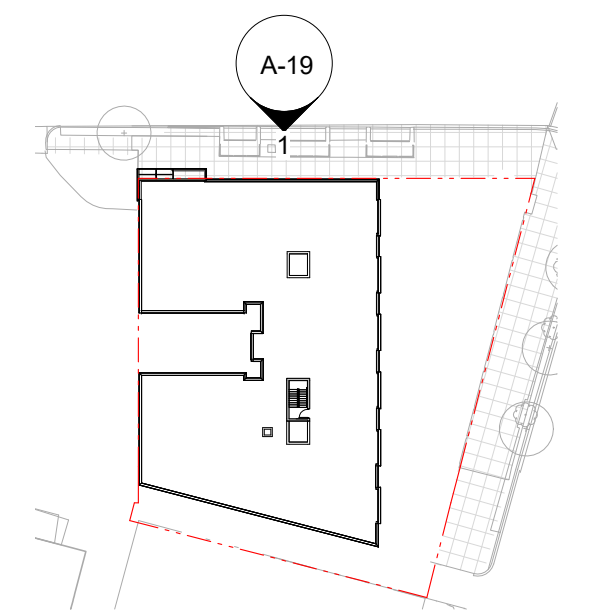


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1 NORTH ELEVATION 2
1" = 20'-0"



2 KEYPLAN
1" = 80'-0"

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NORTH ELEVATION | A-19

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Square: 5196 Lot No: 0019, 0031, 0805, 0814 Zone: Proposed MU-5A/PUD

10/26/2017



1 SOUTH ELEVATION 2
1" = 20'-0"



2 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

SOUTH ELEVATION | A-20

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210 7th Street SE - Suite 201
Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

Square: 5196

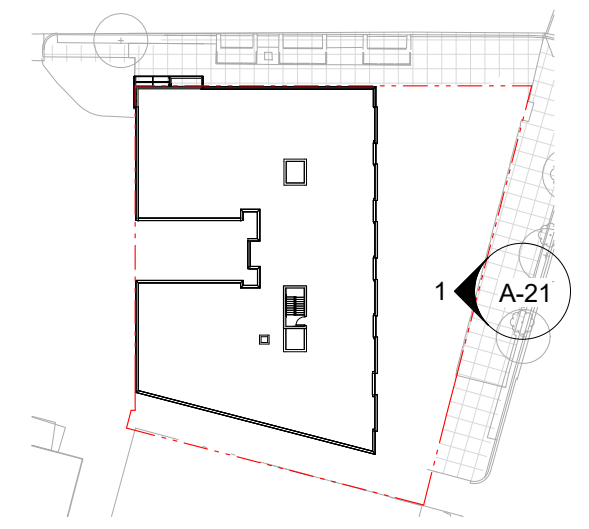
Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD

10/26/2017



1 EAST ELEVATION 2
1" = 20'-0"



2 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

EAST ELEVATION | A-21

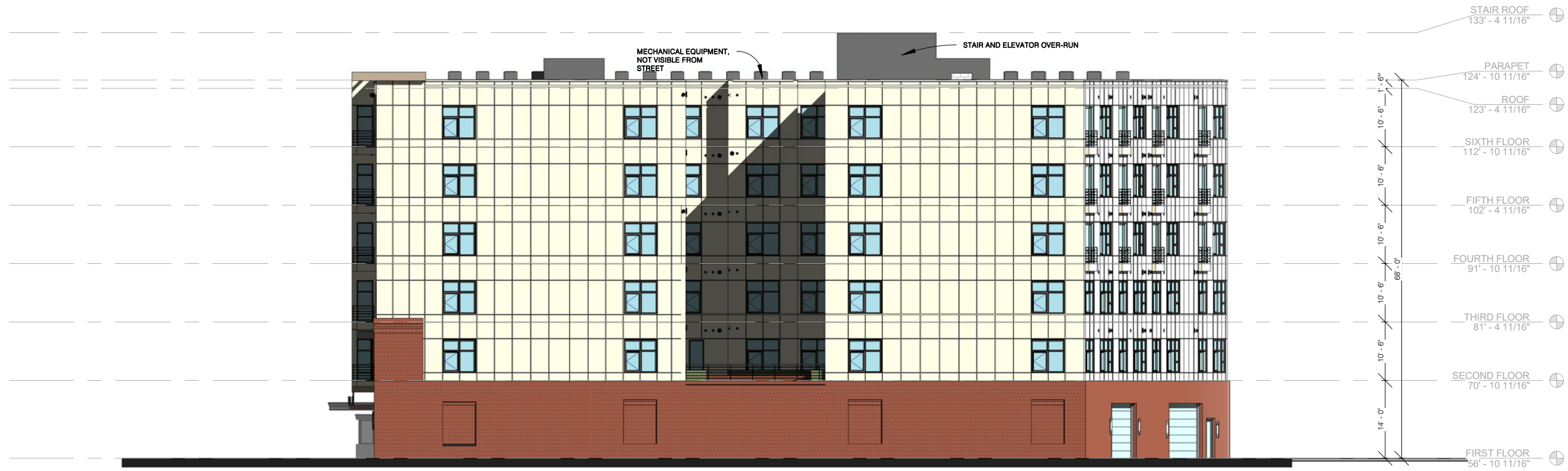
5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC



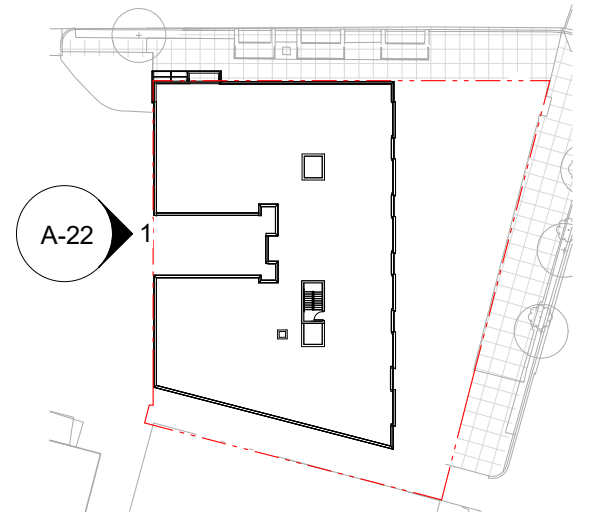
PGN ARCHITECTS, PLLC
210 7th Street SE - Suite 201
Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

Square: 5196 Lot No: 0019, 0031, 0805, 0814 Zone: Proposed MU-5A/PUD

10/26/2017



1 WEST ELEVATION 2
1" = 20'-0"



2 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

WEST ELEVATION | A-22

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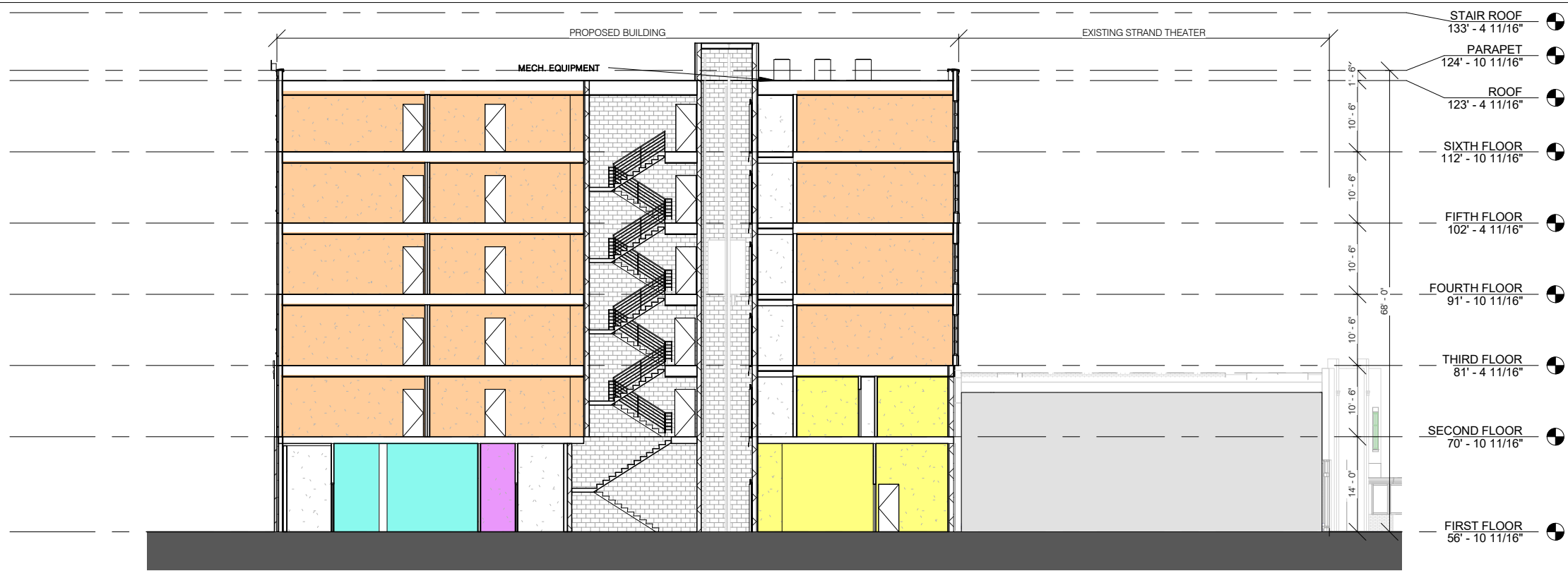
PGN ARCHITECTS, PLLC
210 7th Street SE - Suite 201
Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

Square: 5196

Lot No: 0019, 0031, 0805, 0814

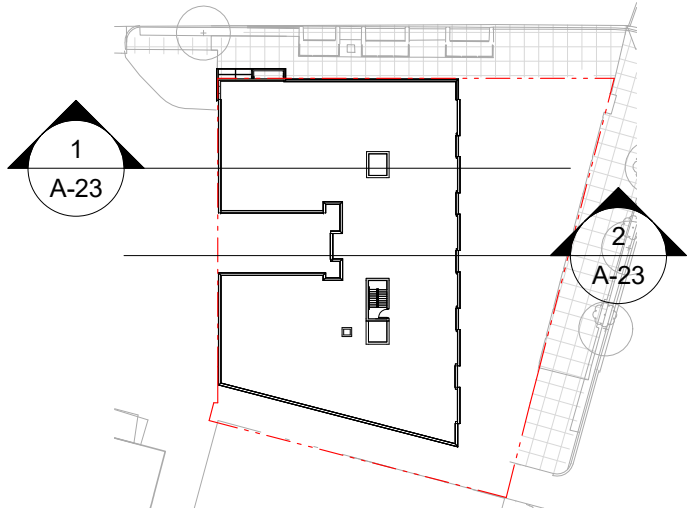
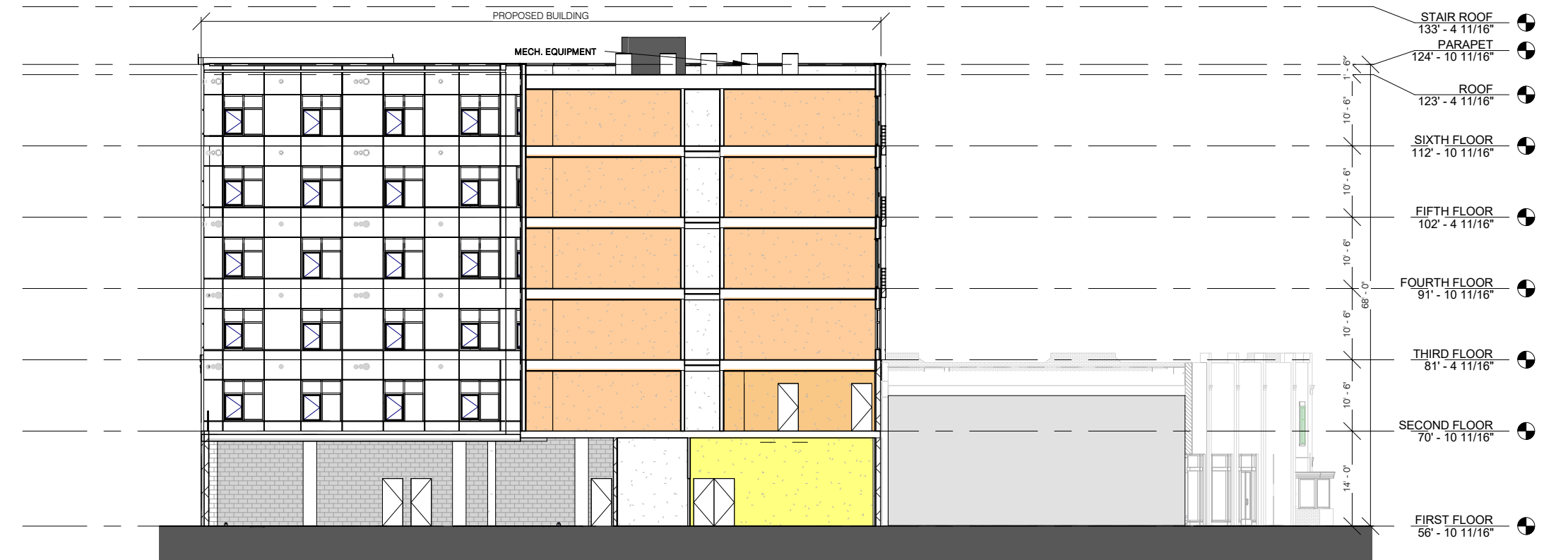
Zone: Proposed MU-5A/PUD

10/26/2017



- 1 BEDROOM
- COMMUNITY SPACE
- CONFERENCE ROOM
- OFFICE
- PACKAGE ROOM
- RESIDENTIAL LOBBY
- RETAIL

1 Section 1
1" = 20'-0"



2 Section 2
1" = 20'-0"

3 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

BUILDING SECTIONS | A-23

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC



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Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

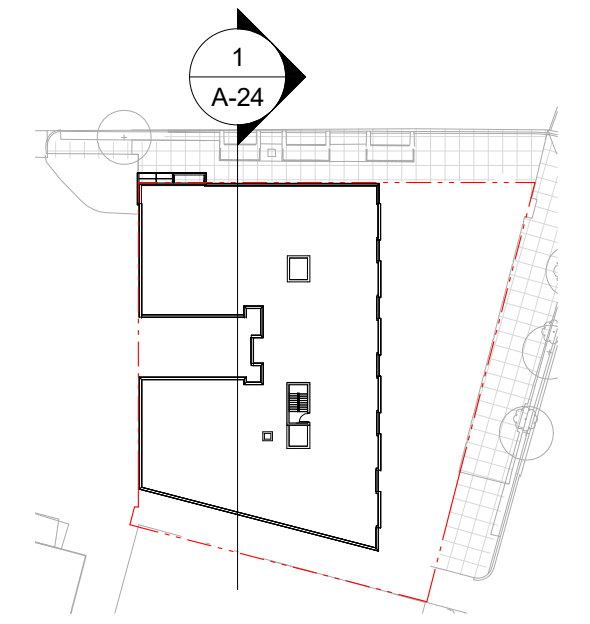
Square: 5196 Lot No: 0019, 0031, 0805, 0814 Zone: Proposed MU-5A/PUD

10/26/2017



- 1 BEDROOM
- COMMUNITY SPACE
- PARKING
- RESIDENTIAL/RETAIL TRASH ROOM
- RETAIL

1 Section 3
1" = 20'-0"



2 KEYPLAN
1" = 80'-0"

THE STRAND RESIDENCES

BUILDING SECTIONS | A-24

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196 Lot No: 0019, 0031, 0805, 0814 Zone: Proposed MU-5A/PUD

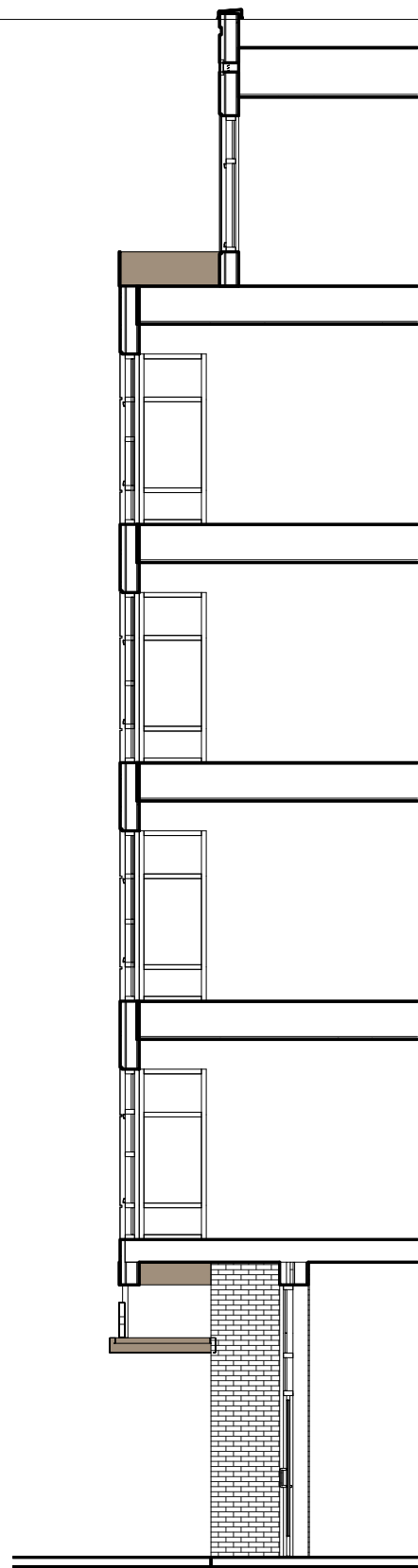


PGN ARCHITECTS, PLLC
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Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

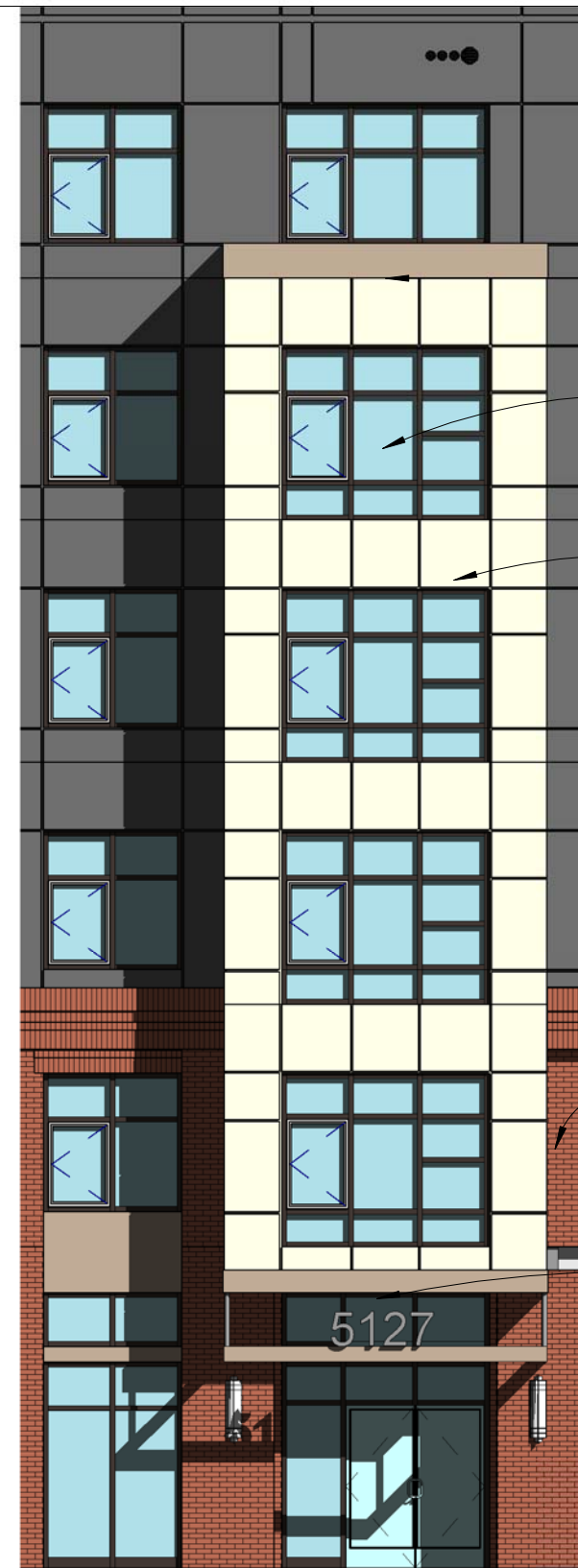
10/26/2017



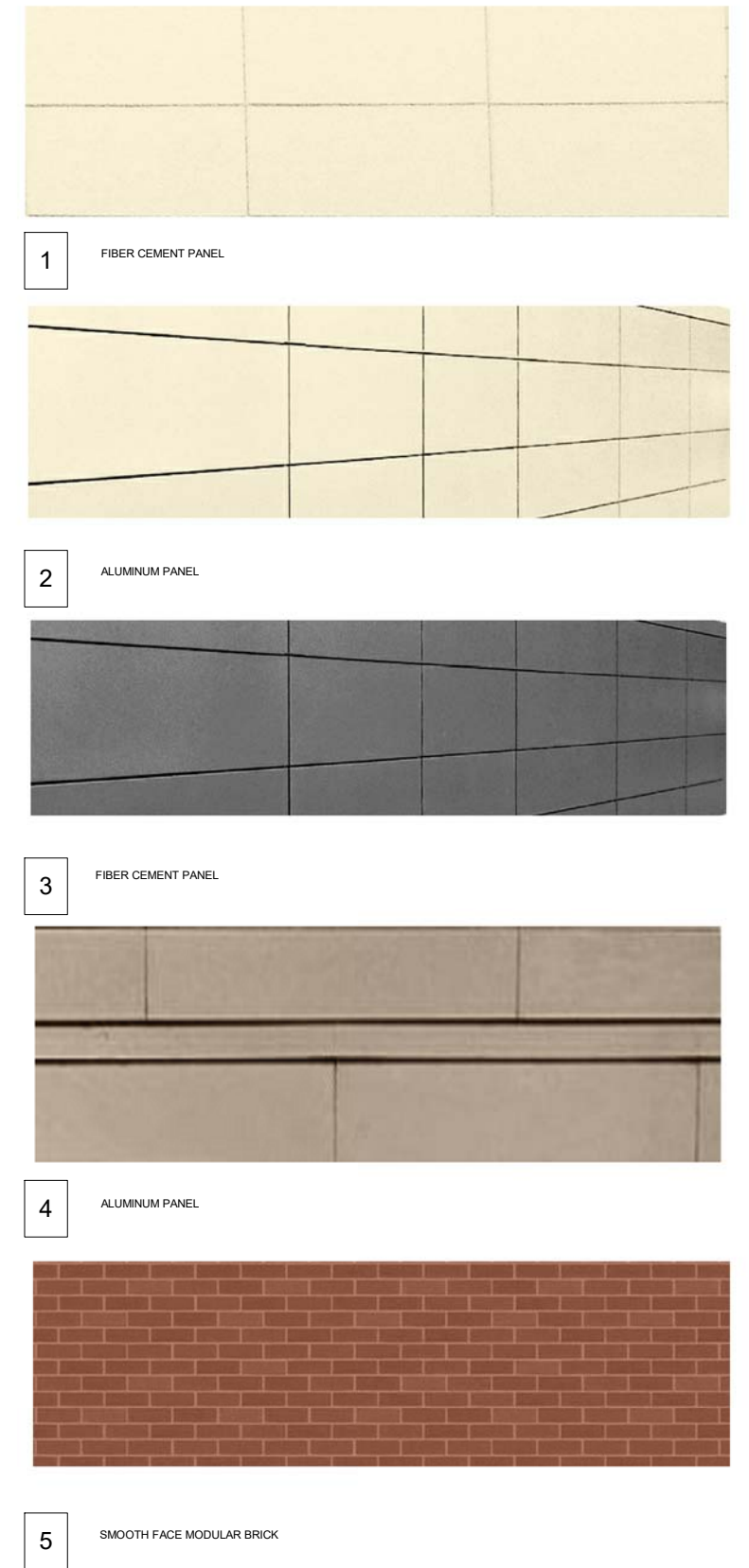
1 NORTH FACADE-PERSPECTIVE



2 NORTH FACADE-SECTION
1/8" = 1'-0"



3 NORTH FACADE-ELEVATION
1/8" = 1'-0"



THE STRAND RESIDENCES

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC



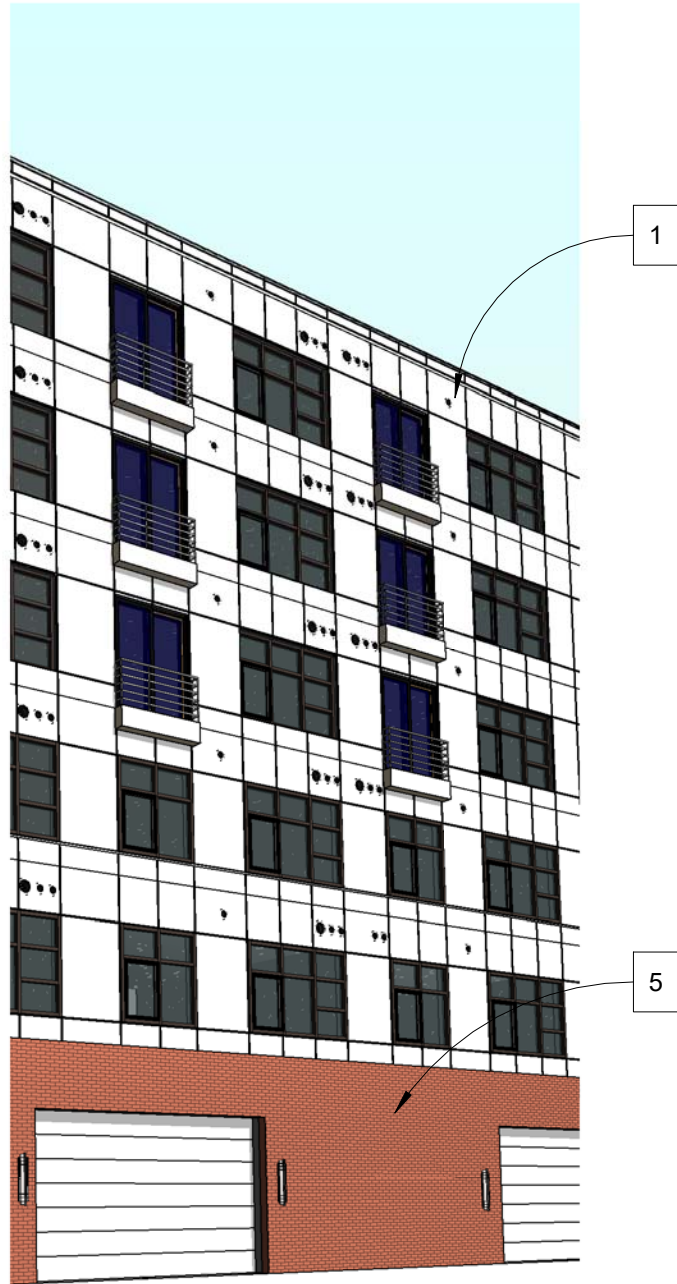
PGN ARCHITECTS, PLLC
210 7th Street SE - Suite 201
Washington, DC 20003
202.822.5995 (P); 202.822.0908 (F)

Square: 5196

Lot No: 0019, 0031, 0805, 0814

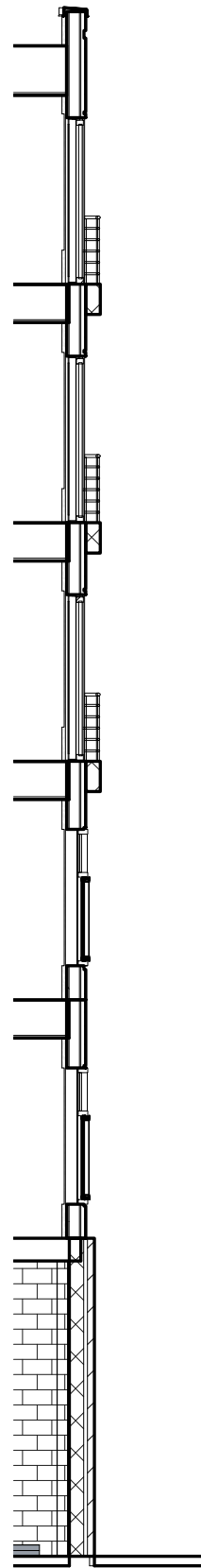
Zone: Proposed MU-5A/PUD

10/26/2017



1

5

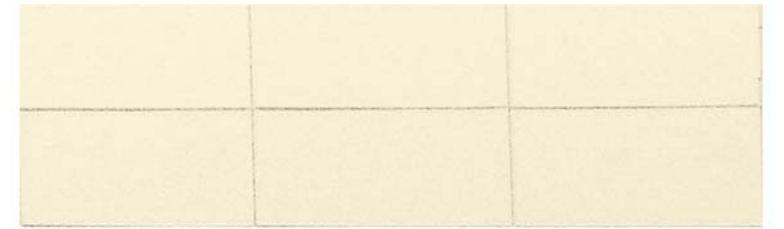


2 SOUTH FACADE-SECTION
1/8" = 1'-0"

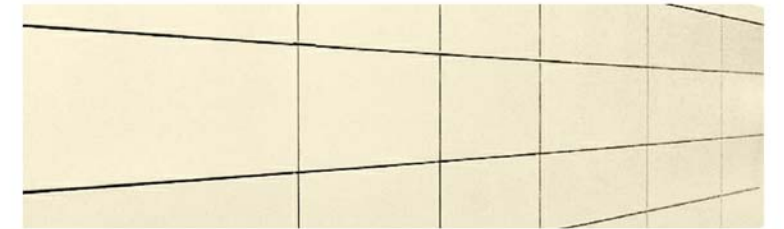


1

5



1 FIBER CEMENT PANEL



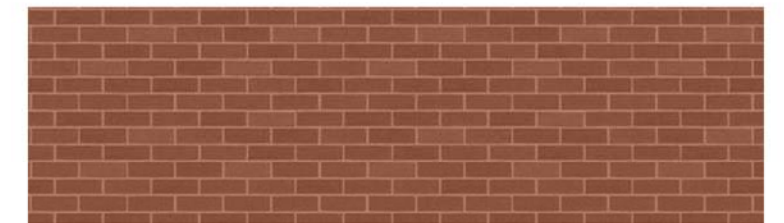
2 ALUMINUM PANEL



3 FIBER CEMENT PANEL



4 ALUMINUM PANEL



5 SMOOTH FACE MODULAR BRICK

1 SOUTH FACADE-PERSPECTIVE

3 SOUTH FACADE-ELEVATION
1/8" = 1'-0"

THE STRAND RESIDENCES

MATERIAL DETAILING-SOUTH ELEVATION | A-26

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD



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1

3



2 EAST FACADE-SECTION
1/8" = 1'-0"



1

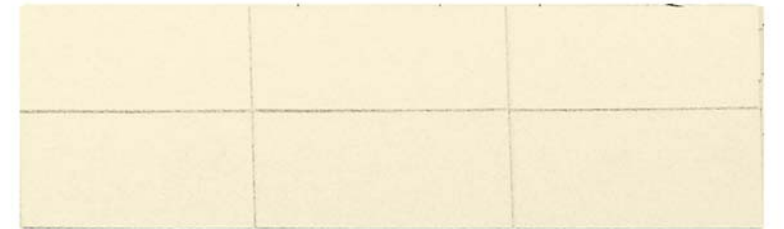
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2

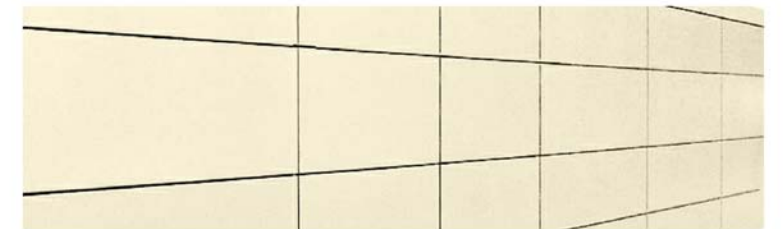
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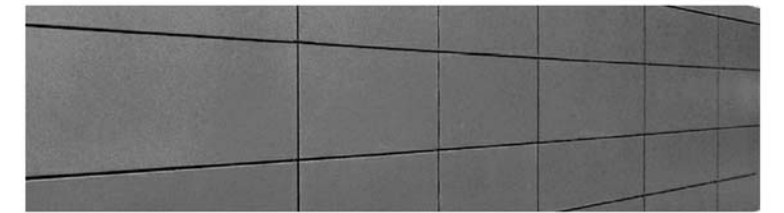
3 EAST FACADE-ELEVATION
1/8" = 1'-0"



1 FIBER CEMENT PANEL



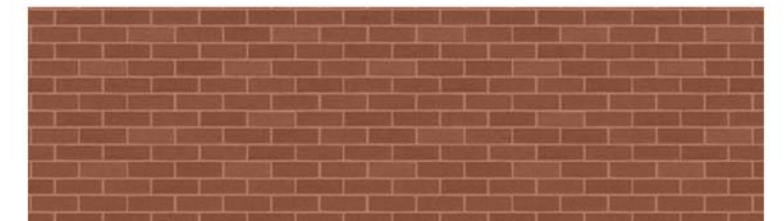
2 ALUMINUM PANEL



3 FIBER CEMENT PANEL



4 ALUMINUM PANEL



5 SMOOTH FACE MODULAR BRICK

THE STRAND RESIDENCES

MATERIAL DETAILING-EAST ELEVATION | A-27

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD



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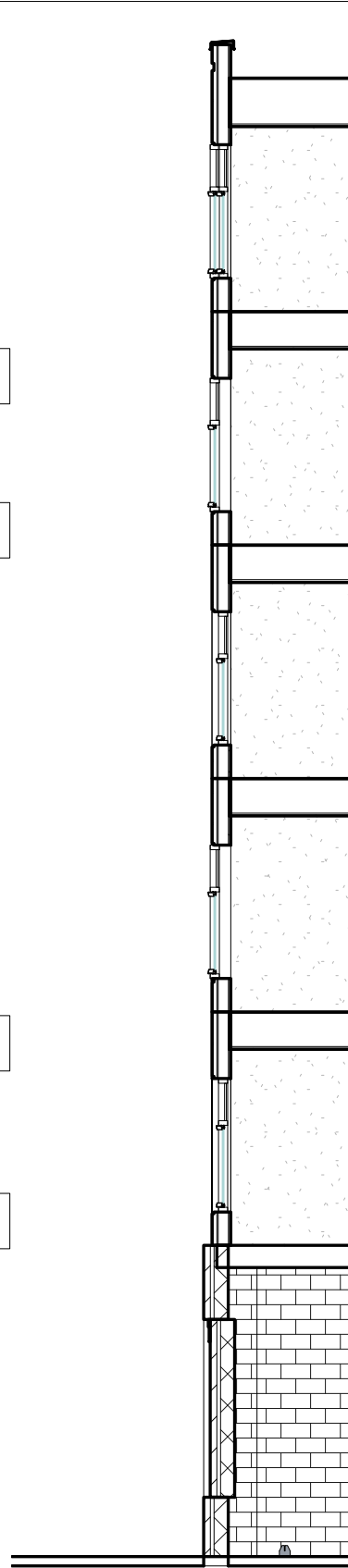


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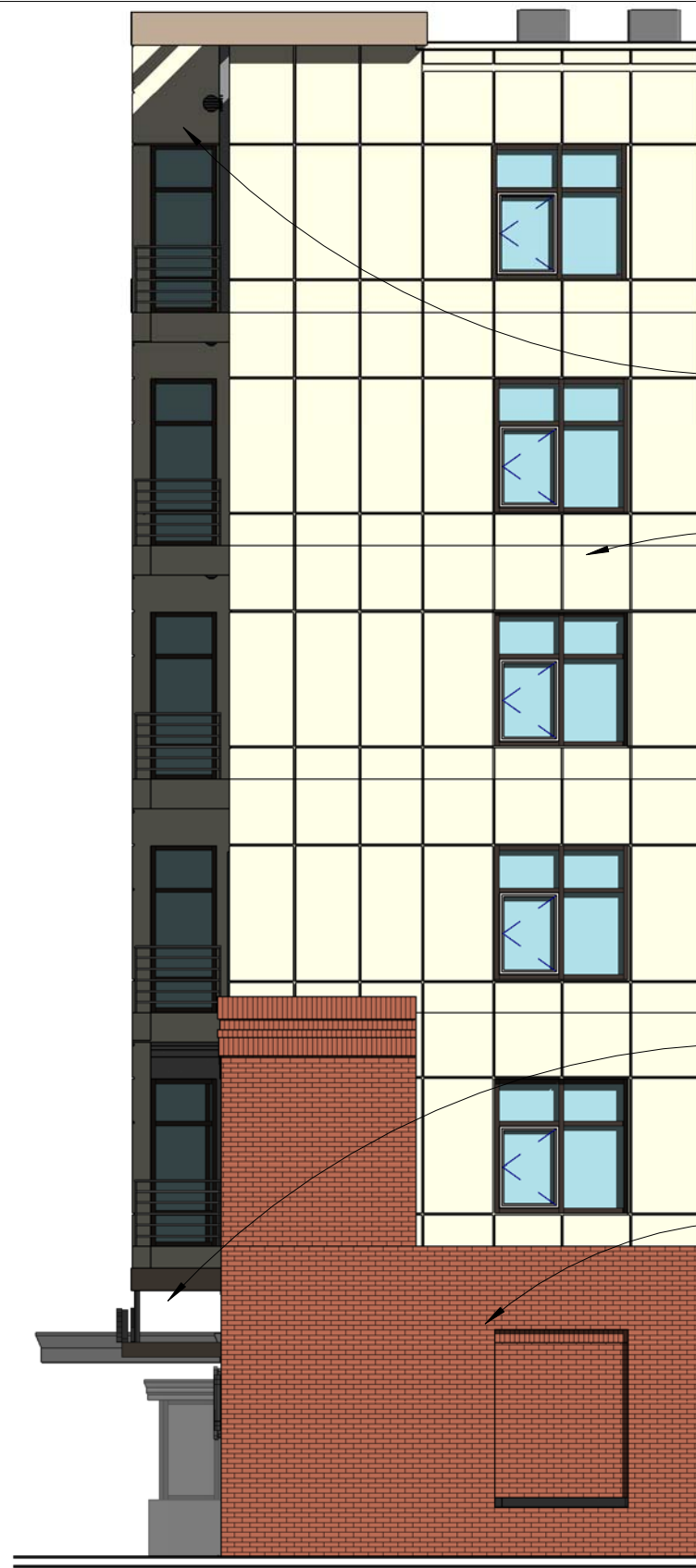
1

4

5



2 WEST FACADE-SECTION
1/8" = 1'-0"



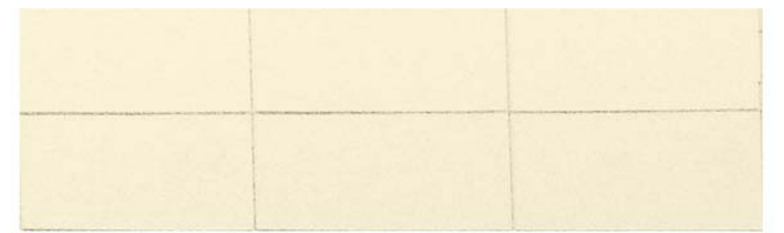
2

1

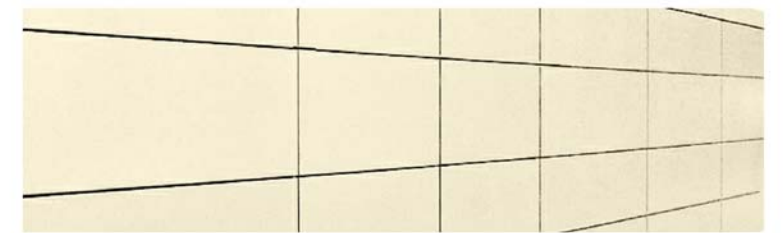
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5

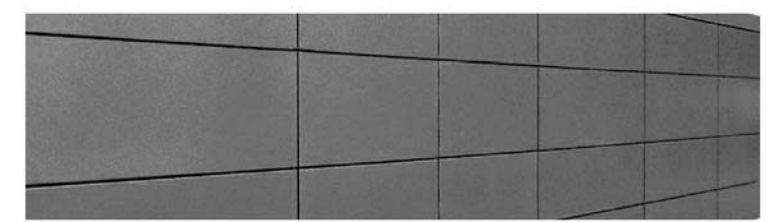
3 WEST FACADE-ELEVATION
1/8" = 1'-0"



1 FIBER CEMENT PANEL



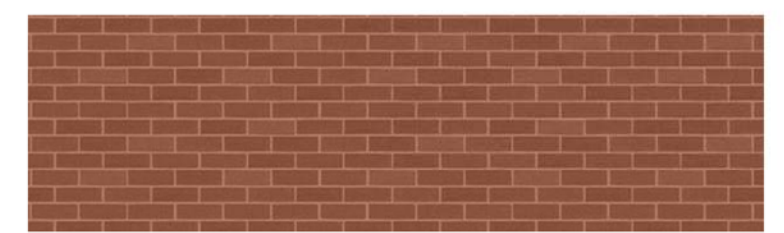
2 ALUMINUM PANEL



3 FIBER CEMENT PANEL



4 ALUMINUM PANEL



5 SMOOTH FACE MODULAR BRICK

1 WEST FACADE-PERSPECTIVE

THE STRAND RESIDENCES

MATERIAL DETAILING- WEST ELEVATION | A-28

5119-5127 NANNIE HELEN BURROUGHS AVE., NE & 612 DIVISION AVE., NE, WASHINGTON DC

Square: 5196 Lot No: 0019, 0031, 0805, 0814 Zone: Proposed MU-5A/PUD



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THE STRAND RESIDENCES

PERSPECTIVE | A-29

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Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD

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THE STRAND RESIDENCES

PERSPECTIVE | A-30

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Square: 5196

Lot No: 0019, 0031, 0805, 0814

Zone: Proposed MU-5A/PUD

10/26/2017