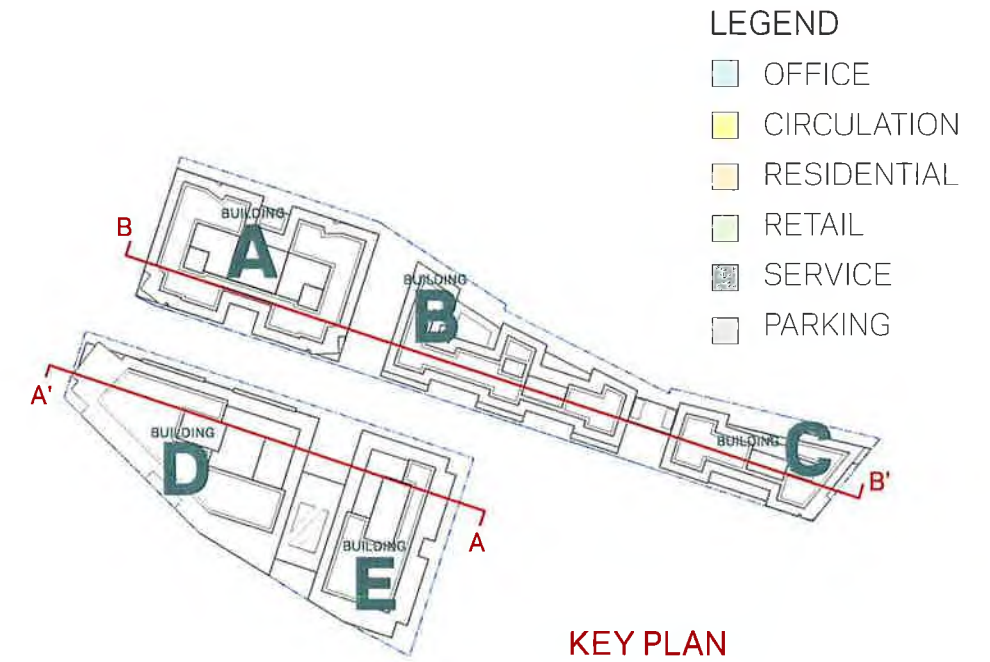
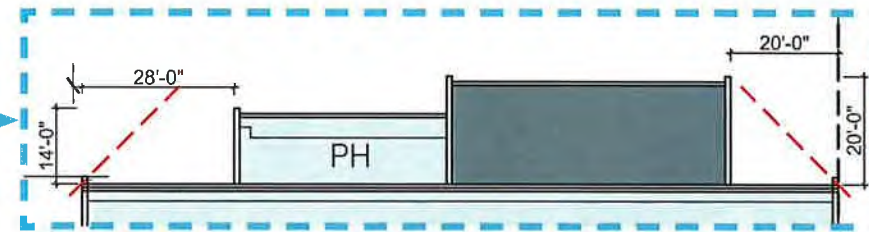


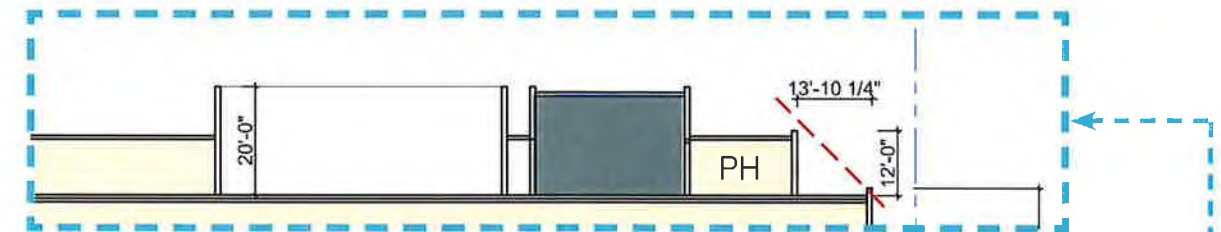
SECTION A-A'



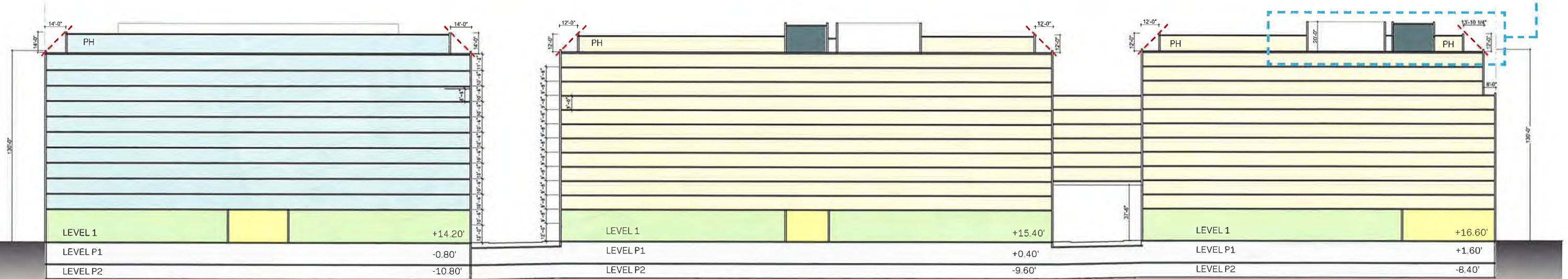
KEY PLAN



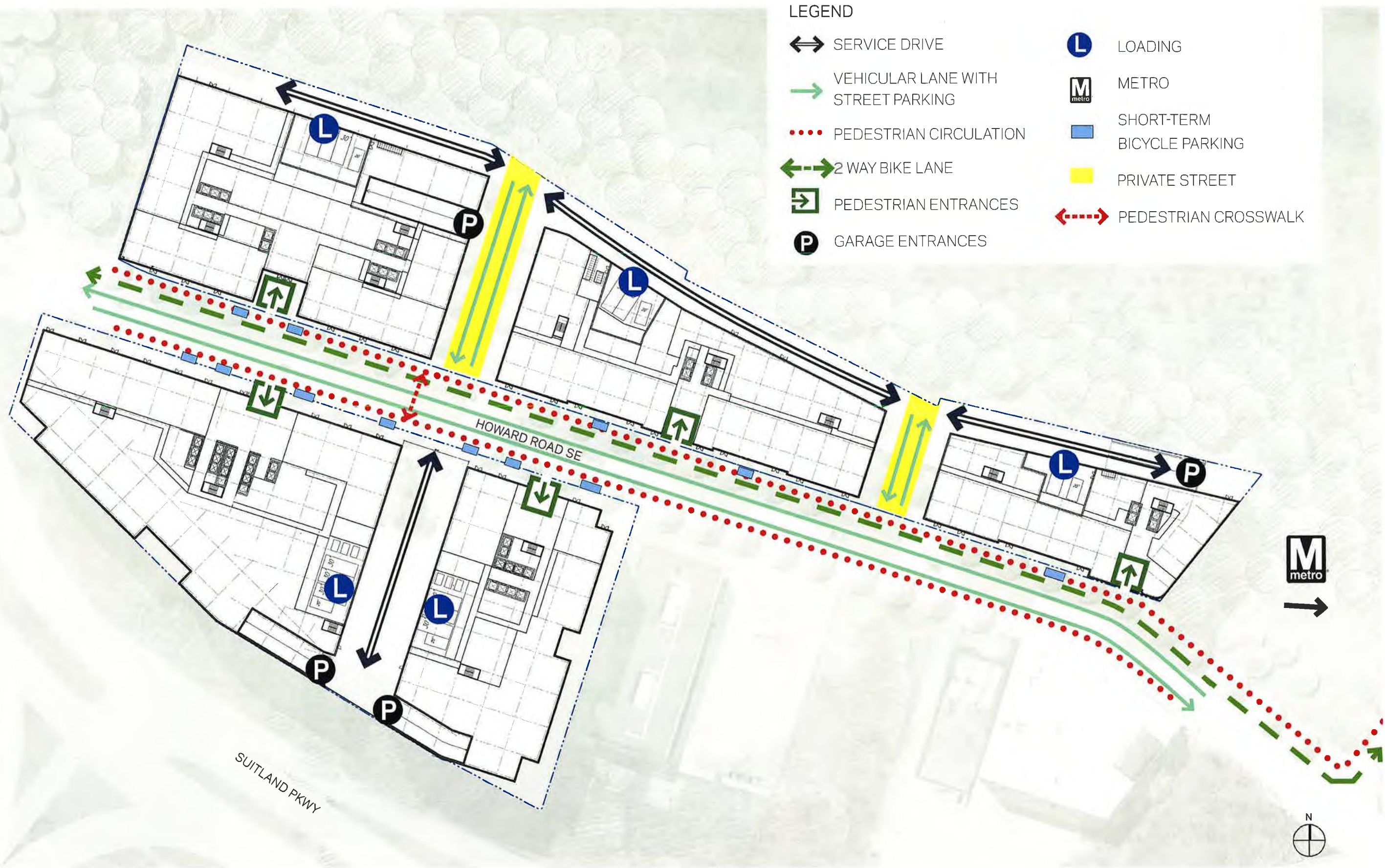
PENTHOUSE HEIGHTS



PENTHOUSE HEIGHTS



SECTION B-B'



LEGEND

- ↔ SERVICE DRIVE
- VEHICULAR LANE WITH STREET PARKING
- ⋯ PEDESTRIAN CIRCULATION
- ↔ 2 WAY BIKE LANE
- ➡ PEDESTRIAN ENTRANCES
- Ⓟ GARAGE ENTRANCES
- Ⓛ LOADING
- Ⓜ METRO
- ▭ SHORT-TERM BICYCLE PARKING
- ▭ PRIVATE STREET
- ↔ PEDESTRIAN CROSSWALK

SOUTH CAPITOL STREET SE

SUITLAND PKWY

HOWARD ROAD SE



0 40 80 160FT

POPLAR POINT DEVELOPMENT SUMMARY				
RETAIL	52,120	gsf		
RESIDENTIAL	691,590	gsf		
Number of Units @ average 1000sf/unit	692	units		
OFFICE	1,614,670	gsf		
DEVELOPMENT	2,358,380	gsf		
TOTAL PARCEL AREA	271,219	sf		
EXCLUDING PRIVATE STREETS (for FAR calculations)	262,267	sf		
FAR	8.99			
MAXIMUM BUILDING HEIGHT	130	feet		
LOT COVERAGE	208,173	sf	76.8%	
GREEN AREA RATIO SCORE	0.21			
RESIDENTIAL (NET AREA)	518,693	nsf	100.0%	
Proposed Unit Mix				
3-Bedroom	51,869	nsf	10%	
2-Bedroom	103,739	nsf	20%	
1-Bedroom	259,346	nsf	50%	
Studio/Jr 1-Bedroom	103,739	nsf	20%	
IZ Units	51,869	nsf	10%	
Proposed Unit Mix				
3-Bedroom	51,869	nsf	100%	
2-Bedroom	0	nsf	0%	
1-Bedroom	0	nsf	0%	
Studio/Jr 1-Bedroom	0	nsf	0%	
	Required	Allowable Reduction	Reduced Requirement	Provided
Vehicular Parking				
Office	839		420	
Residential	237		118	
Retail	39		19	
	1115	50%	557	999
Long Term Bicycle Parking				
Office		50% after first 50 sp / use	387	
Residential			145	
Retail		50% after first 50 sp / use	4	
			536	590
Short Term Bicycle Parking				
Office		50% after first 50 sp / use	42	
Residential			36	
Retail		50% after first 50 sp / use	10	
			88	90

BUILDING A: OFFICE

BUILDING B: RESIDENTIAL





views from north
- Navy Yard

views from west
- Buzzard Point

views from edge
of Barry Farms over
highway

distant views down
Pleasant Street SE to
residential building

distant views down
Howard Road SE to
residential building



1 KEY PLAN

KEY PLAN 1

BEFORE

AFTER



2 KEY PLAN

KEY PLAN 2

BEFORE

AFTER



3 KEY PLAN

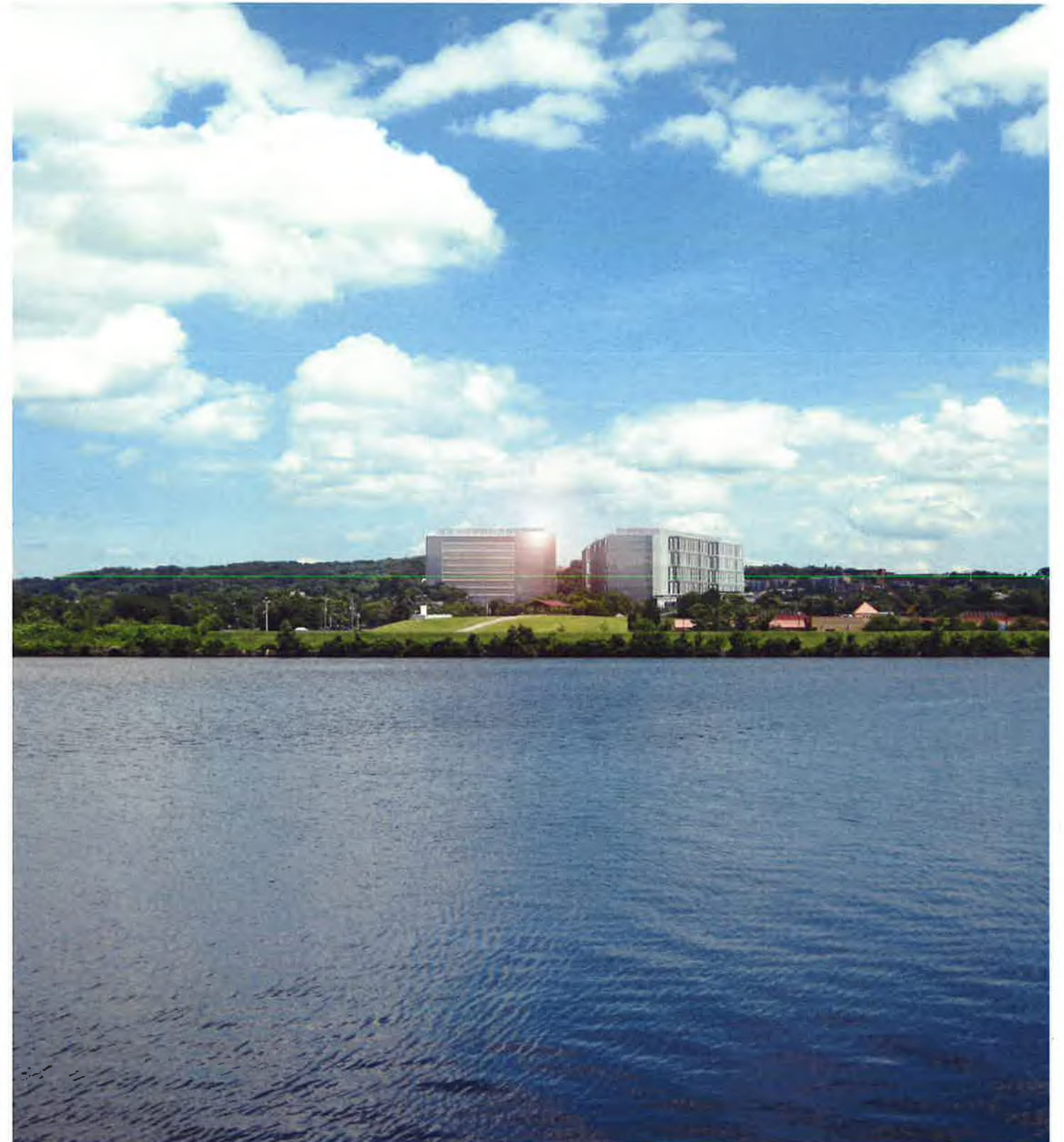
KEY PLAN 3

BEFORE

AFTER



View from 1100 Sumner Street SE

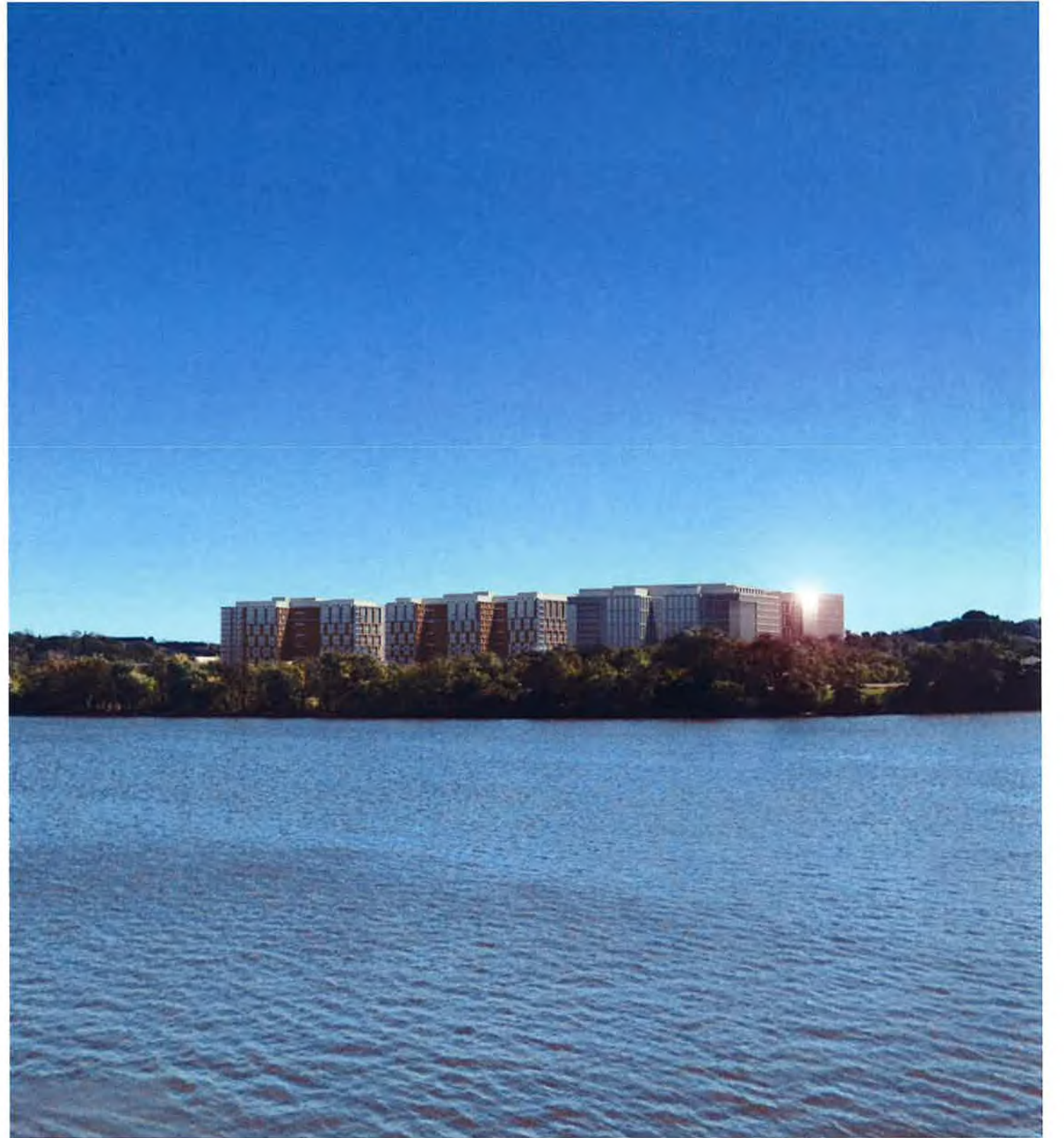
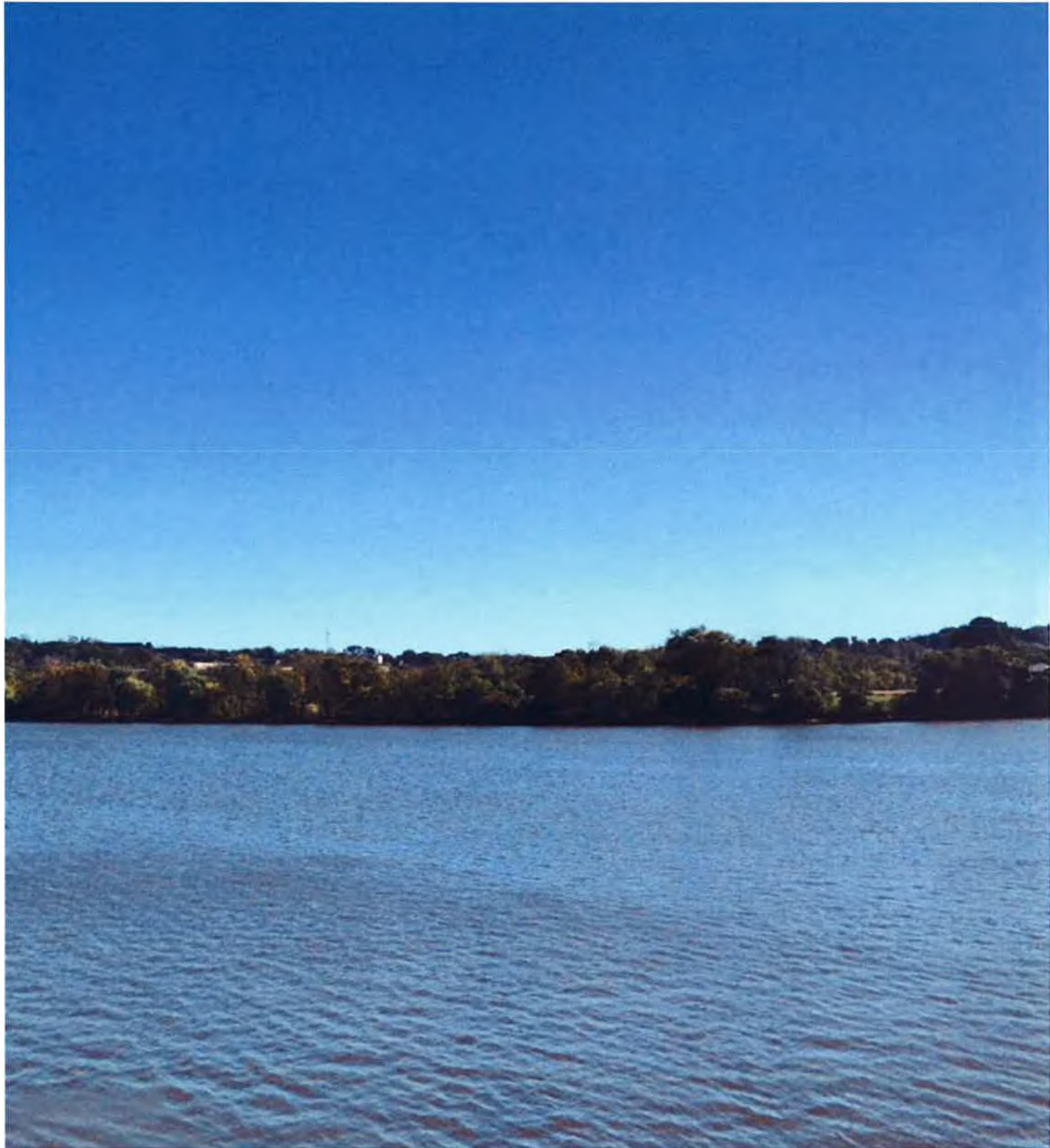


5 KEY PLAN

BEFORE

KEY PLAN 5

AFTER



6 KEY PLAN

KEY PLAN 6

BEFORE

AFTER



7 KEY PLAN

View towards Buzzard Point



KEY PLAN 8

View towards Nationals Park



9 KEY PLAN

View towards Capitol Riverfront



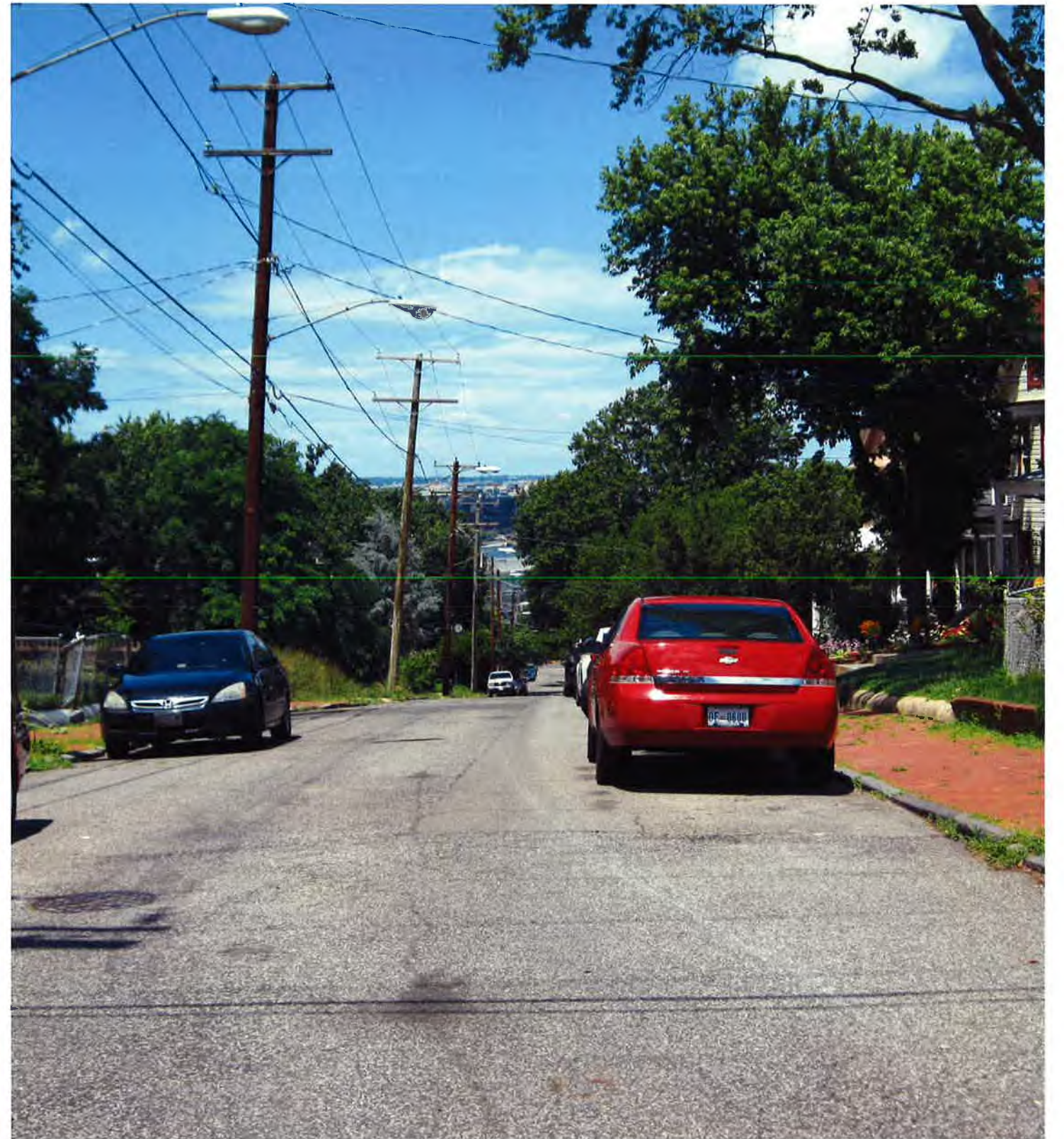
KEY PLAN 10

View towards Capitol Riverfront



11 KEY PLAN

View from Frederick Douglass Memorial



KEY PLAN 12

View from Maple View Place SE

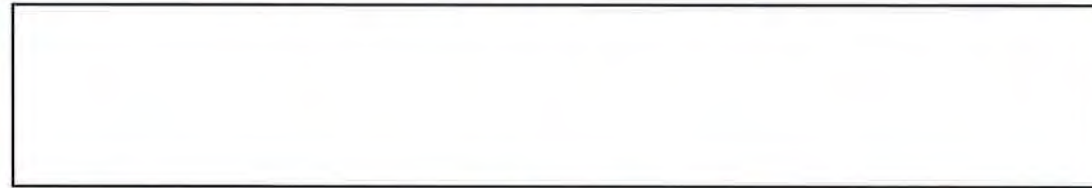


13 KEY PLAN

KEY PLAN 14

View from 1200 W Street SE

View from Morris Road SE & Martin Luther King Jr. Avenue SE





STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	ONSITE PROPERTY LINE / R.O.W. LINE			OVERHEAD WIRE	
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE			UNDERGROUND TELEPHONE LINE	
	EASEMENT LINE			UNDERGROUND CABLE LINE	
	SETBACK LINE			STORM SEWER	
				SANITARY SEWER MAIN	
	CONCRETE CURB & GUTTER			HYDRANT	
				SANITARY MANHOLE	
				STORM MANHOLE	
	UTILITY POLE WITH LIGHT			WATER METER	
	POLE LIGHT			WATER VALVE	
	TRAFFIC LIGHT			GAS VALVE	
	UTILITY POLE			GAS METER	
	TYPICAL LIGHT			TYPICAL END SECTION	
	ACORN LIGHT			HEADWALL OR ENDWALL	
	TYPICAL SIGN			YARD INLET	
	PARKING COUNTS			CURB INLET	
				CLEAN OUT	
				ELECTRIC MANHOLE	
				TELEPHONE MANHOLE	
				ELECTRIC BOX	
				ELECTRIC PEDESTAL	
				MONITORING WELL	
				TEST PIT	
				BENCHMARK	
				BORING	
	CONTOUR LINE			ELECTRIC MANHOLE	
	SPOT ELEVATIONS			TELEPHONE MANHOLE	
	SANITARY LABEL			ELECTRIC BOX	
	STORM LABEL			ELECTRIC PEDESTAL	
	SANITARY SEWER LATERAL			MONITORING WELL	
	UNDERGROUND WATER LINE			TEST PIT	
	UNDERGROUND ELECTRIC LINE			BENCHMARK	
	UNDERGROUND GAS LINE			BORING	
	FLOODPLAIN LIMITS				

DEVELOPER

REDBRICK, LMD
1616 H ST, NW, SUITE 600
WASHINGTON, DC 20006
PHONE: 202-393-8090

PROJECT NARRATIVE:

THE SITE IS CURRENTLY OCCUPIED BY 18 TOTAL LOTS WITH THREE (3) EXISTING ONE-STORY BUILDINGS AND THREE (3) EXISTING TWO-STORY BUILDINGS AND MULTIPLE VACANT LOTS ON HOWARD ROAD, SE BETWEEN SUITLAND PARKWAY AND THE ANACOSTIA FREEWAY. THE PROPOSED PROJECT INCLUDES THE DEMOLITION OF THE EXISTING BUILDING AND SITE-RELATED FEATURES AND UTILITIES AND THE CONSTRUCTION OF FOUR (4) MIXED-USE MULTI-STORY BUILDINGS AND RECONSTRUCTION OF HOWARD ROAD, SE. THE PROPOSED PROJECT INCLUDES CONSTRUCTION OF NEW UTILITY INFRASTRUCTURE TO SERVICE THE DEVELOPMENT. THE PROJECT PROPOSES THE USE OF VARIABLE DEPTH GREEN ROOFS AND BIORETENTION TO MEET BOTH THE STORMWATER RETENTION VOLUME (SWRV) REQUIREMENTS AND THE GREEN AREA RATIO (GAR) REQUIREMENTS FOR ON-SITE.

GENERAL NOTES:

- THE PLAN IS BASED ON THE FOLLOWING DOCUMENTS AND INFORMATION:
 - SURVEY ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY REDBRICK - POPLAR POINT A&T LOTS 957, 969, 971, 982, 986, 988, 1020, 1025-1031, 1036 & 1047 SQUARE 5860 A&T LOTS 951 & 957 SQUARE 5861, LOTS 79, 82-86 SQUARE 5861 631-821 600-692 HOWARD ROAD, S.E. WASHINGTON, DISTRICT OF COLUMBIA" PREPARED BY: BOHLER ENGINEERING PROJECT NO.:SRW152035 DATE: 06/03/2016
 - DIGITAL ARCHITECTURAL PLANS: ENTITLED: "2017-10-02-HOK.DWG," PREPARED BY: HOK ARCHITECTURE, DATED: 10/02/17,
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C1
EX. CONDITIONS/DEMOLITION PLAN	C2
SITE PLAN	C3
UTILITY PLAN	C4
STORMWATER MANAGEMENT/GAR PLAN	C5
EROSION AND SEDIMENT CONTROL PLAN	C6
TRUCK TURN	C7
BOUNDARY AND TOPOGRAPHIC SURVEY	SHEETS 1 - 6

PROJECT NAME:

COLUMBIAN QUARTER PUD



BOHLER

DC

1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004
PHONE: (202) 524-5700

SHEET TITLE:

COVER SHEET
SHEET C1

SCALE:

N/A

DATE:

11/14/17

CAD ID:

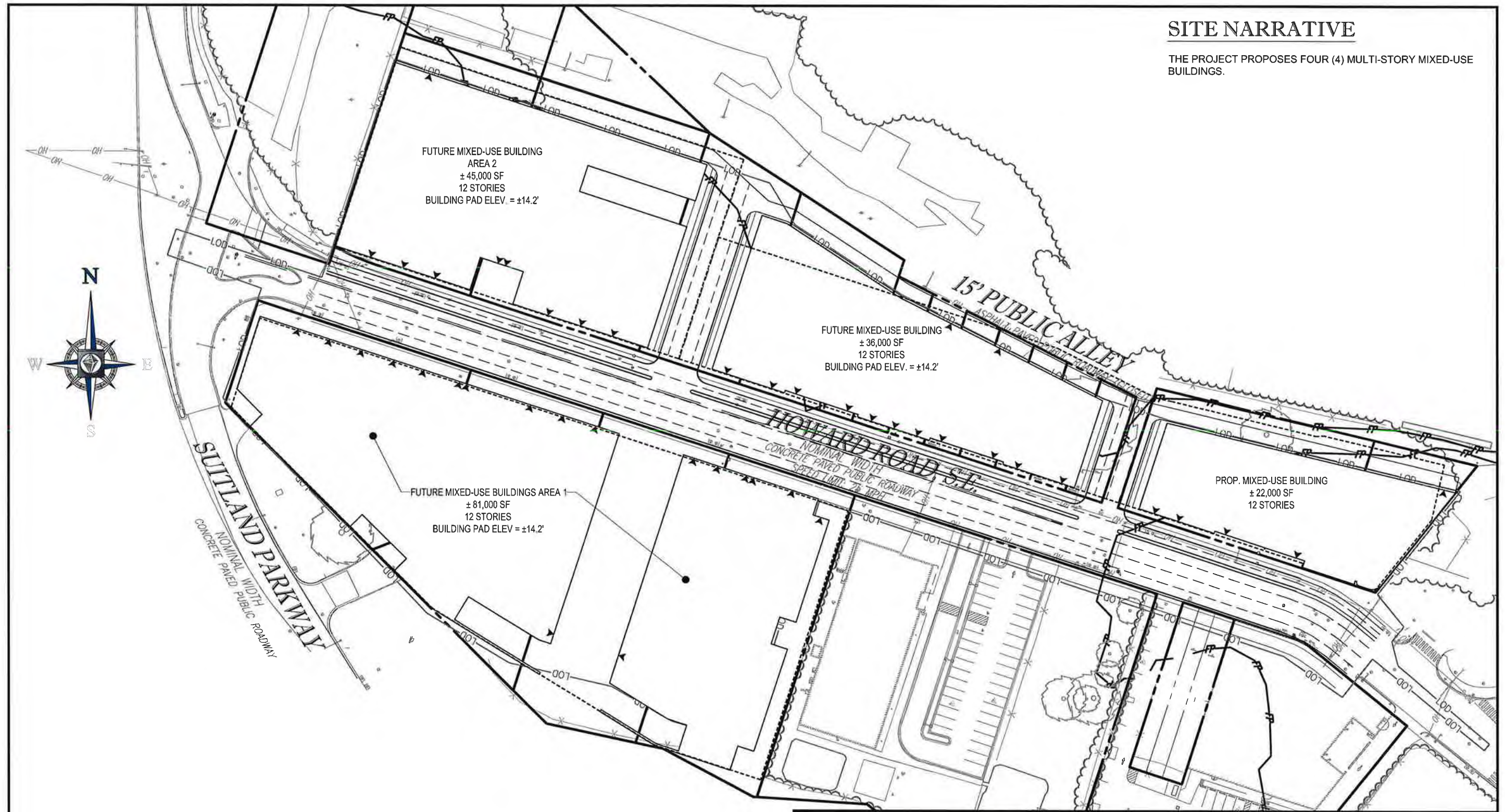
SD1

PROJECT NUMBER:

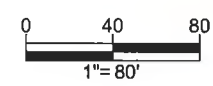
DC152035

SITE NARRATIVE

THE PROJECT PROPOSES FOUR (4) MULTI-STORY MIXED-USE BUILDINGS.



PROJECT NAME: COLUMBIAN QUARTER PUD

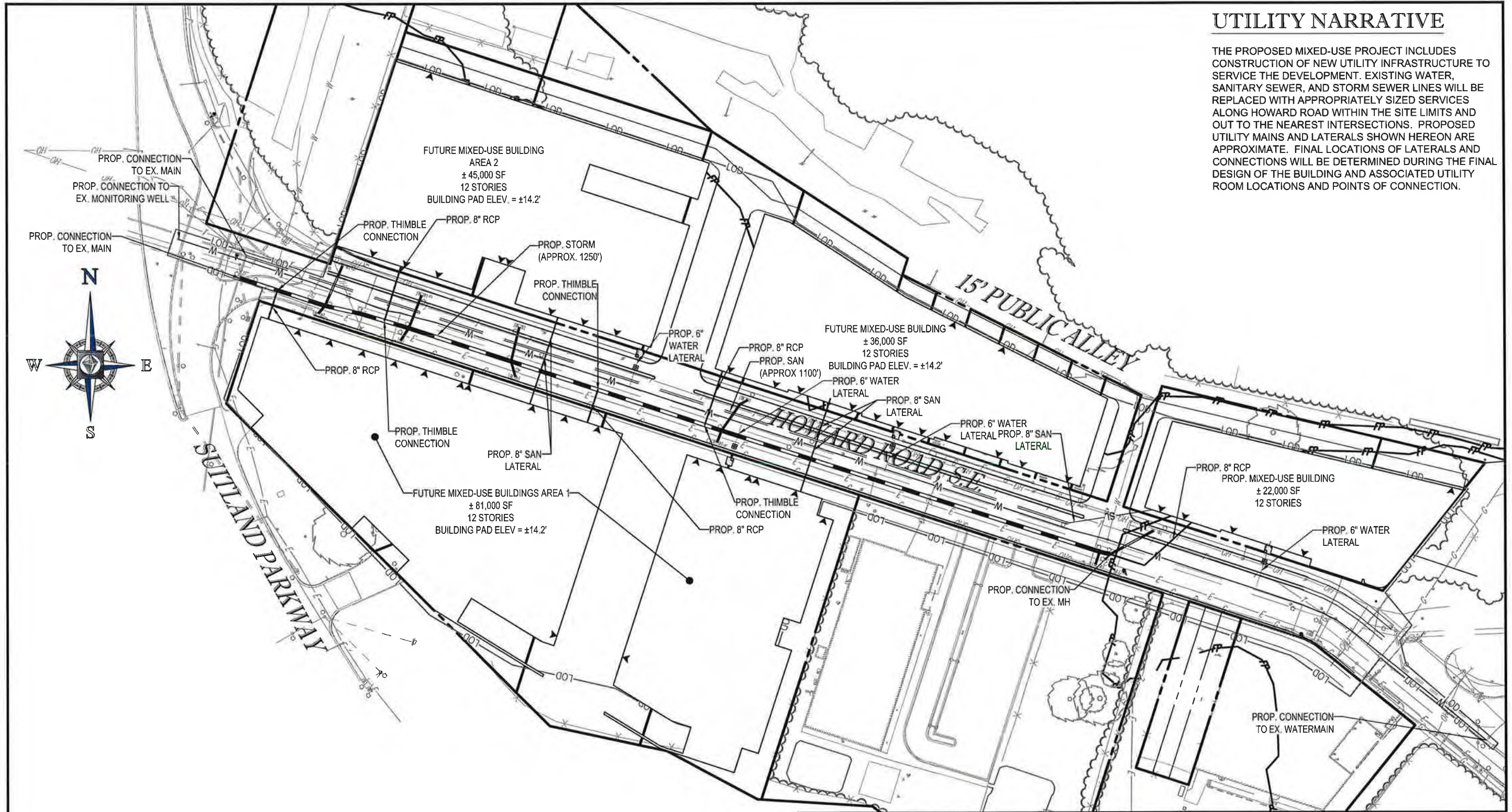



BOHLER
DC
1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004
PHONE: (202) 524-5700

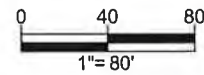
SHEET TITLE: SITE PLAN			
SHEET C3			
SCALE: 1" = 80'	DATE: 11/14/17	CAD ID: SS1	PROJECT NUMBER: DC152035

UTILITY NARRATIVE

THE PROPOSED MIXED-USE PROJECT INCLUDES CONSTRUCTION OF NEW UTILITY INFRASTRUCTURE TO SERVICE THE DEVELOPMENT. EXISTING WATER, SANITARY SEWER, AND STORM SEWER LINES WILL BE REPLACED WITH APPROPRIATELY SIZED SERVICES ALONG HOWARD ROAD WITHIN THE SITE LIMITS AND OUT TO THE NEAREST INTERSECTIONS. PROPOSED UTILITY MAINS AND LATERALS SHOWN HEREON ARE APPROXIMATE. FINAL LOCATIONS OF LATERALS AND CONNECTIONS WILL BE DETERMINED DURING THE FINAL DESIGN OF THE BUILDING AND ASSOCIATED UTILITY ROOM LOCATIONS.



PROJECT NAME:		COLUMBIAN QUARTER PUD	
 BOHLER DC 1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004 PHONE: (202) 524-5700		SHEET TITLE:	
		UTILITY PLAN SHEET C4	
SCALE:	DATE:	CAD ID:	PROJECT NUMBER:
1" = 80'	11/14/17	SS1	DC152035



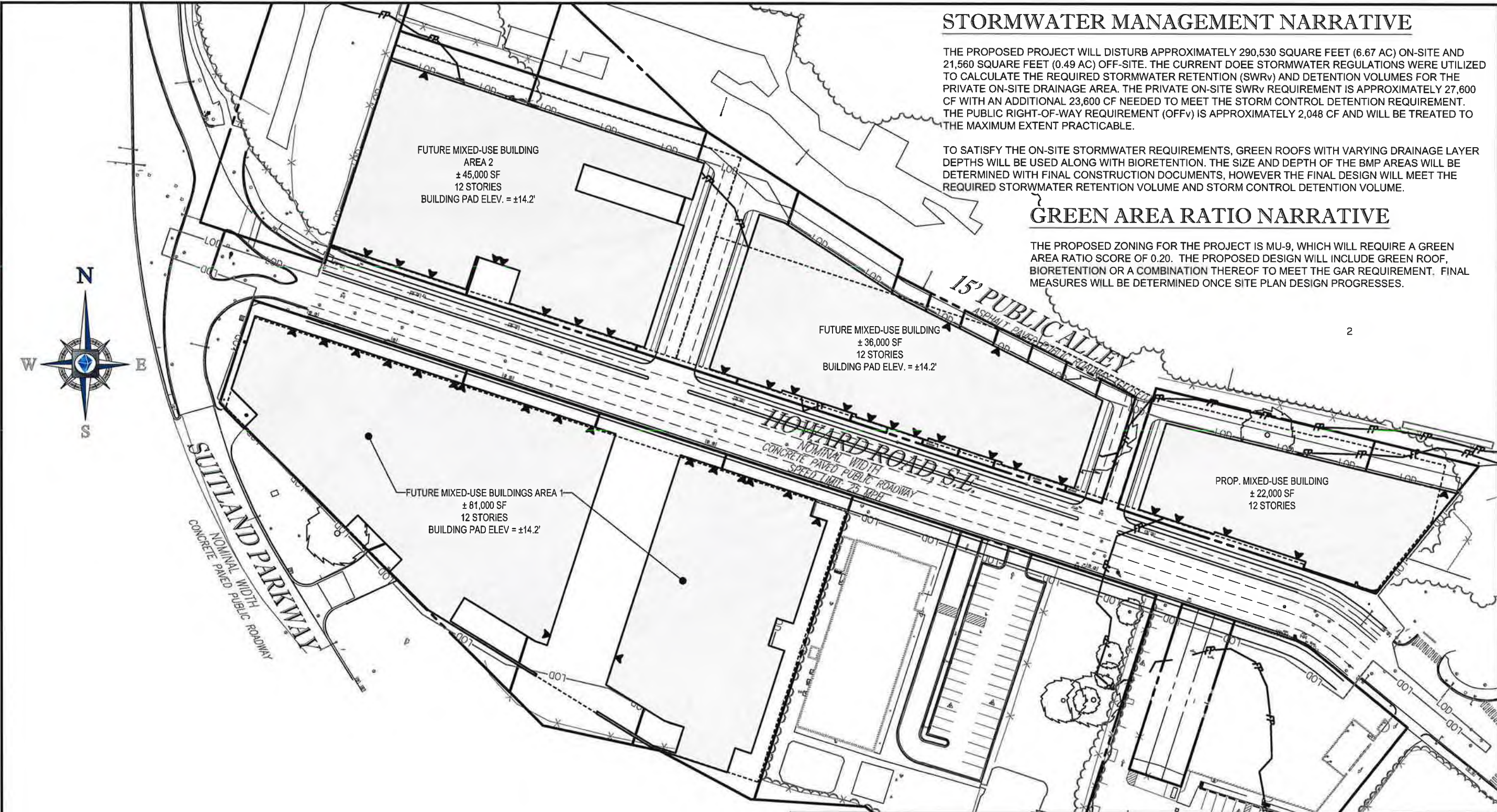
STORMWATER MANAGEMENT NARRATIVE

THE PROPOSED PROJECT WILL DISTURB APPROXIMATELY 290,530 SQUARE FEET (6.67 AC) ON-SITE AND 21,560 SQUARE FEET (0.49 AC) OFF-SITE. THE CURRENT DOEE STORMWATER REGULATIONS WERE UTILIZED TO CALCULATE THE REQUIRED STORMWATER RETENTION (SWR_v) AND DETENTION VOLUMES FOR THE PRIVATE ON-SITE DRAINAGE AREA. THE PRIVATE ON-SITE SWR_v REQUIREMENT IS APPROXIMATELY 27,600 CF WITH AN ADDITIONAL 23,600 CF NEEDED TO MEET THE STORM CONTROL DETENTION REQUIREMENT. THE PUBLIC RIGHT-OF-WAY REQUIREMENT (OFF_v) IS APPROXIMATELY 2,048 CF AND WILL BE TREATED TO THE MAXIMUM EXTENT PRACTICABLE.

TO SATISFY THE ON-SITE STORMWATER REQUIREMENTS, GREEN ROOFS WITH VARYING DRAINAGE LAYER DEPTHS WILL BE USED ALONG WITH BIORETENTION. THE SIZE AND DEPTH OF THE BMP AREAS WILL BE DETERMINED WITH FINAL CONSTRUCTION DOCUMENTS, HOWEVER THE FINAL DESIGN WILL MEET THE REQUIRED STORMWATER RETENTION VOLUME AND STORM CONTROL DETENTION VOLUME.

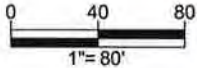
GREEN AREA RATIO NARRATIVE

THE PROPOSED ZONING FOR THE PROJECT IS MU-9, WHICH WILL REQUIRE A GREEN AREA RATIO SCORE OF 0.20. THE PROPOSED DESIGN WILL INCLUDE GREEN ROOF, BIORETENTION OR A COMBINATION THEREOF TO MEET THE GAR REQUIREMENT. FINAL MEASURES WILL BE DETERMINED ONCE SITE PLAN DESIGN PROGRESSES.



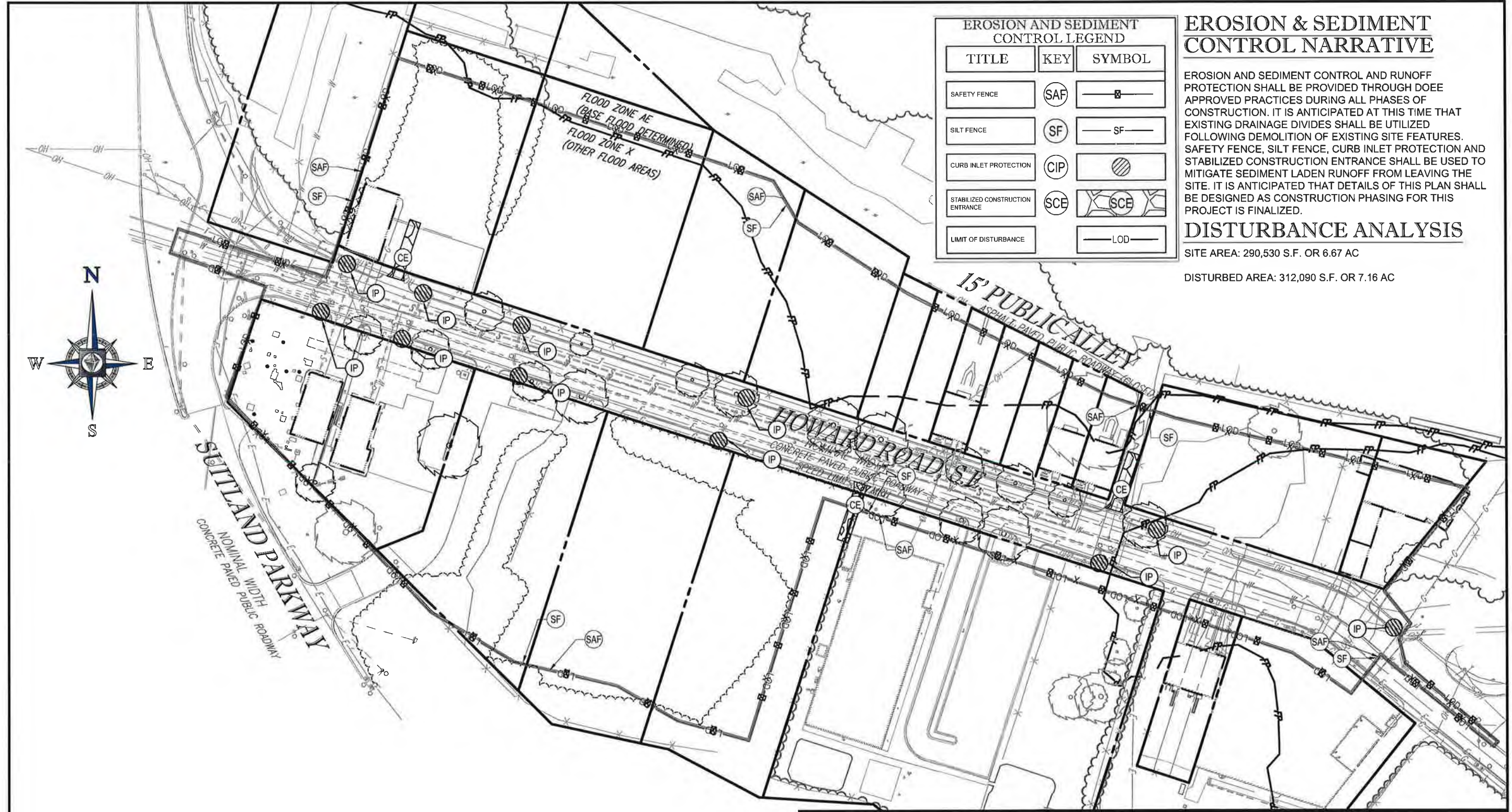
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PROJECT NAME: COLUMBIAN QUARTER PUD



BOHLER
DC
1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004
PHONE: (202) 524-5700

SHEET TITLE: STORMWATER MANAGEMENT/GAR PLAN			
SHEET C5			
SCALE: 1" = 80'	DATE: 11/14/17	CAD ID: DA1	PROJECT NUMBER: DC152035



EROSION AND SEDIMENT CONTROL LEGEND

TITLE	KEY	SYMBOL
SAFETY FENCE	SAF	
SILT FENCE	SF	
CURB INLET PROTECTION	CIP	
STABILIZED CONSTRUCTION ENTRANCE	SCE	
LIMIT OF DISTURBANCE	L.O.D.	

EROSION & SEDIMENT CONTROL NARRATIVE


EROSION AND SEDIMENT CONTROL AND RUNOFF PROTECTION SHALL BE PROVIDED THROUGH DOEE APPROVED PRACTICES DURING ALL PHASES OF CONSTRUCTION. IT IS ANTICIPATED AT THIS TIME THAT EXISTING DRAINAGE DIVIDES SHALL BE UTILIZED FOLLOWING DEMOLITION OF EXISTING SITE FEATURES. SAFETY FENCE, SILT FENCE, CURB INLET PROTECTION AND STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED TO MITIGATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. IT IS ANTICIPATED THAT DETAILS OF THIS PLAN SHALL BE DESIGNED AS CONSTRUCTION PHASING FOR THIS PROJECT IS FINALIZED.

DISTURBANCE ANALYSIS

SITE AREA: 290,530 S.F. OR 6.67 AC
 DISTURBED AREA: 312,090 S.F. OR 7.16 AC



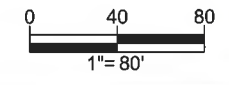
PROJECT NAME: COLUMBIAN QUARTER PUD

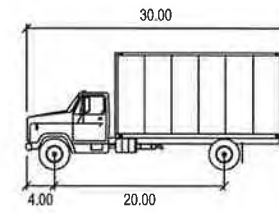

BOHLER
 DC

1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004
 PHONE: (202) 524-5700

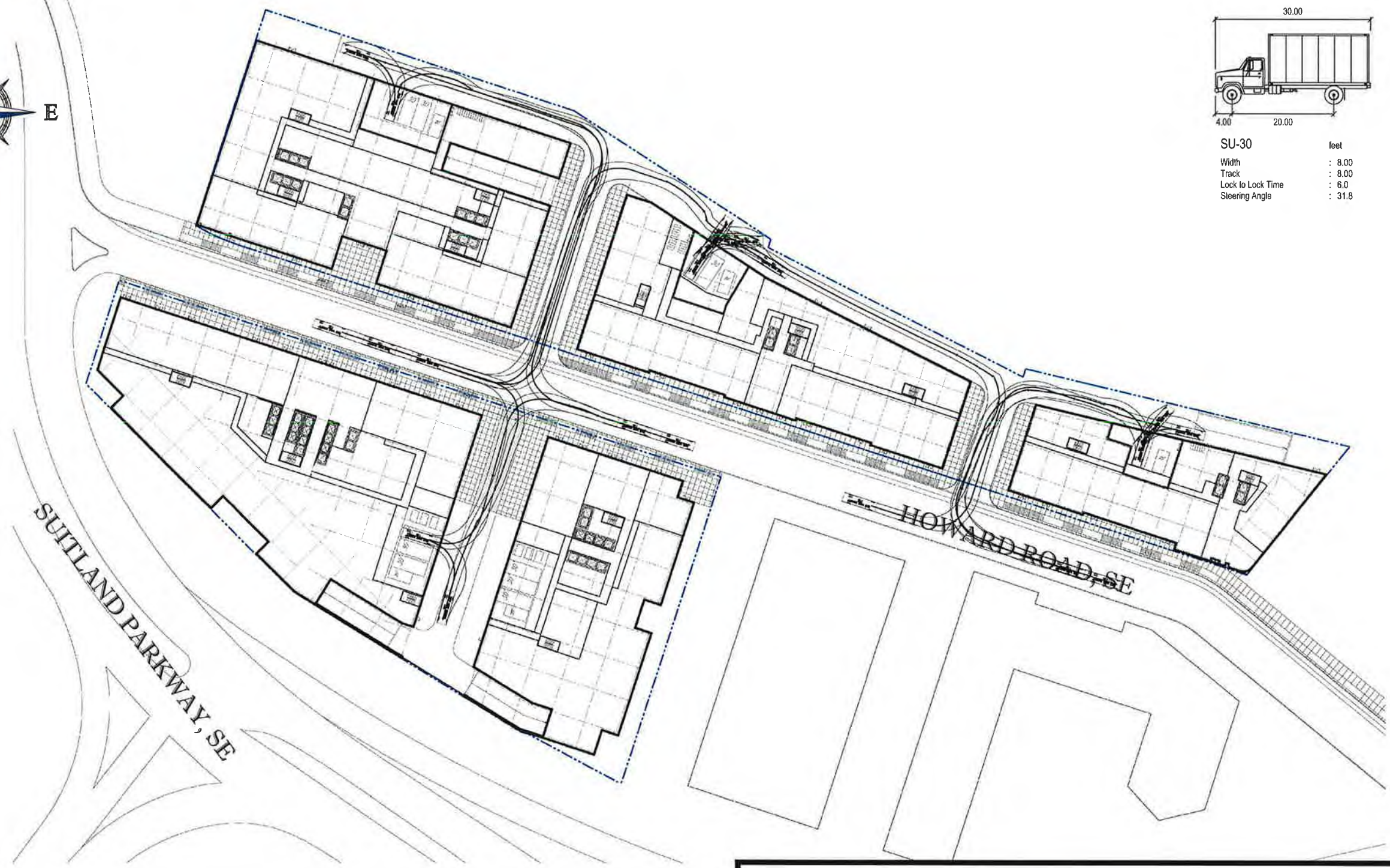
SHEET TITLE: EROSION AND SEDIMENT CONTROL
 SHEET C6


SCALE: 1" = 80' DATE: 11/14/17 CAD ID: SSI PROJECT NUMBER: DC152035





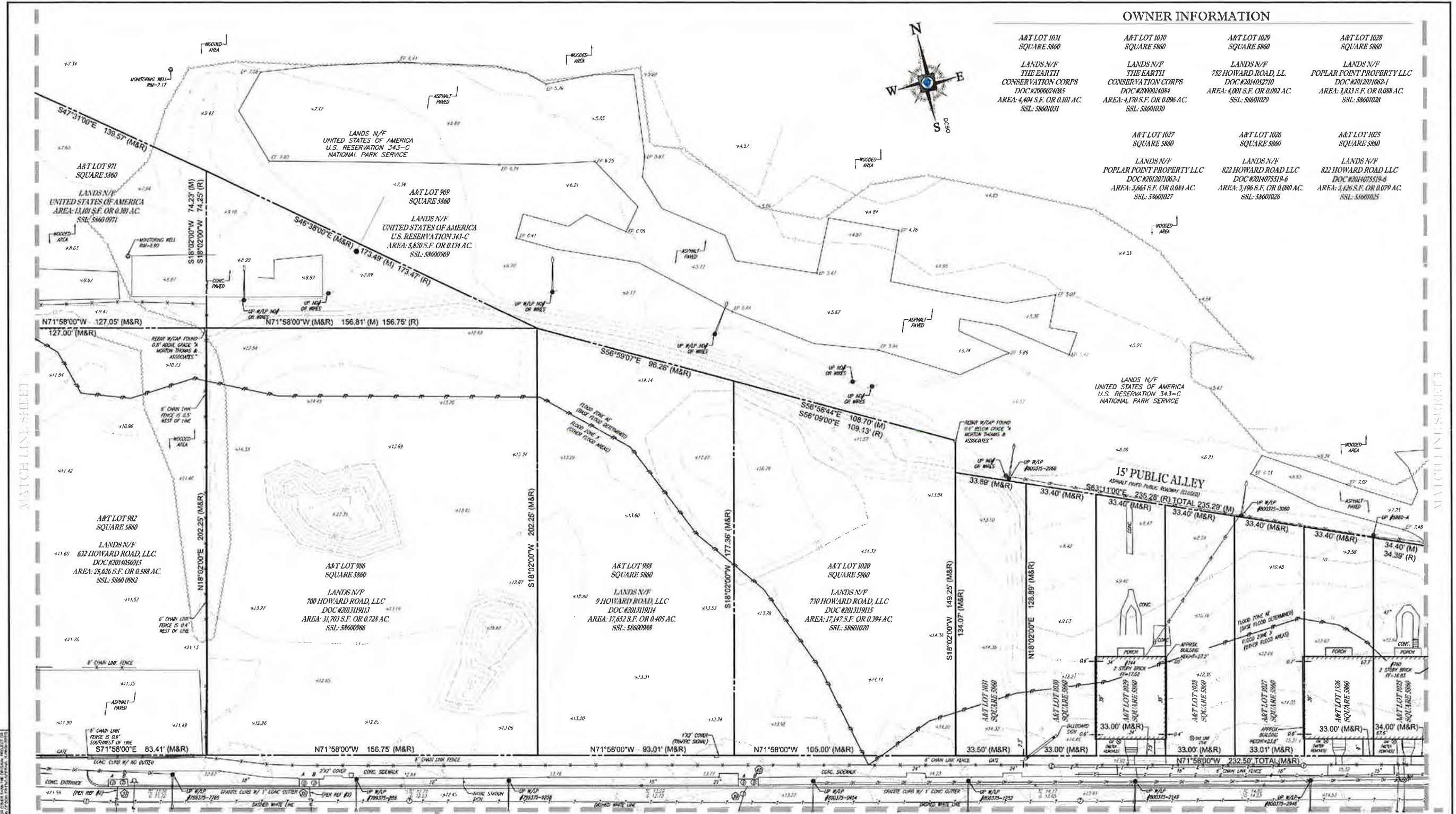
SU-30 feet
 Width : 8.00
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8



PROJECT NAME:		COLUMBIAN QUARTER PUD	
 BOHLER DC		SHEET TITLE:	
1331 PENNSYLVANIA AVE., NW, STE. 1250 WASHINGTON, DC 20004 PHONE: (202) 524-5700		TRUCK TURN SHEET C7	
SCALE:	DATE:	CAD ID:	PROJECT NUMBER:
	11/14/17	SS1	DC152035

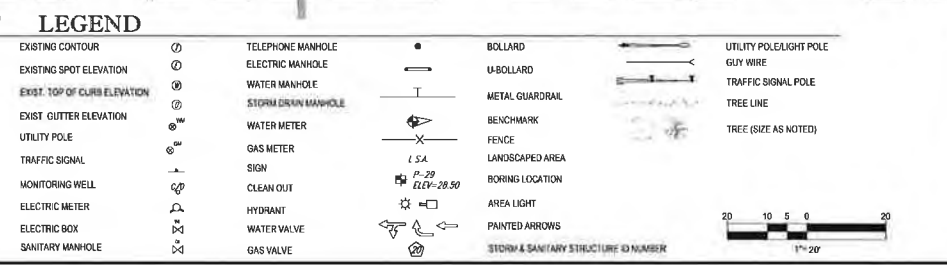
OWNER INFORMATION

A&T LOT 1031 SQUARE 5860 LANDS N/F THE EARTH CONSERVATION CORPS DOC #200024085 AREA: 4,404 S.F. OR 0.101 AC. SSL: 58601031	A&T LOT 1030 SQUARE 5860 LANDS N/F THE EARTH CONSERVATION CORPS DOC #200024084 AREA: 4,170 S.F. OR 0.096 AC. SSL: 58601030	A&T LOT 1029 SQUARE 5860 LANDS N/F 752 HOWARD ROAD, LL DOC #2014052710 AREA: 4,001 S.F. OR 0.092 AC. SSL: 58601029	A&T LOT 1028 SQUARE 5860 LANDS N/F POPLAR POINT PROPERTY LLC DOC #2012071062-1 AREA: 3,833 S.F. OR 0.088 AC. SSL: 58601028
A&T LOT 1027 SQUARE 5860 LANDS N/F POPLAR POINT PROPERTY LLC DOC #2012071062-1 AREA: 3,665 S.F. OR 0.084 AC. SSL: 58601027	A&T LOT 1026 SQUARE 5860 LANDS N/F 822 HOWARD ROAD LLC DOC #201075519-6 AREA: 3,196 S.F. OR 0.080 AC. SSL: 58601026	A&T LOT 1025 SQUARE 5860 LANDS N/F 822 HOWARD ROAD LLC DOC #201075519-6 AREA: 3,126 S.F. OR 0.079 AC. SSL: 58601025	



LEGEND

—○—	OVERHEAD WIRES	—○—	EXISTING CONTOUR	⊙	TELEPHONE MANHOLE	●	BOLLARD	—○—	UTILITY POLE/LIGHT POLE
—○—	APPROX LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT	X 123.45	EXISTING SPOT ELEVATION	⊙	ELECTRIC MANHOLE	—○—	U-BOLLARD	—○—	GUY WIRE
—○—	APPROX LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	X 7C 123.45	EXIST. TOP OF CURB ELEVATION	⊙	WATER MANHOLE	—○—	METAL GUARDRAIL	—○—	TRAFFIC SIGNAL POLE
—○—	APPROX LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT	X G 122.85	EXIST. GUTTER ELEVATION	⊙	STORM DRIN MANHOLE	—○—	BENCHMARK	—○—	TREE LINE
—○—	APPROX LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT		UTILITY POLE	⊙	WATER METER	—○—	FENCE	—○—	TREE (SIZE AS NOTED)
—○—	APPROX LOC. UNDERGROUND WATER LINE PER REF #1		TRAFFIC SIGNAL	⊙	GAS METER	—○—	LANDSCAPED AREA		
—○—	APPROX LOC. UNDERGROUND ELEC. LINE PER REF #3		MONITORING WELL	⊙	SIGN	—○—	BORING LOCATION		
—○—	APPROX LOC. UNDERGROUND SOWER LINE PER REF #2 & 3		ELECTRIC METER	⊙	CLEAN OUT	—○—	AREA LIGHT		
—○—	APPROX LOC. UNDERGROUND STORM LINE PER REF #2 & 3		ELECTRIC BOX	⊙	HYDRANT	—○—	PAINTED ARROWS		
—○—	APPROX LOC. FLOOD PLAIN		SANITARY MANHOLE	⊙	WATER VALVE	—○—	STORM & SANITARY STRUCTURE ID NUMBER		



BOUNDARY & TOPOGRAPHIC SURVEY
REDBRICK - POPLAR POINT

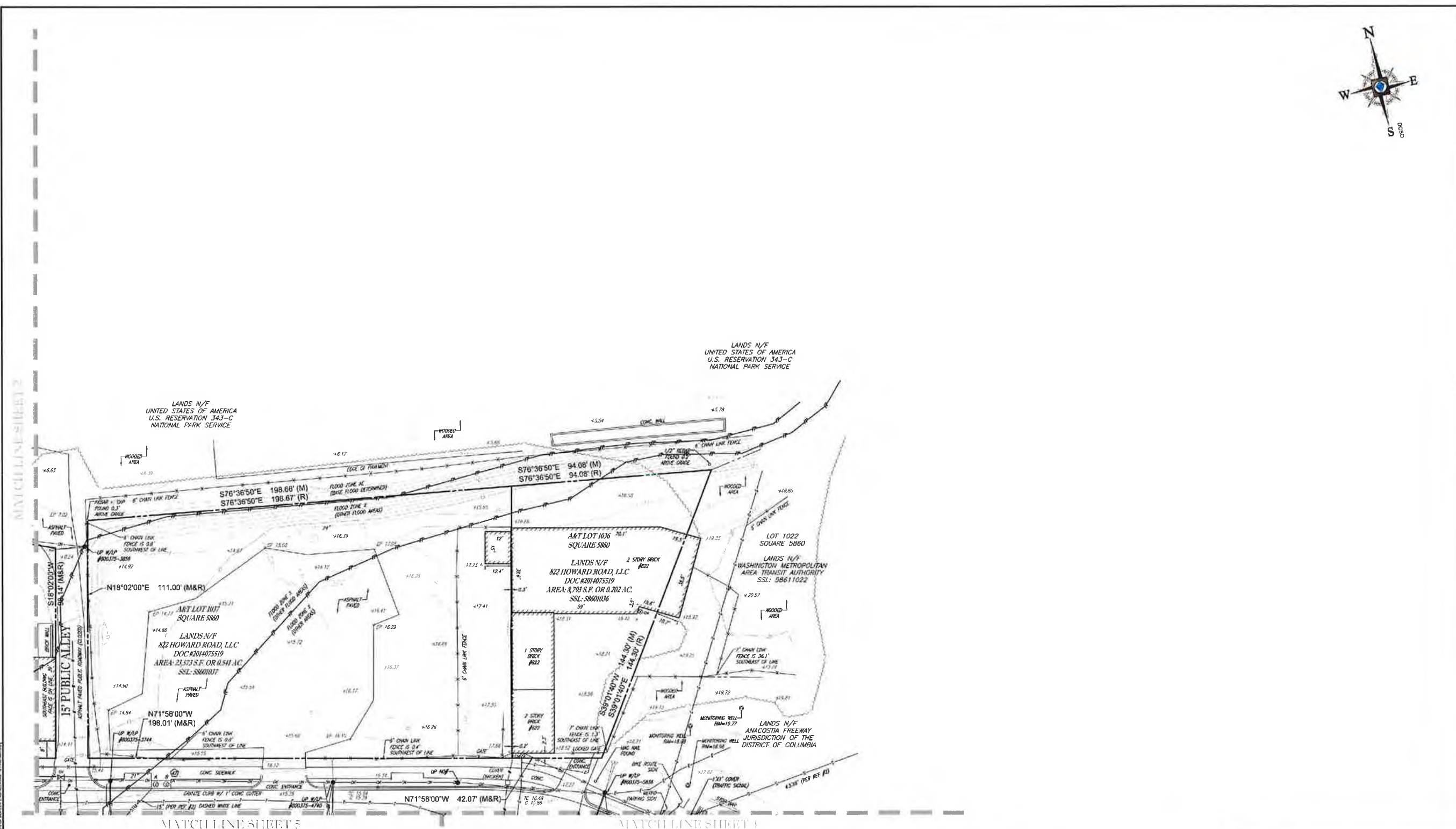
A&T LOTS 937, 969, 971, 982, 986, 988, 1020, 1025-1031, 1036& 1037 SQUARE 5860
A&T LOTS 961 & 987 SQUARE 5861, LOTS 79, 82-86 SQUARE 5861
651-821 600-850 HOWARD ROAD, S.E.
WASHINGTON, DISTRICT OF COLUMBIA

FILE NO: BRWV152035
DATE: 06/03/2016
FIELD DATE: 04/27/2016

BOHLER ENGINEERING

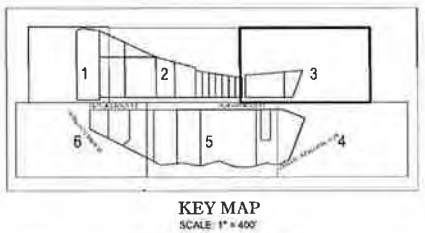
ROBERT C. HARR, JR. DATE: 04/27/2016
DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR NO. 090650

SCALE: 1" = 20'
DWG NO: 2 OF 6



LEGEND

OH	OVERHEAD WIRES	121	EXISTING CONTOUR	⊙	TELEPHONE MANHOLE	●	BOLLARD	— —	UTILITY POLE/LIGHT POLE
— —	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT	x 123.45	EXISTING SPOT ELEVATION	⊙	ELECTRIC MANHOLE	⊙	U-BOLLARD	— —	GUY WIRE
— —	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	x TC 123.45	EXIST. TOP OF CURB ELEVATION	⊙	WATER MANHOLE	⊙	METAL GUARDRAIL	— —	TRAFFIC SIGNAL POLE
— —	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT	x C 122.35	EXIST. GUTTER ELEVATION	⊙	STORM DRAIN MANHOLE	⊙	BENCHMARK	— —	TREE LINE
— —	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT	●	UTILITY POLE	⊙	WATER METER	⊙	FENCE	— —	TREE (SIZE AS NOTED)
— —	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1	⊙	TRAFFIC SIGNAL	⊙	GAS METER	⊙	LANDSCAPED AREA	— —	
— —	APPROX. LOC. UNDERGROUND ELEC. LINE PER REF. #3	⊙	MONITORING WELL	⊙	SIGN	⊙	BORING LOCATION	— —	
— —	APPROX. LOC. UNDERGROUND SEWER LINE PER REF. #2 & 3	⊙	ELECTRIC METER	⊙	CLEAN OUT	⊙	AREA LIGHT	— —	
— —	APPROX. LOC. UNDERGROUND STORM LINE PER REF. #2 & 3	⊙	ELECTRIC BOX	⊙	WATER VALVE	⊙	PAINTED ARROWS	— —	
— —	APPROX. LOC. FLOOD PLAIN	⊙	SANITARY MANHOLE	⊙	GAS VALVE	⊙	STORM & SANITARY STRUCTURE ID NUMBER	— —	



BOUNDARY & TOPOGRAPHIC SURVEY
REDBRICK - POPLAR POINT
 A&T LOTS 937, 969, 971, 982, 986, 988, 1020, 1025-1031, 1008& 1037 SQUARE 5860
 A&T LOTS 951 & 957 SQUARE 5861, LOTS 79, 82, 86 SQUARE 5861
 531-821 000-692 HOWARD ROAD, S.E.
 WASHINGTON, DISTRICT OF COLUMBIA

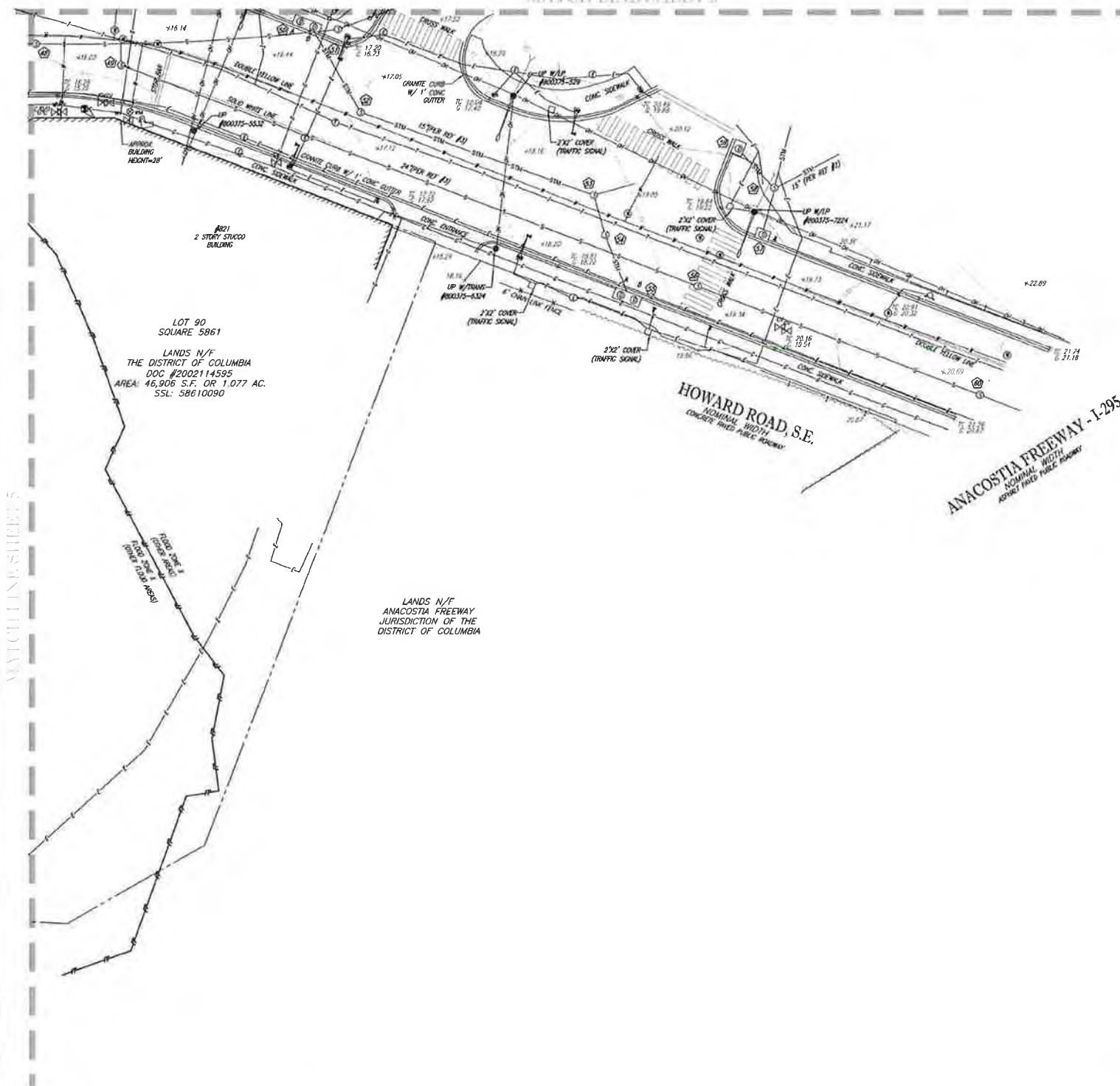
BOHLER ENGINEERING
 2800 GARDEN DRIVE, SUITE 200
 BETHESDA, MARYLAND 20814
 301.709.9000 - 301.709.9001 FAX
 www.bohlereng.com

FILE NO: SRVW 152035
 DATE: 06/03/2018
 FIELD DATE: 04/27/2018

CREW CHIEF: J.W. - S.E.
 DRAFTER: C.R.
 REVIEWED: J.E.B.
 APPROVED: J.S.F.
 SCALE: 1" = 20'
 SHEET NO: 3 OF 6

ROBERT C. HARR, JR.
 DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR NO. 906059

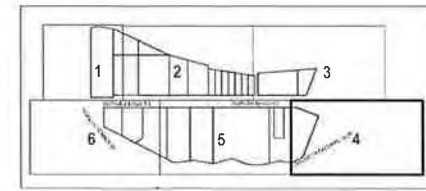
MATCH LINE SHEET 3



MATCH LINE SHEETS

LEGEND

	OVERHEAD WIRES		EXISTING CONTOUR		TELEPHONE MANHOLE		BOLLARD		UTILITY POLE/LIGHT POLE
	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT		EXISTING SPOT ELEVATION		ELECTRIC MANHOLE		U-BOLLARD		GUY WIRE
	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT		EXIST. TOP OF CURB ELEVATION		WATER MANHOLE		METAL GUARDRAIL		TRAFFIC SIGNAL POLE
	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT		EXIST. OUTER ELEVATION		STORM DRAIN MANHOLE		BENCHMARK		TREE LINE
	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT		UTILITY POLE		WATER METER		FENCE		TREE (SIZE AS NOTED)
	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1		TRAFFIC SIGNAL		GAS METER		LANDSCAPED AREA		FIRE DEPARTMENT CONNECTION
	APPROX. LOC. UNDERGROUND ELEC. LINE PER REF. #3		MONITORING WELL		SIGN		BORING LOCATION		
	APPROX. LOC. UNDERGROUND SEWER LINE PER REF. #2 & 3		ELECTRIC METER		CLEAN OUT		AREA LIGHT		
	APPROX. LOC. UNDERGROUND STORM LINE PER REF. #2 & 3		ELECTRIC BOX		HYDRANT		PAINTED ARROWS		
	APPROX. LOC. FLOOD PLAIN		SANITARY MANHOLE		WATER VALVE		STORM & SANITARY STRUCTURE ID NUMBER		
					GAS VALVE				



KEY MAP
SCALE: 1" = 400'

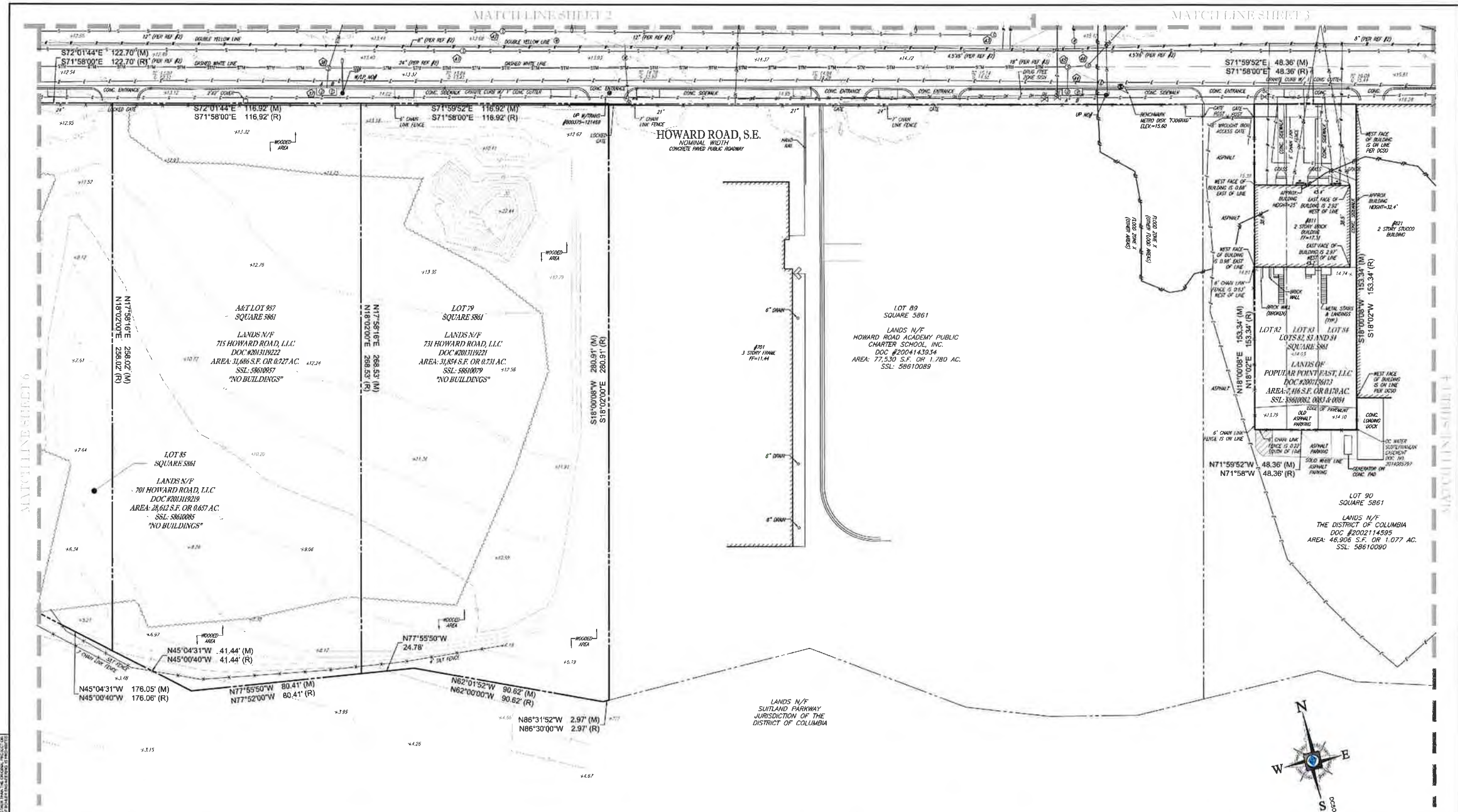
ROBERT C. HARR, JR.
DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR NO. 906059

BOUNDARY & TOPOGRAPHIC SURVEY
REDBRICK - POPLAR POINT

A&T LOTS 937, 969, 971, 982, 986, 988, 1020, 1025-1031, 1036& 1037 SQUARE 5860
A&T LOTS 951 & 957 SQUARE 5851, LOTS 79, 82-86 SQUARE 5861
631-821 600-892 HOWARD ROAD, S.E.
WASHINGTON, DISTRICT OF COLUMBIA

FILE NO. SDN152035	DATE 06/03/2016	FIELD DATE 04/27/2016	CREW CHIEF J.W. - S.E.	DRAWN C.R.	REVIEWED J.E.B.	APPROVED J.S.F.	SCALE 1" = 20'	DWG. NO. 4 OF 6
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BOHLER ENGINEERING
2028 DANFORTH DRIVE, SUITE 208
STERLING, VIRGINIA 22154
703.706.9500 • FAX 703.706.9501



LEGEND							
—○—	OVERHEAD WIRES	—○—	EXISTING CONTOUR	—○—	TELEPHONE MANHOLE	—○—	UTILITY POLE/LIGHT POLE
—○—	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT	—○—	EXISTING SPOT ELEVATION	—○—	ELECTRIC MANHOLE	—○—	GUY WIRE
—○—	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	—○—	EX-ST. TOP OF CURB ELEVATION	—○—	WATER MANHOLE	—○—	TRAFFIC SIGNAL POLE
—○—	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT	—○—	EX-ST. GUTTER ELEVATION	—○—	STORM DRAIN MANHOLE	—○—	TREE LINE
—○—	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT	—○—	UTILITY POLE	—○—	WATER METER	—○—	TREE (SIZE AS NOTED)
—○—	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1	—○—	TRAFFIC SIGNAL	—○—	GAS METER	—○—	
—○—	APPROX. LOC. UNDERGROUND ELEC. LINE PER REF. #3	—○—	MONITORING WELL	—○—	SIGN	—○—	
—○—	APPROX. LOC. UNDERGROUND SEWER LINE PER REF. #2 & 3	—○—	ELECTRIC METER	—○—	CLEAN OUT	—○—	
—○—	APPROX. LOC. UNDERGROUND STORM LINE PER REF. #2 & 3	—○—	ELECTRIC BOX	—○—	WATER VALVE	—○—	
—○—	APPROX. LOC. FLOOD PLAN	—○—	SANITARY MANHOLE	—○—	GAS VALVE	—○—	

KEY MAP	
1	2
3	4
5	6

KEY MAP SCALE: 1" = 400'

BOUNDARY & TOPOGRAPHIC SURVEY
REDBRICK - POPLAR POINT

A&T LOTS 937, 968, 971, 982, 988, 988, 1020, 1025-1031, 1036& 1037 SQUARE 5880
 A&T LOTS 951 & 957 SQUARE 5861, LOTS 79, 82-86 SQUARE 5861
 631-621 600-892 HOWARD ROAD, S.E. WASHINGTON, DISTRICT OF COLUMBIA

FILE NO: SRVY152035
 DATE: 06/03/2016
 FIELD DATE: 04/27/2016

BOHLER ENGINEERING
 2200 24th St SW, Suite 100
 Seattle, WA 98148
 206.461.1111
 www.bohler-engineering.com

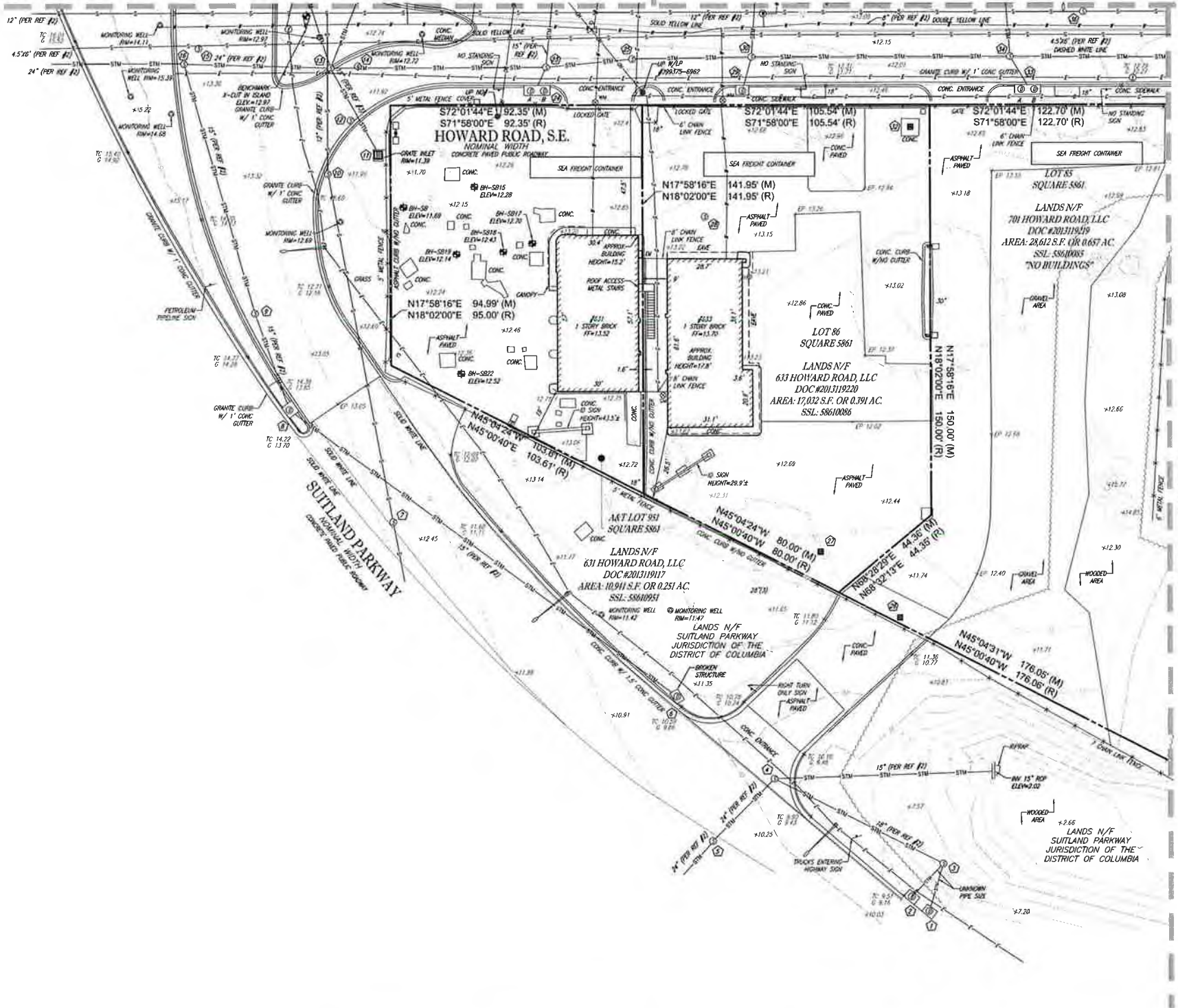
ROBERT C. HARR, JR. DATE: 11/14/2017
 DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR NO. 9060059

CREW CHIEF	DRAWN	REVIEWED	APPROVED	SCALE	EVDG NO.
J.W. - S.E.	C.R.	J.E.B.	J.S.F.	1" = 20'	5 of 6



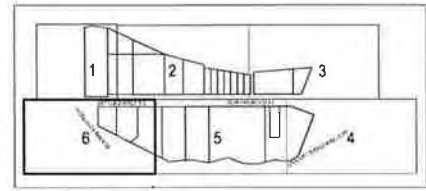
MATCH LINE SHEET 1

MATCH LINE SHEET 2



LEGEND

	OVERHEAD WIRES		EXISTING CONTOUR		TELEPHONE MANHOLE		UTILITY POLE/LIGHT POLE
	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT		EXISTING SPOT ELEVATION		ELECTRIC MANHOLE		GUY WIRE
	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT		EXIST. TOP OF CURB ELEVATION		WATER MANHOLE		TRAFFIC SIGNAL POLE
	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT		EXIST. GUTTER ELEVATION		STORM DRAIN MANHOLE		TREE LINE
	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT		UTILITY POLE		WATER METER		TREE (SIZE AS NOTED)
	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1		TRAFFIC SIGNAL		GAS METER		
	APPROX. LOC. UNDERGROUND ELEC. LINE PER REF. #3		MONITORING WELL		SIGN		
	APPROX. LOC. UNDERGROUND SEWER LINE PER REF. #2 & 3		ELECTRIC METER		CLEAN OUT		
	APPROX. LOC. UNDERGROUND STORM LINE PER REF. #2 & 3		ELECTRIC BOX		HYDRANT		
	APPROX. LOC. FLOOD PLAIN		SANITARY MANHOLE		WATER VALVE		
			GAS VALVE		PAINTED ARROWS		
					STORM & SANITARY STRUCTURE ID NUMBER		



KEY MAP
SCALE: 1" = 400'



BOUNDARY & TOPOGRAPHIC SURVEY
REDBRICK - POPLAR POINT
 A&T LOTS 937, 969, 971, 982, 986, 988, 1020, 1025-1031, 1036& 1037 SQUARE 5860
 A&T LOTS 951 & 957 SQUARE 5861, LOTS 79, 82-86 SQUARE 5861
 831-821 600-692 HOWARD ROAD, S.E.
 WASHINGTON, DISTRICT OF COLUMBIA

FILE NO: SRW152035
 DATE: 06/03/2016
 FIELD DATE: 04/27/2016

ROBERT C. HARR, JR.
 DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR NO. 006059

DATE: _____
 FIELD DATE: _____
 DRAWN: J.W. - S.E.
 CHECKED: C.R.
 REVISIONS: _____
 APPROVED: J.E.B.
 SCALE: 1" = 20'
 DWS NO: 6 OF 6

BOHLER ENGINEERING
 2500 WASHINGTON DRIVE, SUITE 200
 STERLING, VIRGINIA 20164
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 WWW.BOHLENERGINEERING.COM

