

Ten|Van Street

Residential Project

Zoning Commission

September 8, 2015



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ZONING COMMISSION

District of Columbia

CASE NO.15-23

EXHIBIT NO.2

Contents

Surrounding Context	3
Surrounding Context Massing	4
Surrounding Context Views	5
Property Survey and Site Analysis	6
Zoning Envelope and Analysis	7
LEED Analysis and Scorecard	8
Site with Surrounding Context	9
Building Massing and SF Metrics	10
Layout Diagram - Parking Level 3	11
Layout Diagram - Parking Level 2	12
Layout Diagram - Parking Level 1	13
Unit Layout Diagram - Ground Floor	14
Unit Layout Diagram - Second Floor	15
Unit Layout Diagram - Third Floor	16
Unit Layout Diagram - Fourth Floor	17
Unit Layout Diagram - Fifth Floor	18
Unit Layout Diagram - Sixth-Eleventh Floor	19
Unit Layout Diagram - Twelfth Floor	20
Unit Layout Diagram - Thirteenth Floor	21
Unit Layout Diagram - Penthouse Floor	22
Building Elevation - South Capitol Facade	23
Building Elevation - Van Street Facade	24
Building Elevation - Building South Facade	25
South Capitol Rendering - Looking North	26
South Capitol Rendering - Looking South	27
South Capitol Rendering - Townhouse View	28
Van Street Rendering - Looking South	29
Building Exterior Material Palette	30
Building Section - North Wing Looking North	31
Building Section - Courtyard Looking North	32
Building Section - Parking Garage Ramp	33
Site Streetscape - South Capitol	34
Site Streetscape - Van Street	35
Site Streetscape Sections	36

Diagram | Surrounding Context of Capitol Gateway and Navy Yard

Not to Scale



The **Capitol Gateway** Overlay District is applied to the Buzzard Point and Capitol Gateway areas, which are designated for mixed use development in the Comprehensive Plan for the National Capitol.

Introduction

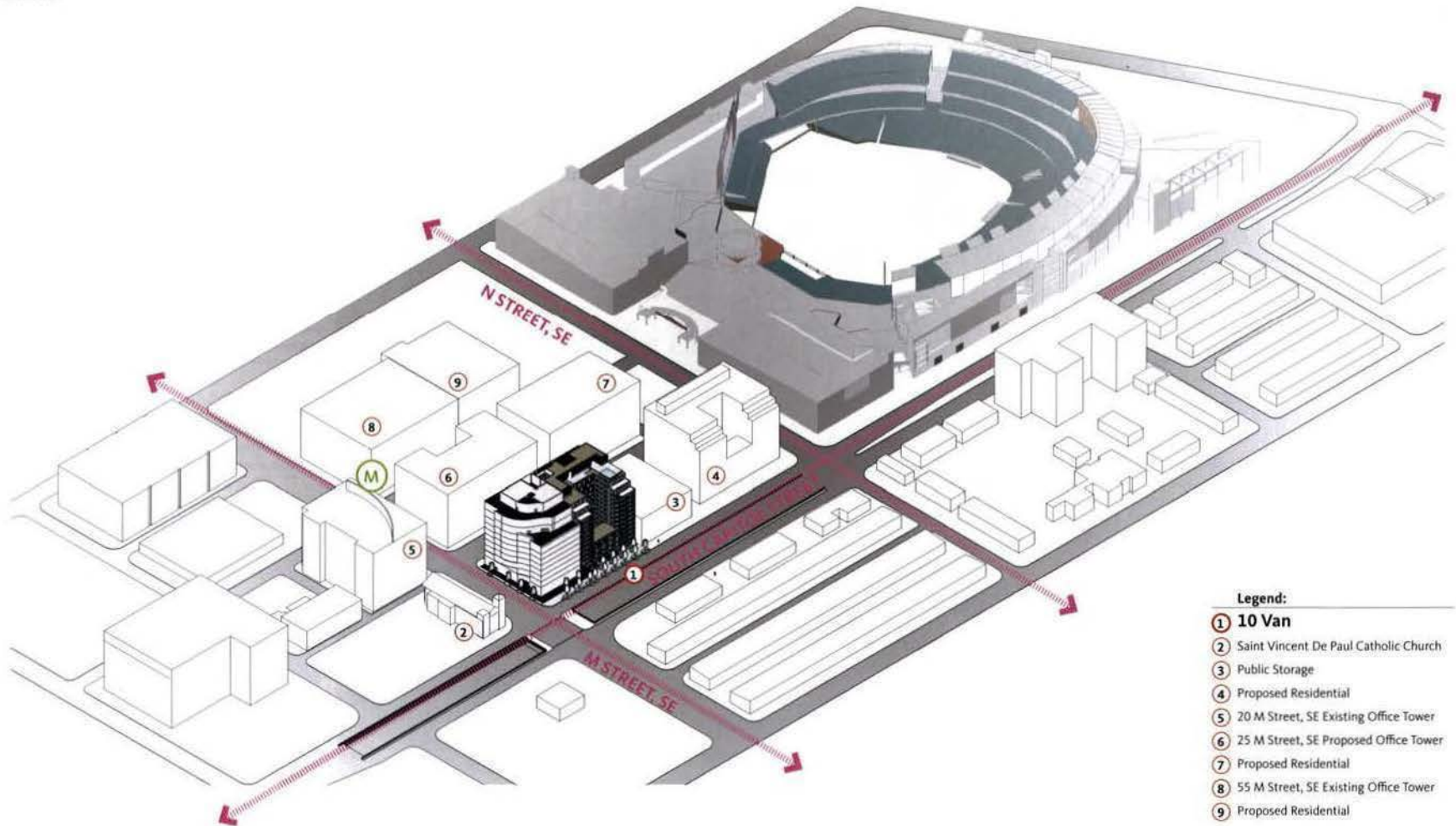
The purpose of the CG Overlay District is to (a) assure development of the area with a mixture of residential and commercial uses and a suitable height, bulk and design of buildings, (b) encourage a variety of support and visitor related uses such as retail, service, entertainment, culture and hotel or inn uses, (c) require suitable ground-level retail and service uses and adequate sidewalk widths along M Street, SE near the Navy Yard Metrorail Station and (d) provide for the establishment of South Capitol Street as a monumental civic boulevard.

The Project a multi-family residential building located on a lot at the corner of South Capitol Street and M Street, SE. The lot will contain both a commercial office development to the north along M Street and the Project multi-family residential development to the south which fronts on South Capitol and Van Street.



Axonometric | Site with Surrounding Context from Northwest

Not to Scale



Legend:

- ① 10 Van
- ② Saint Vincent De Paul Catholic Church
- ③ Public Storage
- ④ Proposed Residential
- ⑤ 20 M Street, SE Existing Office Tower
- ⑥ 25 M Street, SE Proposed Office Tower
- ⑦ Proposed Residential
- ⑧ 55 M Street, SE Existing Office Tower
- ⑨ Proposed Residential

Diagram | Surrounding Context Views

Not to Scale

Site Analysis | Views



- Views from the Site
- - - - - Primary Views to the Site

The Site takes its primary views along the wider street of South Capitol with views of the Capitol Building to the North and overlooking Buzzard Points to the West.

Views towards the Ballpark can be captured from the Rooftop of the Site with Van Street being a smaller scale.



Not to Scale

Location:

Washington, DC

Lot:

Square 700, Lot 43 & 866

Total Lot Size:

35,558 Square Feet



Diagram | Zoning Envelope and Analysis

Not to Scale

Zoning Analysis:

- Existing Site Area**
Square 700 - Lots 43 & 866
35,558.12 Square Feet

	Office Lot	Residential Lot
Proposed Lot Area (GSF)	15,795	19,763
- Zoning**
CR Mixed Use Commercial Residential District
CG Capitol Gateway Overlay District
- Gross Floor-Area-Ratio**
1602.1 **8.5 from Combined Lot Development**
1.0 Additional Bonus FAR
- Allowable Gross Floor Area**
337,802.14 Square Feet

	Proposed	Allowable
Proposed FAR Usage (SF)	300,847	337,801

Includes:
124,362 Square Feet of Office from Order 15-11
176,485 Square Feet of Proposed Residential
- Max Percentage of Lot Occupancy**
1601.1 **80% of Residential Lot = 15,800 Square Feet**
Relief Requested:

	Proposed
Proposed Lot Coverage (SF)	17,435
- Maximum Building Height**
1605.3 **130 Feet**
1:1 Setback required along South Capitol above 110 Ft.
- Facade Wall along South Capitol Street**
1605.5 **60% of 14,386 SqFt Facade Area = 8,632 Square Feet**
8,680 Square Feet Provided
- Minimum Yard Requirements**
CG Overlay on South Capitol Street
Side Yard
Rear yard
1605.2 **15 Feet for the Entire Height**
637.1 **No Requirement**
636.5 **No Requirement**
- Minimum Court Dimensions**
Open Court
638.1 Width is 3" per foot of Height but not less than 10 Feet
88.75 Feet High at 3"/ft = 22.25 Feet
Minimum Dimension Provided: 59'-5"
Closed Court
638.2 Width is 4" per foot of Height but not less than 15 Feet
28.5 Feet High at 4"/ft = 9.5 Feet
Minimum Dimension Provided: 25'-6"

Area is twice the square of the required court width dimension
2 x (10 Feet x 10 Feet) = 200 Square Feet
Minimum Area Provided:
25'-6" x 53'-1" = 1,351.5 Square Feet

Zoning Analysis, continued:

- Required Parking**
Apartment House or Multiple Dwelling
2101.1 1 for each 3 dwelling units
163 Units / 3 per Dwelling Unit = 55 Parking Spaces
Parking Spaces Provided: 92 Spaces
- Required Loading**
Residential Use with 50 or more dwellings
2201.1 1 Loading Berth at 55 Feet Deep
1 Loading Platform at 200 Square Feet
1 Service Space at 20 Feet Deep

Relief Requested from Provided:
1 Loading Berth at 30 Feet Deep
1 Loading Platform at 200 Square Feet
1 Service Space at 20 Feet Deep
- Bicycle Parking**
Bike Parking Spaces per DDOT
2119.2 Equal to five percent (5%) of the number of auto parking spaces
55 Required Parking * 5% = 3 Bike Spaces.
Parking Spaces Provided: 60 Spaces
- Roof Structures**
Roof Structure Allowable FAR
411.7 An increase in FAR not to exceed .37 is permitted for Penthouse
Any Roof Structure FAR need not be included in required
Maximum Height 18'-6" with 1:1 Set Back Ratio
- Green Area Ratio (GAR)**
3402.1 0.20 Required and Proposed
- Massing Diagram**

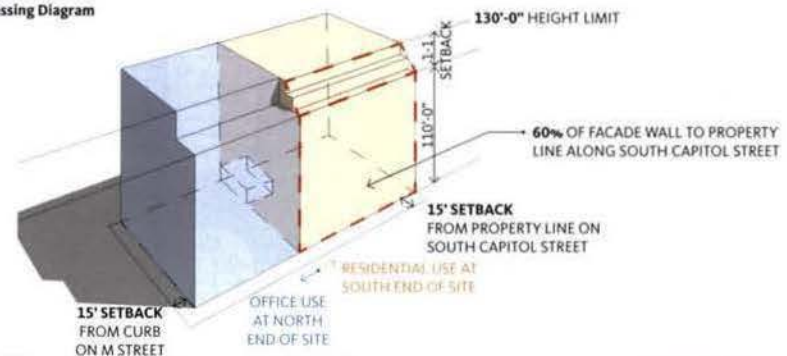


Diagram | LEED Analysis and Scorecard

Not to Scale

Identifier		Documentation by:	Y	MY	MN	N
Sustainable Sites	SSp1	Construction Activity Pollution Prevention	Contractor	R		
	SSc1	Site Selection	Civil	1		
	SSc2	Development Density and Community Connectivity	LEED Consultant	5		
	SSc3	Brownfield Redevelopment	Owner			1
	SSc4.1	Alternative Transportation - Public Transportation Access	LEED Consultant	6		
	SSc4.2	Alternative Transportation - Bicycle Storage and Changing Rooms	LEED Consultant	1		
	SSc4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	LEED Consultant			3
	SSc4.4	Alternative Transportation - Parking Capacity	LEED Consultant			2
	SSc5.1	Site Development - Protect or Restore Habitat	Landscape			1
	SSc5.2	Site Development - Maximize Open Space	Civil		1	
Water	SSc6.1	Storm water Design - Quantity Control	Civil	1		
	SSc6.2	Storm water Design - Quality Control	Civil	1		
	SSc7.1	Heat Island Effect - Non-roof	Landscape			
	SSc7.2	Heat Island Effect - Roof	Architecture	1		
	SSc8	Light Pollution Reduction	Architecture			1
				17	1	
	WEp1	Water Use Reduction	MEP	R		
	WEc1a	Water-Efficient Landscaping - Reduce by 50%	Landscape	2		
	WEc1b	Water-Efficient Landscaping - Reduce by 100%	Landscape		2	
	WEc2	Innovative Wastewater Technologies	MEP			2
Energy & Atmosphere	WEc3a	Water Use Reduction - 30%	MEP			2
	WEc3b	Water Use Reduction - 35%	MEP			1
	WEc3c	Water Use Reduction - 40%	MEP			1
				2	2	
	EAp1	Fundamental Commissioning of Building Energy Systems	Cx Agent	R		
	EAp2	Minimum Energy Performance	Energy Modeler	R		
	EAp3	Fundamental Refrigerant Management	MEP	R		
	EAc1	Optimize Energy Performance	Energy Modeler	3	1	1
	EAc2	On-Site Renewable Energy	MEP			7
	EAc3	Enhanced Commissioning	Cx Agent	2		
Is & Resources	EAc4	Enhanced Refrigerant Management	MEP	2		
	EAc5	Measurement and Verification	MEP	3		
	EAc6	Green Power	Owner			2
				10	1	1
	MRp1	Storage and Collection of Recyclables	Architecture	R		
	MRc1.1a	Maintain Interior Structural Components (55% Reuse)	Architecture			1
	MRc1.1b	Maintain Interior Structural Components (75% Reuse)	Architecture			1
	MRc1.1c	Maintain Interior Structural Components (95% Reuse)	Architecture			1
	MRc1.2	Maintain Interior Non-Structural Components (50% Reuse)	Architecture			1
	MRc2a	Construction Waste Management Divert 50% from Disposal	Contractor	1		
Regional	MRc2b	Construction Waste Management Divert 75% from Disposal	Contractor	1		
	MRc3.1a	Materials Reuse - 5% Reuse	Contractor			1
	MRc3.1b	Materials Reuse - 10% Reuse	Contractor			1

Identifier		Documentation by:	Y	MY	MN	N
Indoor Environmental Quality	IEQp1	Minimum Indoor Air Quality Performance	MEP	R		
	IEQp2	Environmental Tobacco Smoke (ETS) Control	Owner	R		
	IEQc1	Outdoor Air Delivery Monitoring	MEP			1
	IEQc2	Increased Ventilation	Architecture		1	
	IEQc3.1	Indoor Air Quality Management Plan - During Construction	Contractor	1		
	IEQc3.2	Indoor Air Quality Management Plan - Before Occupancy	Owner			1
	IEQc4.1	Low-Emitting Materials - Adhesives and Sealants	Contractor	1		
	IEQc4.2	Low-Emitting Materials - Paints and Coatings	Contractor	1		
	IEQc4.3	Low-Emitting Materials - Flooring Systems (Green Label Plus, Floor Score, etc.)	Contractor	1		
	IEQc4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products	Contractor	1		
Innovation	IEQc5	Indoor Chemical and Pollutant Source Control	MEP		1	
	IEQc6.1	Controllability of Systems - Lighting	MEP	1		
	IEQc6.2	Controllability of Systems - Thermal Comfort	MEP	1		
	IEQc7.1	Thermal Comfort - Design	MEP	1		
	IEQc7.2	Thermal Comfort - Verification	Owner	1		
	IEQc8.1a	Daylight and Views - Daylight 75% of Spaces	LEED Consultant			1
	IEQc8.2	Daylight and Views - Views for Seated Spaces	LEED Consultant			1
				9	4	
	IDc1.1	Development Density and Community Connectivity	LEED Consultant	1		
	IDc1.2	Alternative Transportation - Public Transportation Access	LEED Consultant	1		
Regional	IDc1.3	TBD	Owner			1
	IDc1.4	Green Hardscape Management Plan	Owner	1		
	IDc1.5	TBD	MEP			1
	IDc2	LEED® Accredited Professional	LEED Consultant	1		
				4		
	RPc1	SSc5.1	Landscape			1
	RPc2	SSc6.1	Civil	1		
	RPc3	WEc2	MEP			1
	RPc4	EAc10	Energy Modeler			1
	RPc5	EAc2a	MEP			1
Project Totals	RPc6	MRc2b	Contractor	1		
				2		

Note: Each project may access a maximum of 4 regional priority credits, selecting from the 6 available.

Points Required:
 Certified 40-49 points
 Silver 50-59 points
 Gold 60-79 points
 Platinum 80+ points

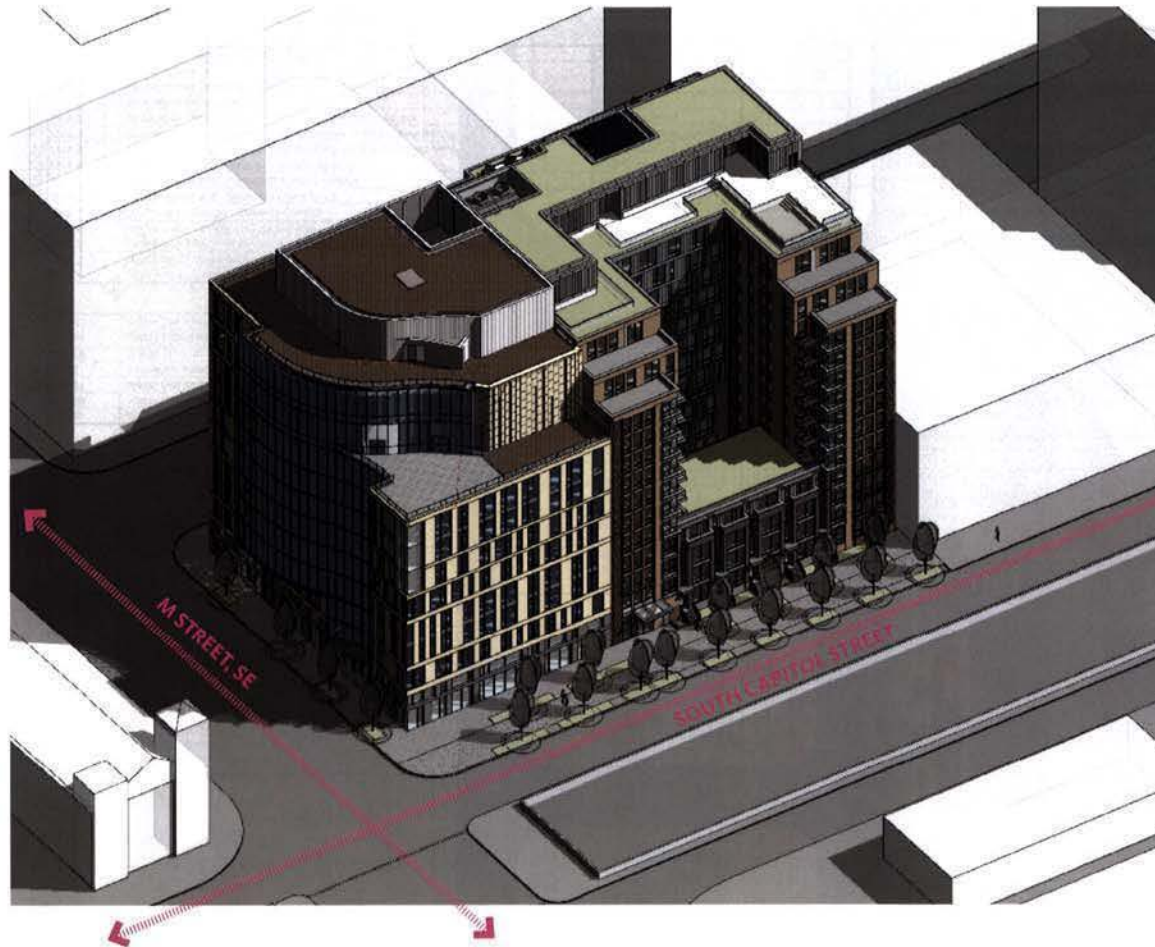
SILVER TARGET

Scale: 1"=40'-0"



Axometric | Building Massing with Square Footage Metrics

Not to Scale



Building Lot Area

	Total	Office Lot	Residential Lot
Proposed Lot Area (GSF)	35,558	15,808	19,750

Residential Lot Occupancy Calculations

	Proposed	Allowable
88.3%		80.0%
Proposed Lot Coverage (SF)	17,435	15,800

* for residential lot only

Total Building FAR Calculations

	Proposed	Allowable
8.46		9.50
Proposed FAR Usage (SF)	300,847	337,801

Includes:

124,362 Square Feet of Office from Order 15-11

176,485 Square Feet of Proposed Residential

Residential Gross Floor Area Calculations

	Proposed GSF
Gross Measured Floor Area	
Parking Level P3*	16,321
Parking Level P2*	16,321
Parking Level P1*	16,321
Ground Floor**	13,007
Second Floor	16,083
Third Floor	15,926
Fourth Floor	16,082
Fifth Floor	13,982
Sixth Floor	13,982
Seventh Floor	13,982
Eighth Floor	13,982
Ninth Floor	13,982
Tenth Floor	13,982
Eleventh Floor	13,982
Twelfth Floor	13,499
Thirteenth Floor	12,657
TOTAL	185,129
Area of Shafts	8,644
ESTIMATED TOTAL	176,485

* All cellar and parking areas are exempt from FAR t

**3,550 GSF - Penthouse

Plan | Layout Diagram for P3 Parking Floor (Lower Level 03)

Scale: 1"=20'-0"



Residential Parking Mx Calculations

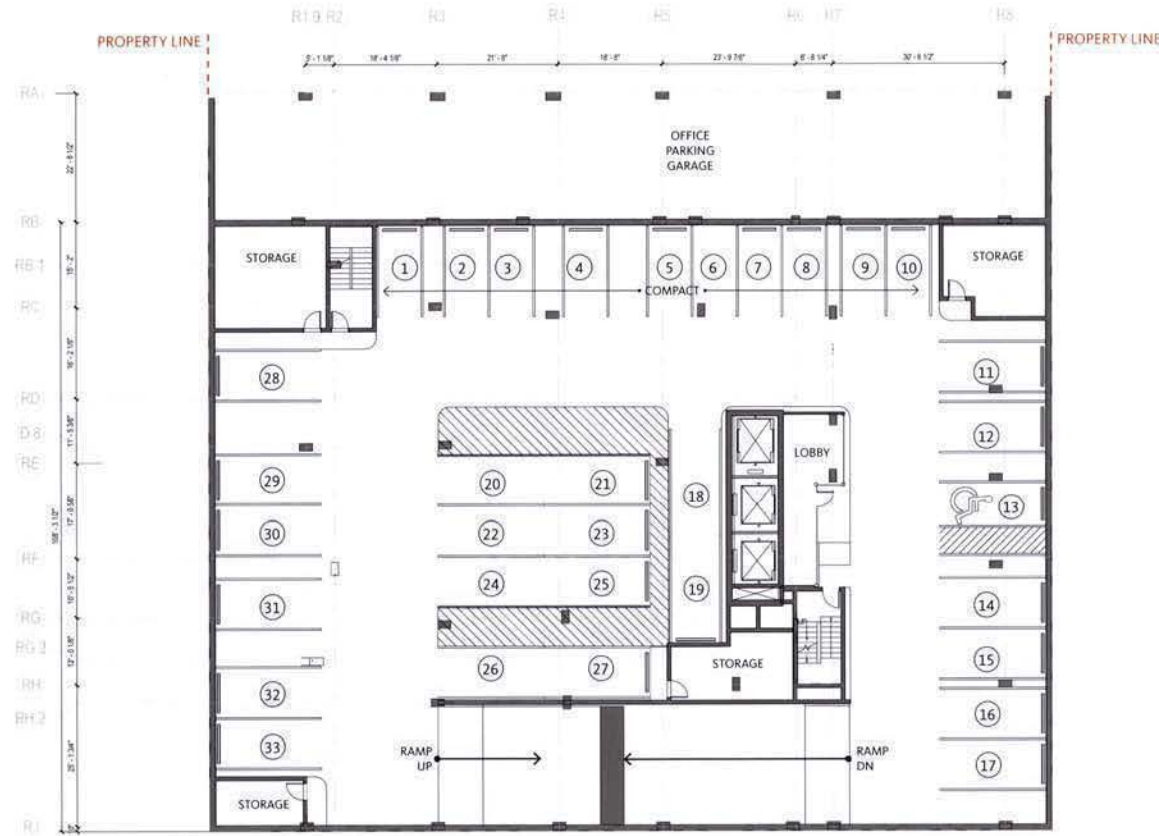
	Standard	Compact	Handicap	TOTAL PER FLOOR
Upper Level 02	12	9	7	28
Upper Level 03	22	20	1	43
Lower Level 03	25	20	1	46
TOTAL PER UNIT TYPE	59	49	8	116
TOTAL UNIT COUNT				90

36 PARKING SPACES ON THIS LEVEL



Plan | Layout Diagram for P2 Parking Floor (Lower Level 02)

Scale: 1"=20'-0"



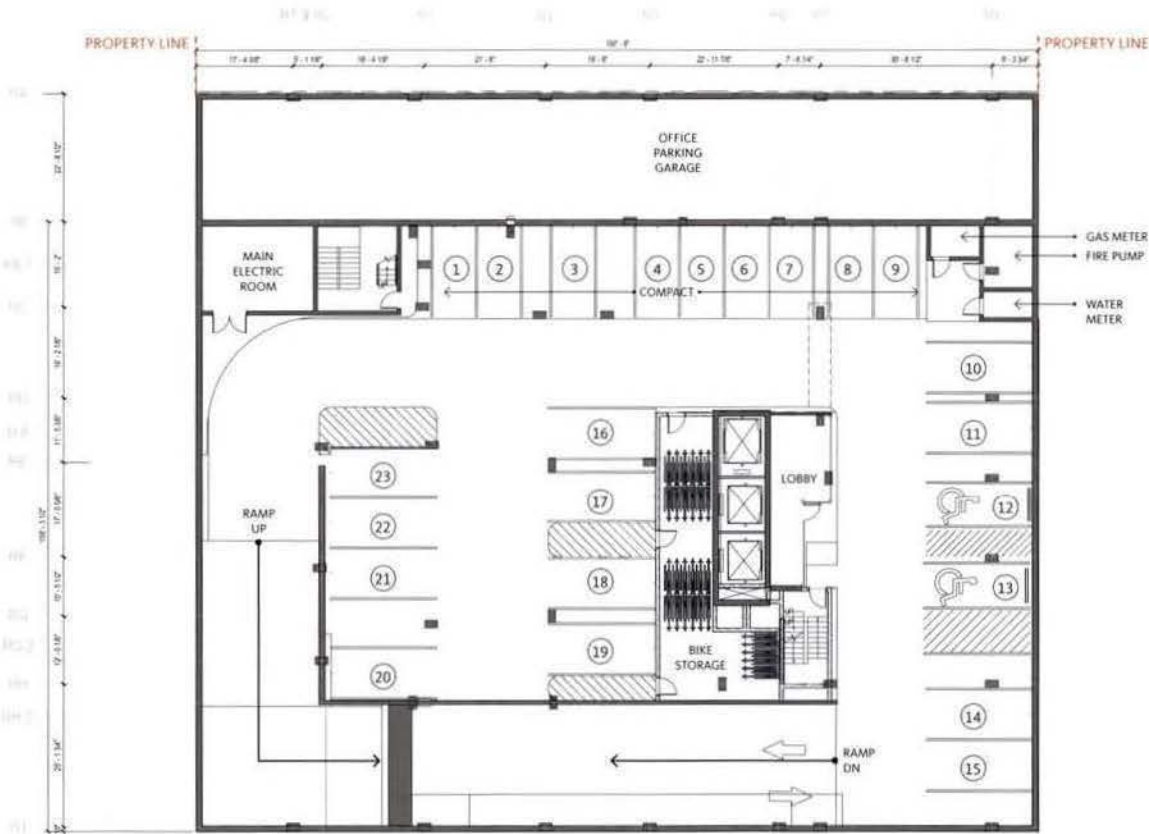
Residential Parking Mix Calculations				
	Standard	Compact	Handicap	TOTAL PER FLOOR
Lower Level 01	12	9	2	23
Lower Level 02	22	10	1	33
Lower Level 03	25	10	1	36
TOTAL PER UNIT TYPE	59	29	4	92
TOTAL UNIT COUNT				

33 PARKING SPACES ON THIS LEVEL



Plan | Layout Diagram for P1 Parking Floor (Lower Level 01)

Scale: 1"=20' - 0"



Residential Parking Mix Calculations

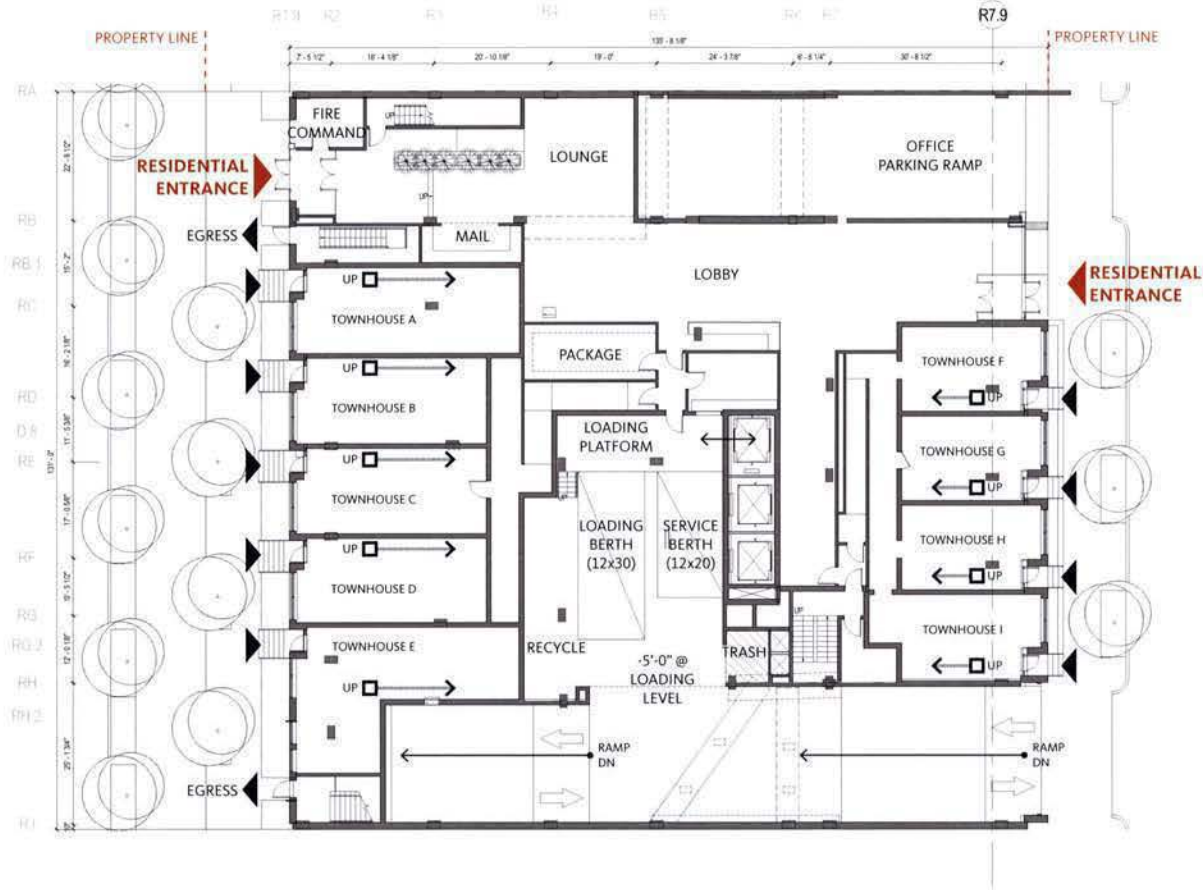
	Standard	Compact	Handicap	TOTAL PER FLOOR
Lower Level 01	17	0	2	19
Lower Level 02	17	10	1	28
Lower Level 03	25	10	1	36
TOTAL PER UNIT TYPE	59	20	4	83
TOTAL UNIT COUNT				92

23 PARKING SPACES ON THIS LEVEL



Plan | Unit Layout Diagram for Ground Floor (Level 01)

Scale: 1" = 20' - 0"



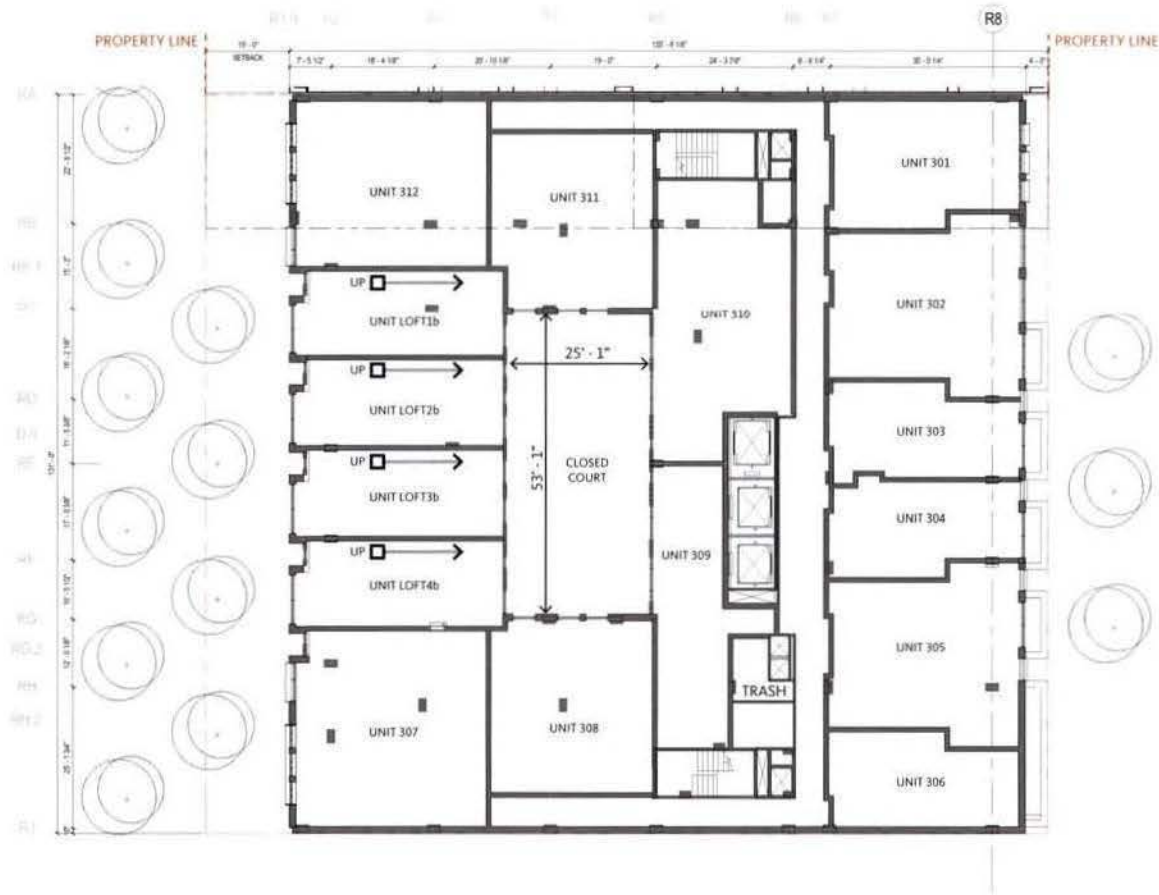
Plan | Unit Layout Diagram for Second Floor (Level 02)

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Third Floor (Level 03)

Scale: 1" = 20' - 0"



Scale: 1" = 20' - 0"

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Fifth Floor (Level 05)

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Typical Floors (Levels 06-11)

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Twelfth Floor (Level 12)

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Thirteenth Floor (Level 13)

Scale: 1" = 20' - 0"



Scale: 1" = 20' - 0"



Elevation | Building West Facade at South Capitol Street

Scale: 1" = 20'-0"



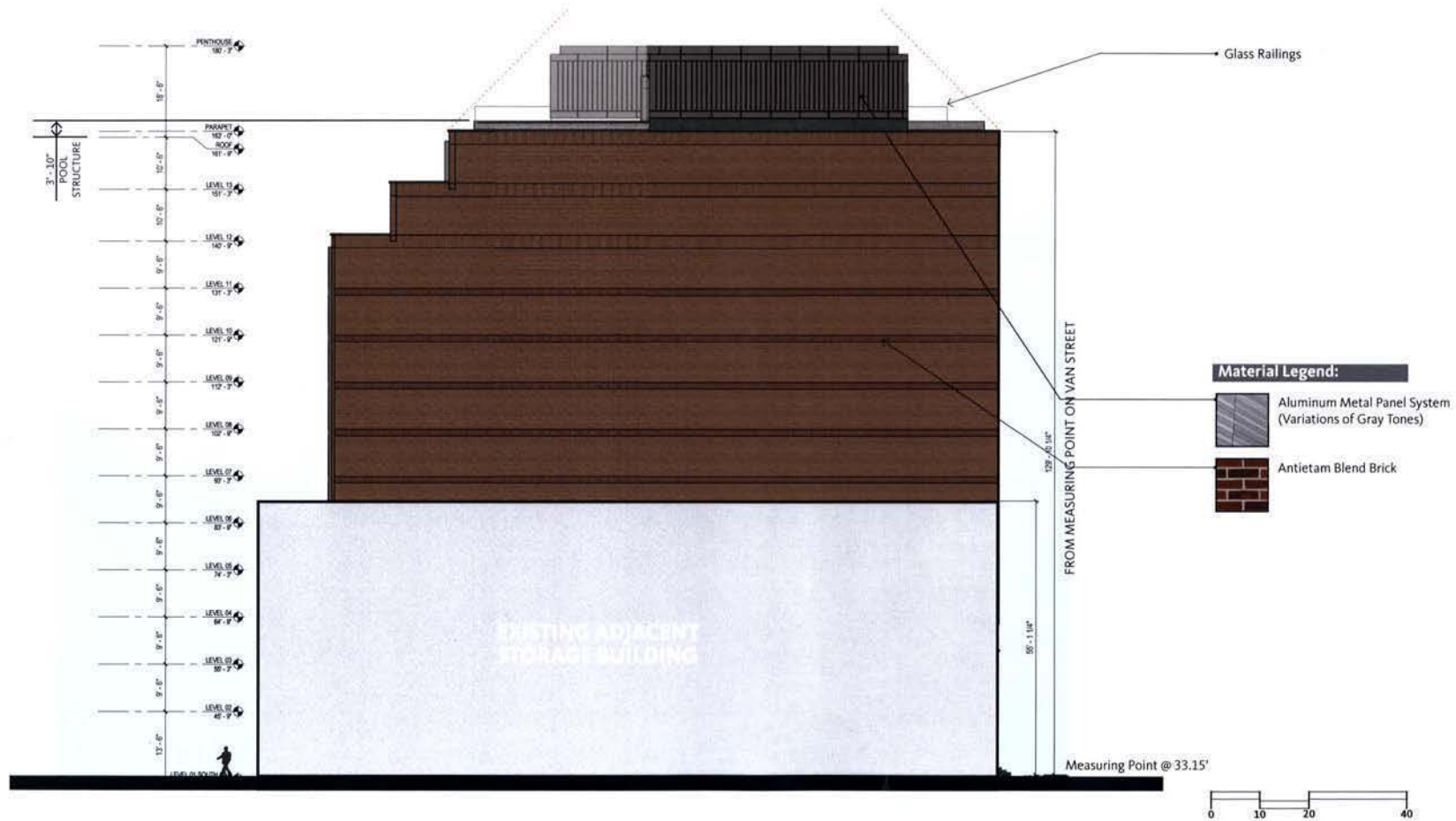
Elevation | Building East Facade at Van Street

Scale: 1" = 20'-0"



Elevation | Building South Facade

Scale: 1" = 20'-0"



Rendering | Southwest View looking North towards the Capitol Building
Not to Scale



Rendering | Northwest View looking South
Not to Scale



Rendering | Southwest View looking North at South Capitol Street Level
Not to Scale



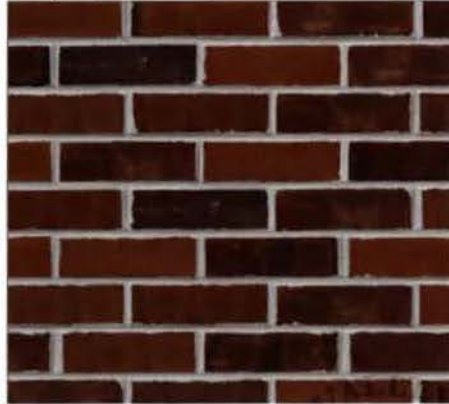
Rendering | Van Street View looking South towards the Ballpark
Not to Scale



Diagram | Material Palette at Building Exterior

Not to Scale

Brick | Antietam Blend at Main Facades



Brick | Manganese Artisan at Townhouses



Granite | Virginia Mist Watertable, Bands and Accents



Metal | Panel System with Color Variation



Glass | Windows



Material Legend:



Antietam Blend Brick



Manganese Artisan Brick



Virginia Mist Granite
(Polished)



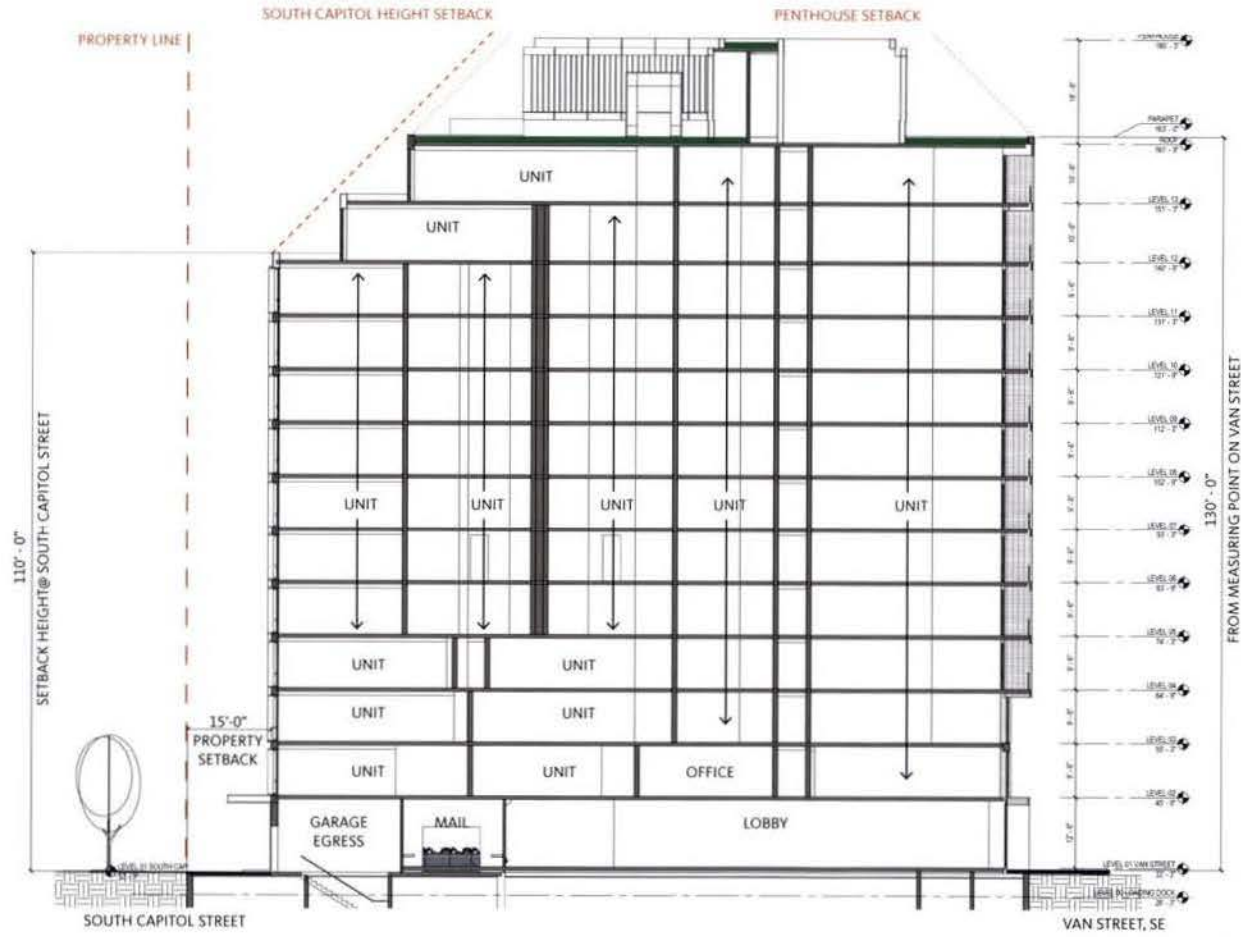
Aluminum Metal Panel System
(Variations of Gray Tones)



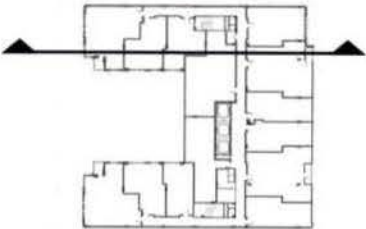
Glass
(Insulated Glass Units)

Section | North Wing looking North

Scale: 1"=20' - 0"

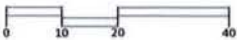


Plan | Key Plan showing Section Cut



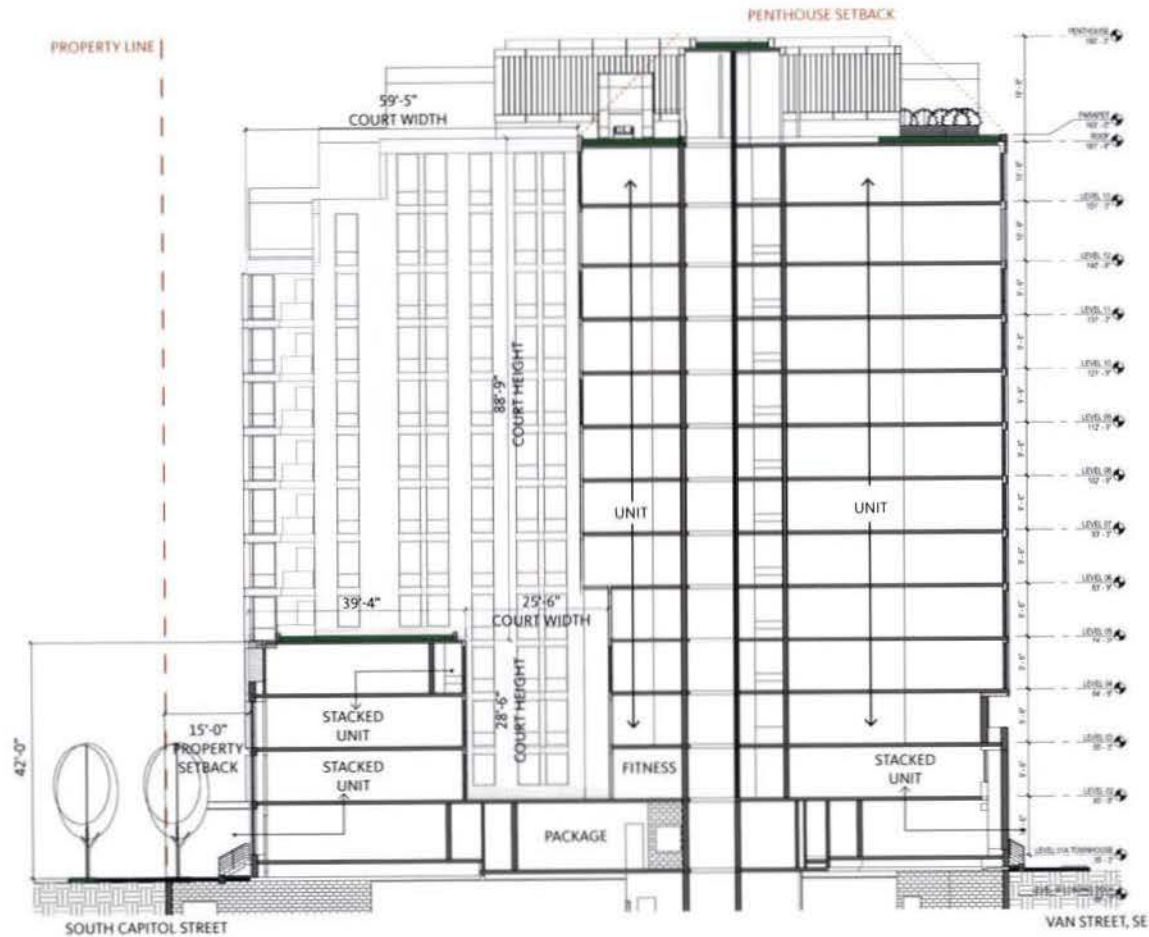
Matrix | Floor-to-Floor and Building Height

	Existing Slab	Existing Elevation
Building Elevations (FT)		
Parking Level P3*	-10'-6"	1.00
Parking Level P2*	-10'-6"	11.50
Parking Level P1*	-11'-3"	22.00
Ground Floor	0'-0"	33.25
Second Floor	12'-6"	45.75
Third Floor	9'-6"	55.25
Fourth Floor	9'-6"	64.75
Fifth Floor	9'-6"	74.25
Sixth Floor	9'-6"	83.75
Seventh Floor	9'-6"	93.25
Eighth Floor	9'-6"	102.75
Ninth Floor	9'-6"	112.25
Tenth Floor	9'-6"	122.75
Eleventh Floor	9'-6"	131.25
Twelfth Floor	9'-6"	140.75
Thirteenth Floor	10'-6"	151.25
Main Roof	10'-6"	161.75
Parapet*	1'-4"	163.00
Penthouse Roof	18'-6"	180.25
*Building Height with Proposed Measuring Point		
	163.00	129.85



Section | North Wing looking North

Scale: 1" = 20' - 0"



Plan | Key Plan showing Section Cut



Open Court:

Court Required Dimension per DC Zoning 11-638.1:
88.75 Feet High at 3"/ft = 22.25 Feet
* Minimum Dimension of 10 Feet Required

Minimum Dimension Provided: 59'-5"

Closed Court:

Court Required Dimension per DC Zoning 11-638.2:
28.5 Feet High at 4"/ft = 9.5 Feet
* Minimum Dimension of 15 Feet Required

Minimum Dimension Provided: 25'-6"

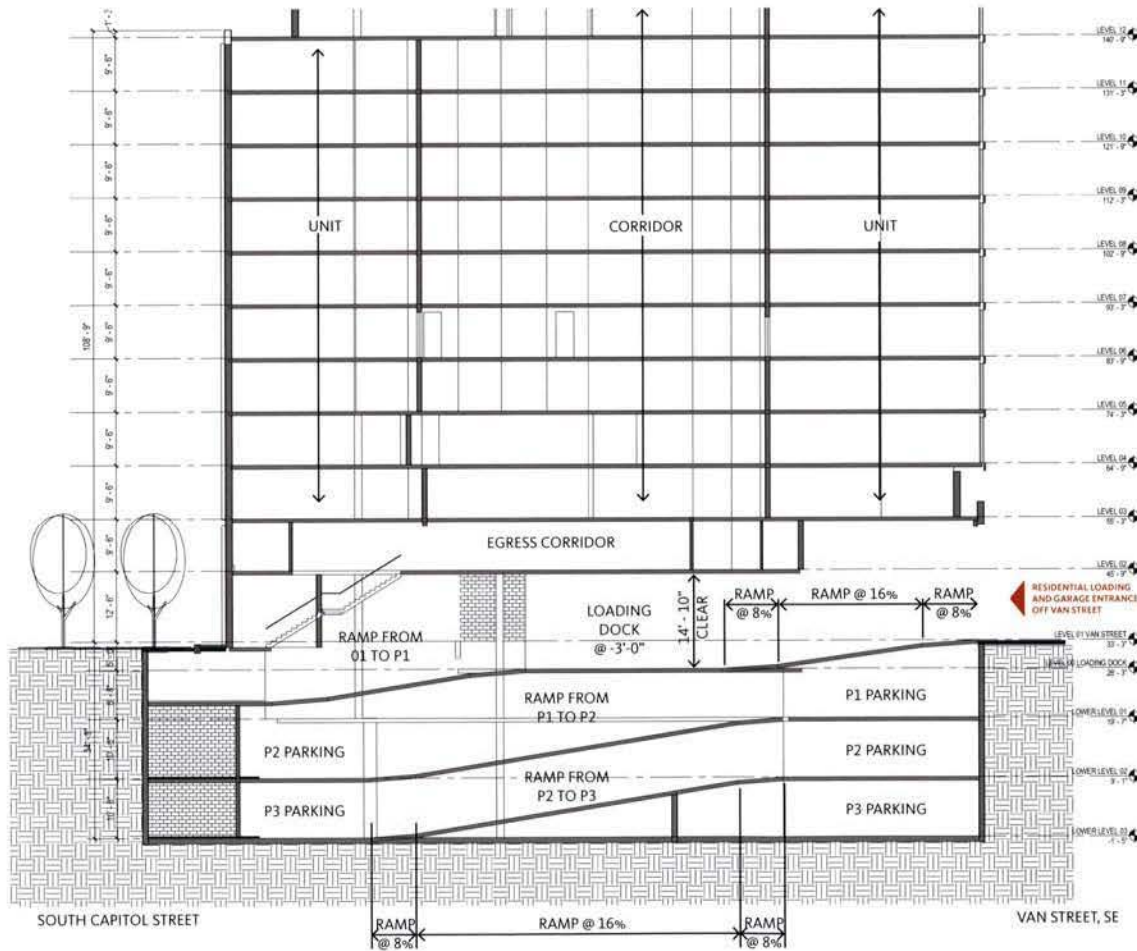
Court Required Area per DC Zoning 11-638.2:
2 x (9.5 Feet x 9.5 Feet) = 180.5 Square Feet

Minimum Area Provided:
25'-6" x 53'-1" = 1,351.5 Square Feet



Section | Layout Diagram at Parking Garage Ramp looking North

Scale: 1" = 20' - 0"



Plan | Key Plan showing Section Cut



Parking Requirements:

Required Parking per DC Zoning 11-2101:
163 Units / 3 per Dwelling Unit = 55 Parking Spaces

Parking Spaces Provided: 92 Spaces

Allowable Compact Spaces per DC Zoning 11-2115:
40% of 92 Spaces = 36 Spaces
29 Compact Spaces Provided

Accessible Spaces per IBC 2012 Table 1106.1:
3 Spaces + 1 Van Space = 4 Total Accessible Spaces

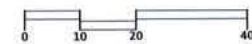
Bike Parking Requirements:

Equal to five percent (5%) of Auto Parking Spaces
55 Required Parking * 5% = 3 Bike Spaces
Parking Spaces Provided: 60 Spaces

Required Parking per DC DDOT:

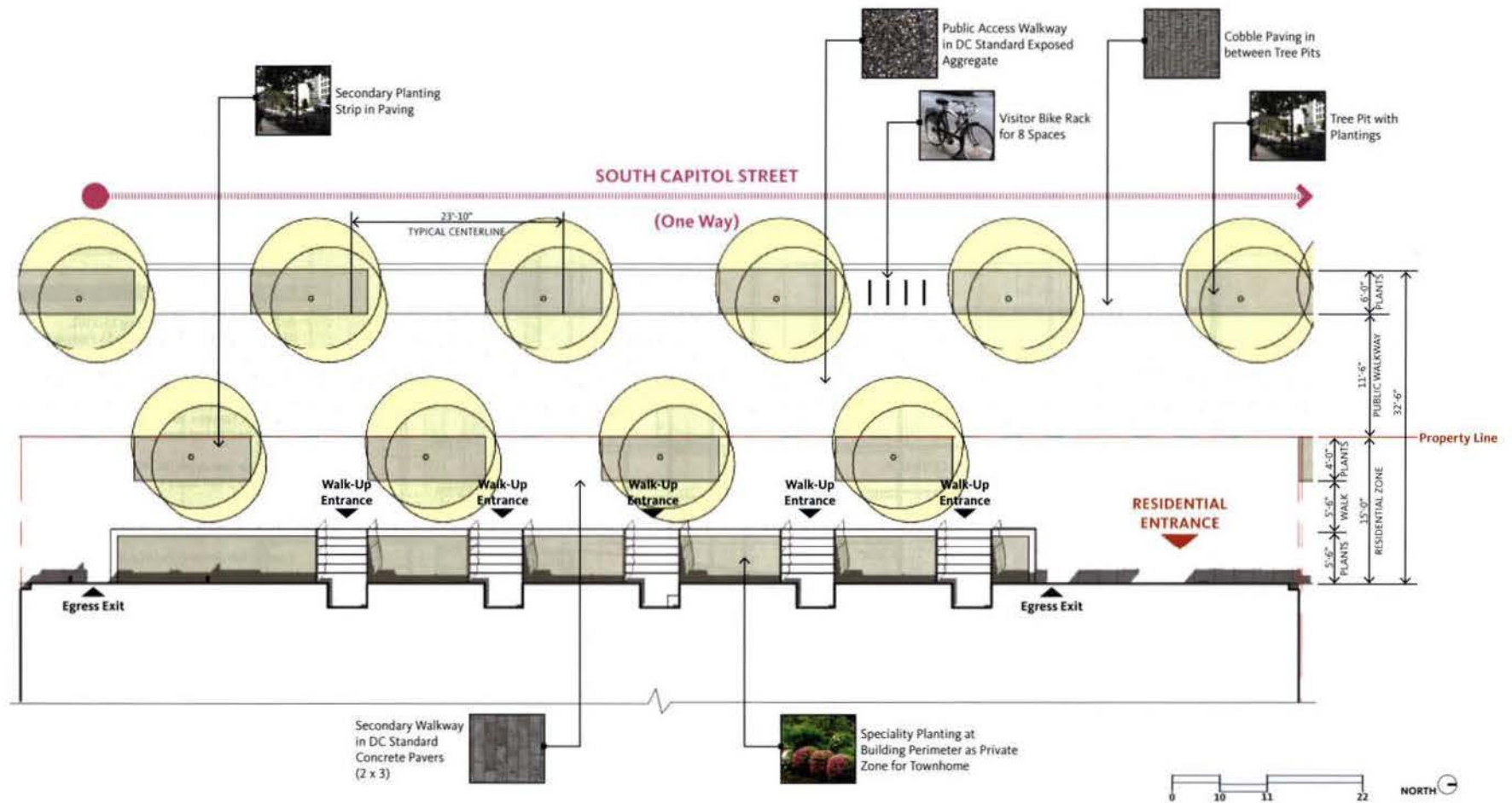
163 Units / 3 per Dwelling Unit = 55 Bike Spaces
Parking Spaces Provided: 60 Spaces

Visitor Spaces
163 Units / 20 Dwelling Unit = 9 Bike Spaces
Parking Spaces Provided: 16 Spaces



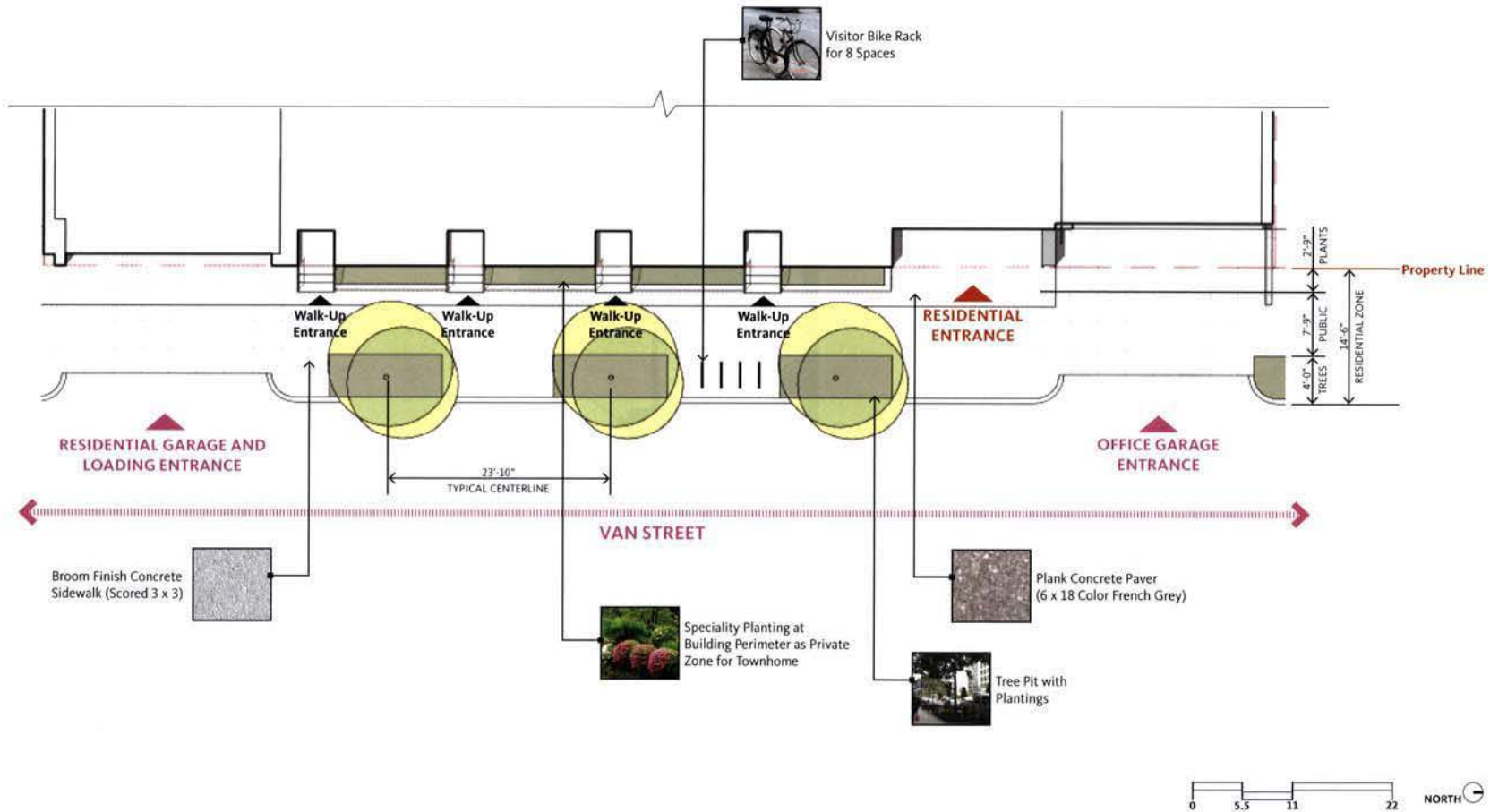
Plan | Site Streetscape along South Capitol Street (West)

Scale: 3/32" = 1' - 0"



Plan | Site Streetscape along Van Street (East)

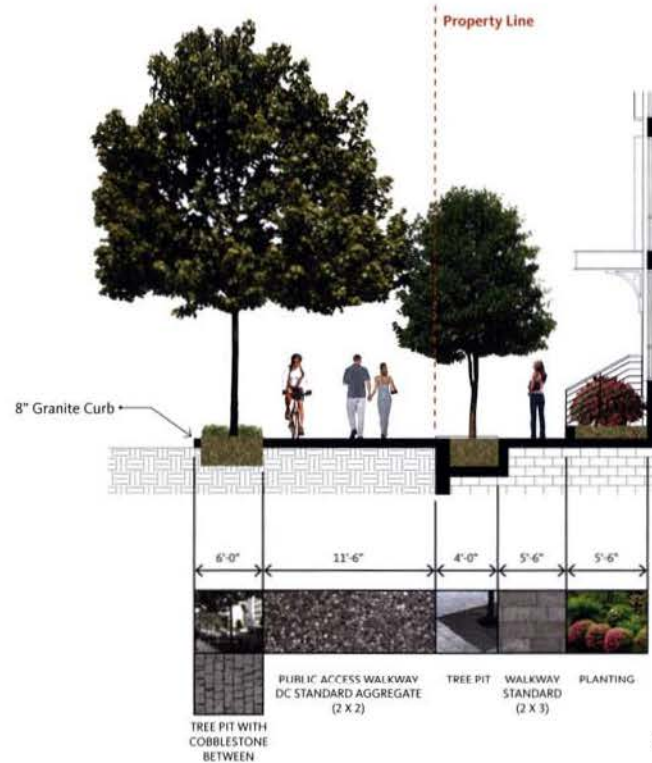
Scale: 3/32" = 1' - 0"



Sections | Site Streetscape

Scale: 1/8" = 1' - 0"

Section | Streetscape at South Capitol Street



Section | Streetscape at Van Street



Precedent | DC Standard Streetscape



Precedent | Bike Rack

