



ZC Case No. 15-28 - PUD Modification
Address: 301 N St NE Washington, DC 20002

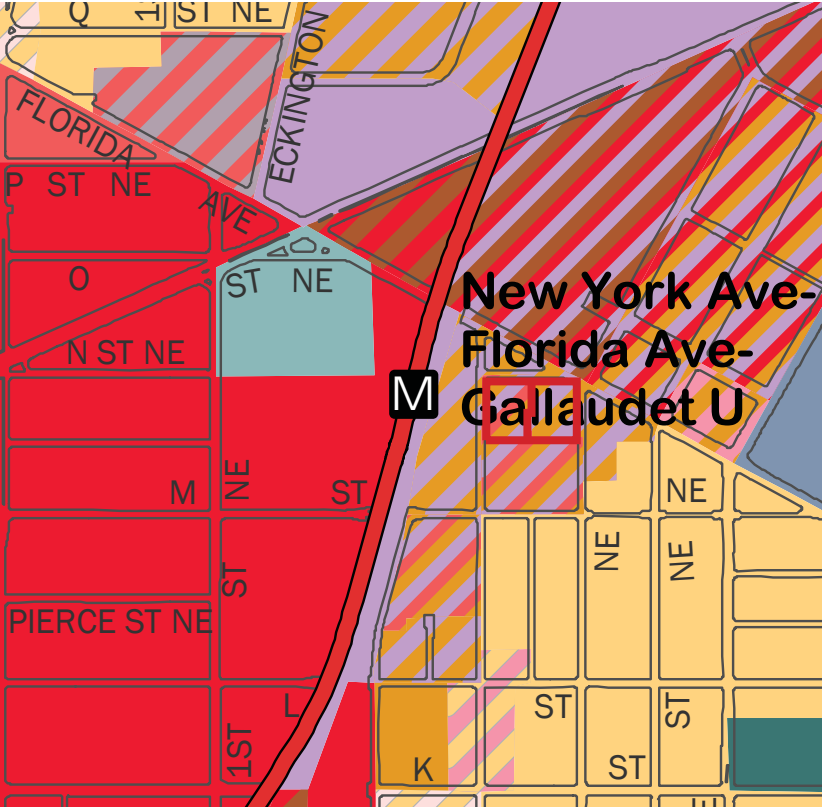
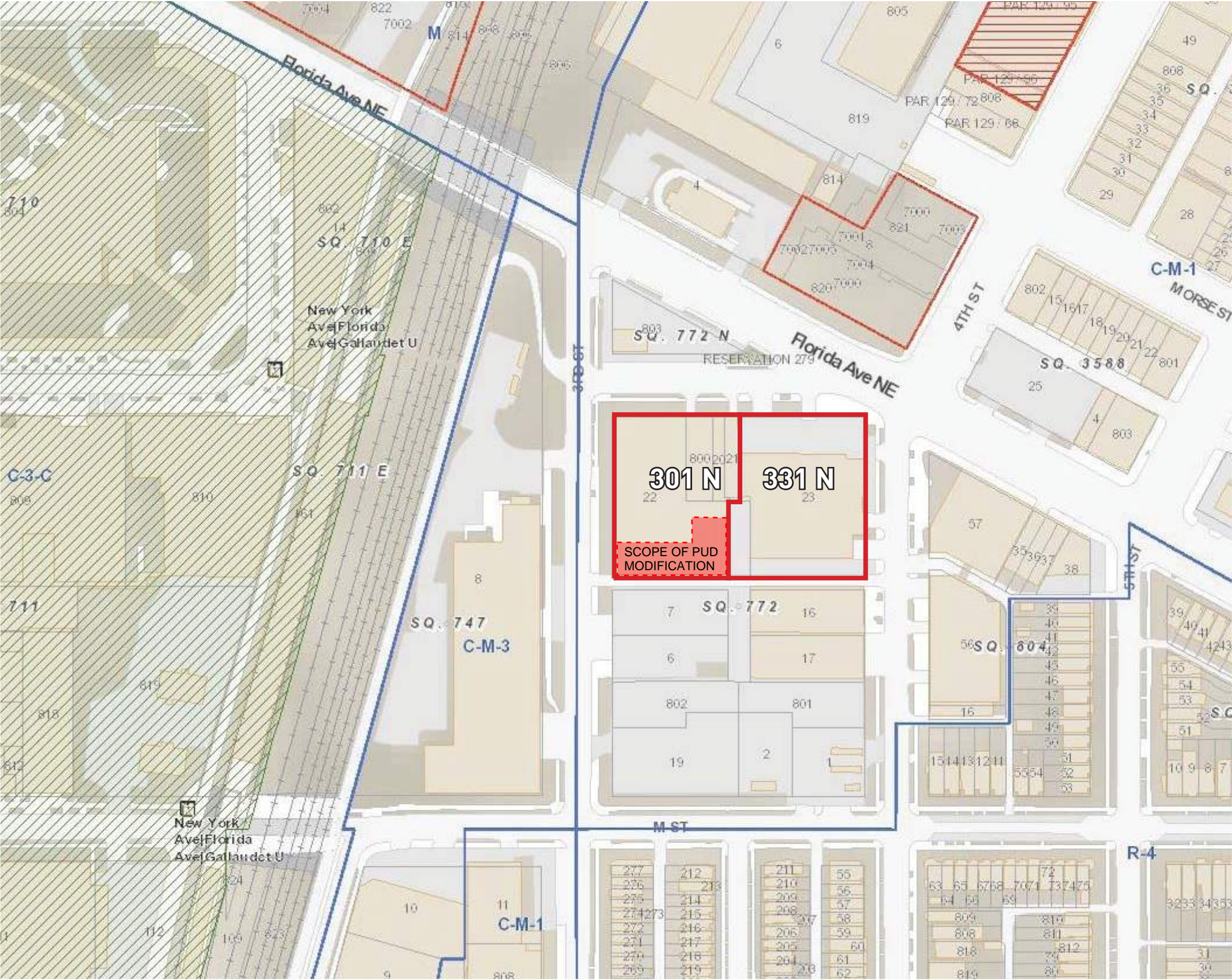
FILLAT+ ARCHITECTURE
PLAN REVIEW - PRESENTATION

PRESS HOUSE HOTEL
24006 - 301 N St NE Washington, DC 20002

COVER PAGE

SCALE:
DATE: 09/05/2025

ZONING COMMISSION
District of Columbia
CASE NO. 15-28A
EXHIBIT NO. 20B1
FILLAT+
ARCHITECTURE



- Low Density Residential
- Moderate Density Residential
- Medium Density Residential
- High Density Residential
- Low Density Commercial
- Moderate Density Commercial
- Medium Density Commercial
- High Density Commercial
- Production, Distribution, and Repair



301 + 331 N Street, NE Zoning Analysis													
Square 722													
		Allowable by Current Zoning (C-M-1)	Allowable by Zoning (C-3-C PUD)	Proposed - 301 N St. NE			Proposed - 331 N St. NE			Proposed - Combined 301 + 331 N St. NE			
Site Area		N/A	N/A	33,120 sf			36,120 sf			69,240 sf			
FAR		3.0 matter of right (3.0 with PUD) No Residentail permitted	Residential and Commercial 8.0 Total with PUD (6.5 matter of right)	12,241 GSF Retail 25,659 GSF Office 80,366 GSF Hotel 82,386 GSF Residential 977 GSF Service 201,629 GSF Total 3.60 Commercial FAR 2.49 Residential FAR 6.09 Total FAR			13,086 GSF Retail 0 GSF Office 0 GSF Hotel 241,362 GSF Residential 5,644 GSF Service, Bike storage, and Covered Exterior 260,092 GSF Total 0.52 Commercial FAR 6.68 Residential FAR 7.20 Total FAR			25,327 GSF Retail 25,659 GSF Office 80,366 GSF Hotel 323,748 GSF Residential 6,621 GSF Service, Bike storage, and Covered Exterior 461,721 GSF Total 1.99 Commercial FAR 4.68 Residential FAR 6.67 Total FAR			
Building Height		40' matter of right, 3 stories max. (60' with PUD)	130' with PUD (90' matter of right) stories-no limit	110' 11 Stories			120' 11 Stories			Per site 11 Stories			
Penthouse		FAR = N/A Height = 12' max (15' for mechanical) 1:1 setback	FAR = .4 max Height = 20' max 1:1 setback	0.22 FAR 20' @ Elevator override/Mech PH, 12' typical Relief Requested for 1:1 setback at east courtyard			0.27 FAR 20' @ Elevator override/Mech PH, 12' typical Relief Requested for 1:1 setback on interior courtyard sides			Per site 20' @ Elevator override/Mech PH, 12' typical Relief Requested for 1:1 setback adjacent to 331 N Street Courtyard			
Lot Occupancy		N/A	100%	39% (Calculated at 1st Floor)			74% (Calculated at 1st Floor)			57% (Calculated at 1st Floor)			
Dwelling Units Hotel Units		N/A	N/A N/A	96 Units (Approx.) 175 Hotel Units (Approx.)			276 Units (Approx.)			372 Units (Approx.) 175 Hotel Units (Approx.)			
Rear Yard		2.5 inches per foot of height not < 12 feet	2.5 inches per foot of height not < 12 feet	10' provided - Relief Requested (2.5"x105'=21'-11" Req'd)			5' provided - Relief Requested (2.5"x125'=26'-1" Req'd)			5-10' provided - Relief Requested			
Side Yard		None required	None required; If provided 2 inches per foot of height not < 6 feet	None Provided			None Provided			None Provided			
Courtyards Open Closed		Min. Width: 2.5" per ft of height not < 6' Area: Twice square of req'd width not < 250 sf	Min. Width: 4" per ft of height not < 15' (res) Area: Twice square of req'd width not < 350 sf (res)	None Provided Relief Requested			Provided as Required Provided as Required			Provided as Required 301 N Closed Court complies when sites combined			
Parking Requirement				Note: Parking Garage shared between sites			Note: Parking Garage shared between sites			Note: Compact spaces not to exceed 40% for required spaces			
Retail		N/A	1 space per 750 sf over the first 3,000 sf	Total Required- 13 required		Total Provided 13 provided	Total Required- 14 required		Total Provided 14 provided	Total Required- 27 required		Total Provided 27 provided	
Office			1 space per 1800 sf over the first 2,000 sf	13 required		13 provided	0 required		0 provided	13 required		13 provided	
Hotel			1 space per 4 hotel rooms	44 required		44 provided	0 required		0 provided	44 required		44 provided	
Residential			1 space per each 4 D.U.	23 required		40 provided	68 required		116 provided	91 required		156 provided	
				93 Total Req'd		110 total provided	82 Total Req'd		130 total provided	175 Total Req'd		240 total provided	
Bike Parking (Proposed Regs)		N/A	Long-Term Spaces 1 space per 10,000 SF 1 space per 2,500 SF 1 space per 10,000 SF 1 space per each 3 D.U.	Short-Term Spaces 1 space per 3,500 SF 1 space per 40,000 SF 1 space per 40,000 SF 1 space per each 20 D.U.	Long-Term Spaces 2 required 10 required 8 required 32 required	Short-Term Spaces 3 required 1 required 2 required 5 required	Total Provided 8 provided 15 provided 10 provided 48 provided	Long-Term Spaces 2 required 0 required 0 required 92 required	Short-Term Spaces 4 required 0 required 0 required 14 required	Total Provided 12 provided 0 provided 0 provided 137 provided	Long-Term Spaces 4 required 10 required 8 required 124 required	Short-Term Spaces 7 required 1 required 2 required 19 required	Total Provided 20 provided 15 provided 10 provided 185 provided
				52 L.T. Req'd	11 S.T. Req'd	81 total provided	94 L.T. Req'd	18 S.T. Req'd	149 total provided	146 L.T. Req'd	28 S.T. Req'd	230 total provided	
				63 Total Req'd			111 Total Req'd			175 Total Req'd			
Loading		N/A	1 loading berth at 30' + 100 sf platform 1 loading berth at 30' + 100 sf platform+1 20' service space 1 loading berth at 30' + 100 sf platform+1 20' service space 1 loading berth at 55' + 200 sf platform+1 20' service space	Shared with 331 N Site - Relief Requested Shared with 331 N Site - Relief Requested Shared with 331 N Site - Relief Requested Shared with 331 N Site - Relief Requested			*2 loading berths at 30' + 100 sf platforms *1 20' service space * Shared between all uses on 301N and 331N Relief Requested			*2 loading berths at 30' + 100 sf platforms *1 20' service space * Shared between all uses on 301N and 331N Relief Requested			
Retail (5,000-20,000 sf)													
Office (20,000-50,000 sf)													
Hotel (30-200 rooms)													
Residential													

301 + 331 N Street, NE Zoning Analysis											
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Site Area		N/A	N/A	33,120 sf			36,120 sf			69,240 sf	
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Building Height		40' matter of right, 3 stories max. (60' with PUD)	130' with PUD (90' matter of right) stories-no limit	110' 11 Stories			120' 11 Stories			Per site 11 Stories	
Penthouse		FAR = N/A Height = 12' max (15' for mechanical) 1:1 setback	FAR = .4 max Height = 20' max 1:1 setback	0.22 FAR 20' @ Elevator override/Mech PH, 12' typical Relief Previously Granted for 1:1 setback at east courtyard			0.27 FAR 20' @ Elevator override/Mech PH, 12' typical Relief Previously Granted for 1:1 setback at east courtyard			Per site 20' @ Elevator override/Mech PH, 12' typical Relief Previously Granted for 1:1 setback at east courtyard	
Lot Occupancy		N/A	100%	83% (Calculated at 1st Floor) - per Z.C. Order No. 15-28			74% (Calculated at 1st Floor)			78% (Calculated at 1st Floor) - per Z.C. Order No. 15-28	
Dwelling Units Hotel Units		N/A	N/A N/A	96 Units (Approx.) 179 Hotel Units (Approx.)			276 Units (Approx.)			372 Units (Approx.) 179 Hotel Units (Approx.)	
Rear Yard		2.5 inches per foot of height not < 12 feet	2.5 inches per foot of height not < 12 feet	10' provided - Relief Previously Granted (2.5"x105'=21'-11" Req'd)			5' provided - Relief Previously Granted (2.5"x125'=26'-1" Req'd)			5-10' provided - Relief Previously Granted	
Side Yard		None required	None required; If provided 2 inches per foot of height not < 6 feet	None Provided			None Provided			None Provided	
Courtyards Open Closed		Min. Width: 2.5" per ft of height not < 6' Area: Twice square of req'd width not < 250 sf	Min. Width: 4" per ft of height not < 15' (res) Area: Twice square of req'd width not < 350 sf (res)	None Provided Relief Previously Granted			Provided as Required Provided as Required			Provided as Required 301 N Closed Court complies when sites combined	
Parking Requirement		N/A	1 space per 750 sf over the first 3,000 sf 1 space per 1800 sf over the first 2,000 sf 0.5 per 1000 sf over 3,000 sf (50% transit reduction allowed) 1 space per each 4 D.U.	Note: Parking Garage shared between sites Total Required- 0 required 13 required 22 required 23 required 58 Total Req'd			Note: Parking Garage shared between sites Total Required- 14 required 0 required 0 required 68 required 82 Total Req'd			Note: Compact spaces not to exceed 40% for required spaces Total Required- 14 required 13 required 22 required 91 required 140 Total Req'd	
Bike Parking (Proposed Regs)		N/A	Long-Term Spaces 1 space per 10,000 SF 1 space per 2,500 SF 1 space per 10,000 SF 1 space per each 3 D.U. Short-Term Spaces 1 space per 3,500 SF 1 space per 40,000 SF 1 space per 40,000 SF 1 space per each 20 D.U.	Long-Term Spaces 0 required 10 required 9 required 32 required 51 L.T. Req'd			Short-Term Spaces 0 required 1 required 2 required 5 required 8 S.T. Req'd 59 Total Req'd			Total Provided 13 provided 13 provided 36 provided 40 provided 102 total provided	
Loading		N/A	1 loading berth at 30' + 100 sf platform 1 loading berth at 30' + 100 sf platform+1 20' service space 2 loading berth at 30' + 200 sf platform 1 loading berth at 55' + 200 sf platform+1 20' service space	Shared with 331 N Site - Relief Previously Granted Shared with 331 N Site - Relief Previously Granted Shared with 331 N Site - Relief Previously Granted Shared with 331 N Site - Relief Previously Granted			*2 loading berths at 30' + 100 sf platforms *1 20' service space * Shared between all uses on 301N and 331N Relief Previously Granted			*2 loading berths at 30' + 100 sf platforms *1 20' service space * Shared between all uses on 301N and 331N Relief Previously Granted	

NOTES:

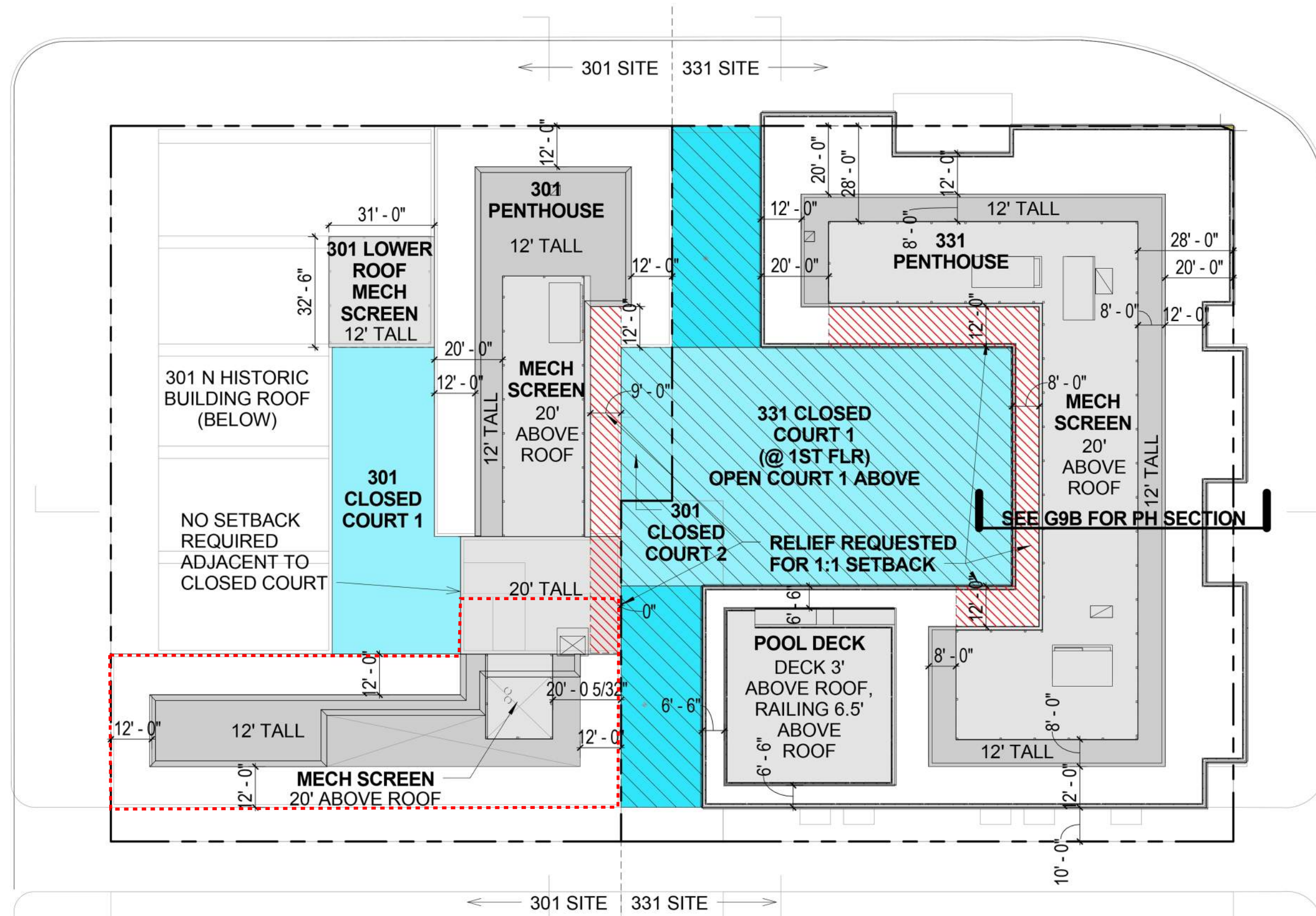
Per Subtitle A, Section 102.4, "a modification to a vest project (other than a minor modification) shall conform with the 2016 Regulations as the 2018 Regulations apply to the requested modification. As such, the development standards of ZR16 have been applied to the hotel on the 301 N portion of the PUD since that is the only part of the previously-approved PUD that is subject to the modification. Adjustments to zoning tabulations resulting from PUD modification shown in red.


Flexibility is requested to vary the number of hotel rooms on the 301 N portion of the PUD by +/-10%

Under ZR16, the loading requirement for the hotel increased from one berth to two berths. Pursuant to Z.C. Order No. 15-28, Conclusions of Law 6, the Commission granted flexibility for loading to allow shared loading between 301N and 331N, with all loading facilities located within 331N, which has been constructed with two berths and one delivery space. Thus, additional flexibility is not required for the proposed modifications to the hotel.

Pursuant to Z.C. Order No. 15-28, Conclusions of Law 6, the Commission granted flexibility for penthouse setback. Additional flexibility is not required for the expanded mechanical penthouse on the east side of the hotel building. Since the Commission approved the initial PUD, the penthouse regulations have been amended. Currently, per Subtitle C, Section 1504.1(c)(3), a 1:1 setback is only required along a side building wall when the adjacent property along the shared side lot line has a lower permitted matter-of-right building height. Since both 301N and 331N were rezoned to the same zone as part of the approved PUD, and thus may achieve the same matter-of-right building height, a 1:1 penthouse setback is not required along the shared side lot line.

Minor edits made to correct errors that were contained in previously approved zoning analysis table shown in blue.

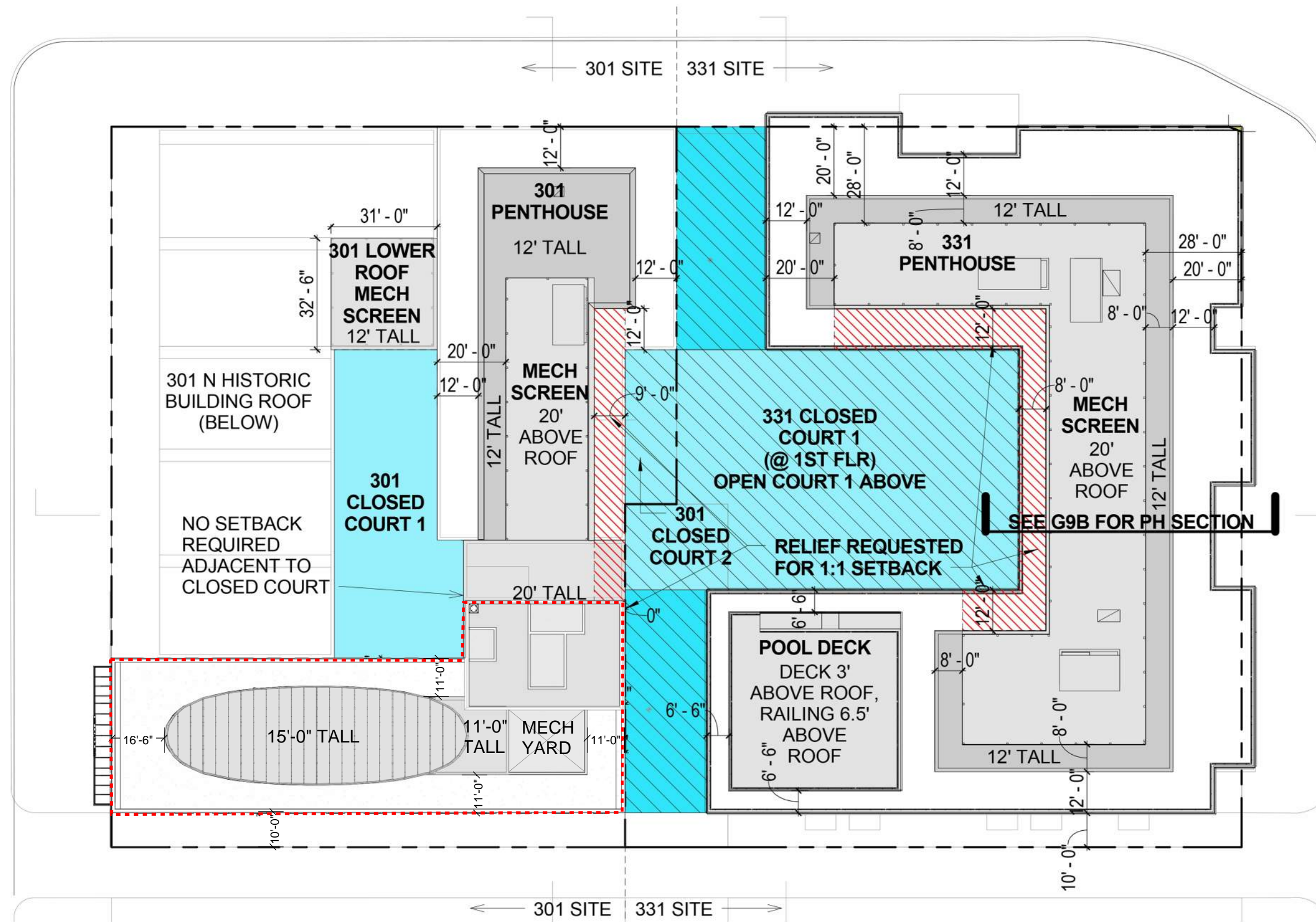



 DASHED RED AREA INDICATES PORTION OF ROOF WHERE PENTHOUSE ENCLOSURE DOES NOT MEET 1:1 SETBACK

RELIEF/FLEXIBILITY PREVIOUSLY GRANTED PER Z.C. ORDER NO. 15-18.

NOTE:

Pursuant to Z.C. Order No. 15-28, Conclusions of Law 6, the Commission granted flexibility for penthouse setback. Additional flexibility is not required for the expanded mechanical penthouse on the east side of the hotel building. Since the Commission approved the initial PUD, the penthouse regulations have been amended. Currently, per Subtitle C, Section 1504.1(c)(3), a 1:1 setback is only required along a side building wall when the adjacent property along the shared side lot line has a lower permitted matter-of-right building height. Since both 301N and 331N were rezoned to the same zone as part of the approved PUD, and thus may achieve the same matter-of-right building height, a 1:1 penthouse setback is not required along the shared side lot line.



 DASHED RED AREA INDICATES PORTION OF ROOF WHERE PENTHOUSE ENCLOSURE DOES NOT MEET 1:1 SETBACK

RELIEF/FLEXIBILITY PREVIOUSLY GRANTED PER Z.C. ORDER NO. 15-18.

NOTE:

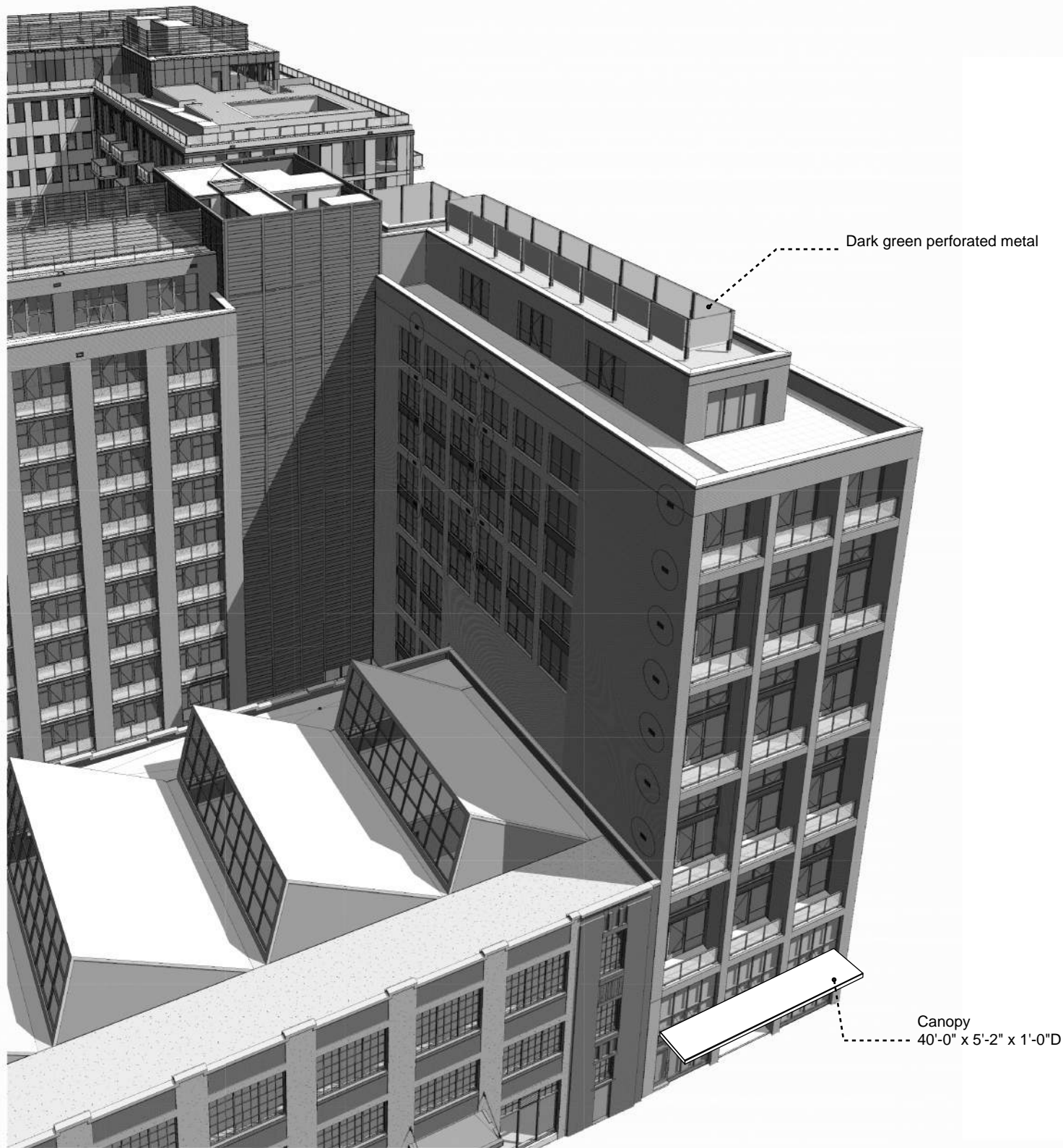
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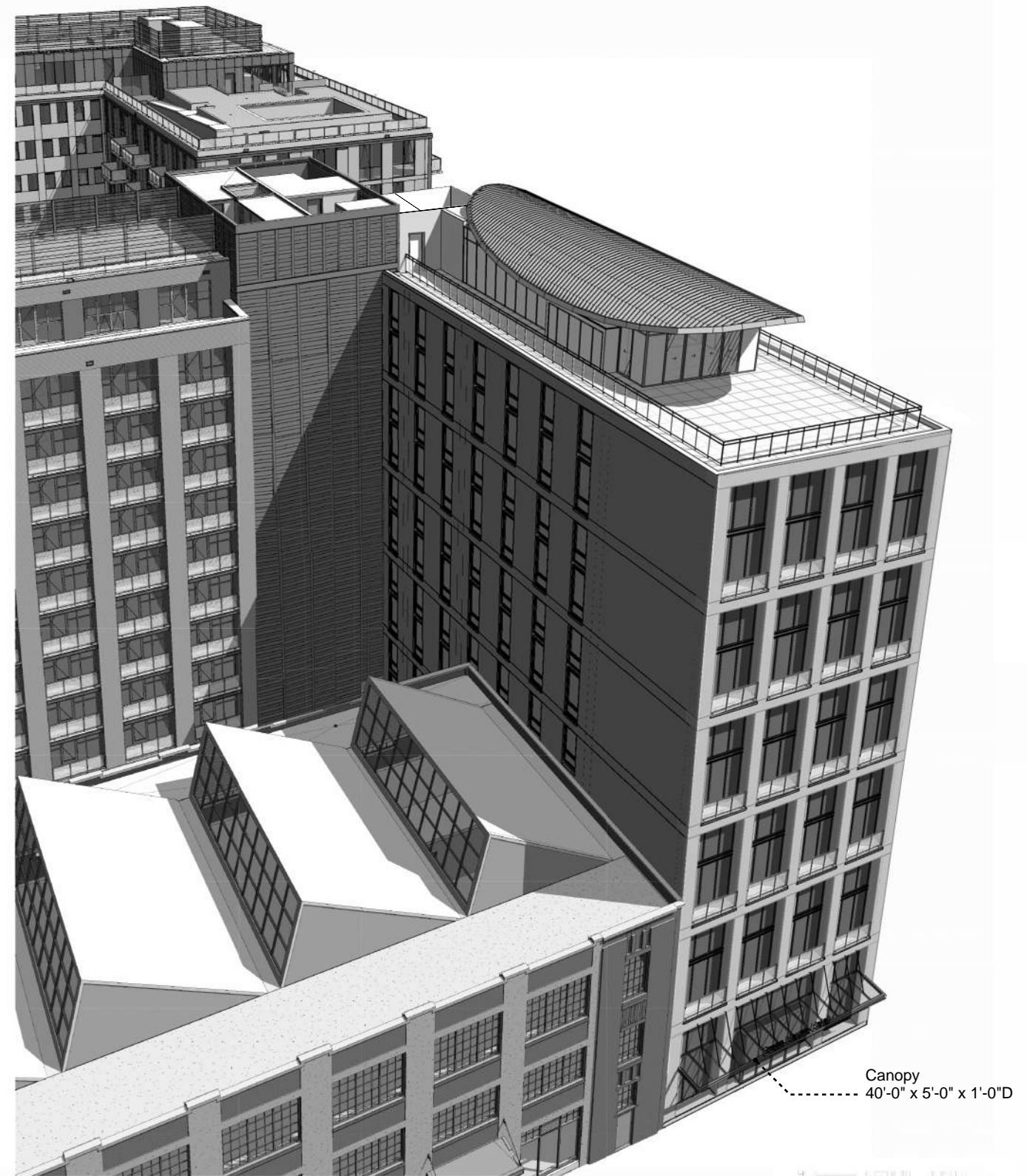








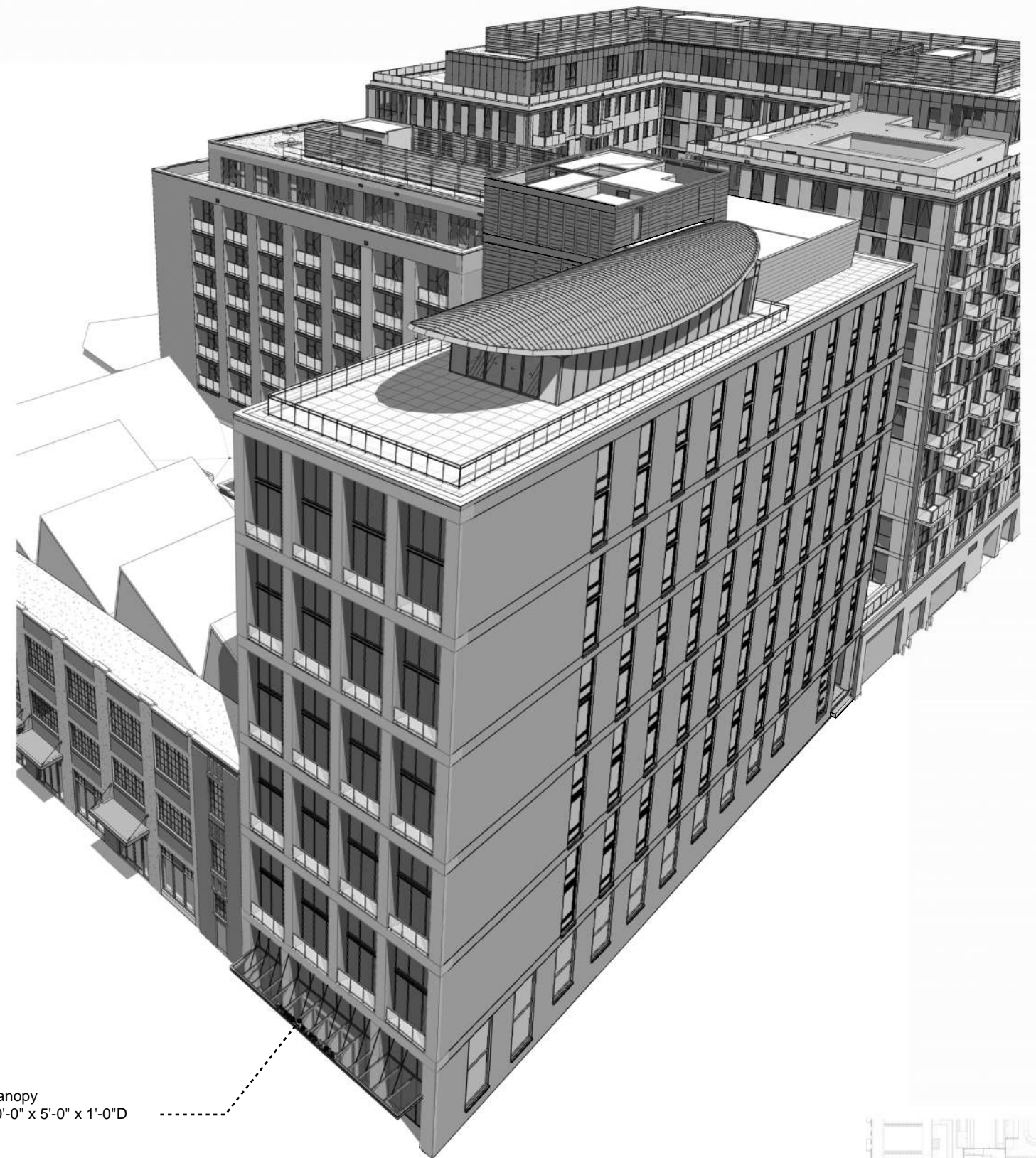
BASED ON APPROVED AERIAL VIEW - NORTHWEST #1



PROPOSED AERIAL VIEW - NORTHWEST #1



BASED ON APPROVED AERIAL VIEW - NORTHWEST #2



PROPOSED AERIAL VIEW - NORTHWEST #2

