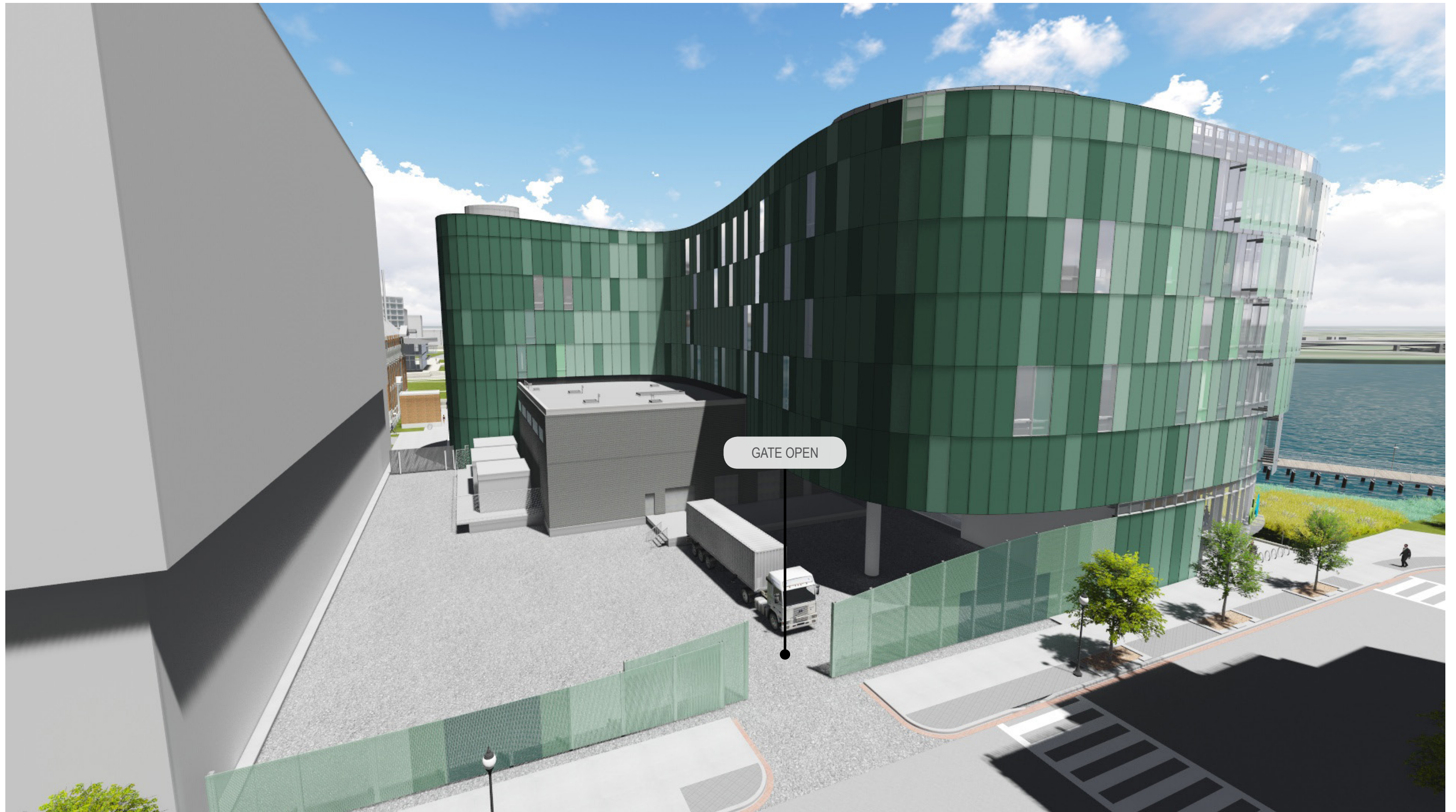




KEY PLAN

LOADING AREA / GATE



KEY PLAN

ENTRANCE / GUARD BOOTH / POST FOREST CITY PUD CONDITION



KEY PLAN

ENTRANCE / GUARD BOOTH / POST FOREST CITY PUD CONDITION



KEY PLAN

ENTRANCE / GUARD BOOTH / POST FOREST CITY PUD CONDITION

LEED for Building Design + Construction - Project Scorecard

Certified 40 to 49 / Silver 50 - 59 / Gold 60 - 79 / Platinum 80 or more points

PLATINUM		Project Name: DC Water Headquarters	
Scenario #1		Project Address: O Street SW Washington, DC 20003	
80	12	0	18
Yes	+	-	No
Required by Owner/DOC		Regional Priority Credit	
Exemplary Performance		Credit Finalized Online	
Innovation & Design / Exemplary Performance		Innovation and Design	

SUSTAINABLE SITES 26

21	4	0	1
Yes	+	-	No
Credit Details			
Y	NO	Prereq 1	Construction Activity Pollution Prevention
1	0	NO	Credit 1 Site Selection
5	0	NO	Credit 2 Development Density and Community Connectivity
0	1	NO	Credit 3 Brownfield Redevelopment
6	0	NO	Credit 4.1 Alternative Transportation, Public Transportation Access
1	0	NO	Credit 4.2 Alternative Transportation, Bicycle Storage & Changing Rooms
3	0	NO	Credit 4.3 Alternative Transportation, Low-Emitting & Fuel-Efficient Vehicles
2	0	NO	Credit 4.4 Alternative Transportation, Parking Capacity
1	0	NO	Credit 5.1 Site Development, Protect or Restore Habitat
1	0	NO	Credit 5.2 Site Development, Maximize Open Space
1	0	NO	Credit 6.1 Stormwater Design, Quantity Control
1	0	NO	Credit 6.2 Stormwater Design, Quality Control
1	0	NO	Credit 7.1 Heat Island Effect, Non-Roof
1	0	NO	Credit 7.2 Heat Island Effect, Roof
1	0	NO	Credit 8 Light Pollution Reduction
21	4	0	1
Yes	+	-	No
Notes			

WATER EFFICIENCY 10

10	0	0	0
Yes	+	-	No
Credit Details			
Y	NO	Prereq 1	Water Use Reduction 20%
4	0	NO	Credit 1 Water Efficient Landscaping
2	0	NO	Credit 2 Innovative Wastewater Technologies
4	0	NO	Credit 3 Water Use Reduction
10	0	0	0
Yes	+	-	No
Notes			

ENERGY & ATMOSPHERE 35

23	5	0	7
Yes	+	-	No
Credit Details			
Y	NO	Prereq 1	Fundamental Commissioning - Building Energy Systems
Y	NO	Prereq 2	Minimum Energy Performance
Y	NO	Prereq 3	Fundamental Refrigerant Management
19	0	0	16
Yes	+	-	No
Notes			

0	0	7	NO
2	0	0	NO
2	0	0	NO
3	0	0	NO
2	0	0	NO
23	5	0	7
Yes	+	-	No
Notes			

MATERIALS & RESOURCES 14

7	0	0	7
Yes	+	-	No
Credit Details			
Y	YES	Prereq 1	Storage & Collection of Recyclables
0	3	NO	Credit 1.1 Building Reuse - Maintain Exist. Structural Elements
0	1	NO	Credit 1.2 Building Reuse - Maintain 50% of Exist. NonStructural Elements
2	0	NO	Credit 2 Construction Waste Management
0	2	NO	Credit 3 Material Reuse
2	0	NO	Credit 4 Recycled Content
2	0	NO	Credit 5 Regional Materials
0	1	NO	Credit 6 Rapidly Renewable Materials
1	0	NO	Credit 7 Certified Wood
7	0	0	7
Yes	+	-	No
Notes			

INDOOR ENVIRONMENTAL QUALITY 15

11	3	0	1
Yes	+	-	No
Credit Details			
Y	NO	Prereq 1	Minimum IAQ Performance
Y	NO	Prereq 2	Environmental Tobacco Smoke (ETS) Control
1	0	NO	Credit 1 Outdoor Air Delivery Monitoring
0	1	NO	Credit 2 Increase Ventilation
1	0	NO	Credit 3.1 Construction IAQ Management Plan, During Construction
1	0	NO	Credit 3.2 Construction IAQ Management Plan, Before Occupancy
1	0	NO	Credit 4.1 Low-Emitting Materials, Adhesives & Sealants
1	0	NO	Credit 4.2 Low-Emitting Materials, Paints & Coatings
1	0	NO	Credit 4.3 Low-Emitting Materials, Flooring Systems
1	0	NO	Credit 4.4 Low-Emitting Materials, Composite Wood & Agrifibers Products
1	0	NO	Credit 5 Indoor Chemical & Pollutant Source Control
1	0	NO	Credit 6.1 Controllability of Systems, Lighting
1	0	NO	Credit 6.2 Controllability of Systems, Thermal Comfort
1	0	NO	Credit 7.1 Thermal Comfort, Design
1	0	NO	Credit 7.2 Thermal Comfort, Verification

1	0	0	NO
1	0	0	NO
11	3	0	1
Yes	+	-	No
Notes			

INNOVATION & DESIGN / EXEMPLARY PERFORMANCE 6

4	0	0	2
Yes	+	-	No
Credit Details			
1	0	NO	Credit 1.1 Input Innovation or Exemplary Performance Credit
1	0	NO	Credit 1.2 Innovation or Exemplary Performance Credit
1	0	NO	Credit 1.3 Innovation or Exemplary Performance Credit
0	1	NO	Credit 1.4 Innovation or Exemplary Performance Credit
0	1	NO	Credit 1.5 Innovation or Exemplary Performance Credit
1	0	NO	Credit 2 LEED™ Accredited Professional
4	0	0	2
Yes	+	-	No
Notes			

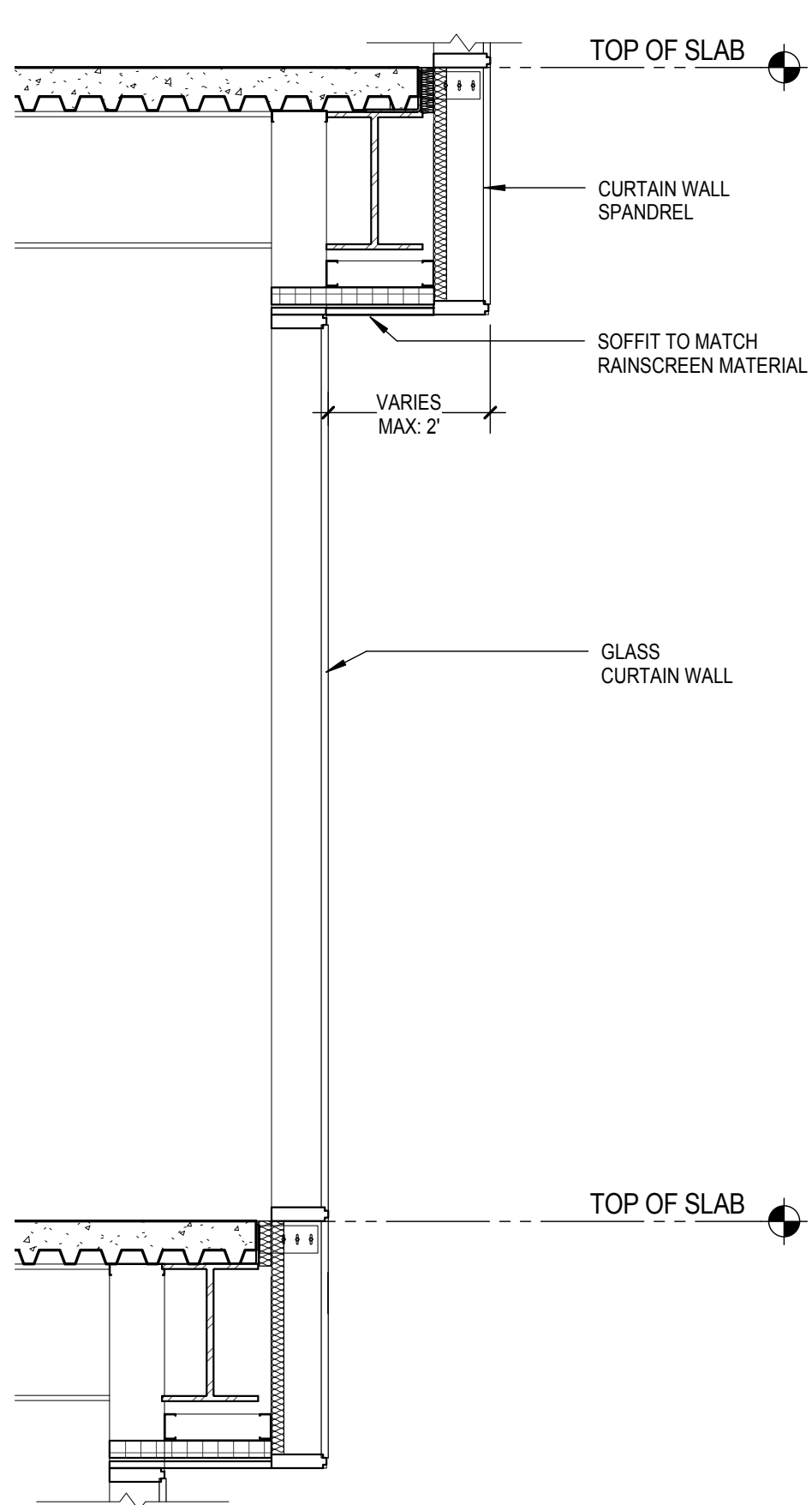
REGIONAL PRIORITY CREDITS 4

4	0	0	0
Yes	+	-	No
Credit Details			
1	0	NO	Credit 1 Site Development, Protect or Restore Habitat
1	0	NO	Credit 2 Stormwater Design, Quantity Control
1	0	NO	Credit 3 Innovative Wastewater Technologies
1	0	NO	Credit 4 Optimize Energy Performance
4	0	0	0
Yes	+	-	No
Notes			

POTENTIAL INNOVATIONS

- Minimize building exhaust system effluents - used at S&TF
- Alternative transportation management plan
- Process Water Savings -
- Snow Melting system from waste heat from HPCDC
- Optimize Energy Performance - Equipment and Appliances (LEED-CI)
- Labs 21 Environmental Performance Criteria
- Non-Chemical Water Treatment
- Green Cleaning Program
- Organic Landscape Management Program (LEED-EB)
- Integrated Pest Management Program (LEED-EB)
- Exemplary performance in Existing LEED Credit
- Continuous Commissioning

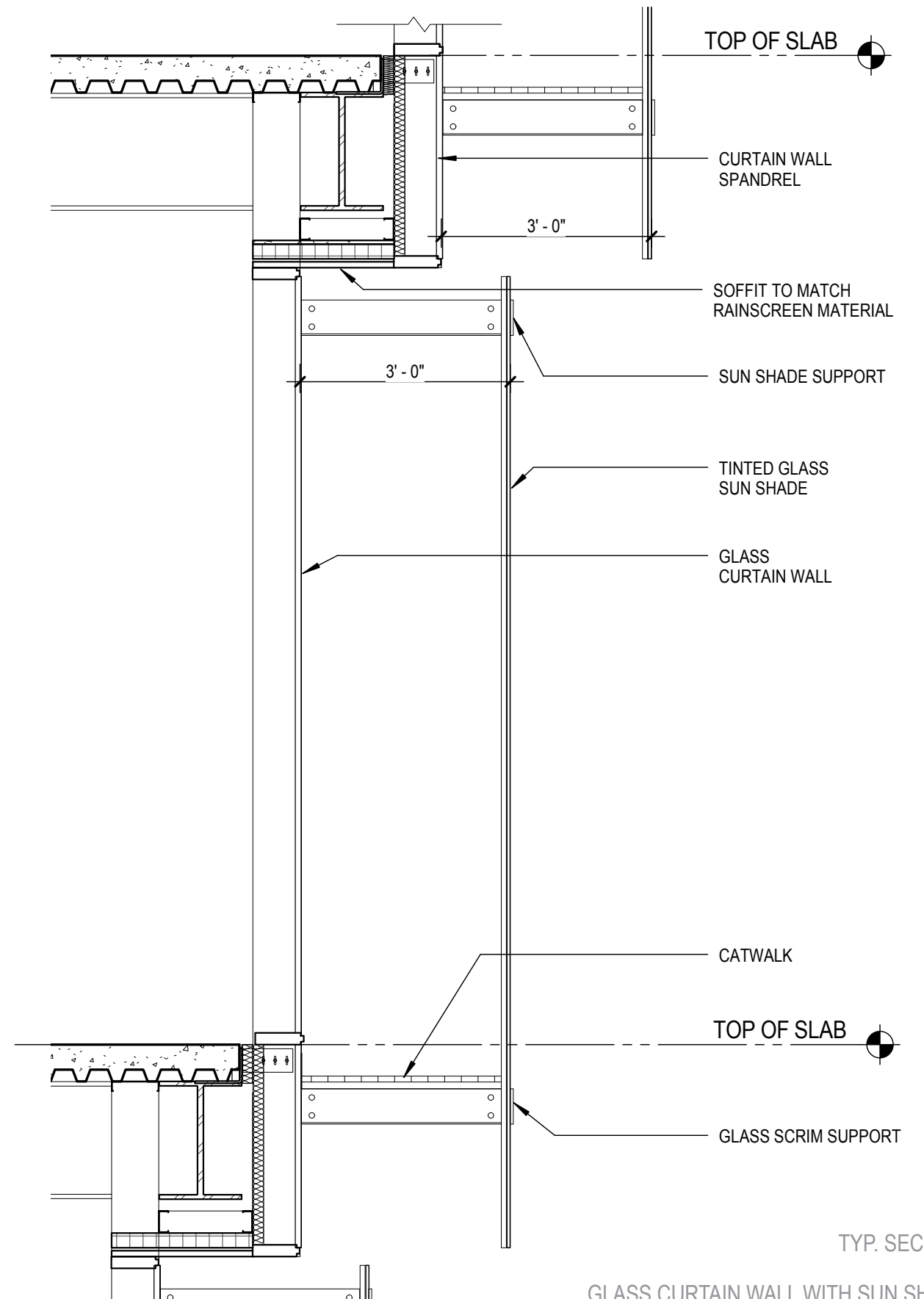
		enter sq ft		
C	Vegetated or "green" roofs			
1	Over at least 2" and less than 8" of growth medium	10,000	0.6	6,000.0
2	Over at least 8" of growth medium	0	0.8	-
D	Permeable Paving***			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	0	0.4	-
2	Permeable paving over at least 24" of soil or gravel	0	0.5	-
E	Other			
1	Enhanced tree growth systems***	0	0.4	-
2	Renewable energy generation	0	0.5	-
3	Approved water features	0	0.2	-
		sub-total of sq ft = 62,250		
H	Bonuses			
1	Native plant species	0	0.1	-
2	Landscaping in food cultivation	0	0.1	-
3	Harvested stormwater irrigation	0	0.1	-
		Green Area Ratio numerator = 22,350		
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.				
Total square footage of all permeable paving and enhanced tree growth				



1

TYP. SECTION

GLASS CURTAIN WALL AT OVERHANG

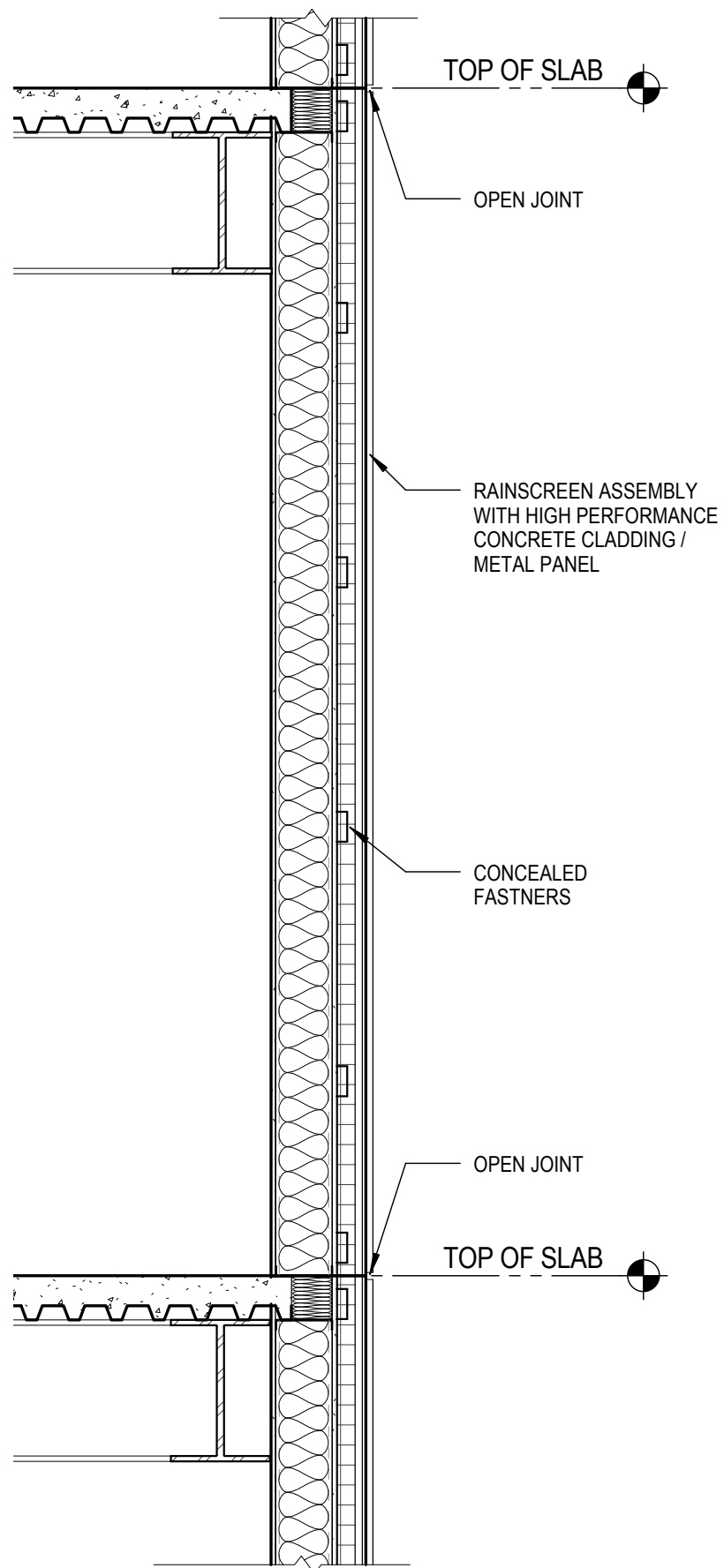


2

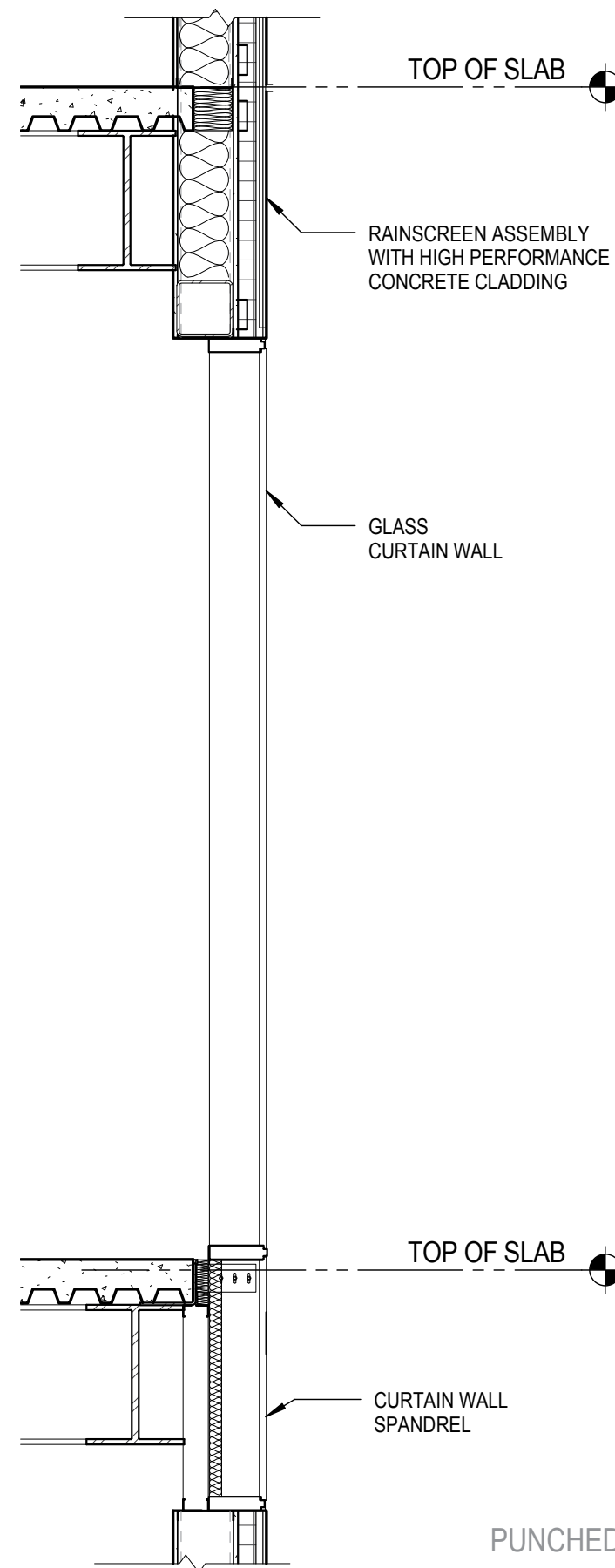
TYP. SECTION

GLASS CURTAIN WALL WITH SUN SHADE

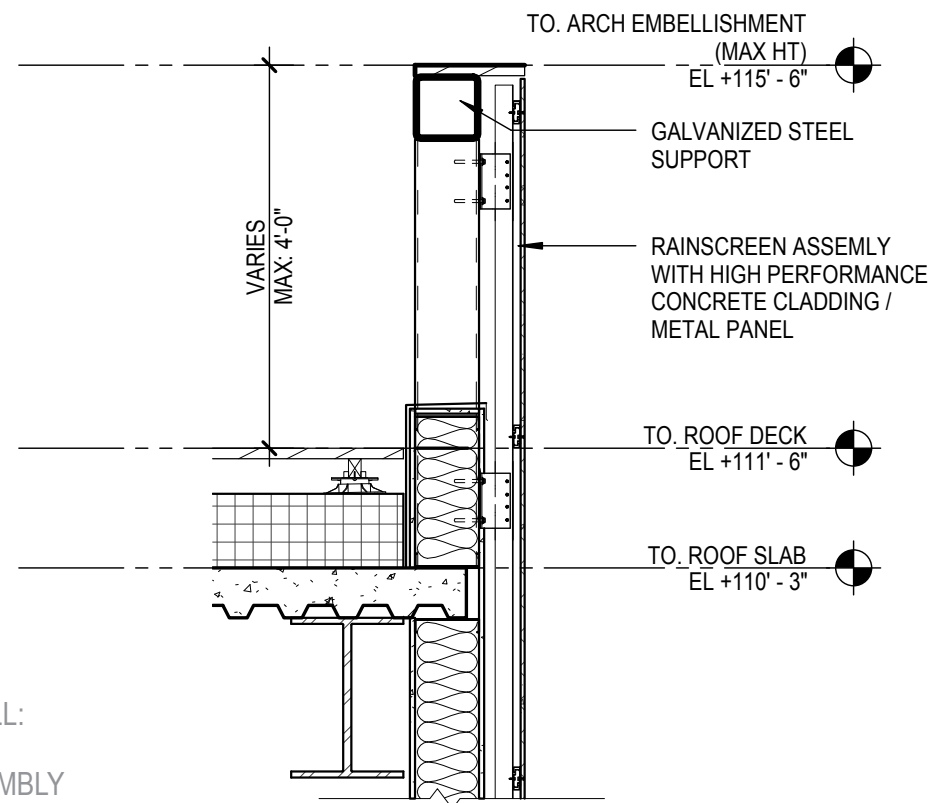
WALL SECTIONS



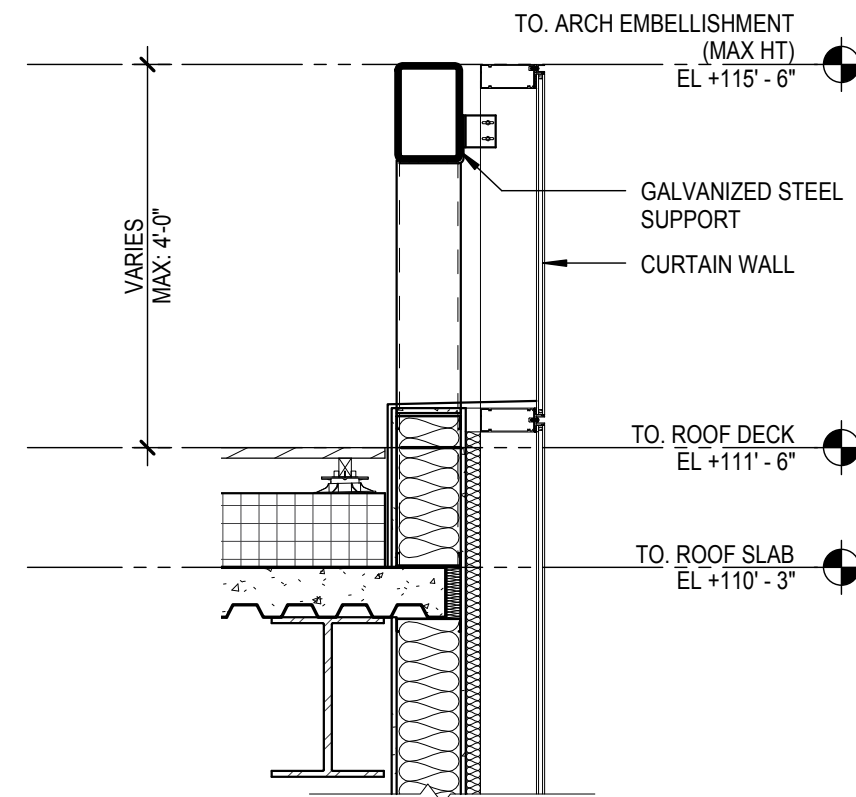
1
TYP. SECTION
RAINSCREEN ASSEMBLY



2
TYP. SECTION
PUNCHED WINDOW AT NORTH FACADE
WALL SECTIONS



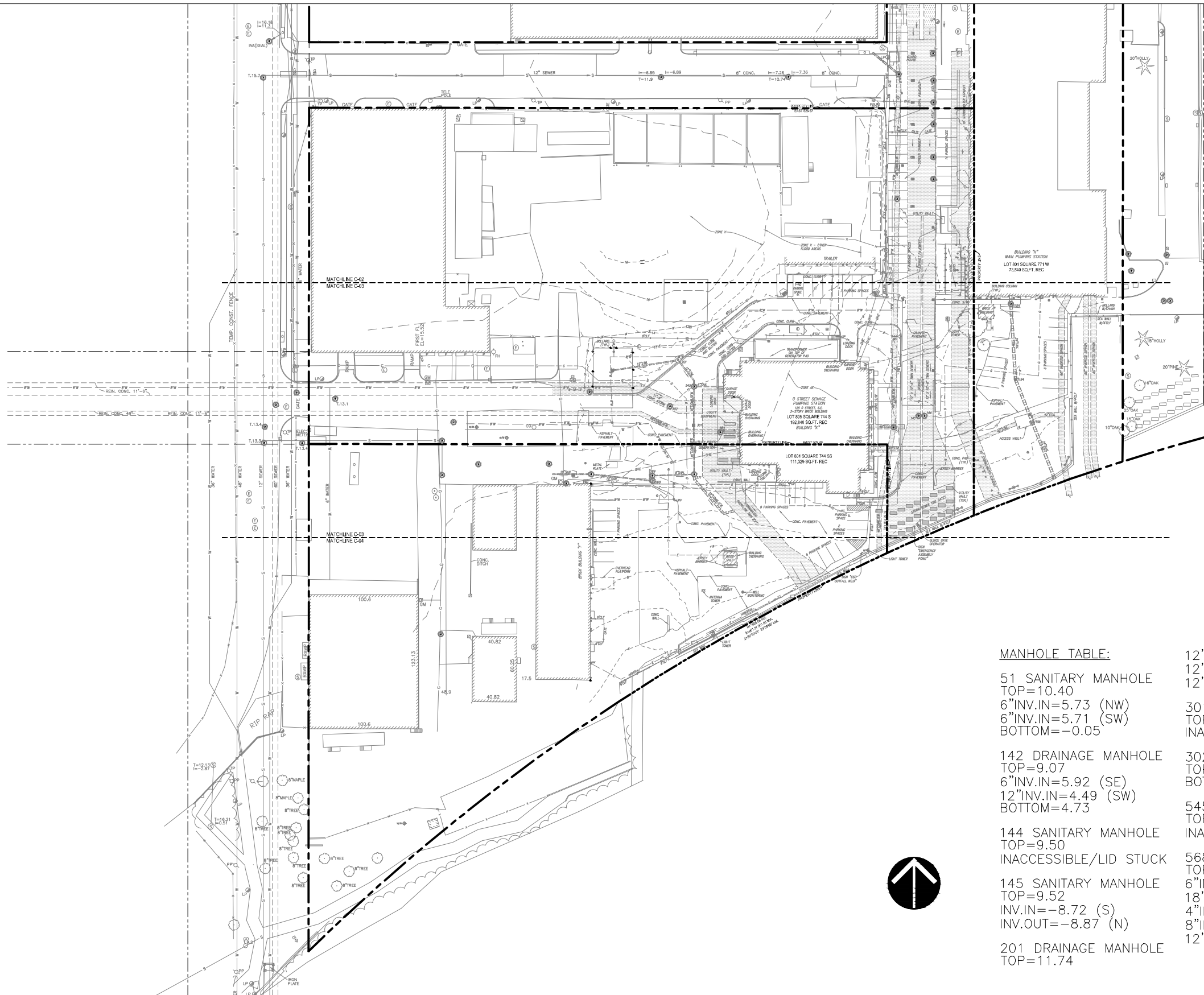
1
ROOF SCREEN WALL:
RAINSCREEN ASSEMBLY



2
ROOF SCREEN WALL:
CURTAIN WALL

WALL SECTIONS

CIVIL DRAWINGS



MANHOLE TABLE:

51 SANITARY MANHOLE
TOP=10.40
6" INV.IN=5.73 (NW)
6" INV.IN=5.71 (SW)
BOTTOM=-0.05

142 DRAINAGE MANHOLE
TOP=9.07
6" INV.IN=5.92 (SE)
12" INV.IN=4.49 (SW)
BOTTOM=4.73

144 SANITARY MANHOLE
TOP=9.50
INACCESSIBLE/LID STUCK

145 SANITARY MANHOLE
TOP=9.52
INV.IN=-8.72 (S)
INV.OUT=-8.87 (N)

201 DRAINAGE MANHOLE
TOP=11.74

12" INV.IN=9.36 (N)
12" INV.IN=9.34 (W)
12" INV.OUT=8.86 (SE)

301 STORM GRATE
TOP=10.06
INACCESSIBLE

302 SANITARY MANHOLE
TOP=11.03
BOTTOM=2.38

545 SANITARY MANHOLE
TOP=10.99
INACCESSIBLE/LID STUCK

568 SANITARY MANHOLE
TOP=9.85
6" INV.IN=7.53 (NE)

18" INV.IN=5.15 (N)
4" INV.IN=4.96 (SE)
8" INV.IN=4.89 (E)
12" INV.OUT=4.19 (W)

569 SANITARY MANHOLE
TOP=10.11
INACCESSIBLE/LID STUCK

571 SANITARY MANHOLE
TOP=10.46
BOTTOM=4.58

584 SANITARY MANHOLE
TOP=10.45
BOTTOM=-8.12

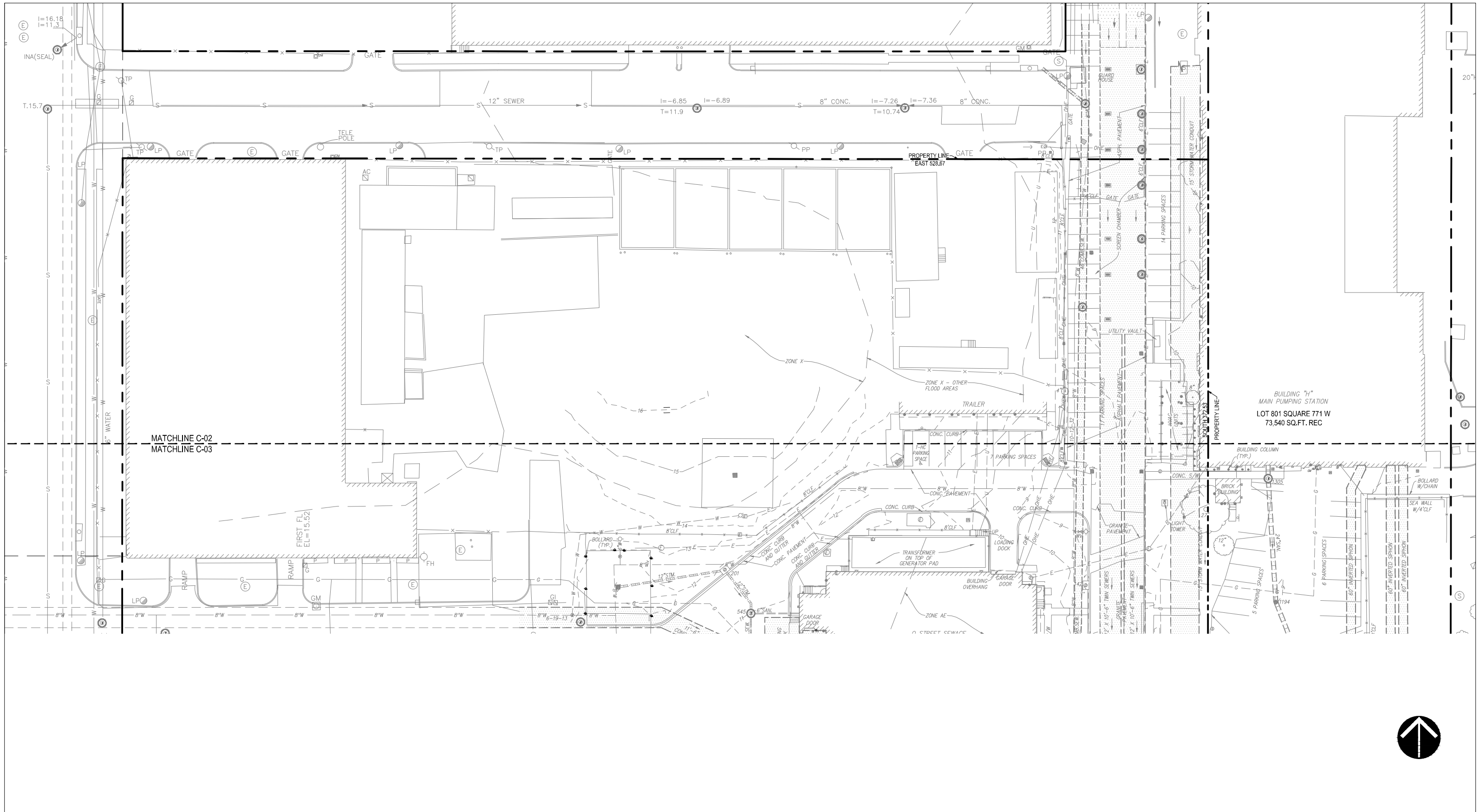
1156 UTILITY VAULT LID
TOP=9.96
BOTTOM=-1.72

1194 STORM GRATE
TOP=8.95
BOTTOM=3.10

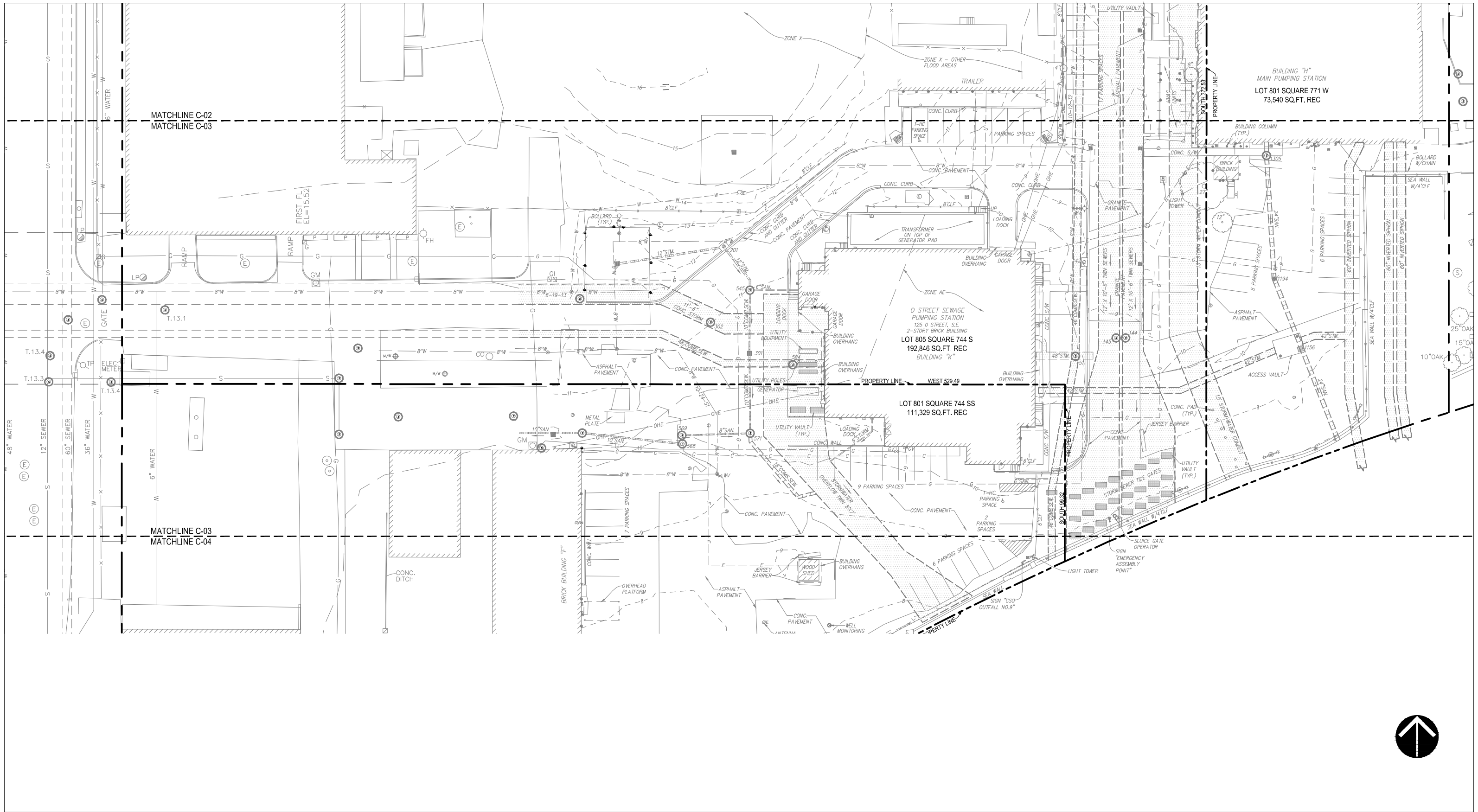
1305 SANITARY MANHOLE
TOP=9.79
6" INV.IN=5.13 (W)
6" INV.IN=5.10 (E)
BOTTOM=-3.55

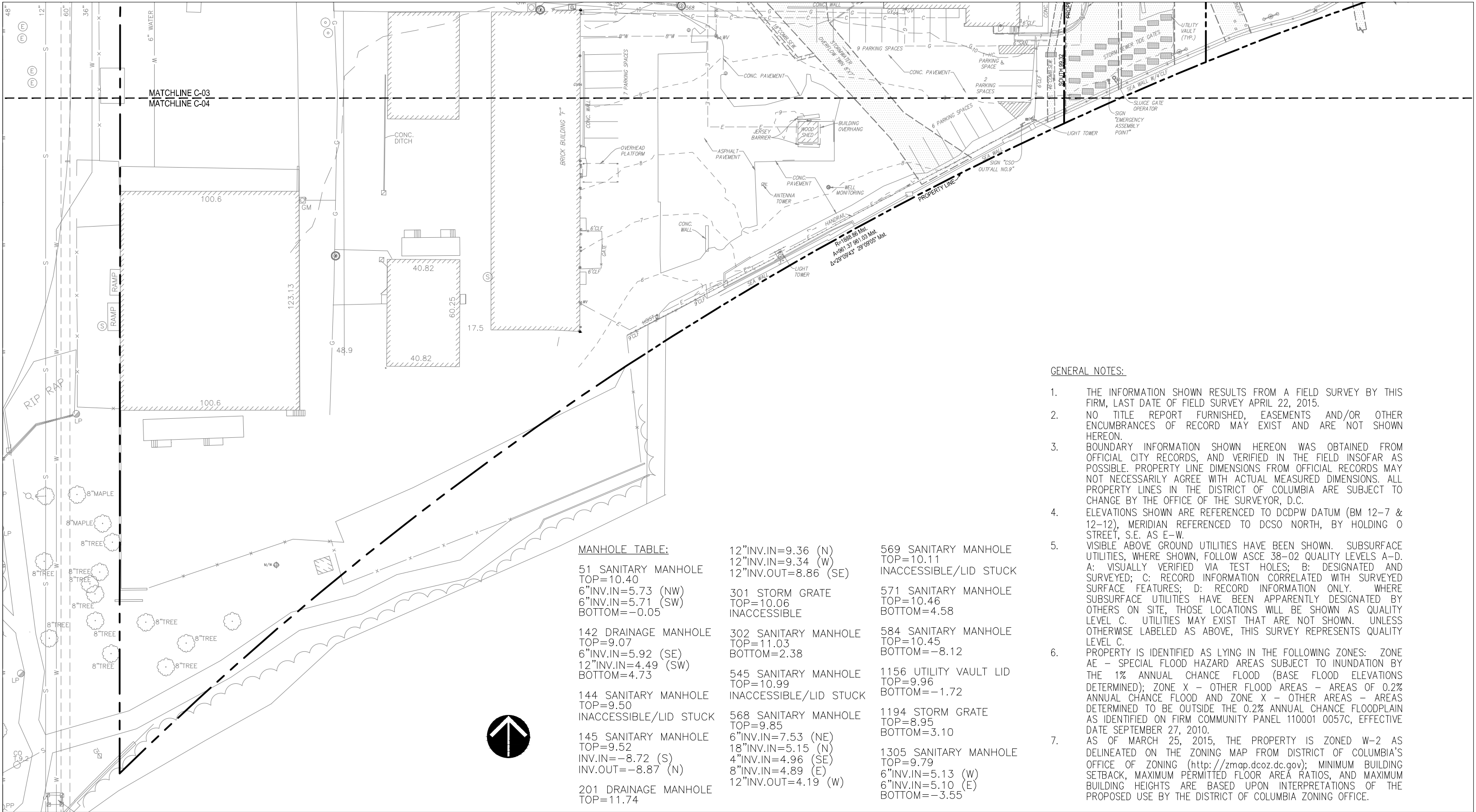


EXISTING CONDITIONS - OVERALL



EXISTING CONDITIONS

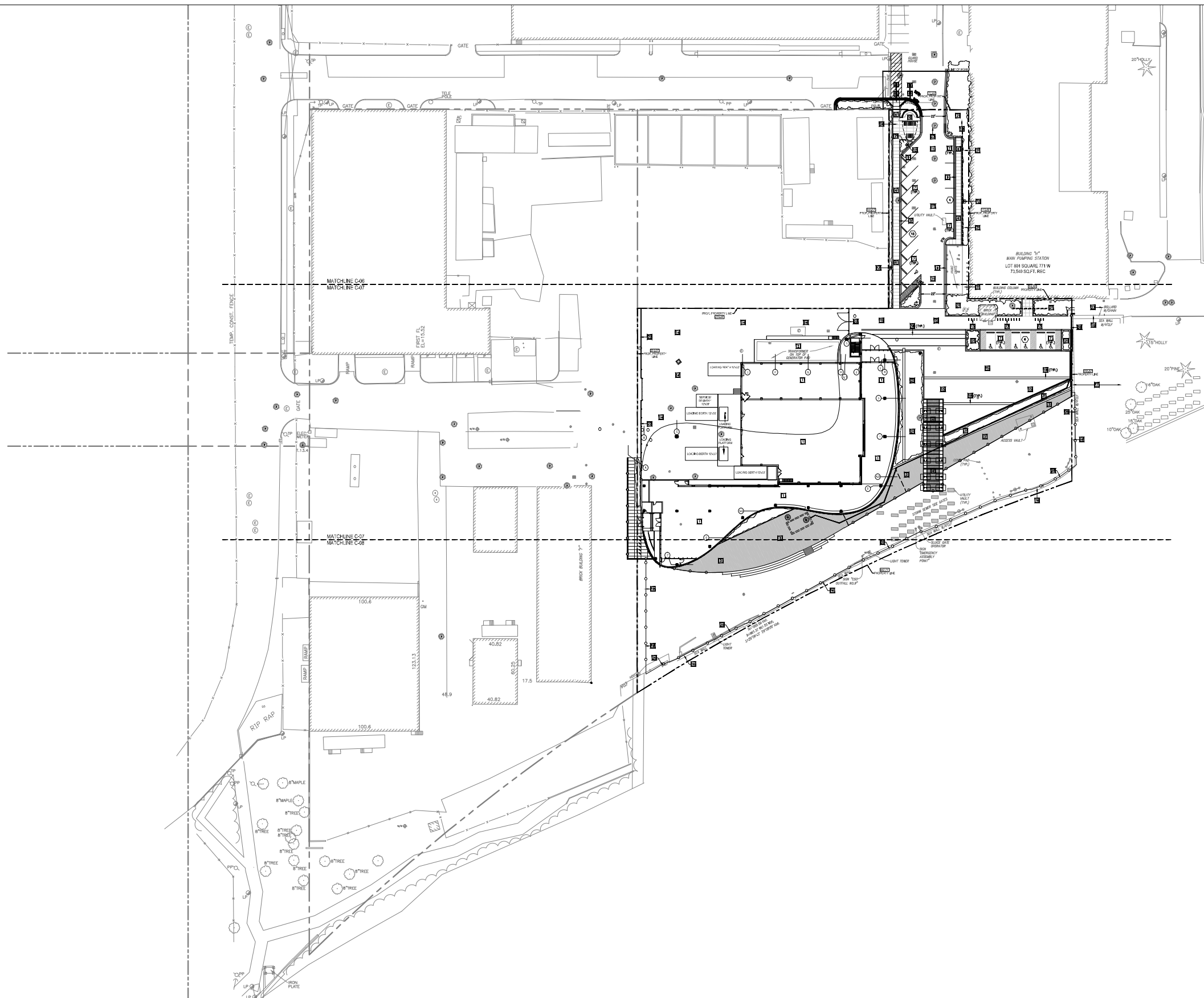




- GENERAL NOTES:**
- THE INFORMATION SHOWN RESULTS FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY APRIL 22, 2015.
 - NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
 - BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
 - ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 12-7 & 12-12), MERIDIAN REFERENCED TO DCSO NORTH, BY HOLDING 0 STREET, S.E. AS E-W.
 - VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 - PROPERTY IS IDENTIFIED AS LYING IN THE FOLLOWING ZONES: ZONE AE - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (BASE FLOOD ELEVATIONS DETERMINED); ZONE X - OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD AND ZONE X - OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 110001 0057C, EFFECTIVE DATE SEPTEMBER 27, 2010.
 - AS OF MARCH 25, 2015, THE PROPERTY IS ZONED W-2 AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://zmap.dcoz.dc.gov>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.



EXISTING CONDITIONS



SITE KEYNOTES:

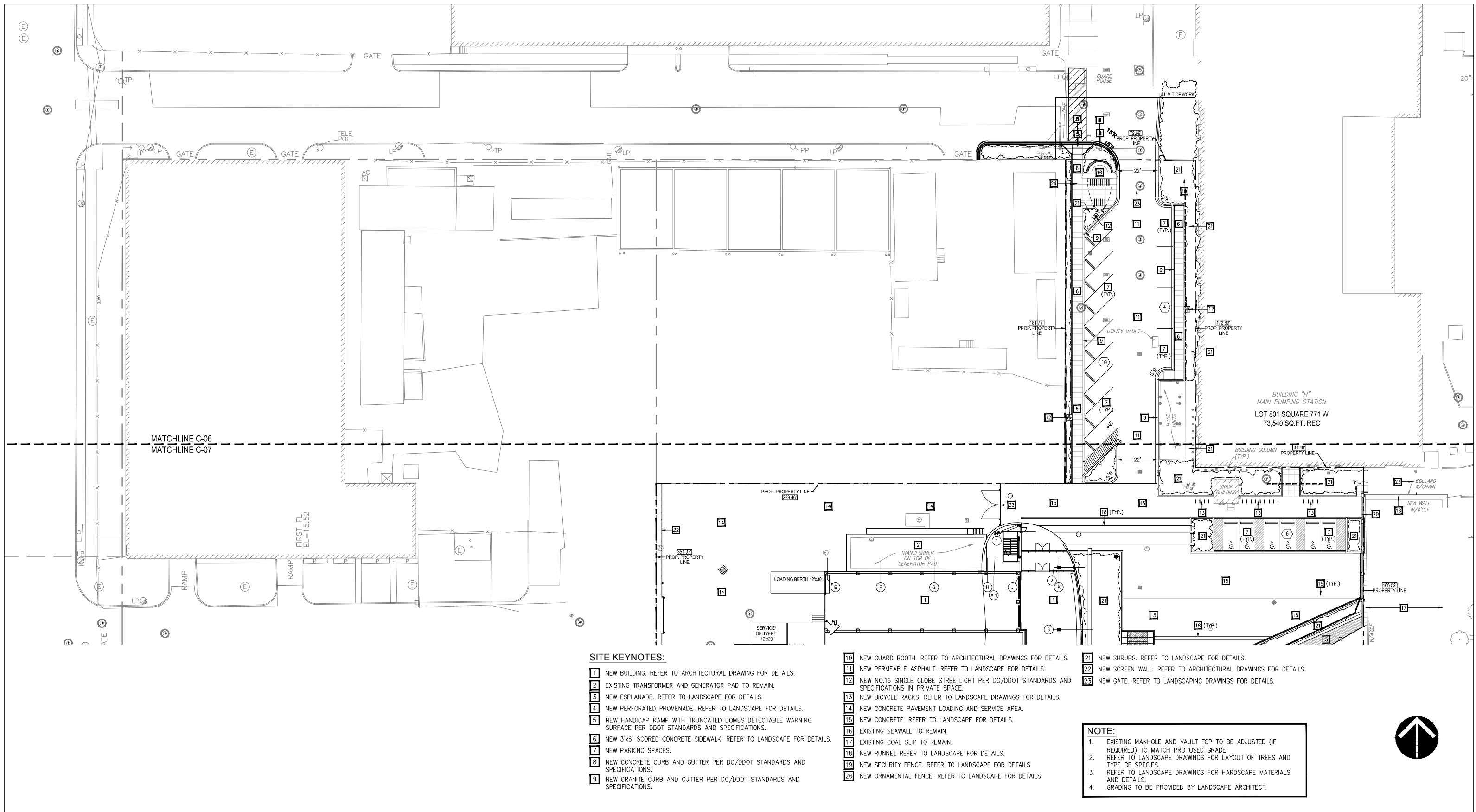
- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 EXISTING TRANSFORMER AND GENERATOR PAD TO REMAIN.
- 3 NEW ESPLANADE. REFER TO LANDSCAPE FOR DETAILS.
- 4 NEW PERFORATED PROMENADE. REFER TO LANDSCAPE FOR DETAILS.
- 5 NEW HANDICAP RAMP WITH TRUNCATED DOMES DETECTABLE WARNING SURFACE PER DDOT STANDARDS AND SPECIFICATIONS.
- 6 NEW 3'x6' SCORED CONCRETE SIDEWALK. REFER TO LANDSCAPE FOR DETAILS.
- 7 NEW PARKING SPACES.
- 8 NEW CONCRETE CURB AND GUTTER PER DC/DDOT STANDARDS AND SPECIFICATIONS.
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- 20 NEW ORNAMENTAL FENCE. REFER TO LANDSCAPE FOR DETAILS.
- 21 NEW SHRUBS. REFER TO LANDSCAPE FOR DETAILS.
- 22 NEW SCREEN WALL. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- 23 NEW GATE. REFER TO LANDSCAPING DRAWINGS FOR DETAILS.

NOTE:

1. EXISTING MANHOLE AND VAULT TOP TO BE ADJUSTED (IF REQUIRED) TO MATCH PROPOSED GRADE.
2. REFER TO LANDSCAPE DRAWINGS FOR LAYOUT OF TREES AND TYPE OF SPECIES.
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE MATERIALS AND DETAILS.
4. GRADING TO BE PROVIDED BY LANDSCAPE ARCHITECT.

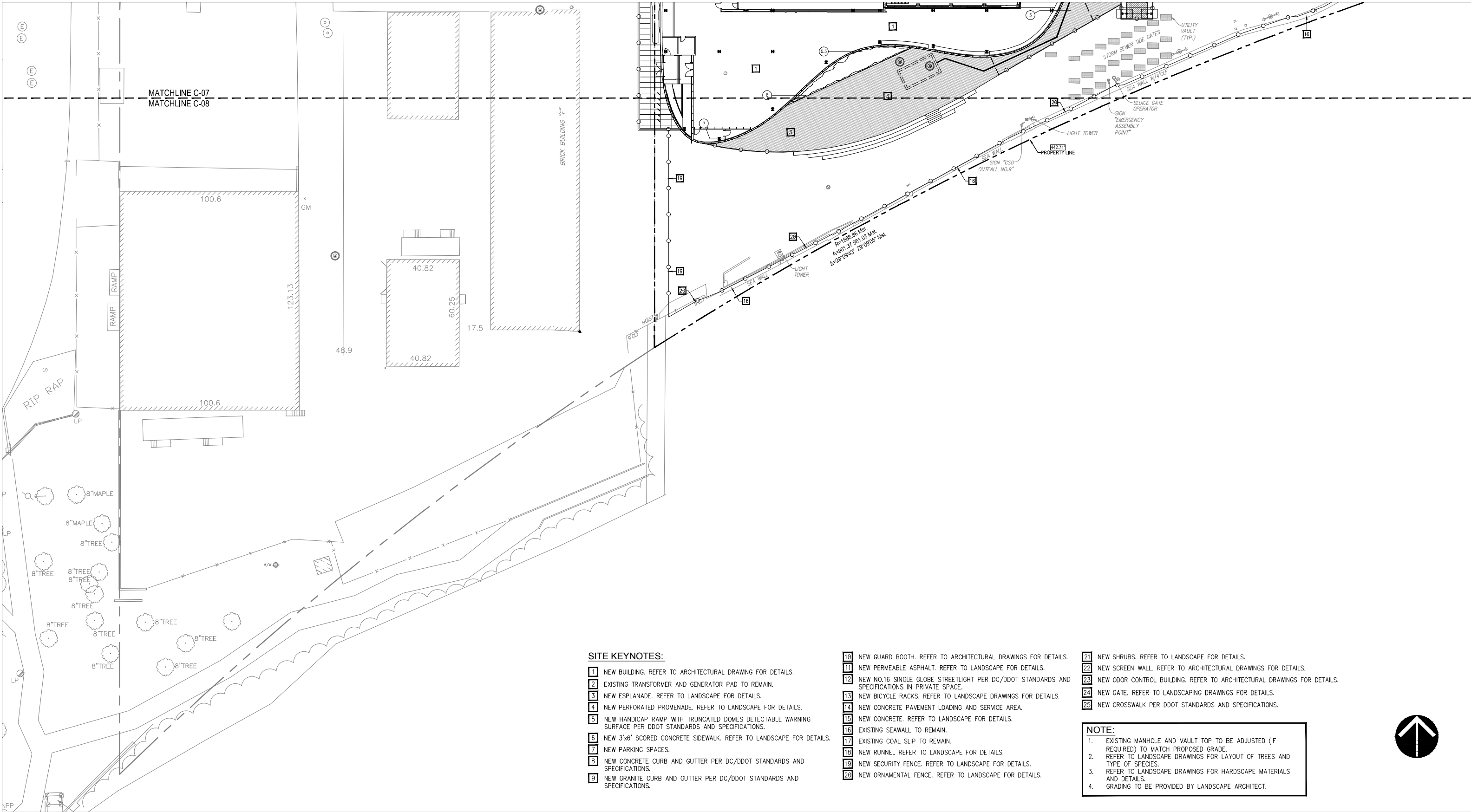


PRE FOREST CITY PUD SITE PLAN - OVERALL



PRE FOREST CITY PUD SITE PLAN





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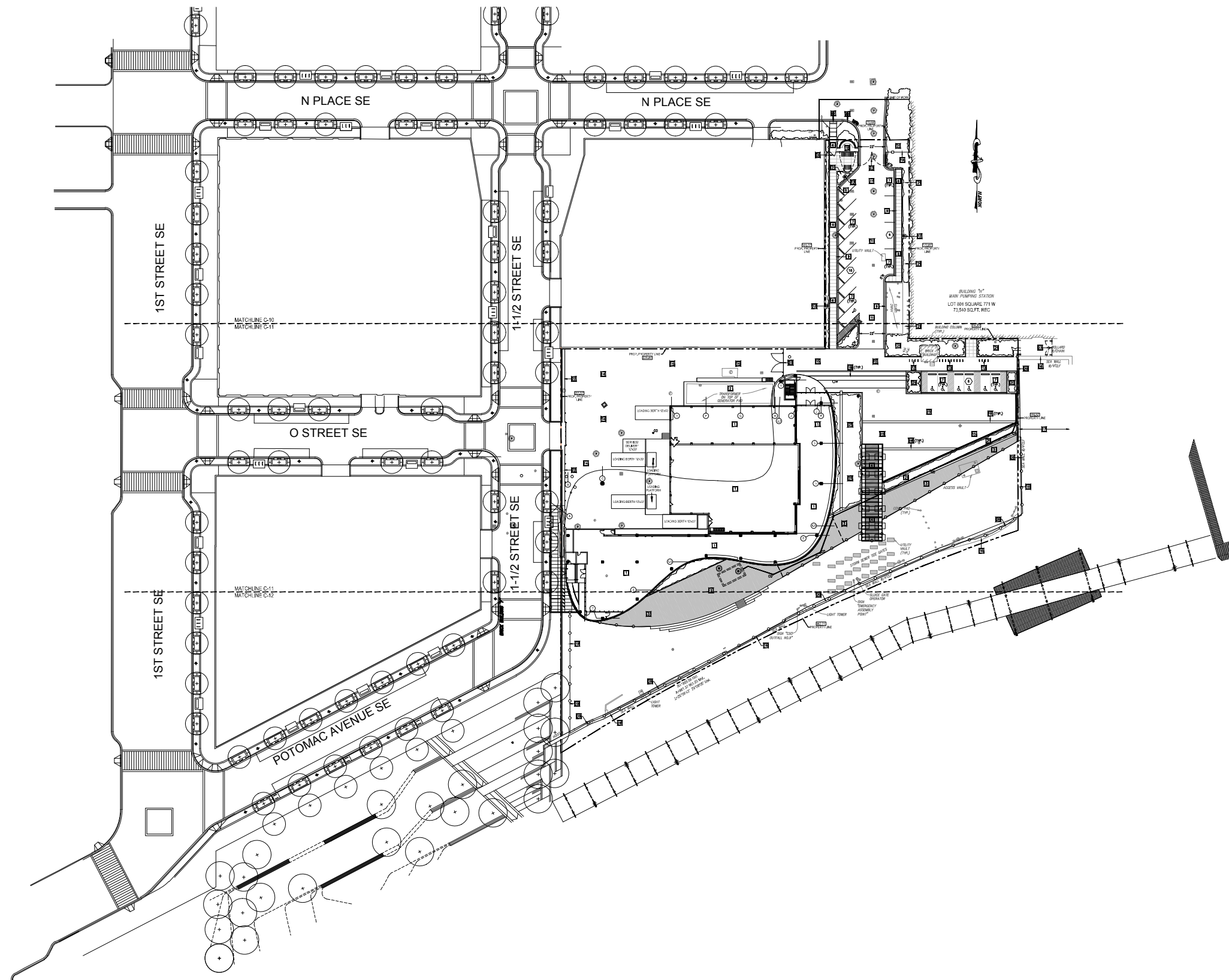
- 21 NEW SHRUBS. REFER TO LANDSCAPE FOR DETAILS.
- 22 NEW SCREEN WALL. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- 23 NEW ODOR CONTROL BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- 24 NEW GATE. REFER TO LANDSCAPING DRAWNGS FOR DETAILS.
- 25 NEW CROSSWALK PER DDOT STANDARDS AND SPECIFICATIONS.

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PRE FOREST CITY PUD SITE PLAN



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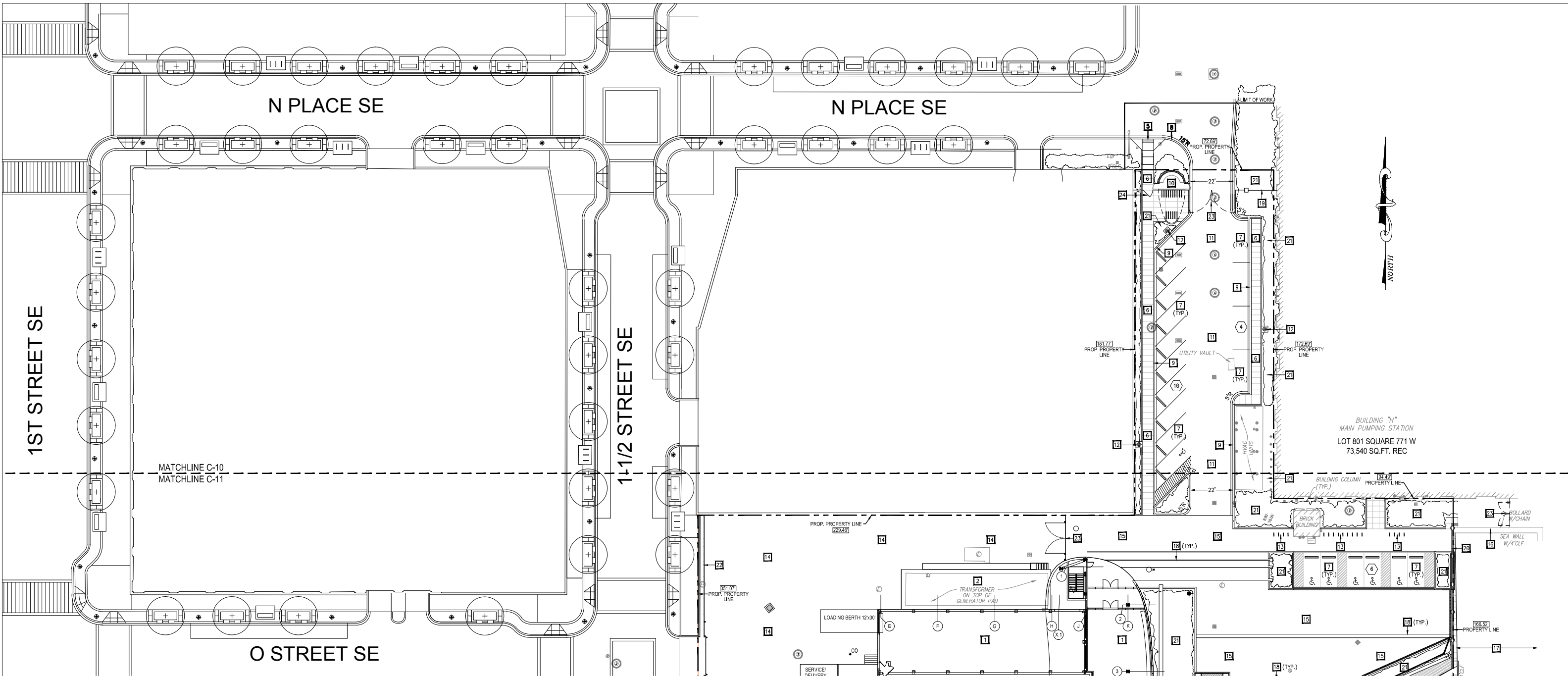
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POST FOREST CITY PUD SITE PLAN - OVERALL



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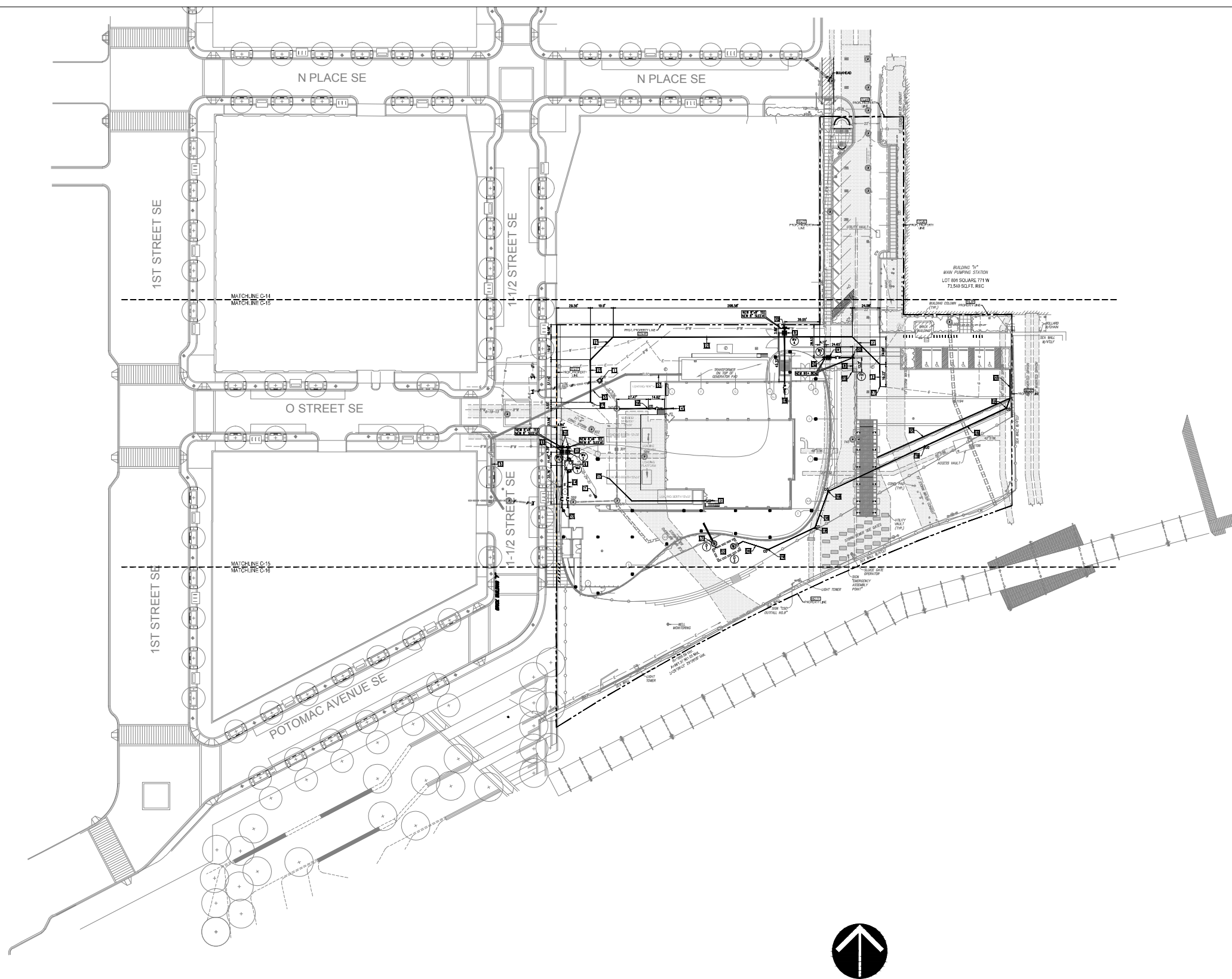
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POST FOREST CITY PUD SITE PLAN





- UTILITY KEYNOTES:**
- 1 NEW GRATE TYPE CATCH BASIN PER DC WATER STANDARDS AND SPECIFICATIONS.
 - 2 NEW GAS SERVICE. COORDINATE REQUIREMENTS WITH WASHINGTON GAS. REFER TO DRY UTILITY CONSTANT FOR DETAILS.
 - 3 NEW PRECAST CONCRETE MANHOLE FOR NEW 10" THRU 21" DIAMETER SEWER (48" DIAMETER PRECAST BASE) PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL S-20.01.
 - 4 NEW 6" PVC SCH-40 SANITARY SEWER LATERAL.
 - 5 EXISTING ELECTRIC DUCTBANK FROM EXISTING TRANSFORMER.
 - 6 NEW 84"x72"x72" WATER METER VAULT PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL DG-23.01.
 - 7 NEW BLOW OFF VALVE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL W-50.10.
 - 8 NEW 6" WATER LINE FOR FIRE HYDRANT PER DC/WATER STANDARDS AND SPECIFICATIONS.
 - 9 NEW 8" WATER VALVE WITH 4.0' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL W-20.01.
 - 10 NEW CONCRETE THRUST BLOCK PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL W-40.01.
 - 11 NEW 6" WATER VALVE WITH 4.0' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DETAIL W-20.01.
 - 12 NEW 10'x20'x12' CISTERN.
 - 13 NEW 8" DIP CLASS 52 FIRE SERVICE LATERAL PER DC/WATER STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1048.
 - 14 NEW 6" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL PER DC/WATER STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1015.
 - 15 NEW FIRE HYDRANT. REFER TO DC WATER STANDARD DRAWING W-50.01 FOR DETAILS.
 - 16 NEW 6" PVC SCH-40 STORM SEWER LATERAL.
 - 17 CONNECT TO EXISTING GAS LINE. COORDINATE REQUIREMENTS WITH WASHINGTON GAS. REFER TO DRY UTILITY CONSTANT FOR DETAILS.
 - 18 NEW 8" WATER LINE FOR EXISTING PUMP HOUSE PER DC/WATER STANDARDS AND SPECIFICATIONS. SEE MEP PLANS FOR CONTINUATION.
 - 19 NEW CLEANOUT. REFER TO DC/WATER STANDARD DETAIL S-80.02.
 - 20 NEW TRENCH DRAIN WITH HS-20 LOADING.
 - 21 NEW CONNECTION TO EXISTING MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS.

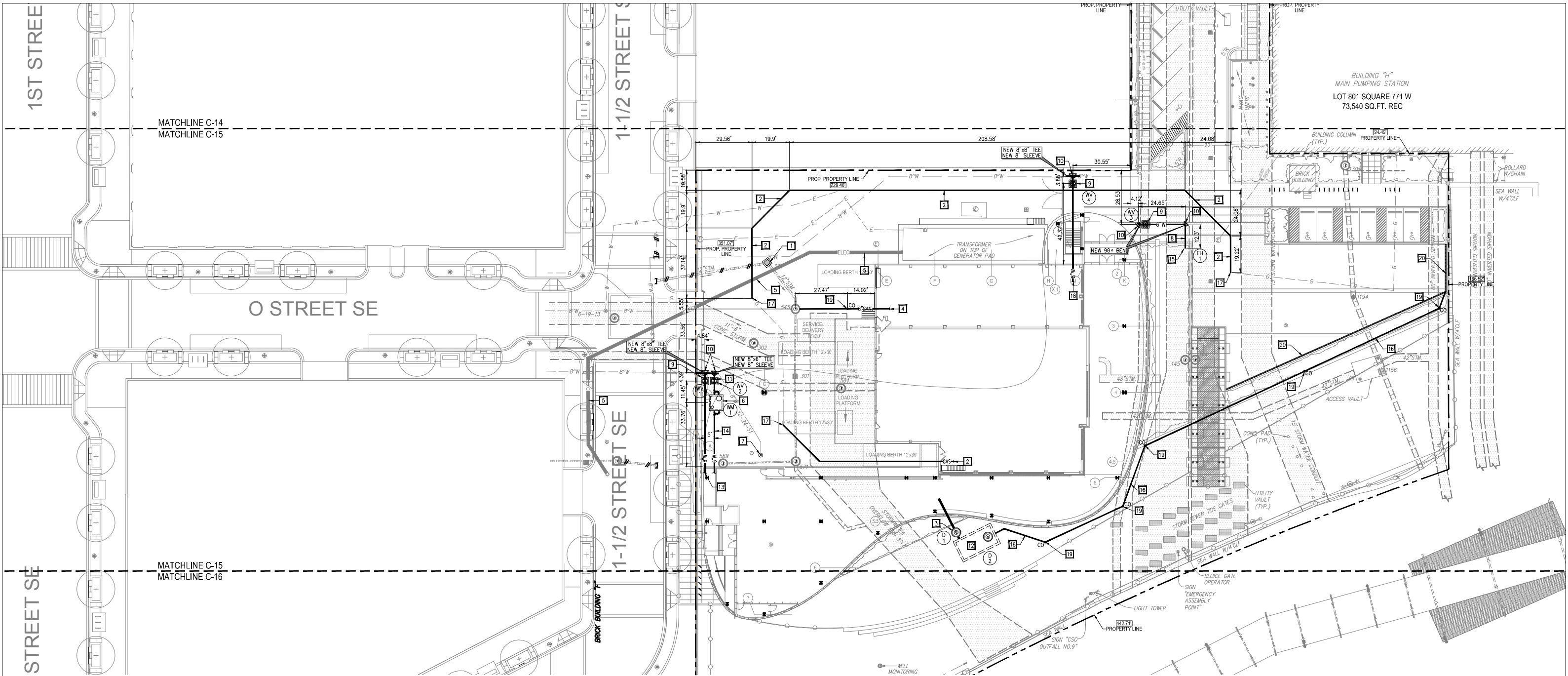
FLOW DEMAND:

- 1. 6" DOMESTIC SERVICE - 350 GPM
- 2. 8" FIRE SERVICE - 1,500 GPM
- 3. 8" SANITARY SERVICE - 1,350 DFL
- 4. 12" STORM SERVICE - 12 CFS

*NOTE: STORM FLOW WILL BE HANDLED PER DDOE SWM RETENTION REQUIREMENTS



UTILITY PLAN - OVERALL



UTILITY KEYNOTES:

- 1 NEW GRATE TYPE CATCH BASIN PER DC WATER STANDARDS AND SPECIFICATIONS.

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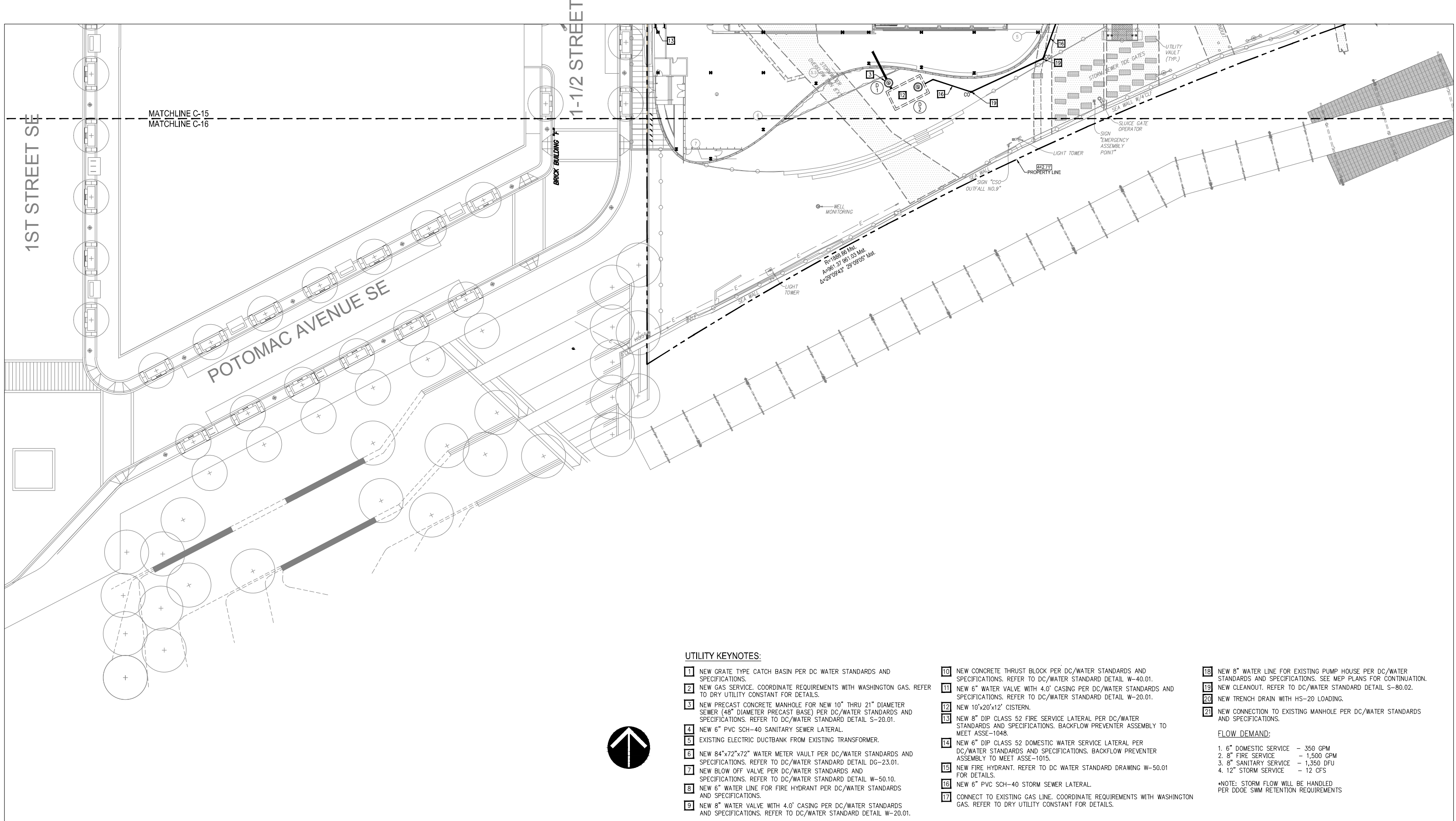
21 NEW CONNECTION TO EXISTING MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS.
- FLOW DEMAND:

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*NOTE: STORM FLOW WILL BE HANDLED PER DDOW SWM RETENTION REQUIREMENTS



UTILITY PLAN



UTILITY PLAN