

Ten|Van Street

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Residential Project

Zoning Commission

October 16, 2015



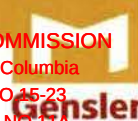
Monument Realty

ZONING COMMISSION

District of Columbia

CASE NO. 15-23

EXHIBIT NO. 11A

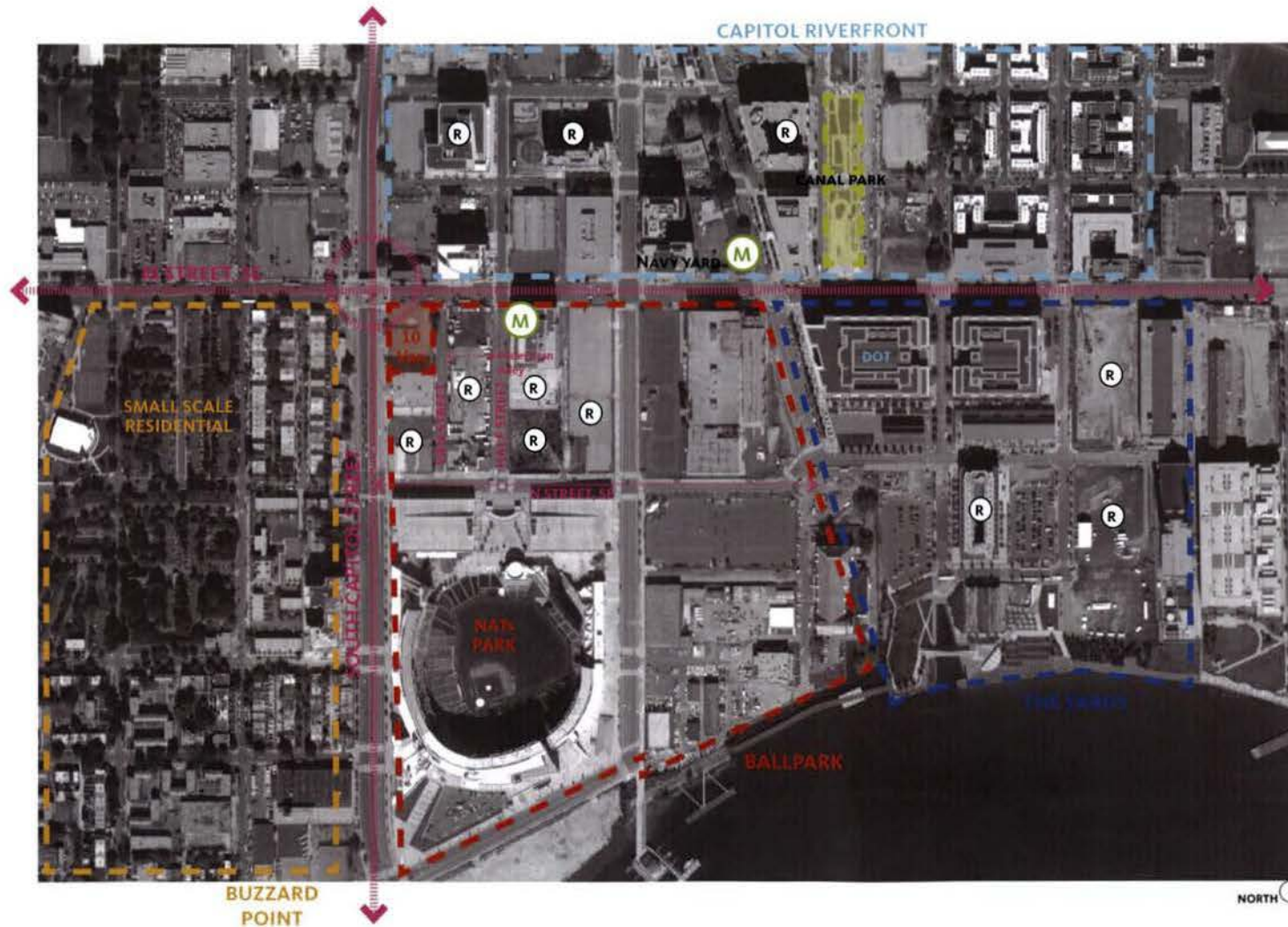


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Diagram | Surrounding Context of Capitol Gateway and Navy Yard

Not to Scale

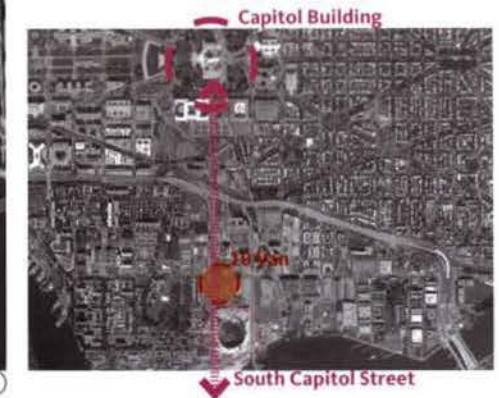


The **Capitol Gateway** Overlay District is applied to the Buzzard Point and Capitol Gateway areas, which are designated for mixed use development in the Comprehensive Plan for the National Capitol.

Introduction

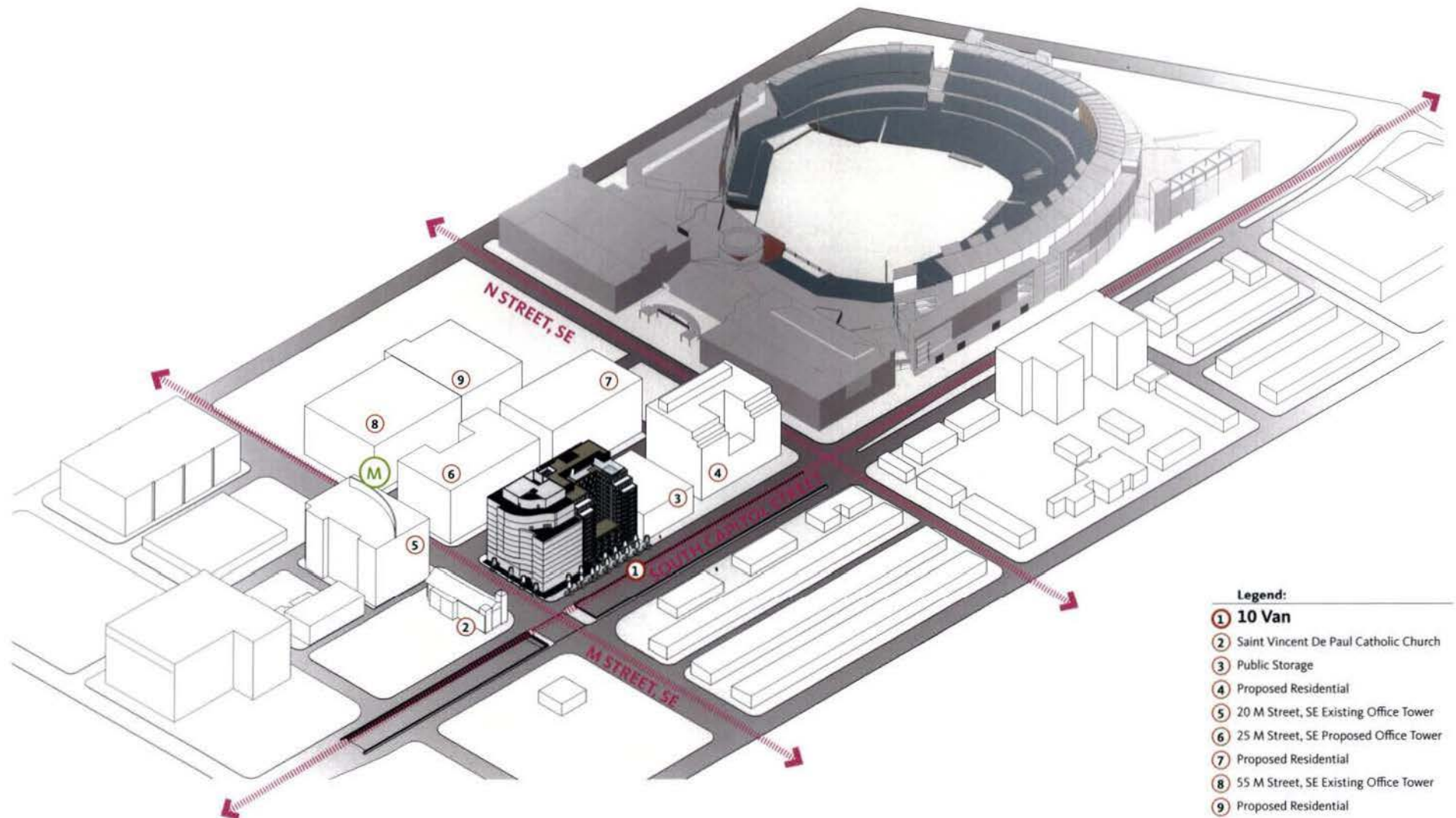
The purpose of the CG Overlay District is to (a) assure development of the area with a mixture of residential and commercial uses and a suitable height, bulk and design of buildings, (b) encourage a variety of support and visitor related uses such as retail, service, entertainment, culture and hotel or inn uses, (e) require suitable ground-level retail and service uses and adequate sidewalk widths along M Street, SE near the Navy Yard Metrorail Station and (g) provide for the establishment of South Capitol Street as a monumental civic boulevard.

The Project a multi-family residential building located on a lot at the corner of South Capitol Street and M Street, SE. The lot will contain both a commercial office development to the north along M Street and the Project multi-family residential development to the south which fronts on South Capitol and Van Street.



Axonometric | Site with Surrounding Context from Northwest

Not to Scale



Legend:

- ① 10 Van
- ② Saint Vincent De Paul Catholic Church
- ③ Public Storage
- ④ Proposed Residential
- ⑤ 20 M Street, SE Existing Office Tower
- ⑥ 25 M Street, SE Proposed Office Tower
- ⑦ Proposed Residential
- ⑧ 55 M Street, SE Existing Office Tower
- ⑨ Proposed Residential

Diagram | Surrounding Context Views

Site Analysis | Views



- — — — — — Views from the Site
- - - - - - Primary Views to the Site

The Site takes its primary views along the wider street of South Capitol with views of the Capitol Building to the North and overlooking Buzzard Points to the West.

Views towards the Ballpark can be captured from the Rooftop of the Site with Van Street being a smaller scale.



Diagram | Property Plat Survey and Site Analysis

Not to Scale

Location: 10 Van Street, SE
Washington, DC
Lot: Square 700, Lot 43 & 866
Total Lot Size: 35,558 Square Feet

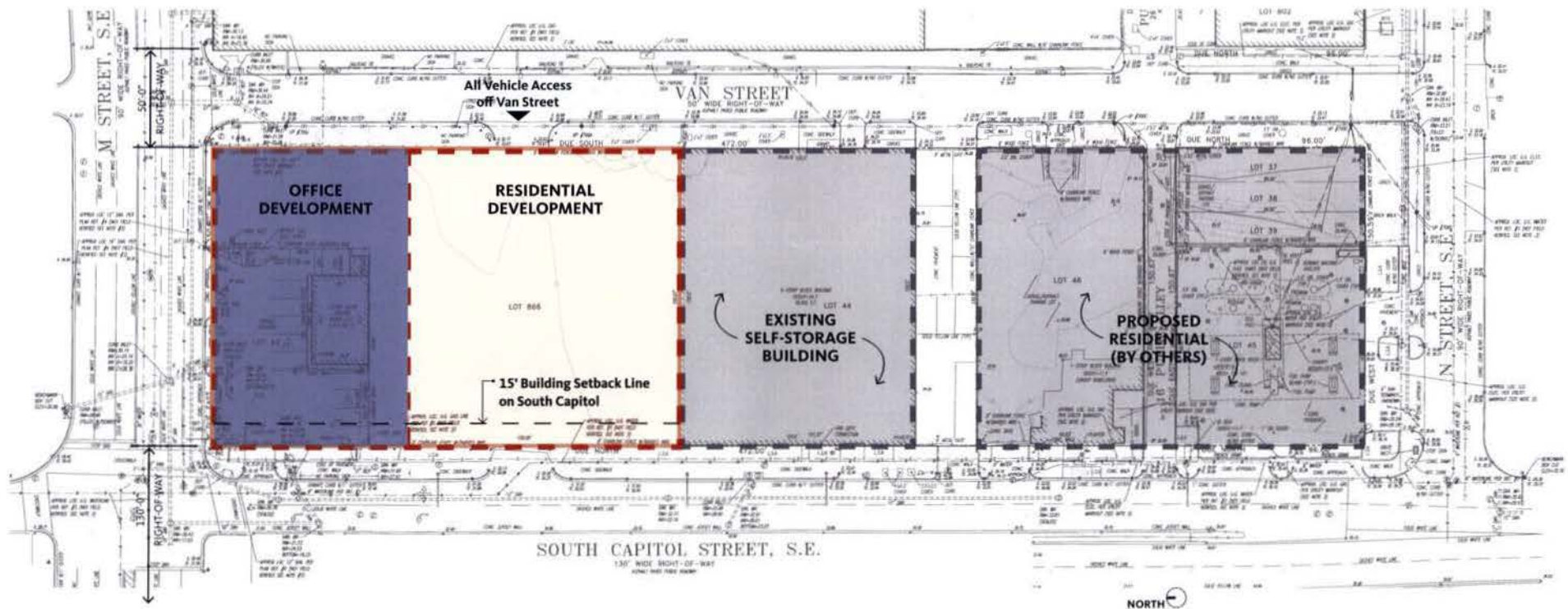


Diagram | Zoning Envelope and Analysis

Not to Scale

Zoning Analysis:

1.	Existing Site Area Square 700 - Lots 43 & 866		35,558.12 Square Feet									
			<table><tr><td></td><td>Office Lot</td><td>Residential Lot</td></tr><tr><td>Proposed Lot Area (GSF)</td><td>15,795</td><td>19,763</td></tr></table>		Office Lot	Residential Lot	Proposed Lot Area (GSF)	15,795	19,763			
	Office Lot	Residential Lot										
Proposed Lot Area (GSF)	15,795	19,763										
2.	Zoning		CR Mixed Use Commerical Residential District CG Capitol Gateway Overaly District									
3.	Gross Floor-Area-Ratio	1602.1	8.5 from Combined Lot Development 1.0 Additional Bonus FAR									
4.	Allowable Gross Floor Area		337,802.14 Square Feet									
			<table><tr><td></td><td>Proposed</td><td>Allowable</td></tr><tr><td></td><td>8.46</td><td>9.50</td></tr><tr><td>Proposed FAR Usage (SF)</td><td>300,847</td><td>337,801</td></tr></table>		Proposed	Allowable		8.46	9.50	Proposed FAR Usage (SF)	300,847	337,801
	Proposed	Allowable										
	8.46	9.50										
Proposed FAR Usage (SF)	300,847	337,801										
			Includes: 124,362 Square Feet of Office from Order 15-11 176,485 Square Feet of Proposed Residential									
5.	Max Percentage of Lot Occupancy	1601.1	80% of Residential Lot = 15,800 Square Feet Relief Requested:									
			<table><tr><td></td><td>Proposed</td></tr><tr><td></td><td>88.3%</td></tr><tr><td>Proposed Lot Coverage (SF)</td><td>17,435</td></tr></table>		Proposed		88.3%	Proposed Lot Coverage (SF)	17,435			
	Proposed											
	88.3%											
Proposed Lot Coverage (SF)	17,435											
6.	Maximum Building Height	1605.3	130 Feet 1:1 Setback required along South Capitol above 110 Ft.									
7.	Facade Wall along South Capitol Street	1605.5	60% of 14,386 SqFt Facade Area = 8,632 Square Feet 8,680 Square Feet Provided									
8.	Minimum Yard Requirements CG Overlay on South Capitol Street Side Yard Rear yard	1605.2 637.1 636.5	15 Feet for the Entire Height No Requirement No Requirement									
9.	Minimum Court Dimensions Open Court	638.1	Width is 3" per foot of Height but not less than 10 Feet 88.75 Feet High at 3"/ft = 22.25 Feet Minimum Dimension Provided: 59'-5"									
	Closed Court	638.2	Width is 4" per foot of Height but not less than 15 Feet 28.5 Feet High at 4"/ft = 9.5 Feet Minimum Dimension Provided: 25'-6" Area is twice the square of the required court width dimension 2 x (10 Feet x 10 Feet) = 200 Square Feet Minimum Area Provided: 25'-6" x 53'-1" = 1,351.5 Square Feet									

Zoning Analysis, continued:

10.	Required Parking Apartment House or Multiple Dwelling	2101.1 1 for each 3 dwelling units 163 Units / 3 per Dwelling Unit = 55 Parking Spaces Parking Spaces Provided: 92 Spaces
11.	Required Loading Residential Use with 50 or more dwellings	2201.1 1 Loading Berth at 55 Feet Deep 1 Loading Platform at 200 Square Feet 1 Service Space at 20 Feet Deep Relief Requested from Provided: 1 Loading Berth at 30 Feet Deep 1 Loading Platform at 200 Square Feet 1 Service Space at 20 Feet Deep
12.	Bicycle Parking Bike Parking Spaces per DDOT	2119.2 Equal to five percent (5%) of the number of auto parking spaces 55 Required Parking * 5% = 3 Bike Spaces Parking Spaces Provided: 60 Spaces
13.	Roof Structures Roof Structure Allowable FAR	411.7 An increase in FAR not to exceed .37 is permitted for Penthouse Any Roof Structure FAR need not be included in required Maximum Height 18'-6" with 1:1 Set Back Ratio
14.	Green Area Ratio (GAR)	3402.1 0.20 Required and Proposed
15.	Massing Diagram	

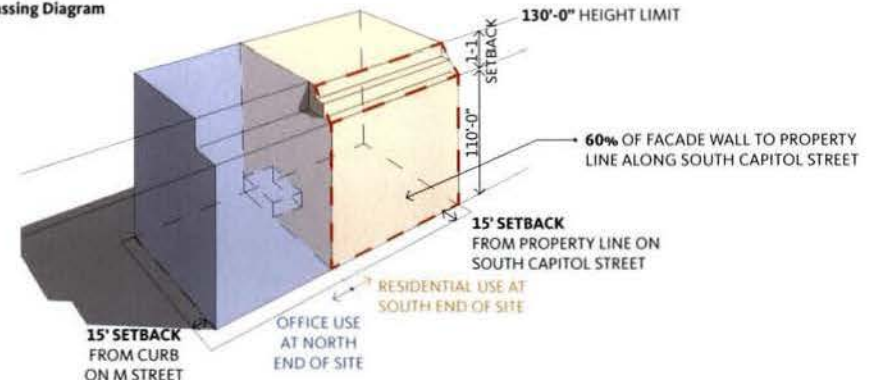


Diagram | LEED Analysis and Scorecard

Not to Scale

Identifier		Documentation by:	Y	MY	MN	N
Sustainable Sites	SSp1	Construction Activity Pollution Prevention	Contractor	R		
	SSc1	Site Selection	Civil	1		
	SSc2	Development Density and Community Connectivity	LEED Consultant	5		
	SSc3	Brownfield Redevelopment	Owner		1	
	SSc4.1	Alternative Transportation - Public Transportation Access	LEED Consultant	6		
	SSc4.2	Alternative Transportation - Bicycle Storage and Changing Rooms	LEED Consultant	1		
	SSc4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	LEED Consultant		3	
	SSc4.4	Alternative Transportation - Parking Capacity	LEED Consultant		2	
	SSc5.1	Site Development - Protect or Restore Habitat	Landscape		1	
	SSc5.2	Site Development - Maximize Open Space	Civil		1	
	SSc6.1	Storm water Design - Quantity Control	Civil	1		
	SSc6.2	Storm water Design - Quality Control	Civil	1		
	SSc7.1	Heat Island Effect - Non-roof	Landscape	1		
	SSc7.2	Heat Island Effect - Roof	Architecture	1		
	SSc8	Light Pollution Reduction	Architecture			1
			17		1	
Water	WEp1	Water Use Reduction	MEP	R		
	WEc1a	Water-Efficient Landscaping - Reduce by 50%	Landscape	2		
	WEc1b	Water-Efficient Landscaping - Reduce by 100%	Landscape		2	
	WEc2	Innovative Wastewater Technologies	MEP			2
	WEc3a	Water Use Reduction - 30%	MEP			2
	WEc3b	Water Use Reduction - 35%	MEP			1
	WEc3c	Water Use Reduction - 40%	MEP			1
			2	2		
Energy & Atmospt	EAp1	Fundamental Commissioning of Building Energy Systems	Cx Agent	R		
	EAp2	Minimum Energy Performance	Energy Modeler	R		
	EAp3	Fundamental Refrigerant Management	MEP	R		
	EAc1	Optimize Energy Performance	Energy Modeler	3	1	1
	EAc2	On-Site Renewable Energy	MEP			7
	EAc3	Enhanced Commissioning	Cx Agent	2		
	EAc4	Enhanced Refrigerant Management	MEP	2		
	EAc5	Measurement and Verification	MEP	3		
	EAc6	Green Power	Owner			2
			10	1	1	
Is & Resources	MRp1	Storage and Collection of Recyclables	Architecture	R		
	MRc1.1a	Maintain Interior Structural Components (55% Reuse)	Architecture			1
	MRc1.1b	Maintain Interior Structural Components (75% Reuse)	Architecture			1
	MRc1.1c	Maintain Interior Structural Components (95% Reuse)	Architecture			1
	MRc1.2	Maintain Interior Non-Structural Components (50% Reuse)	Architecture			1
	MRc2a	Construction Waste Management Divert 50% from Disposal	Contractor	1		
	MRc2b	Construction Waste Management Divert 75% from Disposal	Contractor	1		
	MRc3.1a	Materials Reuse - 5% Reuse	Contractor			1
	MRc3.1b	Materials Reuse - 10% Reuse	Contractor			1

Identifier		Documentation by:	Y	MY	MN	N
Indoor Environmental Quality	IEQp1	Minimum Indoor Air Quality Performance	MEP	R		
	IEQp2	Environmental Tobacco Smoke (ETS) Control	Owner	R		
	IEQc1	Outdoor Air Delivery Monitoring	MEP			1
	IEQc2	Increased Ventilation	Architecture		1	
	IEQc3.1	Indoor Air Quality Management Plan - During Construction	Contractor	1		
	IEQc3.2	Indoor Air Quality Management Plan - Before Occupancy	Owner			1
	IEQc4.1	Low-Emitting Materials - Adhesives and Sealants	Contractor	1		
	IEQc4.2	Low-Emitting Materials - Paints and Coatings	Contractor	1		
	IEQc4.3	Low-Emitting Materials - Flooring Systems (Green Label Plus, Floor Score, etc.)	Contractor	1		
	IEQc4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products	Contractor	1		
	IEQc5	Indoor Chemical and Pollutant Source Control	MEP		1	
	IEQc6.1	Controllability of Systems - Lighting	MEP	1		
	IEQc6.2	Controllability of Systems - Thermal Comfort	MEP	1		
	IEQc7.1	Thermal Comfort - Design	MEP	1		
	IEQc7.2	Thermal Comfort - Verification	Owner	1		
Innovation	IEQc8.1a	Daylight and Views - Daylight75% of Spaces	LEED Consultant		1	
	IEQc8.2	Daylight and Views - Views for Seated Spaces	LEED Consultant		1	
			9	4		
Regional	Idc1.1	Development Density and Community Connectivity	LEED Consultant	1		
	Idc1.2	Alternative Transportation - Public Transportation Access	LEED Consultant	1		
	Idc1.3	TBD	Owner			1
	Idc1.4	Green Hardscape Management Plan	Owner	1		
	Idc1.5	TBD	MEP			1
	Idc2	LEED* Accredited Professional	LEED Consultant	1		
			4			
Regional	RPc1	SSc5.1	Landscape			1
	RPc2	SSc6.1	Civil	1		
	RPc3	WEc2	MEP			1
	RPc4	EAc1o	Energy Modeler			1
	RPc5	EAc2a	MEP			1
	RPc6	MRc2b	Contractor	1		
			2			

Note: Each project may access a maximum of 4 regional priority credits, selecting from the 6 available.

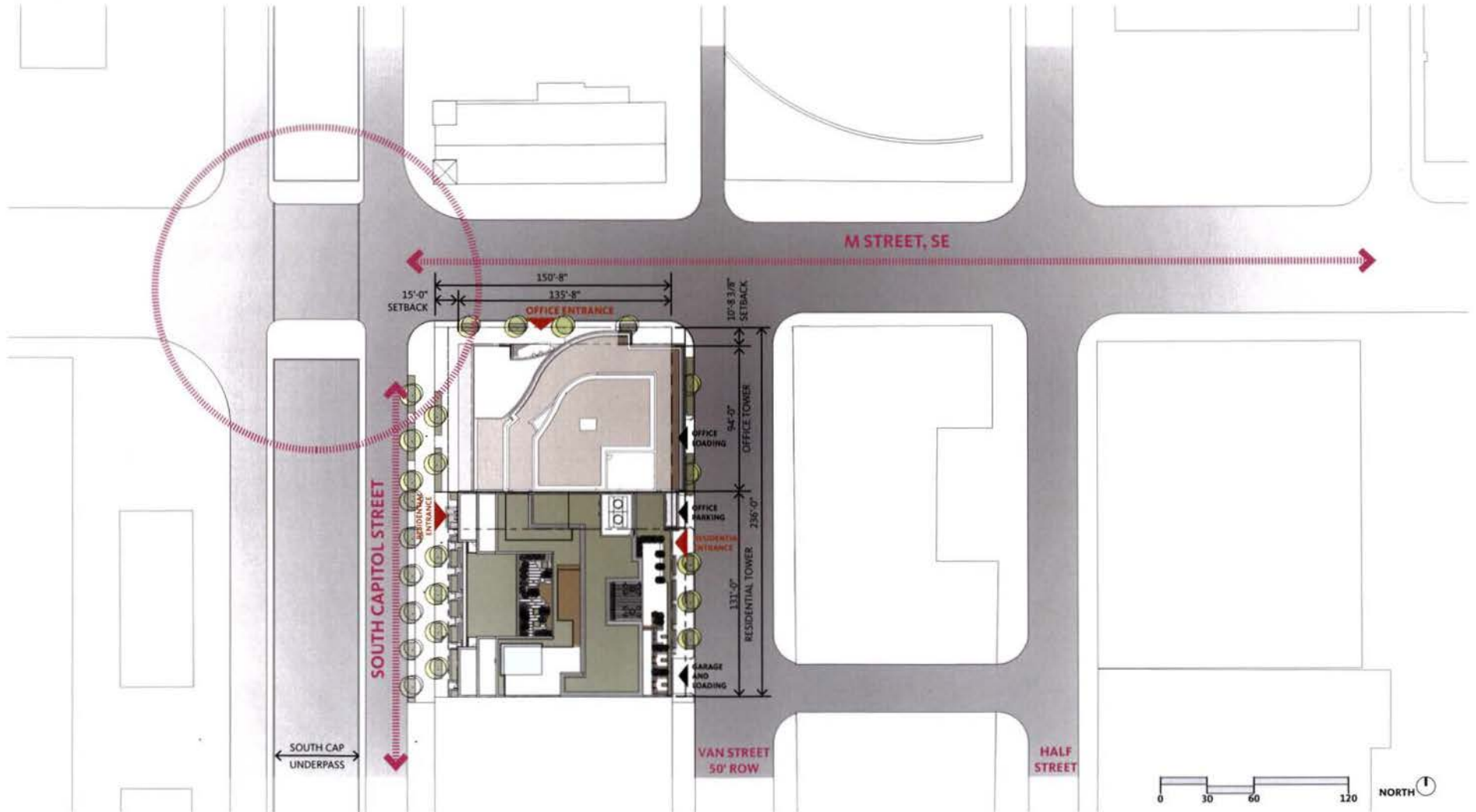
Project Totals **50 7 2**

Points Required:
 Certified 40-49 points
 Silver 50-59 points
 Gold 60-79 points
 Platinum 80+ points

SILVER TARGET

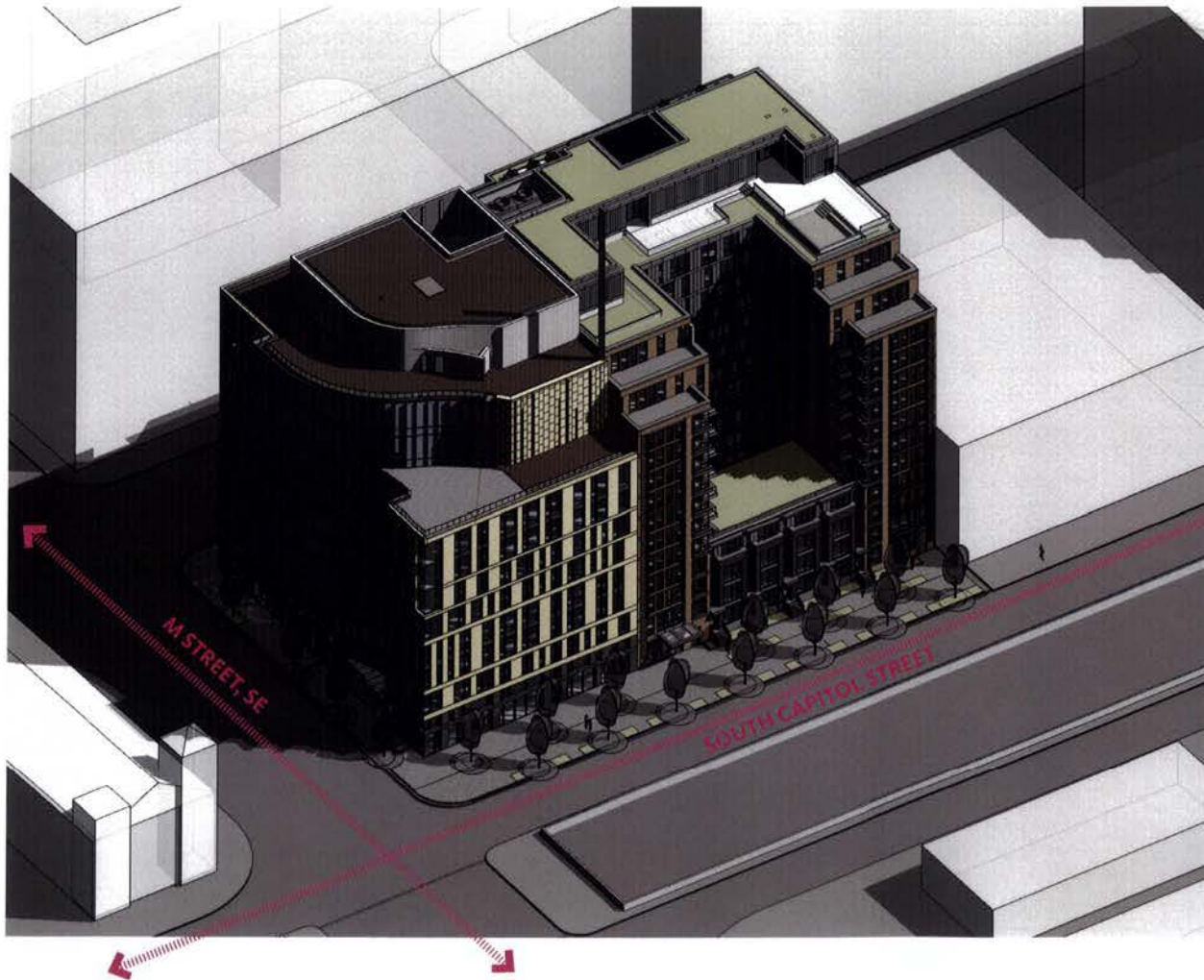
Plan | Site with Surrounding Context

Scale: 1" = 60' - 0"



Axometric | Building Massing with Square Footage Metrics

Not to Scale



Building Lot Area

	Total	Office Lot	Residential Lot
Proposed Lot Area (GSF)	35,558	15,808	19,750

Residential Lot Occupancy Calculations

	Proposed	Allowable
	88.3%	80.0%
Proposed Lot Coverage (SF)	17,435	15,800

* for residential lot only

Total Building FAR Calculations

	Proposed	Allowable
	8.46	9.50
Proposed FAR Usage (SF)	300,847	337,801

Includes:

124,362 Square Feet of Office from Order 15-11

176,485 Square Feet of Proposed Residential

Residential Gross Floor Area Calculations

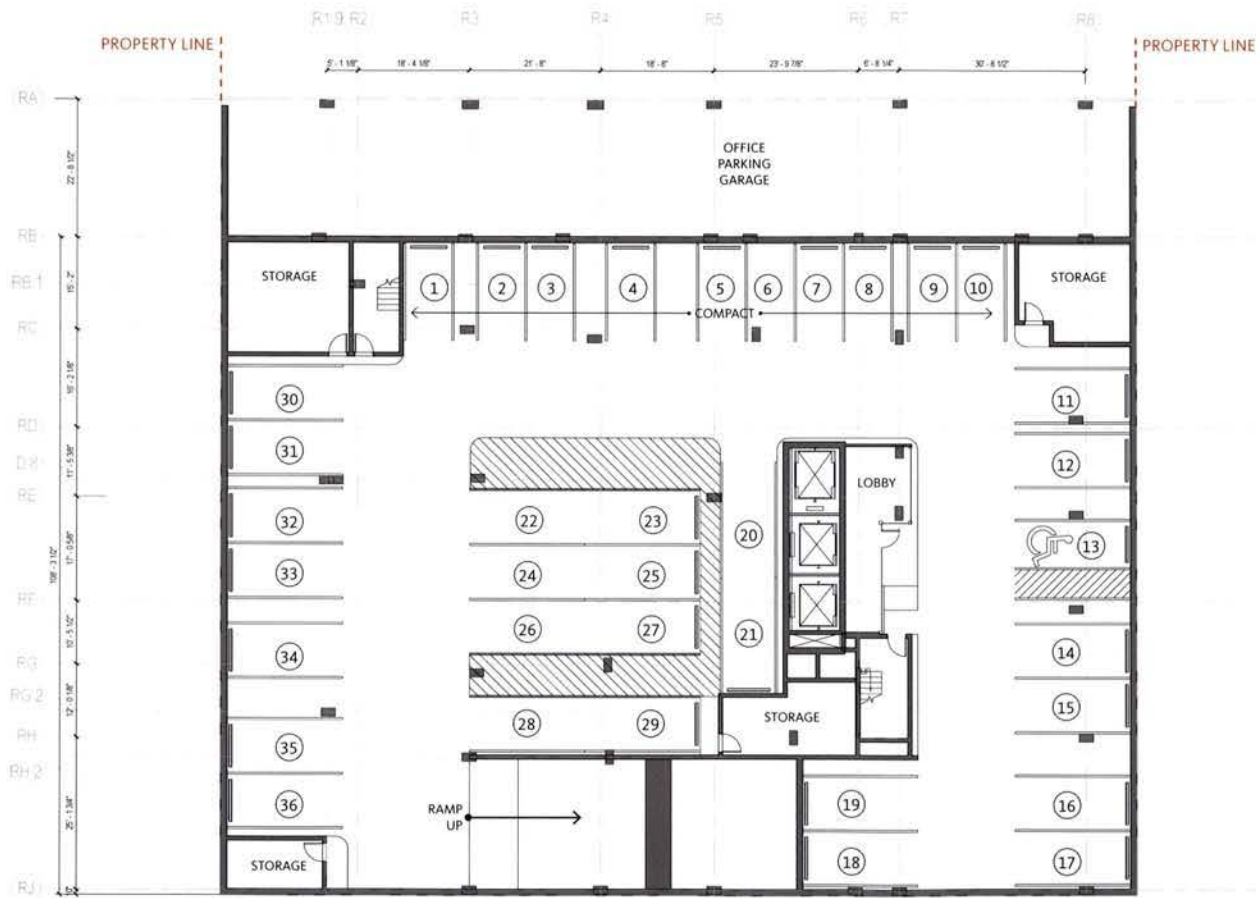
	Proposed GSF
Gross Measured Floor Area	
Parking Level P3*	16,321
Parking Level P2*	16,321
Parking Level P1*	16,321
Ground Floor**	13,007
Second Floor	16,083
Third Floor	15,926
Fourth Floor	16,082
Fifth Floor	13,982
Sixth Floor	13,982
Seventh Floor	13,982
Eighth Floor	13,982
Ninth Floor	13,982
Tenth Floor	13,982
Eleventh Floor	13,982
Twelfth Floor	13,499
Thirteenth Floor	12,657
TOTAL	185,129
Area of Shafts	8,644
ESTIMATED TOTAL	176,485

* All cellar and parking areas are exempt from FAR

**3,550 GSF - Penthouse

Plan | Layout Diagram for P3 Parking Floor (Lower Level 03)

Scale: 1"=20'-0"



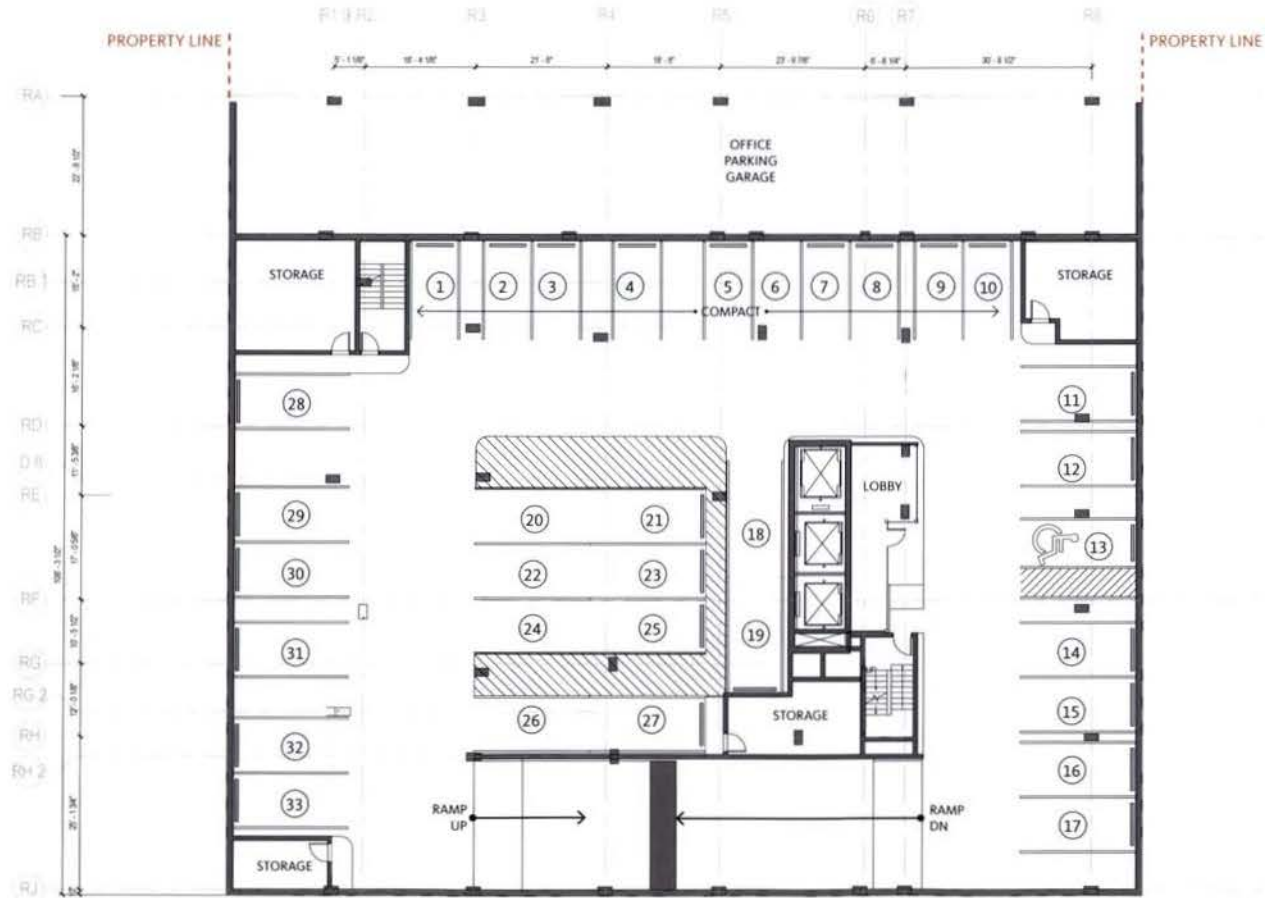
Residential Parking Mix Calculations				
	Standard	Compact	Handicap	TOTAL PER FLOOR
Lower Level 01	12	9	2	23
Lower Level 02	22	10	1	33
Lower Level 03	25	10	1	36
TOTAL PER UNIT TYPE	59	29	4	92
TOTAL UNIT COUNT				92

36 PARKING SPACES ON THIS LEVEL



Plan | Layout Diagram for P2 Parking Floor (Lower Level 02)

Scale: 1"=20'-0"



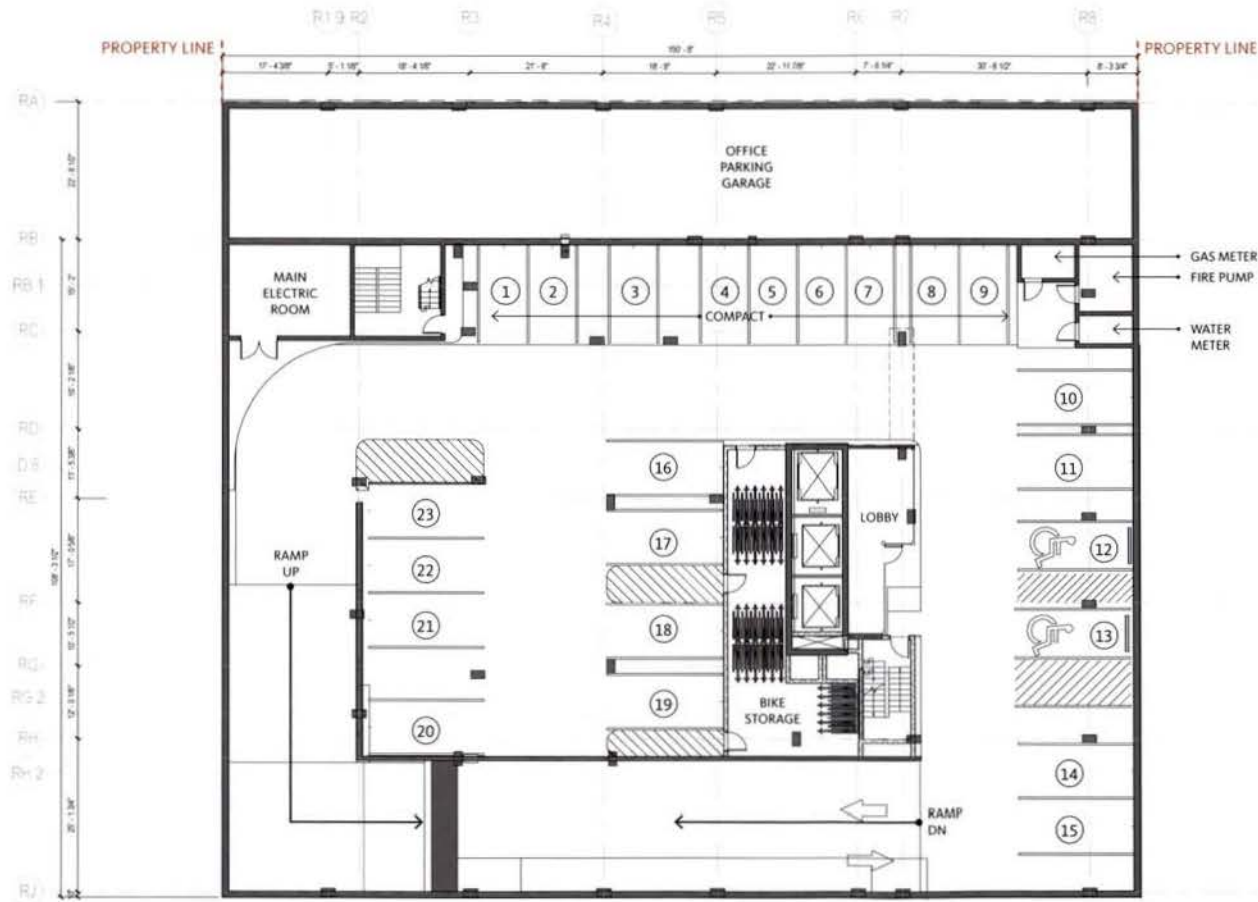
	Standard	Compact	Handicap	TOTAL PER FLOOR
Lower Level 01	12	9	2	23
Lower Level 02	22	10	1	33
Lower Level 03	25	10	1	36
TOTAL PER UNIT TYPE	59	29	4	
TOTAL UNIT COUNT				92

33 PARKING SPACES ON THIS LEVEL



Plan | Layout Diagram for P1 Parking Floor (Lower Level 01)

Scale: 1" = 20' - 0"



Residential Parking Mix Calculations

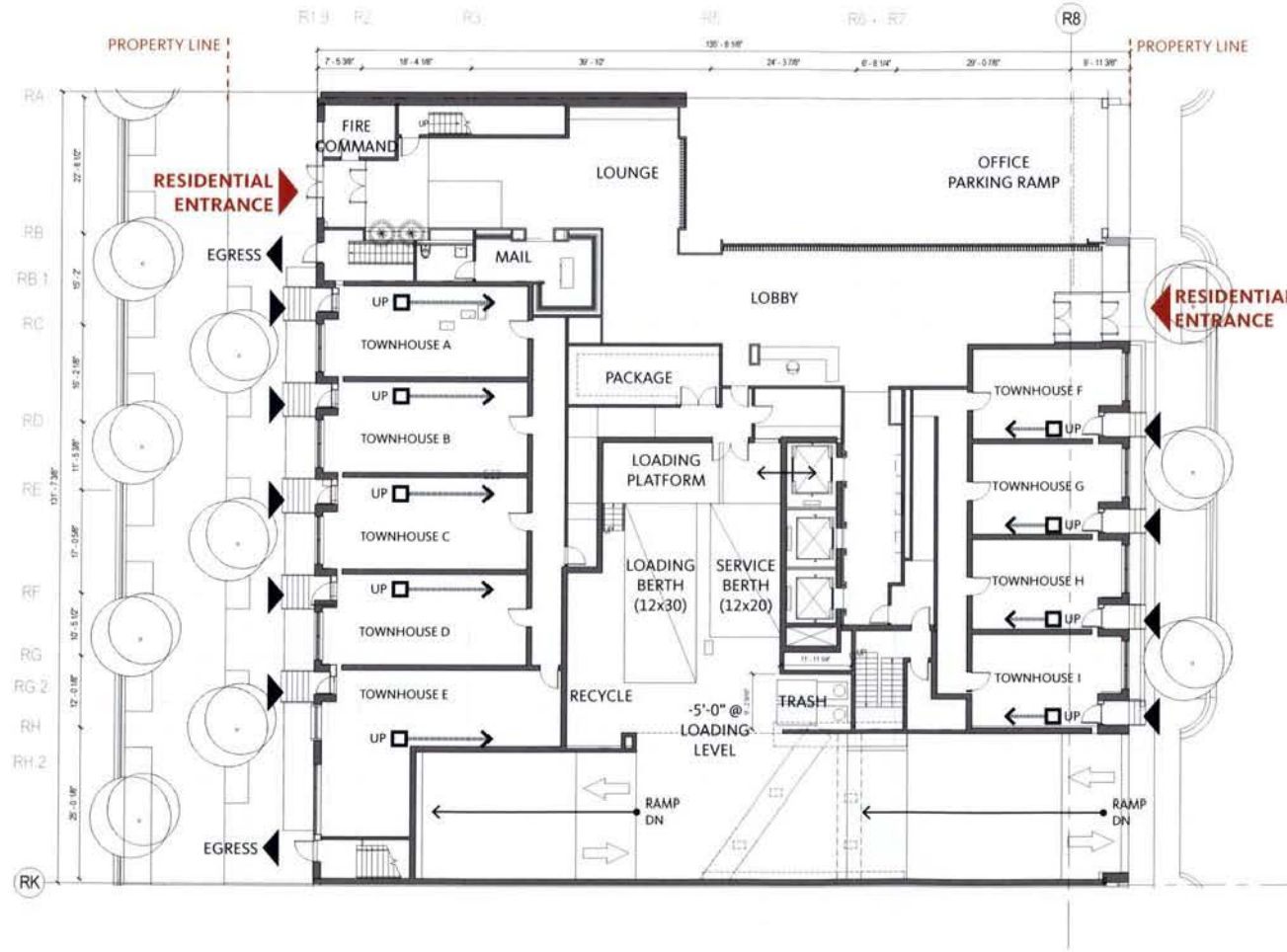
	Standard	Compact	Handicap	TOTAL PER FLOOR
Lower Level 01	12	9	2	23
Lower Level 02	22	10	1	33
Lower Level 03	25	10	1	36
TOTAL PER UNIT TYPE	59	29	4	92
TOTAL UNIT COUNT				

23 PARKING SPACES ON THIS LEVEL



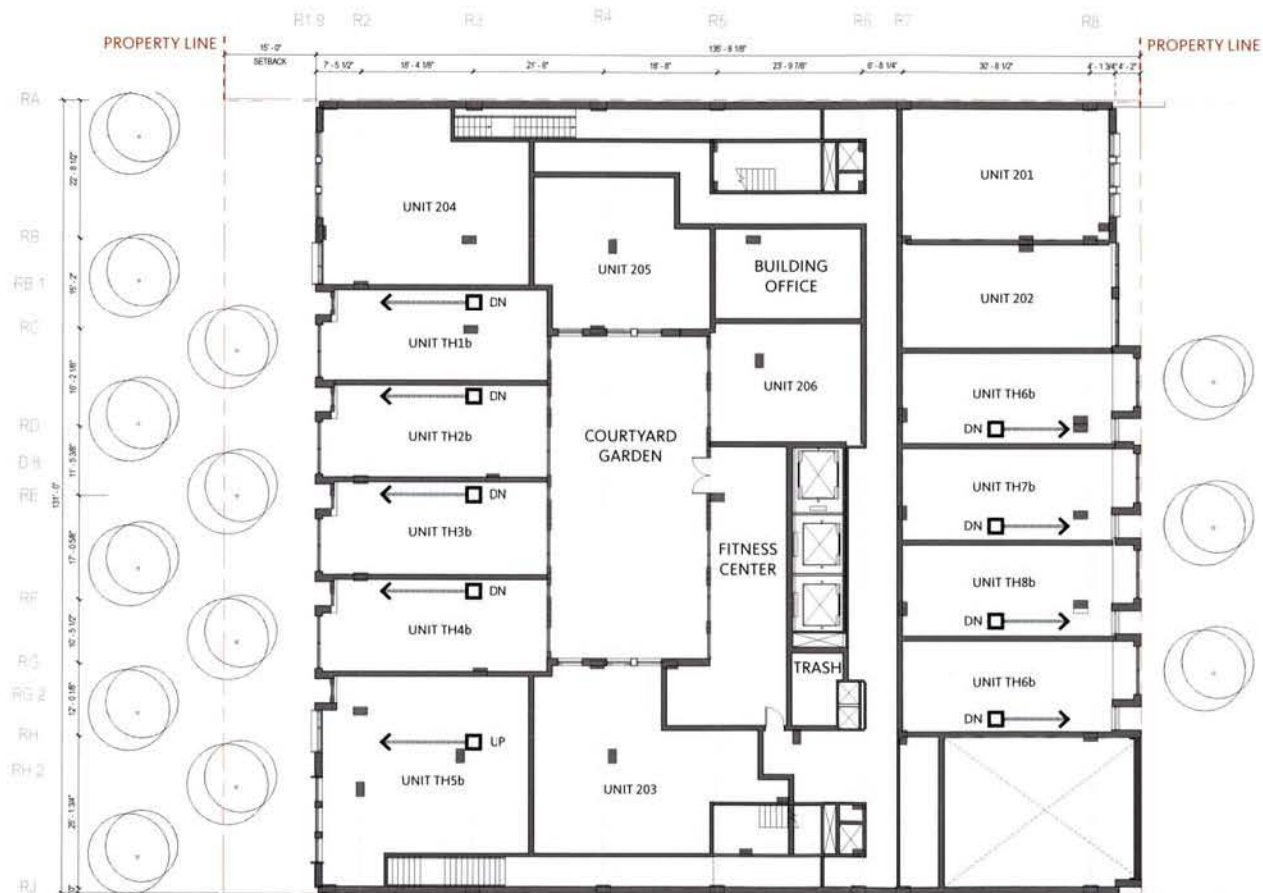
Plan | Unit Layout Diagram for Ground Floor (Level 01)

Scale: 1" = 20' - 0"



Plan | Unit Layout Diagram for Second Floor (Level 02)

Scale: 1" = 20' - 0"



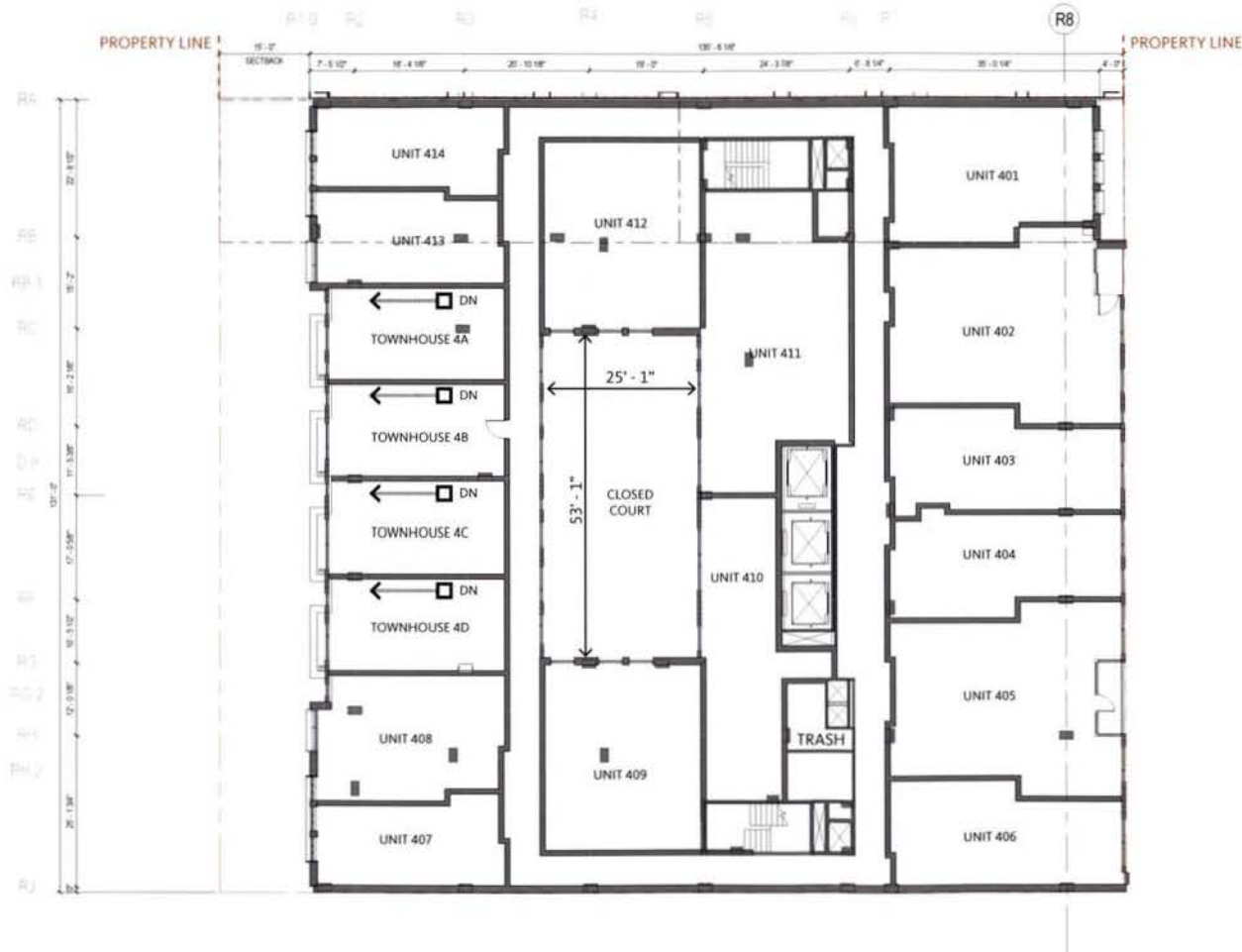
Plan | Unit Layout Diagram for Third Floor (Level 03)

Scale: 1" = 20' - 0"



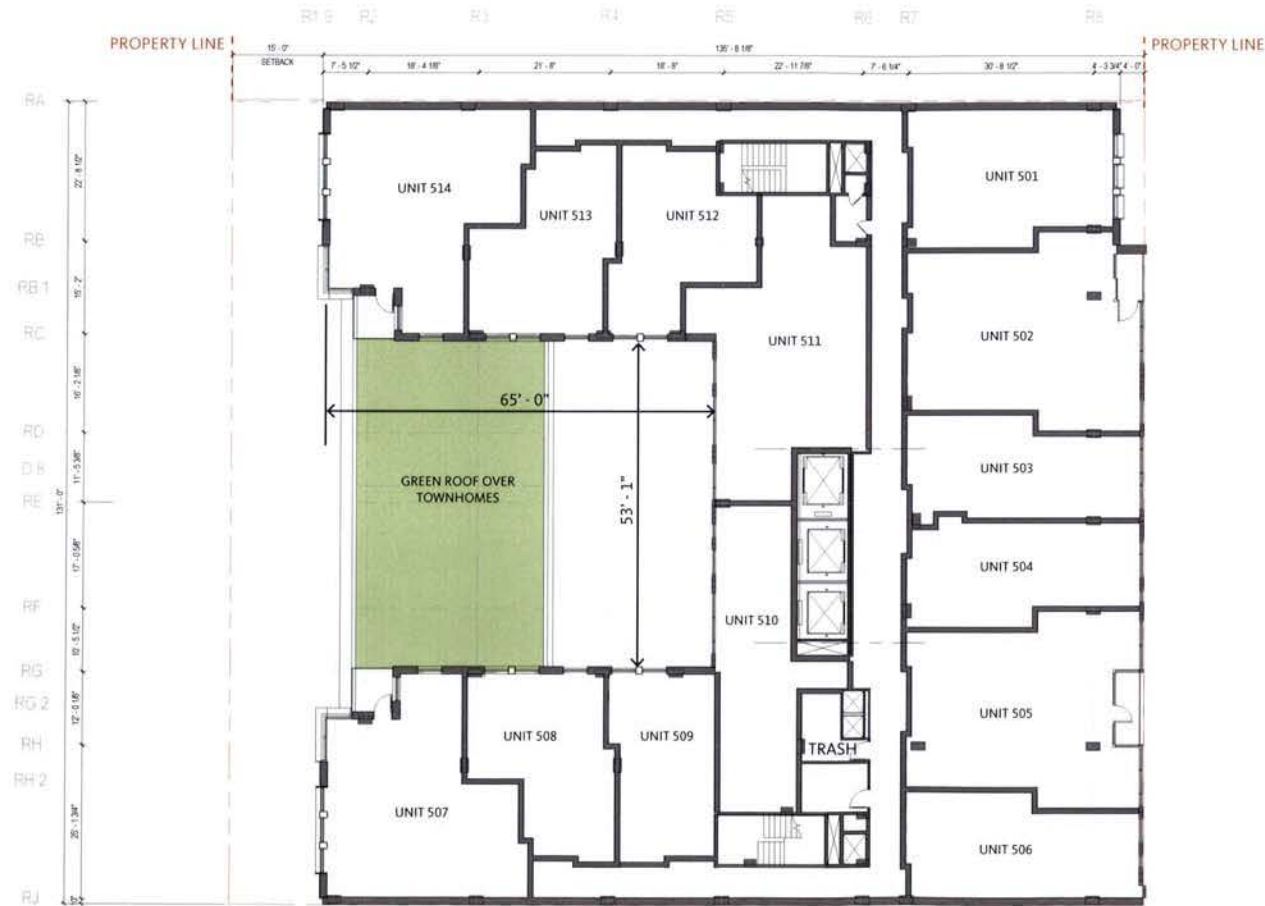
Plan | Unit Layout Diagram for Fourth Floor (Level 04)

Scale: 1"=20'-0"



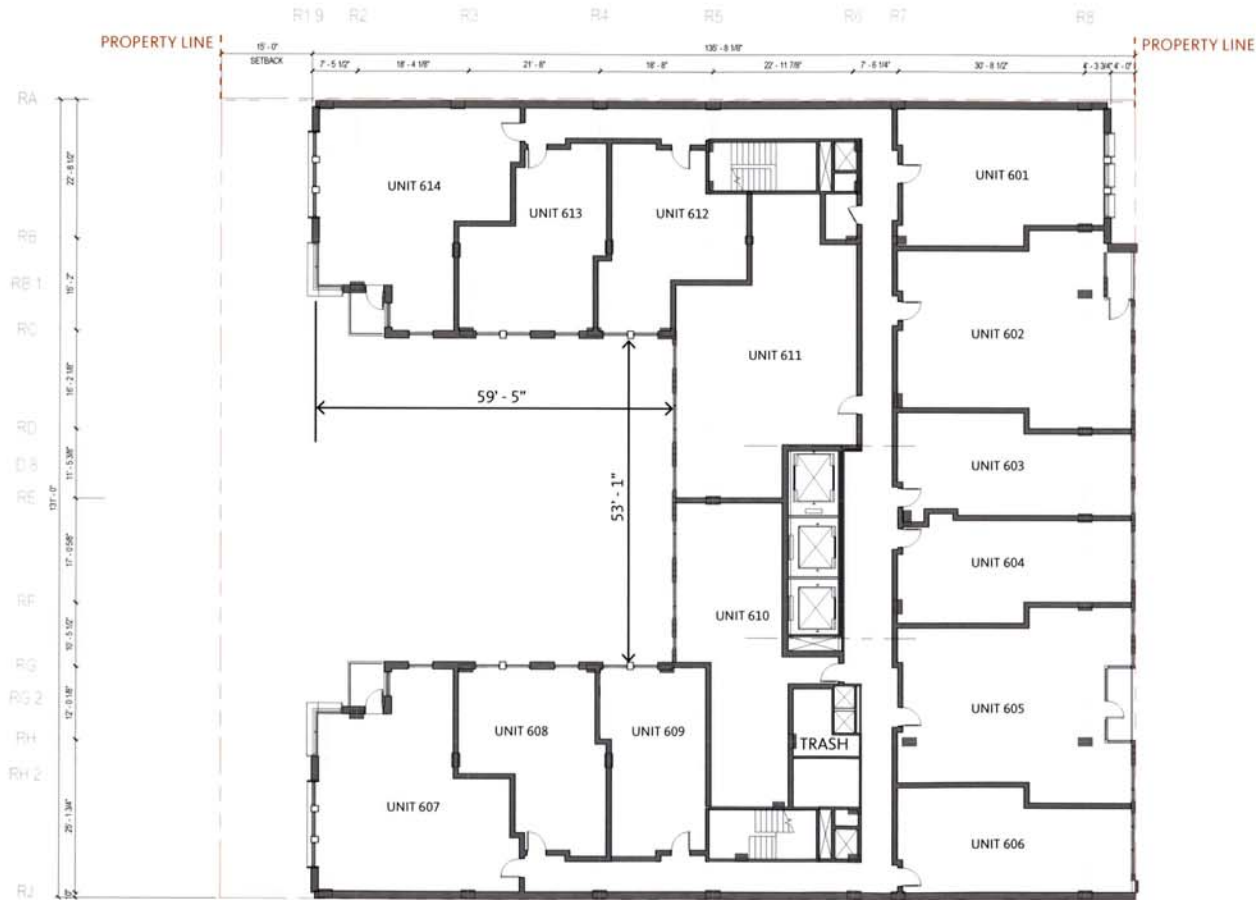
Plan | Unit Layout Diagram for Fifth Floor (Level 05)

Scale: 1" = 20' - 0"



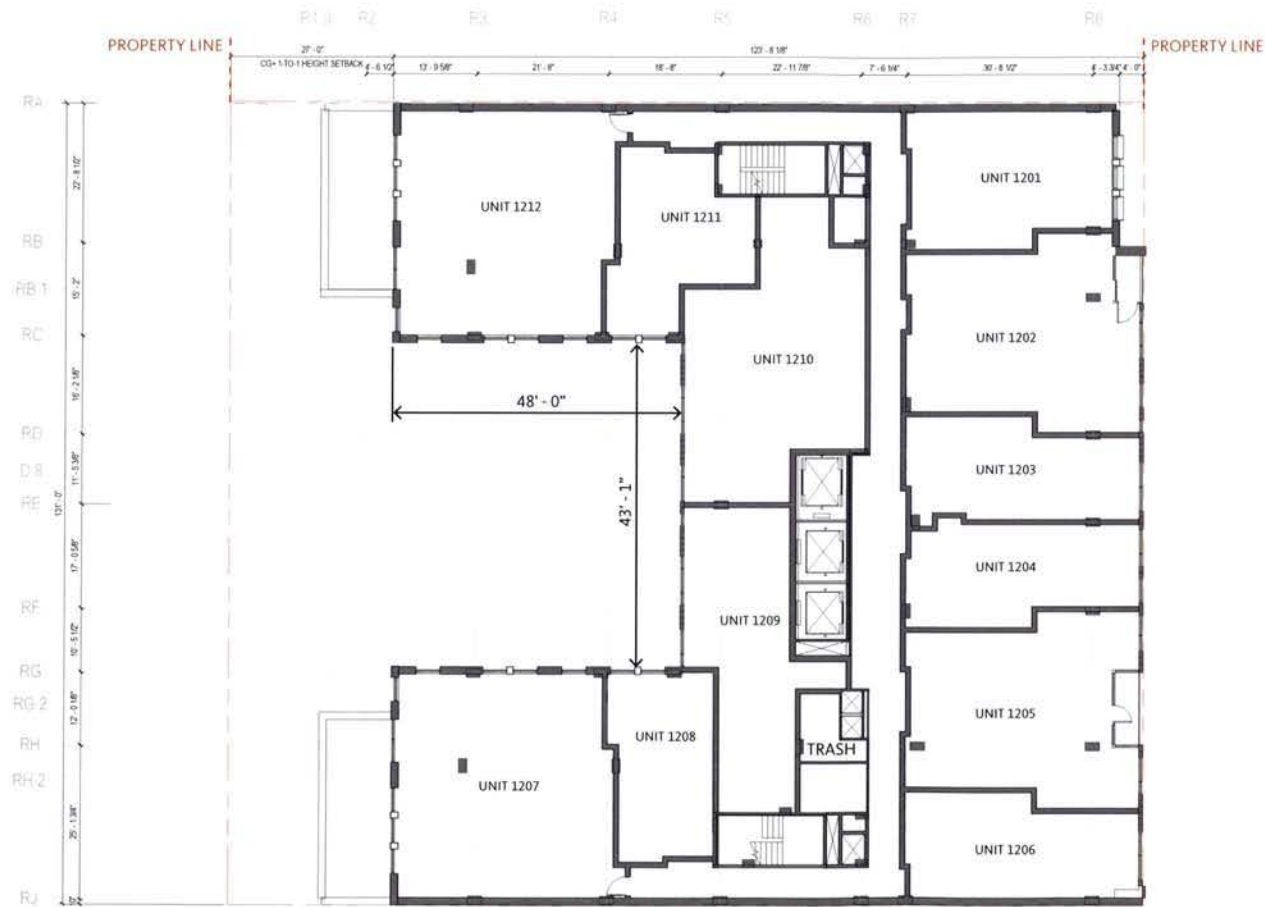
Plan | Unit Layout Diagram for Typical Floors (Levels 06-11)

Scale: 1"=20'-0"



Plan | Unit Layout Diagram for Twelfth Floor (Level 12)

Scale: 1" = 20' - 0"



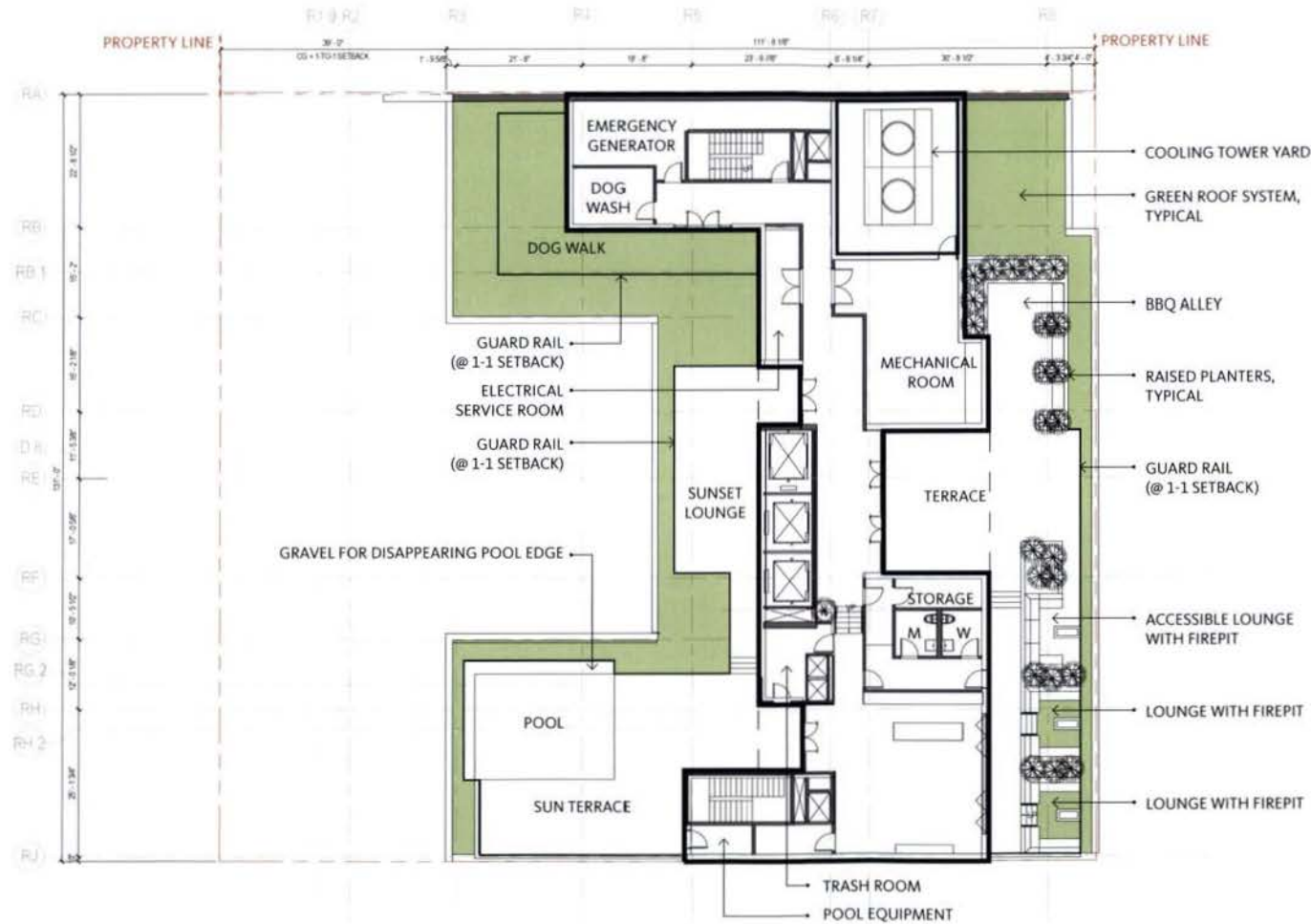
Plan | Unit Layout Diagram for Thirteenth Floor (Level 13)

Scale: 1" = 20' - 0"



Plan | Layout Diagram for Penthouse (Level 14)

Scale: 1" = 20' - 0"



Elevation | Building West Facade at South Capitol Street

Scale: 1" = 20'-0"



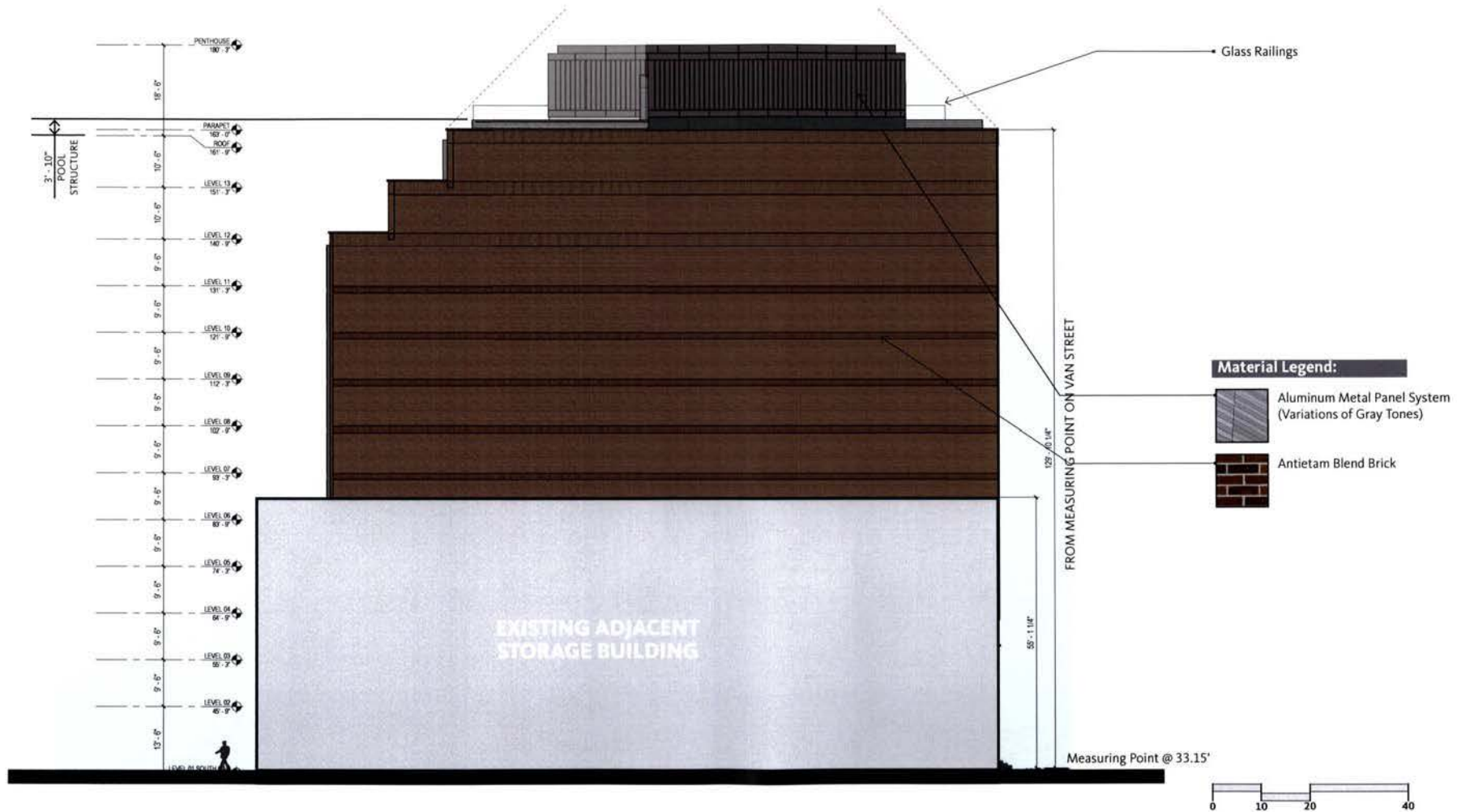
Elevation | Building East Facade at Van Street

Scale: 1" = 20'-0"



Elevation | Building South Facade

Scale: 1" = 20'-0"



Rendering | Southwest View looking North towards the Capitol Building

Not to Scale



Rendering | Northwest View looking South

Not to Scale



Rendering | Southwest View looking North at South Capitol Street Level

Not to Scale



Rendering | Van Street View looking South towards the Ballpark

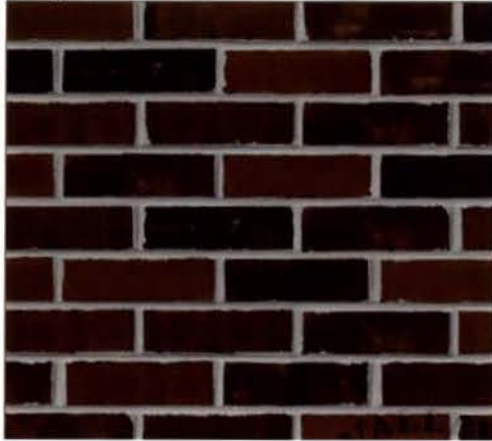
Not to Scale



Diagram | Material Palette at Building Exterior

Not to Scale

Brick | Antietam Blend at Main Facades



Brick | Manganese Artisan at Townhouses



Granite | Virginia Mist Watertable, Bands and Accents



Metal | Panel System with Color Variation



Glass | Windows

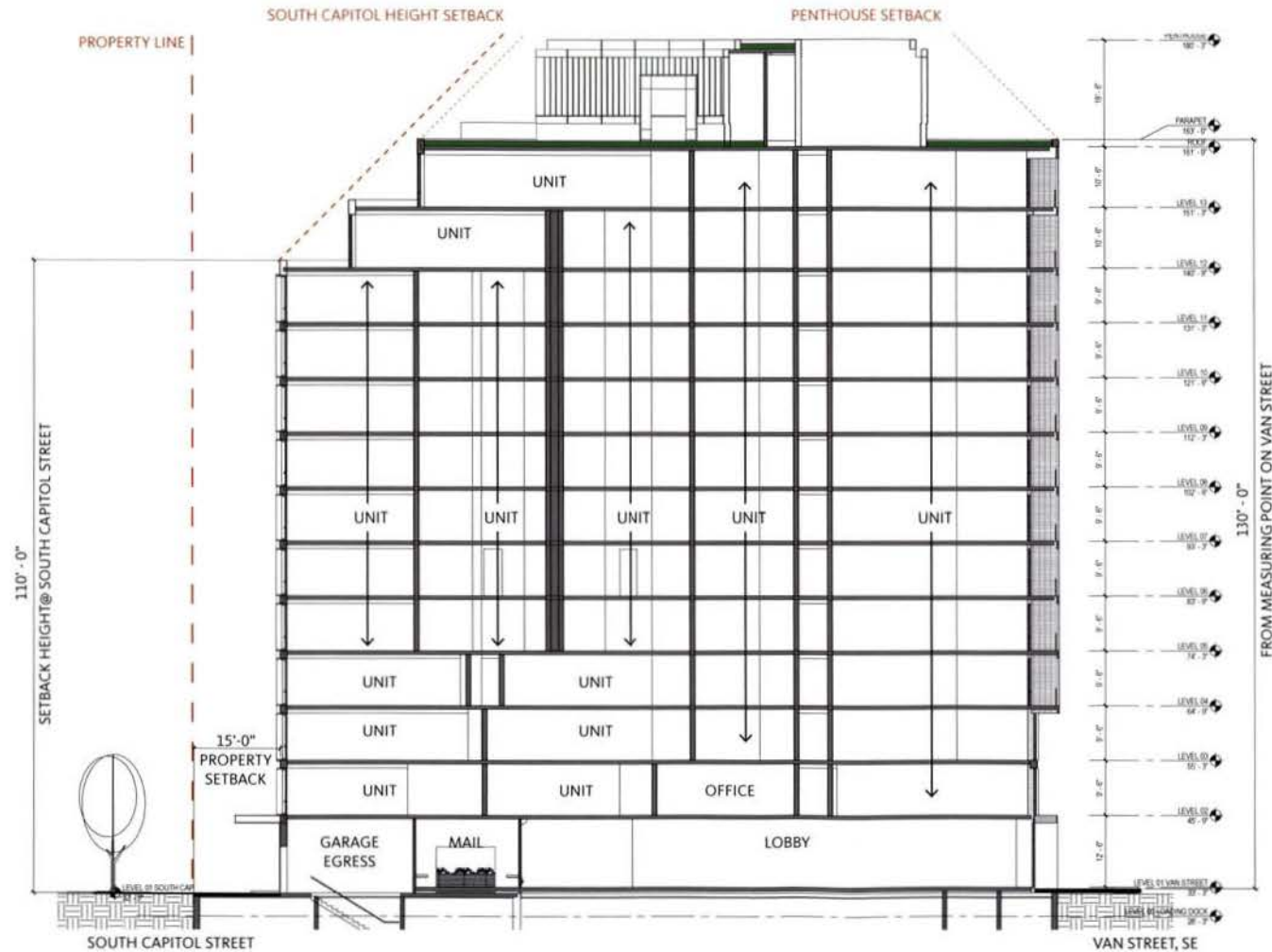


Material Legend:

-  Antietam Blend Brick
-  Manganese Artisan Brick
-  Virginia Mist Granite (Polished)
-  Aluminum Metal Panel System (Variations of Gray Tones)
-  Glass (Insulated Glass Units)

Section | North Wing looking North

Scale: 1" = 20' - 0"



Plan | Key Plan showing Section Cut

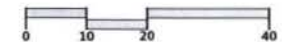


Matrix | Floor-to-Floor and Building Height

	Existing Slab	Existing Elevation
Building Elevations (FT)		
Parking Level P3*	-10'-6"	1.00
Parking Level P2*	-10'-6"	11.50
Parking Level P1*	-11'-3"	22.00
Ground Floor	0'-0"	33.25
Second Floor	12'-6"	45.75
Third Floor	9'-6"	55.25
Fourth Floor	9'-6"	64.75
Fifth Floor	9'-6"	74.25
Sixth Floor	9'-6"	83.75
Seventh Floor	9'-6"	93.25
Eighth Floor	9'-6"	102.75
Ninth Floor	9'-6"	112.25
Tenth Floor	9'-6"	121.75
Eleventh Floor	9'-6"	131.25
Twelfth Floor	9'-6"	140.75
Thirteenth Floor	10'-6"	151.25
Main Roof	10'-6"	161.75
Parapet*	1'-4"	163.00
Penthouse Roof	18'-6"	180.25

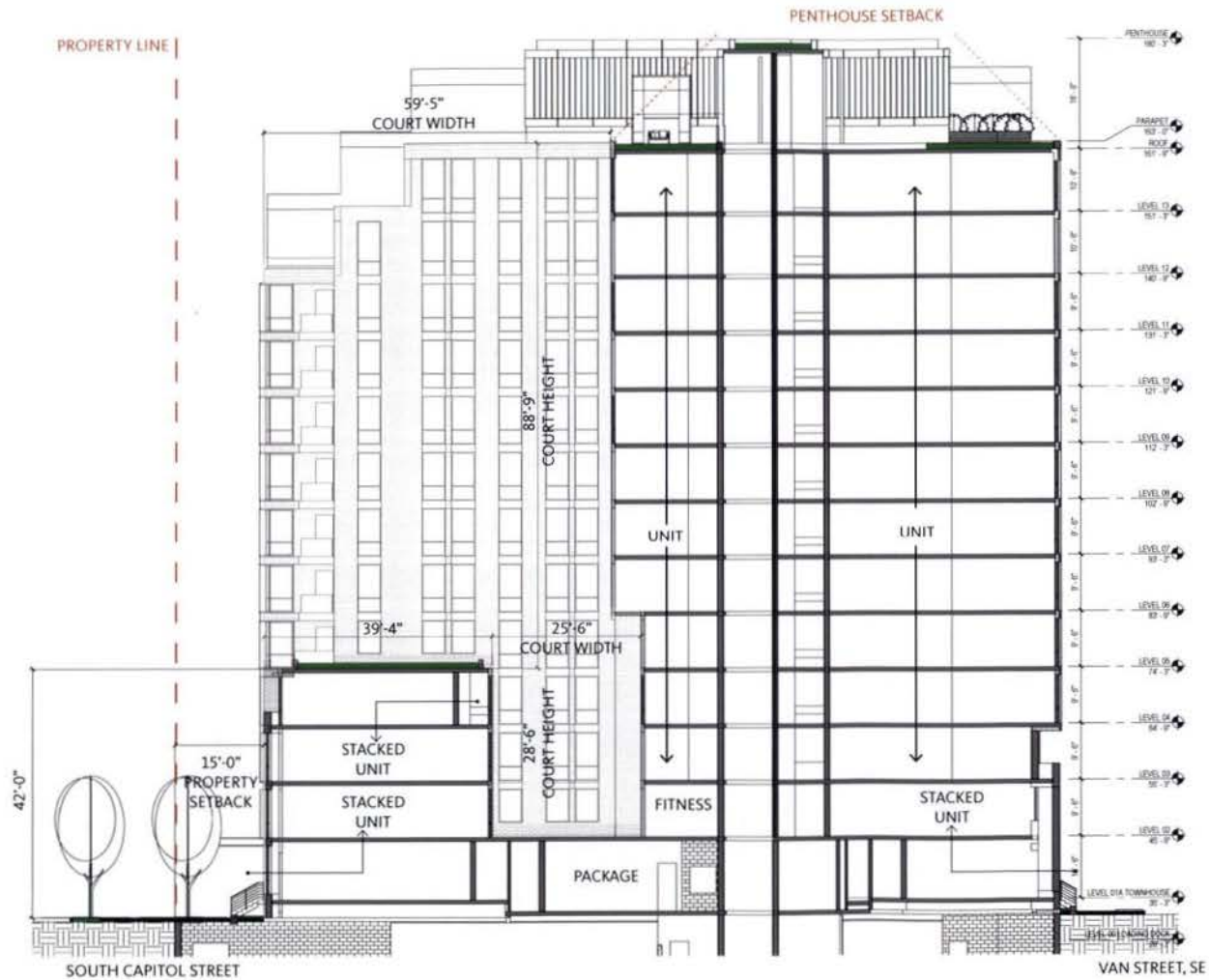
*Building Height with Proposed Measuring Point

163.00	33.15	129.85
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Section | North Wing looking North

Scale: 1" = 20' - 0"



Plan | Key Plan showing Section Cut



Open Court:

Court Required Dimension per DC Zoning 11-638.1:
88.75 Feet High at 3"/ft = 22.25 Feet
* Minimum Dimension of 10 Feet Required

Minimum Dimension Provided: 59'-5"

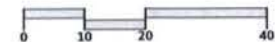
Closed Court:

Court Required Dimension per DC Zoning 11-638.2:
28.5 Feet High at 4"/ft = 9.5 Feet
* Minimum Dimension of 15 Feet Required

Minimum Dimension Provided: 25'-6"

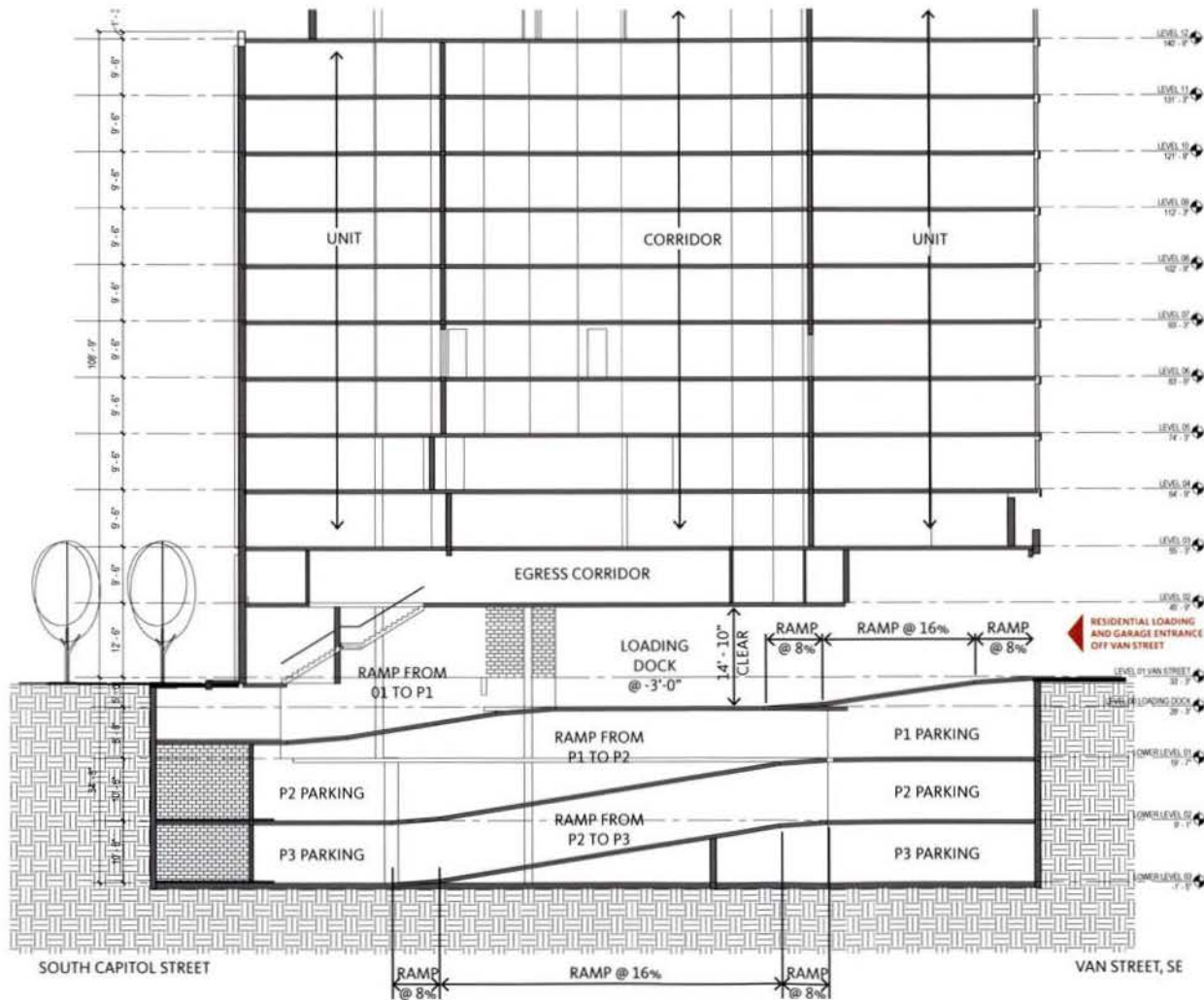
Court Required Area per DC Zoning 11-638.2:
2 x (9.5 Feet x 9.5 Feet) = 180.5 Square Feet

Minimum Area Provided:
25'-6" x 53'-1" = 1,351.5 Square Feet



Section | Layout Diagram at Parking Garage Ramp looking North

Scale: 1" = 20' - 0"



Plan | Key Plan showing Section Cut



Parking Requirements:

Required Parking per DC Zoning 11-2101:
163 Units / 3 per Dwelling Unit = 55 Parking Spaces

Parking Spaces Provided: 92 Spaces

Allowable Compact Spaces per DC Zoning 11-2115:
40% of 92 Spaces = 36 Spaces
29 Compact Spaces Provided

Accessible Spaces per IBC 2012 Table 1106.1:
3 Spaces + 1 Van Space = 4 Total Accessible Spaces

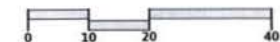
Bike Parking Requirements:

Equal to five percent (5%) of Auto Parking Spaces
55 Required Parking * 5% = 3 Bike Spaces
Parking Spaces Provided: 60 Spaces

Required Parking per DC DDOT:

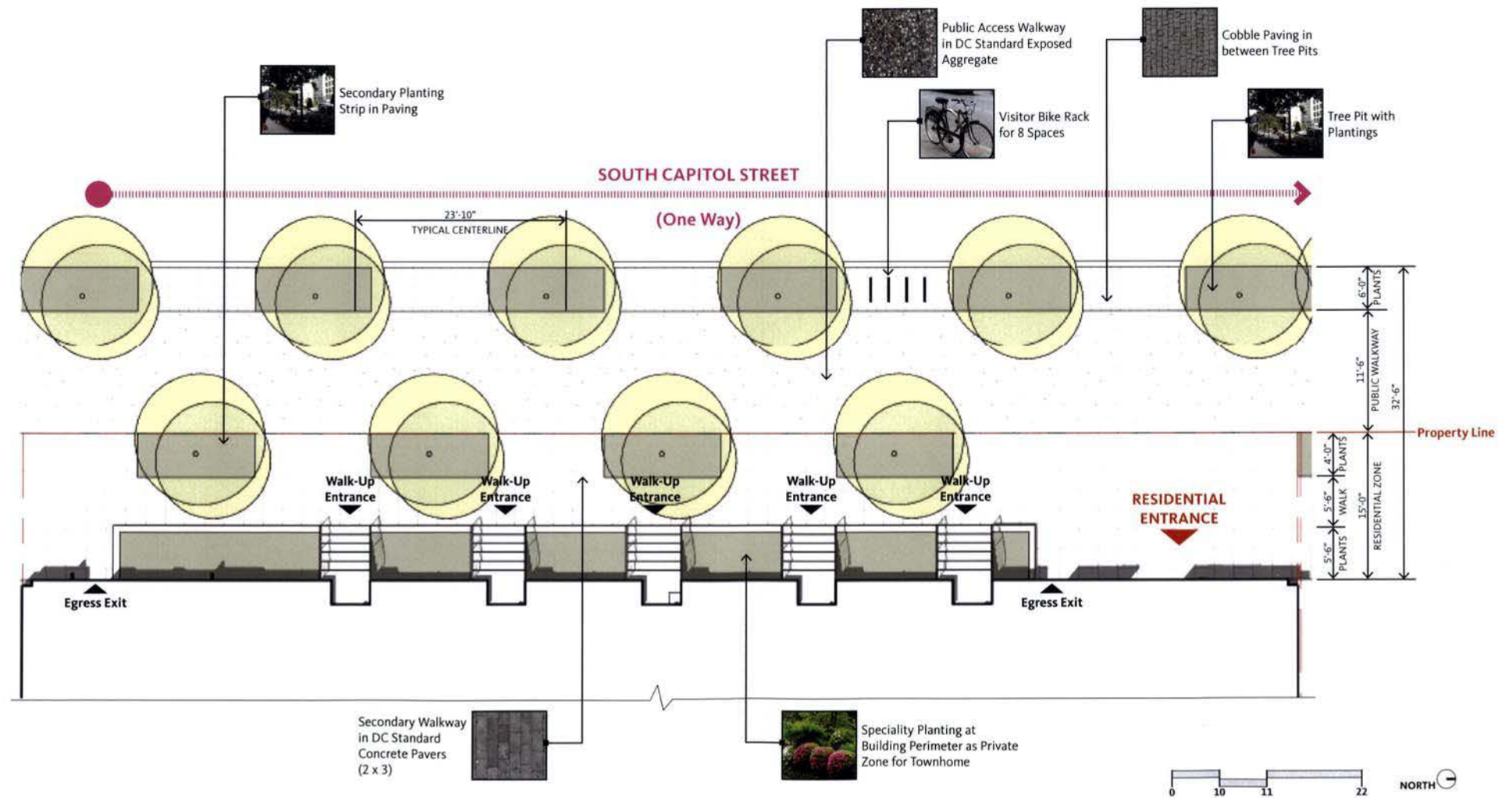
163 Units / 3 per Dwelling Unit = 55 Bike Spaces
Parking Spaces Provided: 60 Spaces

Visitor Spaces
163 Units / 20 Dwelling Unit = 9 Bike Spaces
Parking Spaces Provided: 16 Spaces



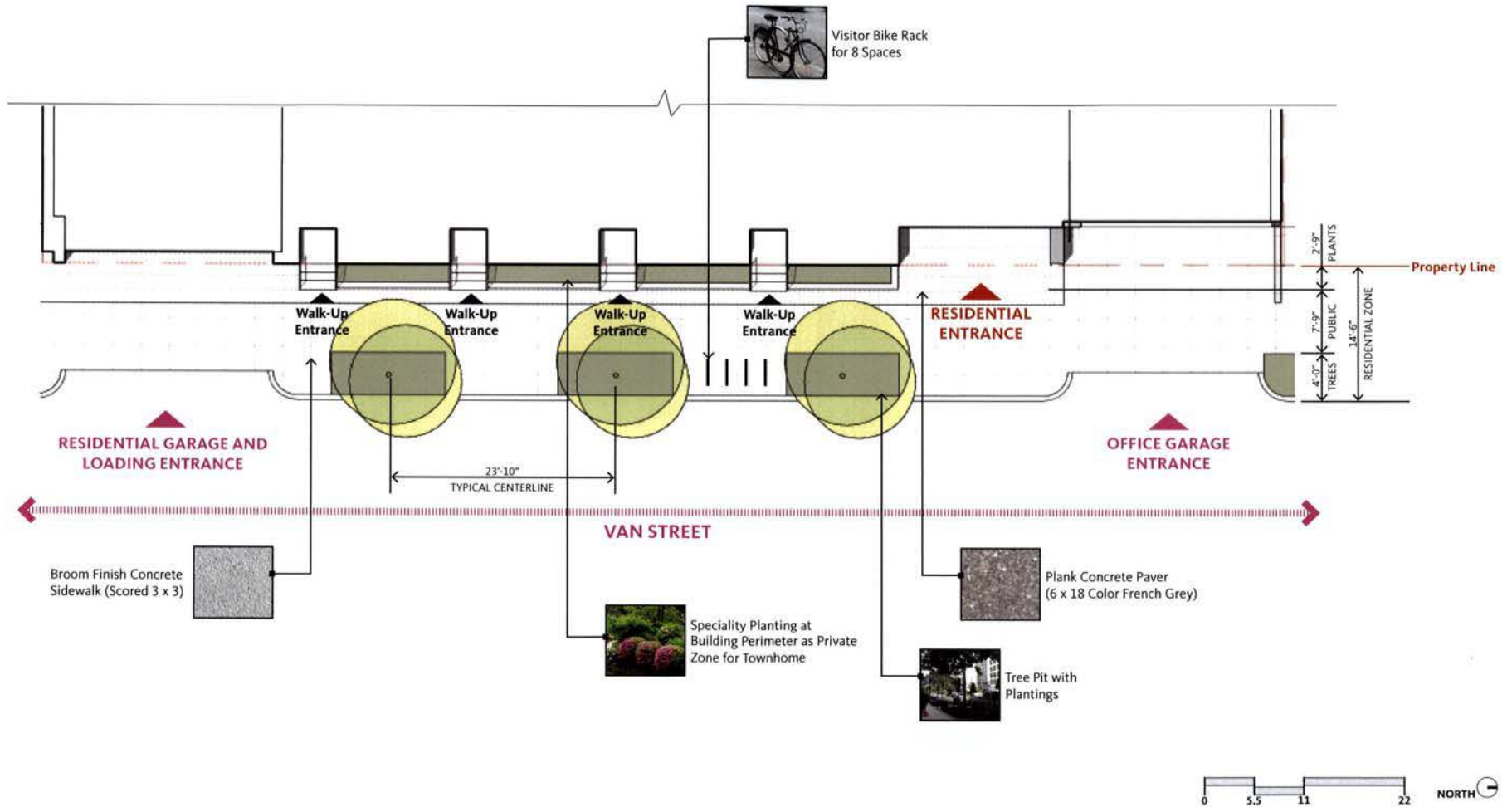
Plan | Site Streetscape along South Capitol Street (West)

Scale: 3/32" = 1' - 0"



Plan | Site Streetscape along Van Street (East)

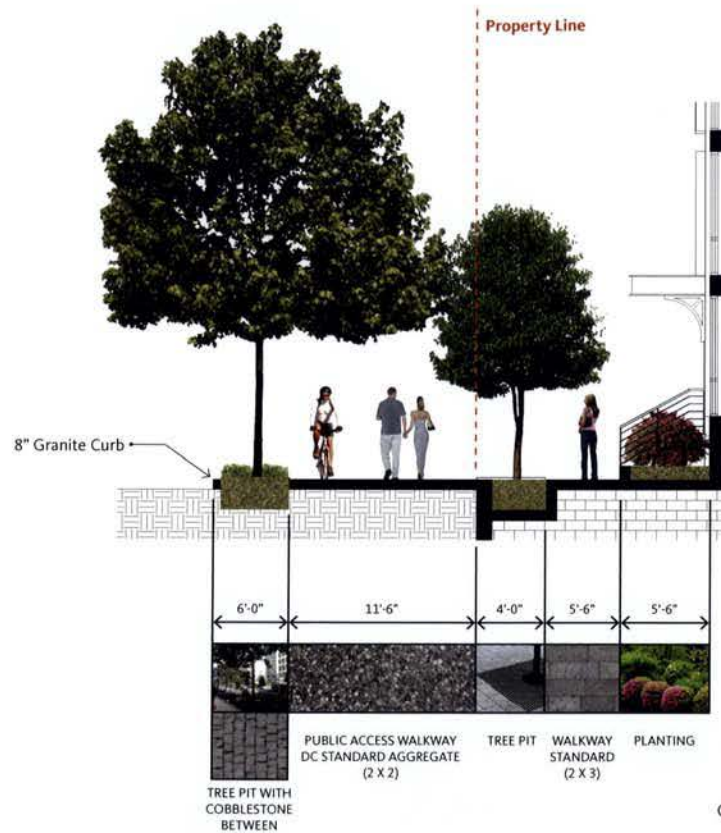
Scale: 3/32" = 1' - 0"



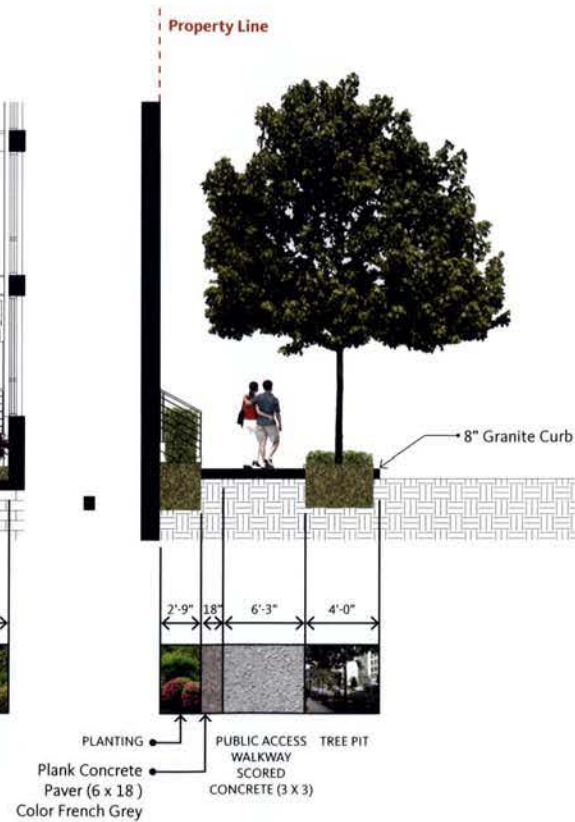
Sections | Site Streetscape

Scale: 1/8" = 1' - 0"

Section | Streetscape at South Capitol Street



Section | Streetscape at Van Street



Precedent | DC Standard Streetscape



Precedent | Bike Rack

