

dc | DC Water Headquarters

PUD APPLICATION & ZONING MAP AMENDMENT
SQUARE 744 SS, PART OF LOT 801, SQUARE 744 SS, PART OF LOT 805
POSTHEARING SUBMISSION NOVEMBER 29, 2015



DESIGN BUILD TEAM

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GOROVE / SLADE ASSOCIATES

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(SHEETS LISTED IN GREY TEXT ARE NOT INCLUDED IN THIS SUBMISSION)
(SHEETS IN BOLD TEXT ARE NEW TO THIS SUBMISSION)

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Zoning Summary

Area summary

Lot Occupancy	119,875	sf
Building Footprint	34,191	gsf

Public space at ground level

None provided
Relief required due to site security requirements

Gross Floor area tabulations

Level	Total new Building	existing building	(Exclusions)	Total GFA
	Office use	Pump station	open to below shafts	
1	13,473	11,806		25,279
2	25,945	6,488	3,903	28,530
3	27,212			27,212
4	27,716			27,716
5	28,221			28,221
6	28,127			28,127
ph	2,095			2,095
	152,789	18,294	3,903	167,180

Total Gross Floor Area Provided
GFA Provided 167,180 see chart above

Floor Area Ratio

FAR allowed in CG-CR (PUD): 8.0 FAR total, of which not more than 4.0 FAR commercial
FAR provided 1.39

Building Height

Building Height allowed in CG-CR (PUD): 110'
Proposed Building Height: 100'
Measuring Point taken at top of Canal Street.
Measuring Point: EL 13.00'
Top of Roof Pavers: EL 113.00'

Court Width

Open Court minimum dimensions:
width: 2.5"/ft of height; not less than 6' (100' * 2.5" = 20.83')
Court provided dimensions:
width: varies, 21' minimum

Rear Yard

Not Required
Provided: 39'-7" min (between building and South property line)

Roof Structure

Mechanical Enclosure height = 18.5' above roof/ parapet
Mechanical Enclosure setback:
Penthouse elements are set back 1:1 or more.

411.3 All penthouses and mechanical equipment shall be placed in one (1) enclosure:
Relief required: east stair is a separate enclosure
Guardrail:
Guardrail is less than 3'-11" above 100' datum and set back 1:1 from exterior wall of building

411.5 enclosing walls shall be of equal height:
Relief required:
Requirement is 18'-6" high
The penthouse ranges from 10'-0" at the northern edge of the penthouse up to 18'-6" at the southern edge of the penthouse; stair tower ranges from 9'-0" at the northern edge of the stair tower up to 10'-0" at the southern edge of the stair tower

Parking

Required: CR zone: In excess of 2,000sf, 1 per 1,800 gsf
2104.1: For buildings within 800' of Metro Stations, requirement is 75% of amount otherwise ordinarily required
92 spaces *.75 = 69 spaces
Provided: 20 spaces
includes 7 ADA spaces
Relief required

For the life of the building, the Applicant will provide 20 off-street parking spaces on the subject property, and will provide a minimum of 50 off-street parking spaces on property owned or controlled by

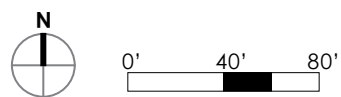
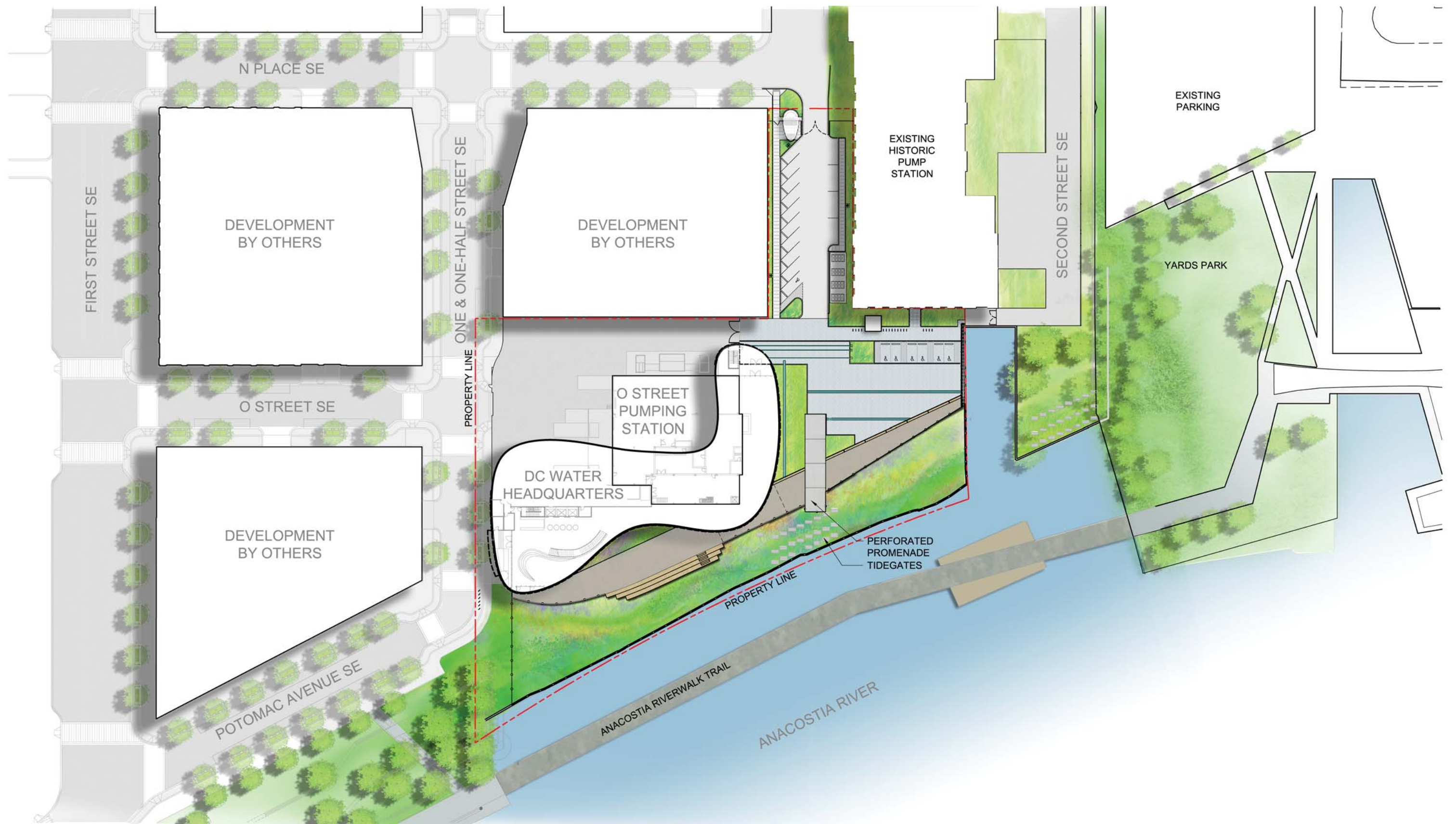
Bicycle Parking

Provided: 39 bicycle racks (16 covered)

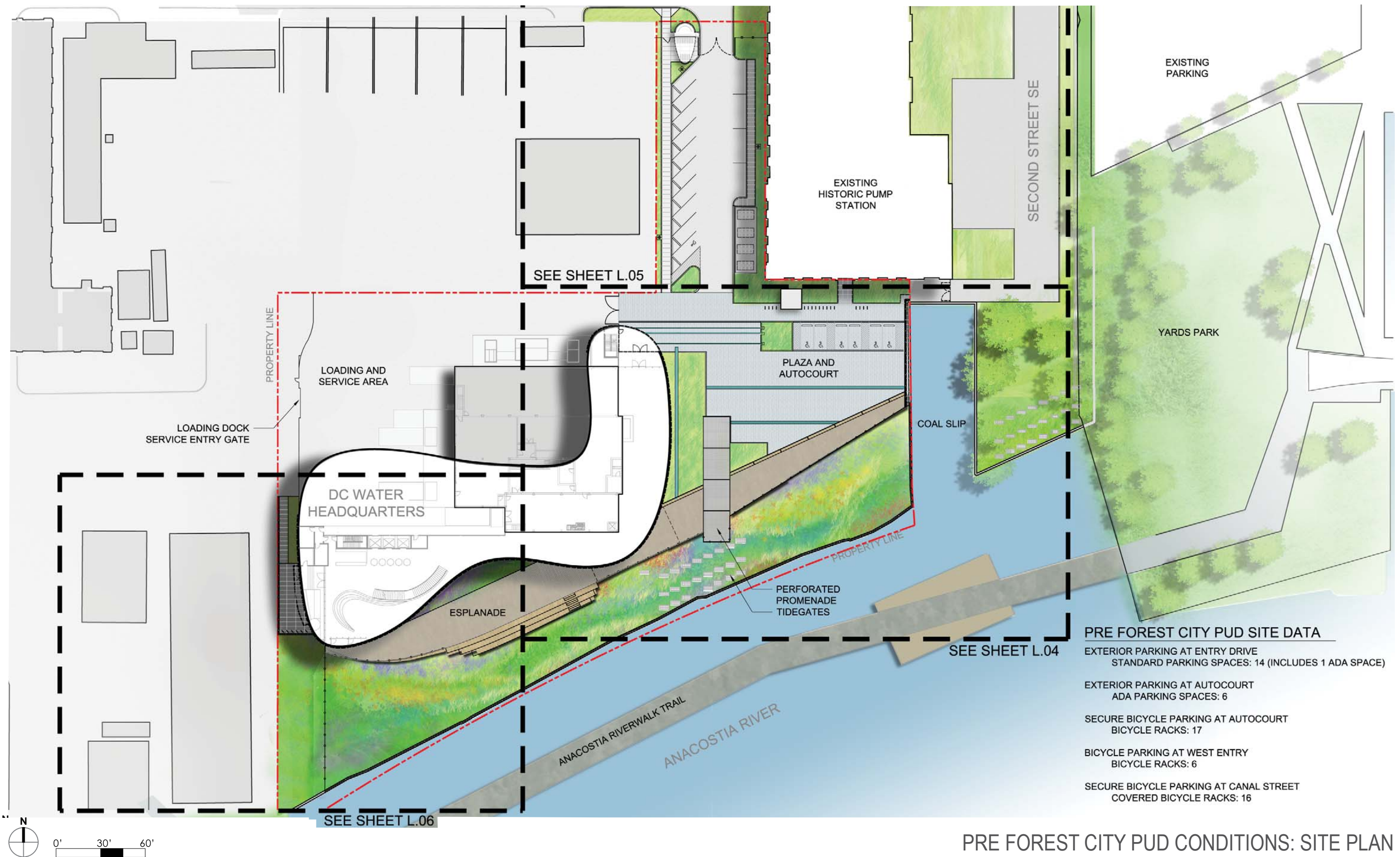
Loading Requirements

Required: (Office buildings in CR)
Between 50,000 sf to 200,000 sf gross floor area:
Loading Berths 2@30' deep 4 (provided)
Loading Platforms 2@ 100 sf 3 (provided)
Service/Delivery 1 @ 20' deep 1 (provided)
Existing pump station: 'any other use', less than 30,000sf: none required

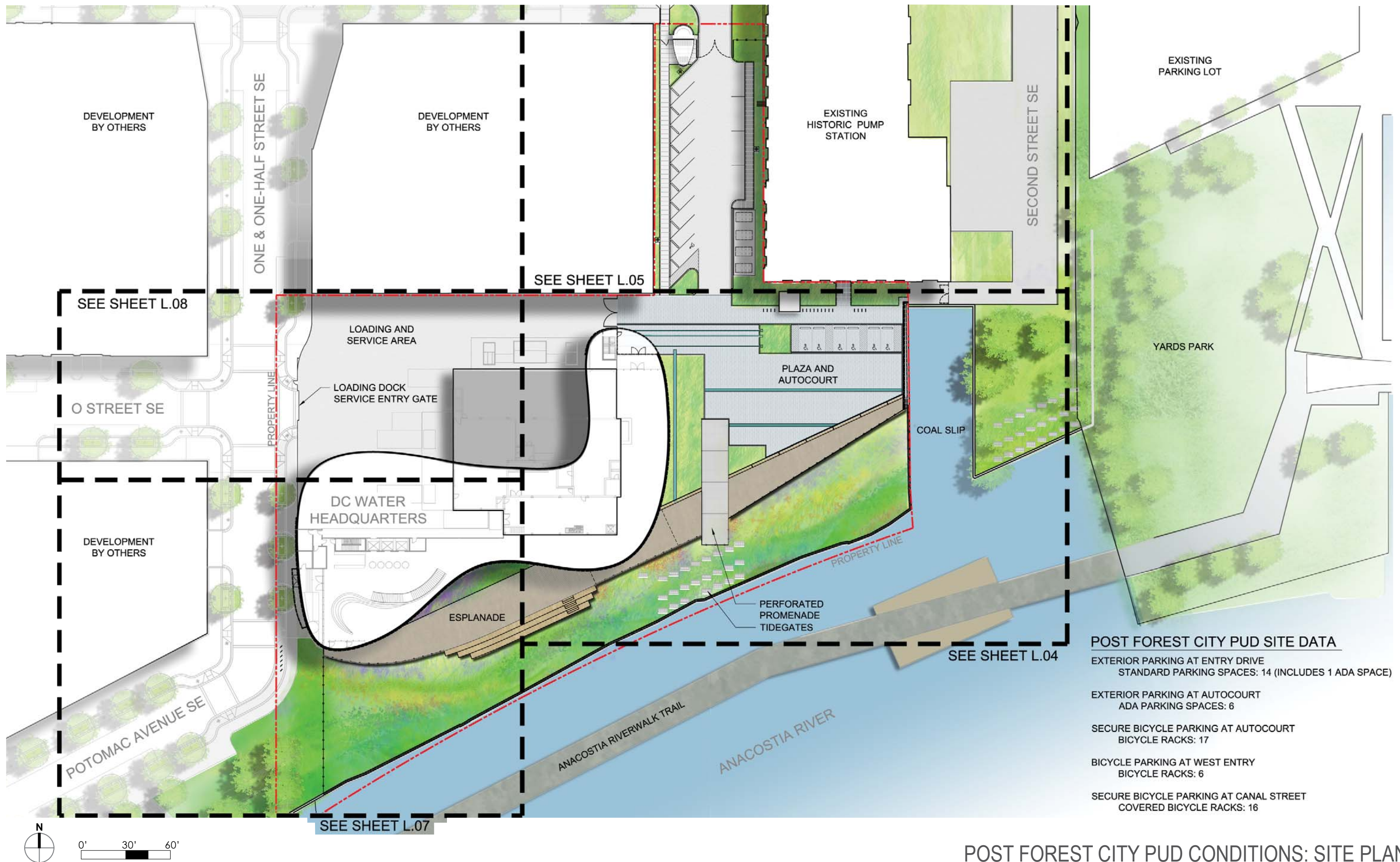
LANDSCAPE DRAWINGS



SITE PLAN & ADJACENCIES WITH POST FOREST CITY PUD CONDITIONS

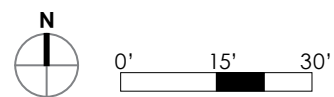
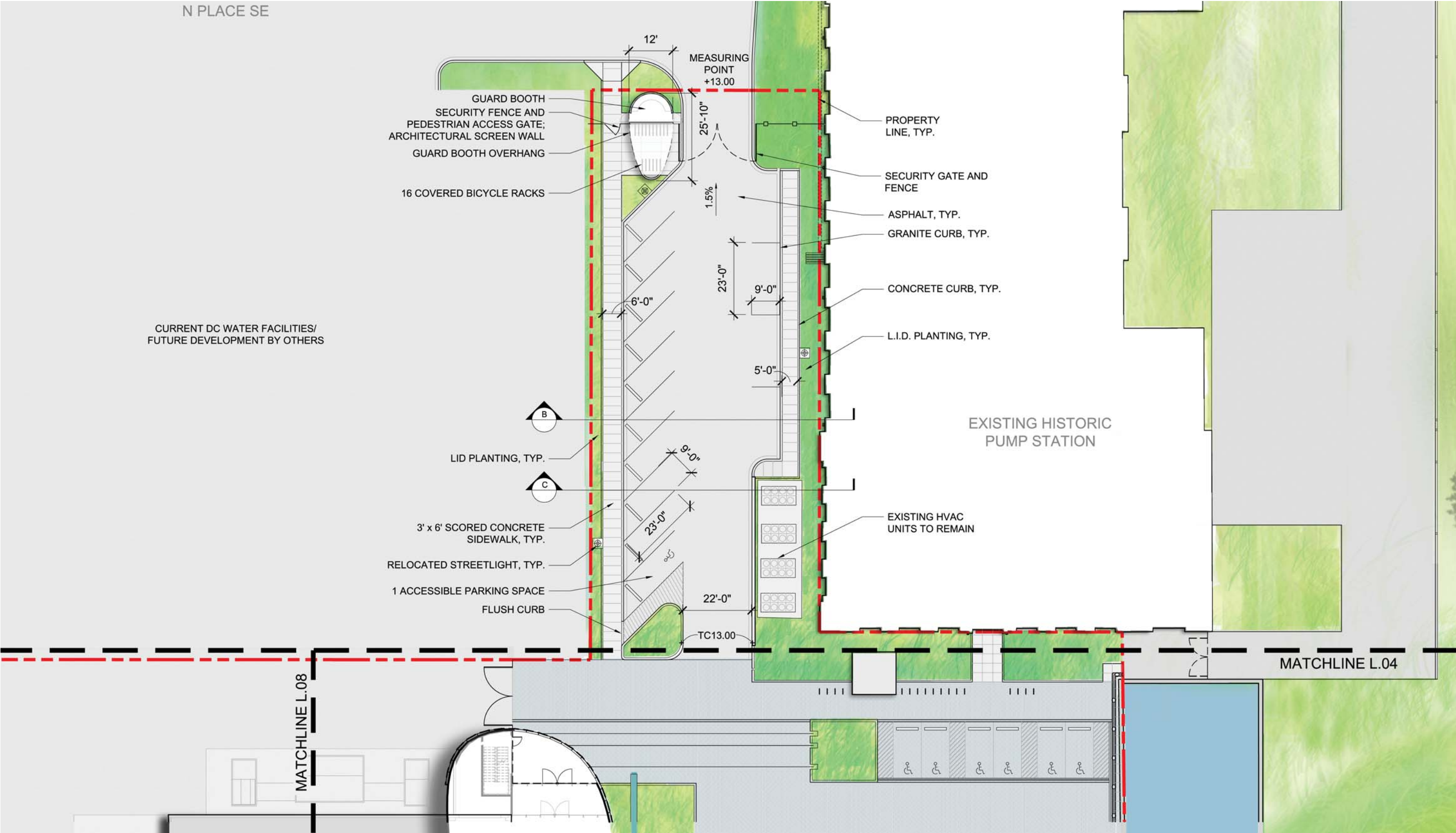


PRE FOREST CITY PUD CONDITIONS: SITE PLAN

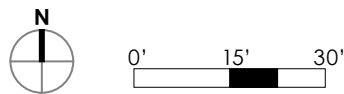
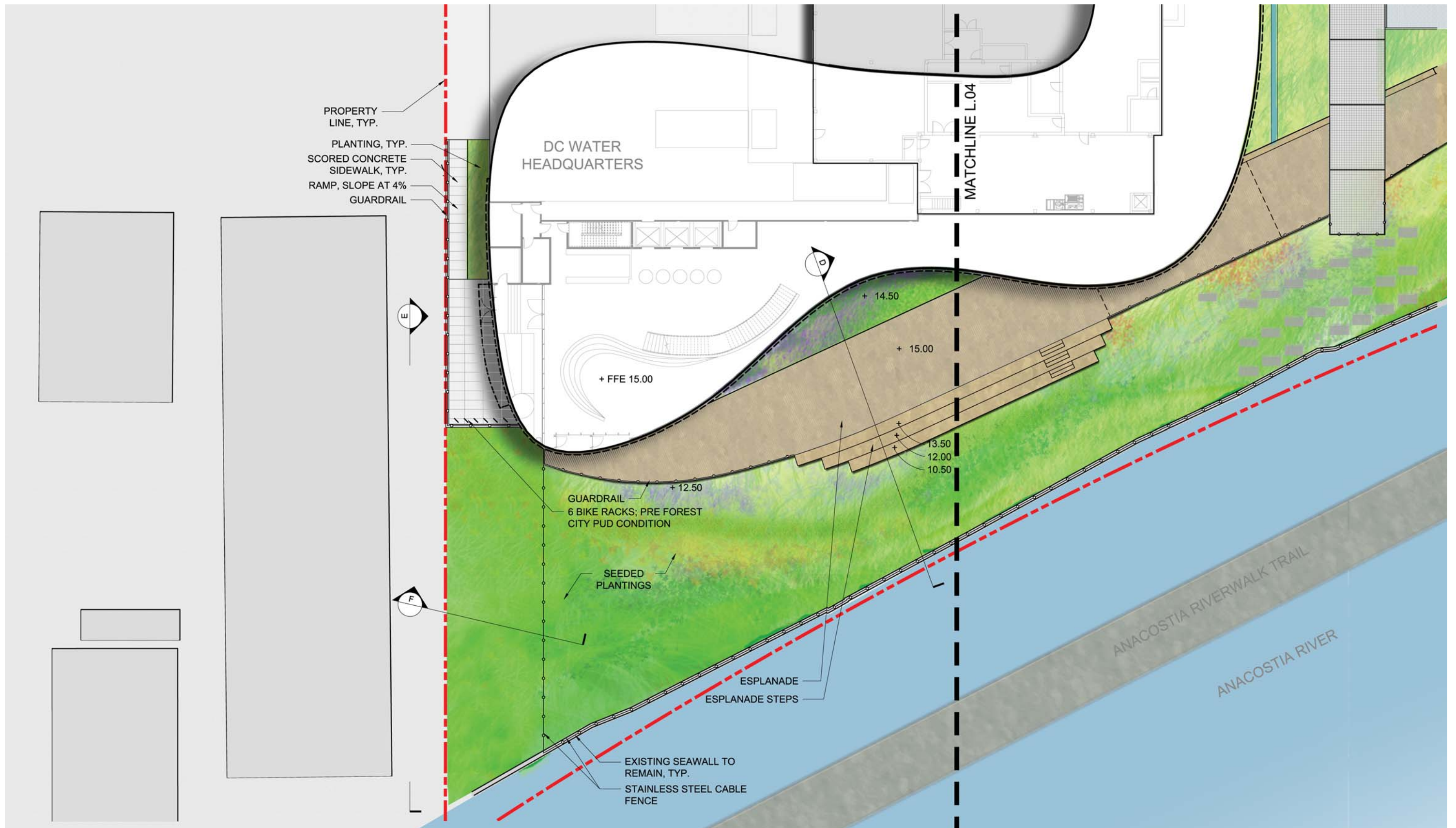


POST FOREST CITY PUD CONDITIONS: SITE PLAN

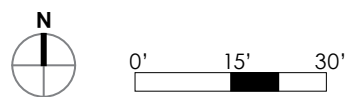
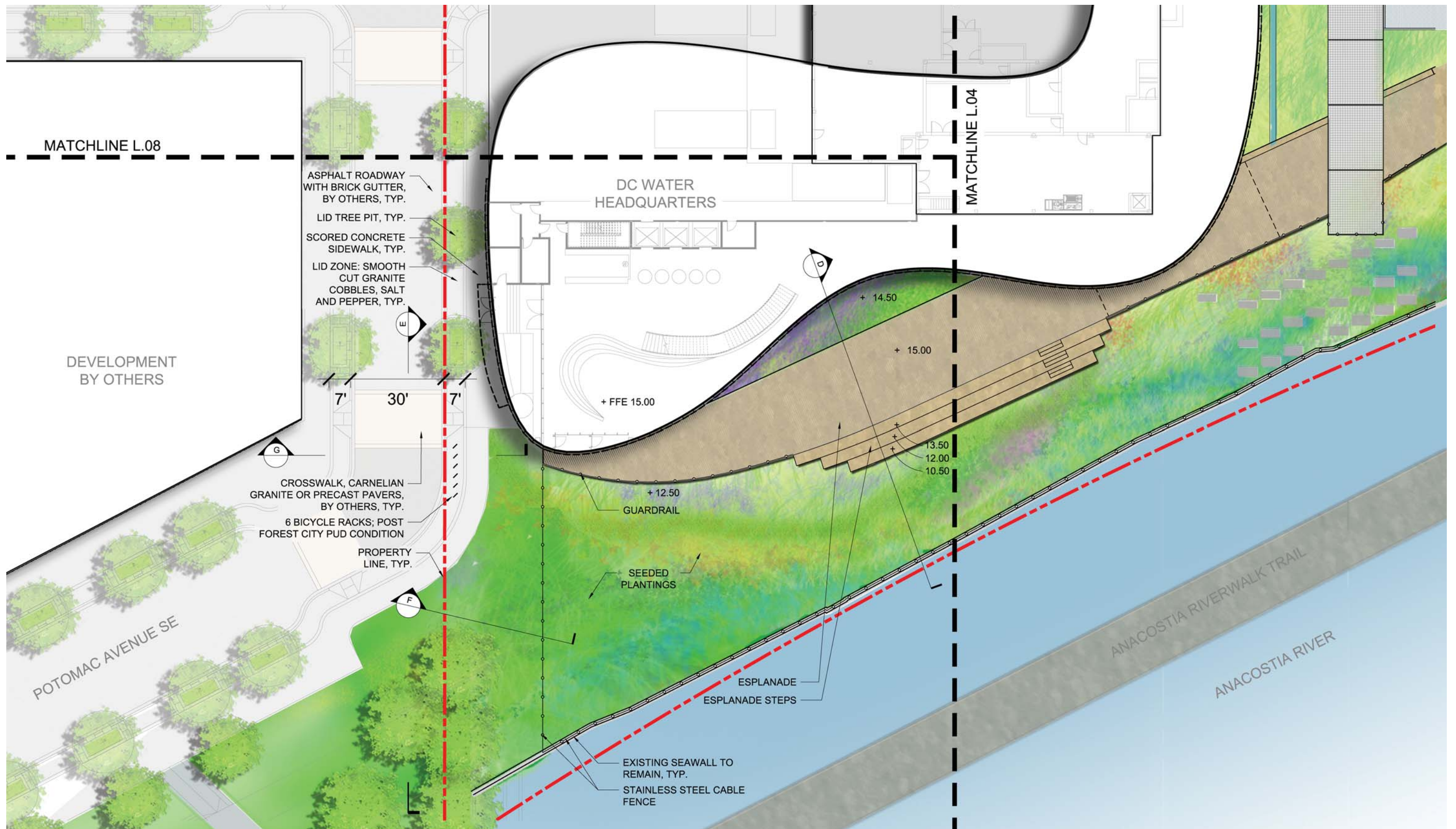




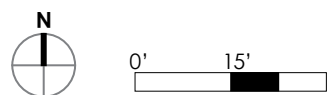
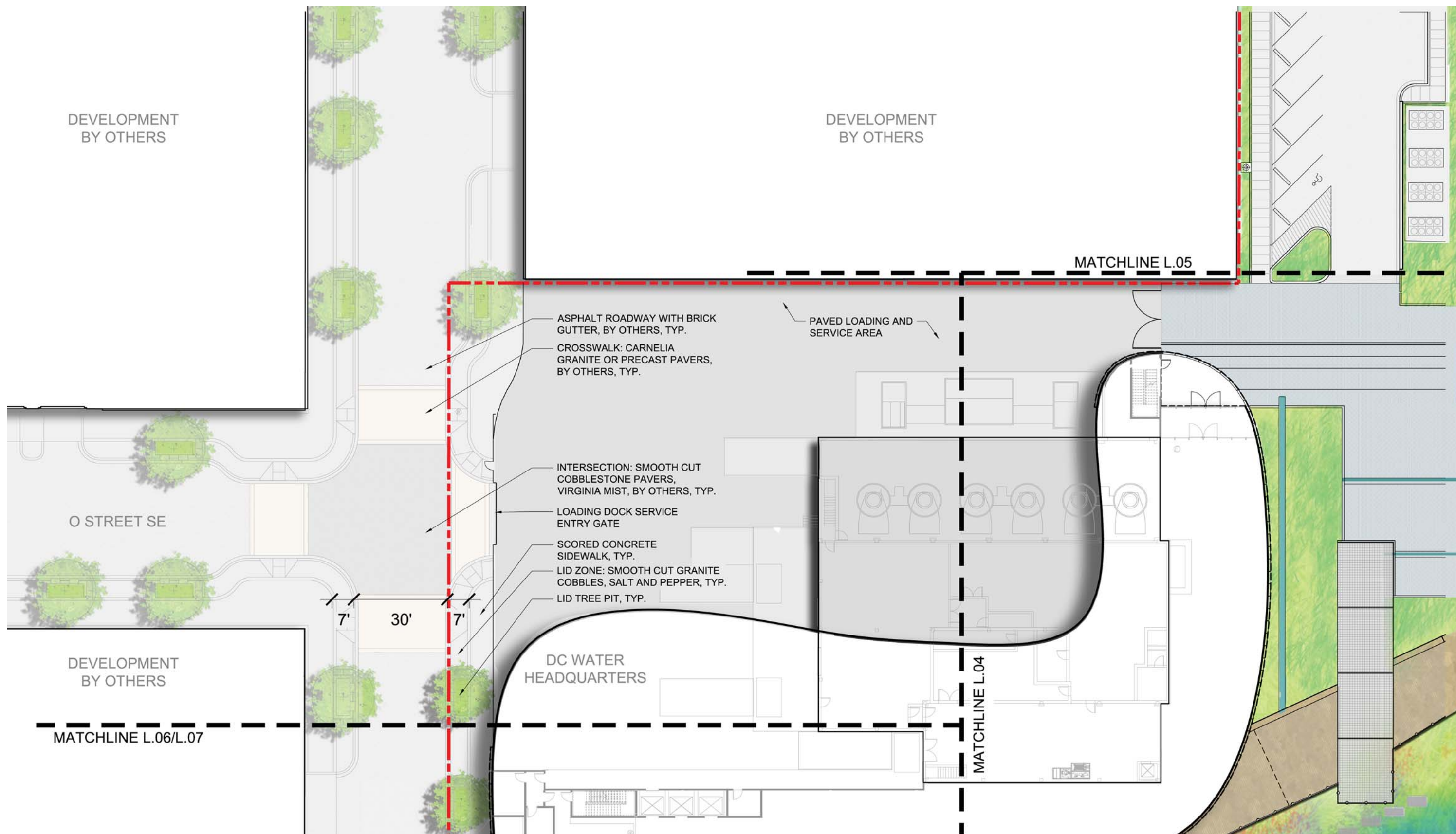
ENLARGED SITE PLAN - NORTH



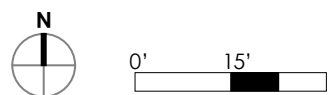
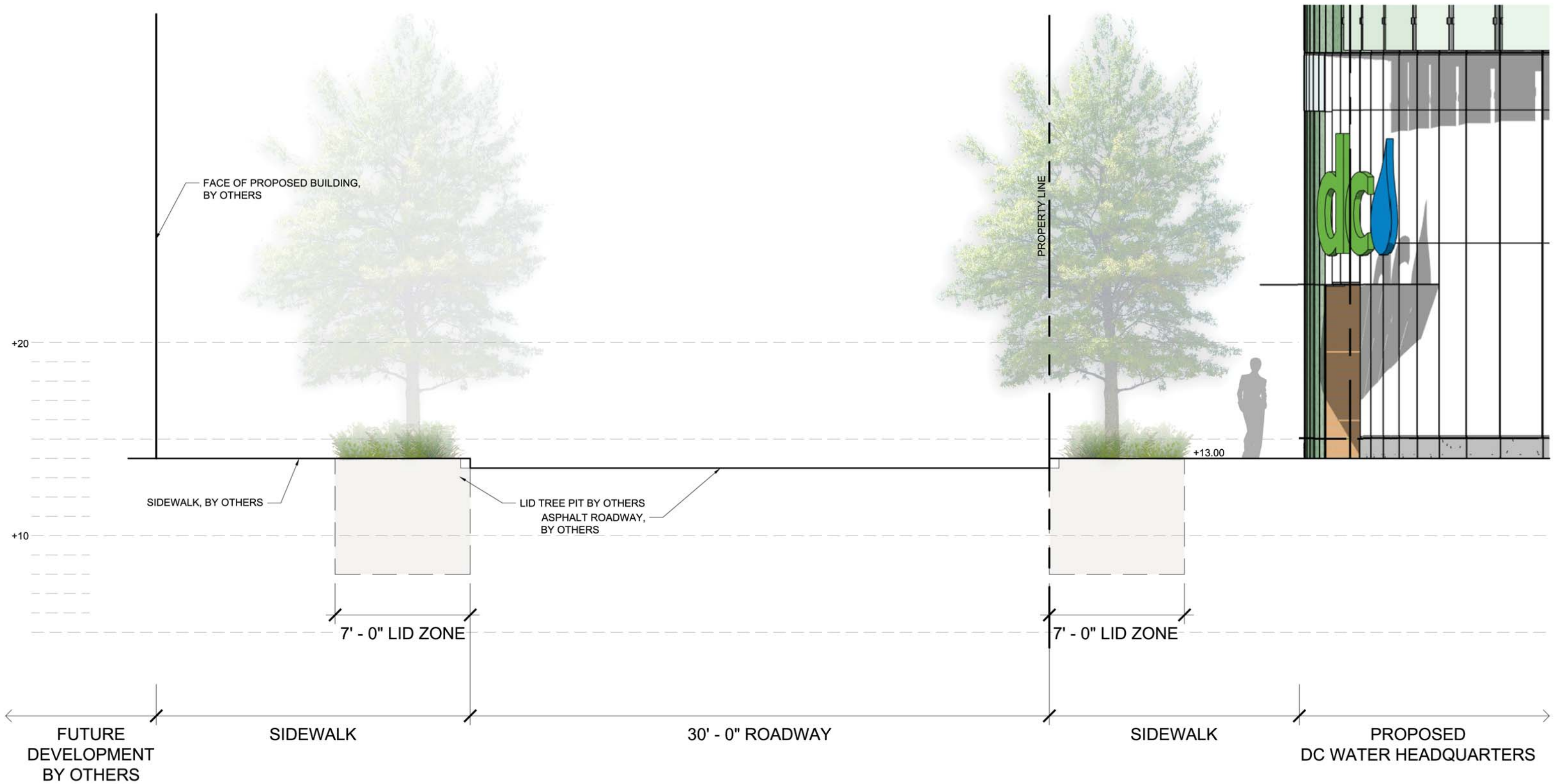
PRE FOREST CITY PUD CONDITIONS: ENLARGED SITE PLAN - WEST



POST FOREST CITY PUD CONDITIONS: ENLARGED SITE PLAN - WEST

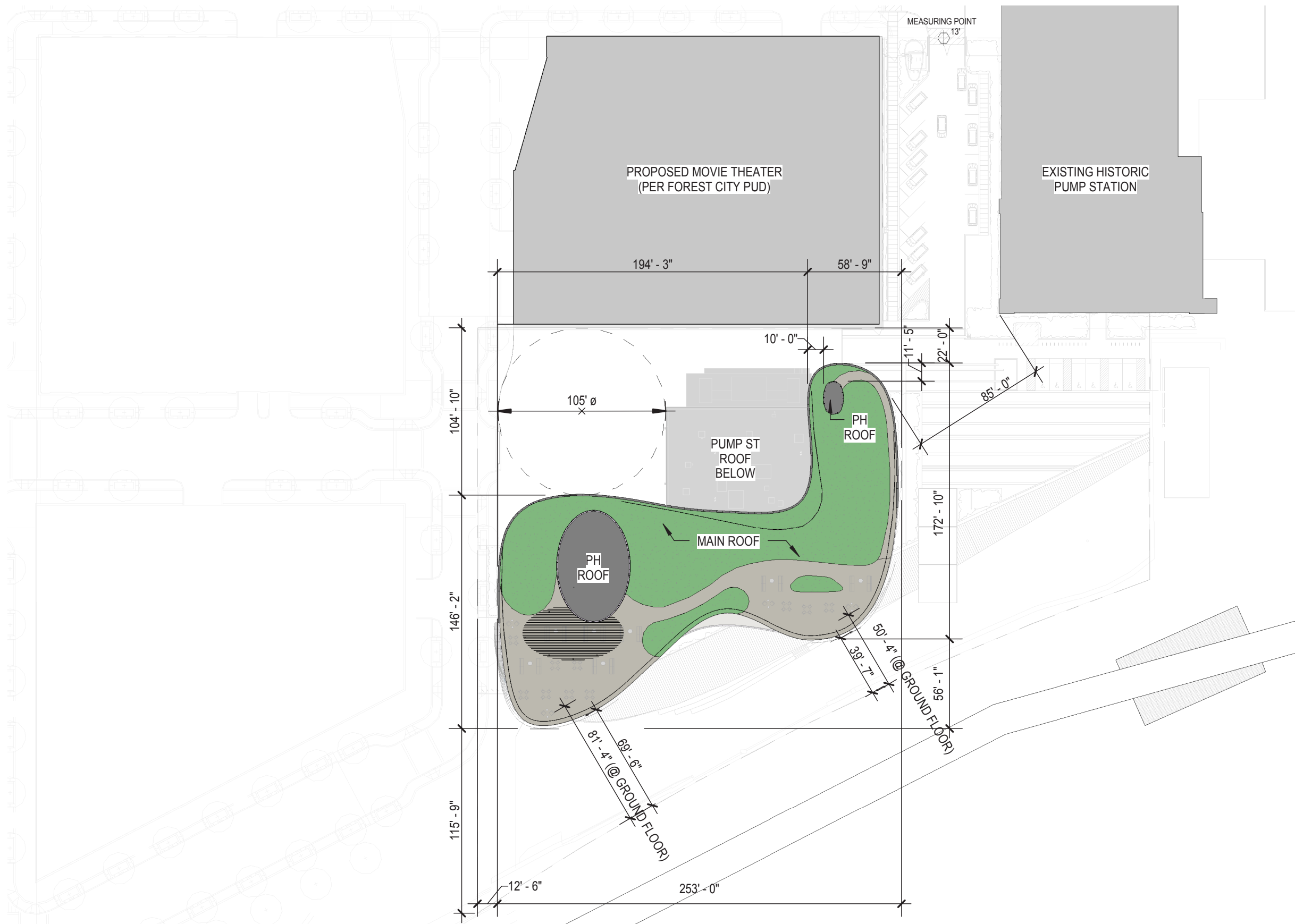


POST FOREST CITY PUD CONDITIONS: ENLARGED SITE PLAN - WEST



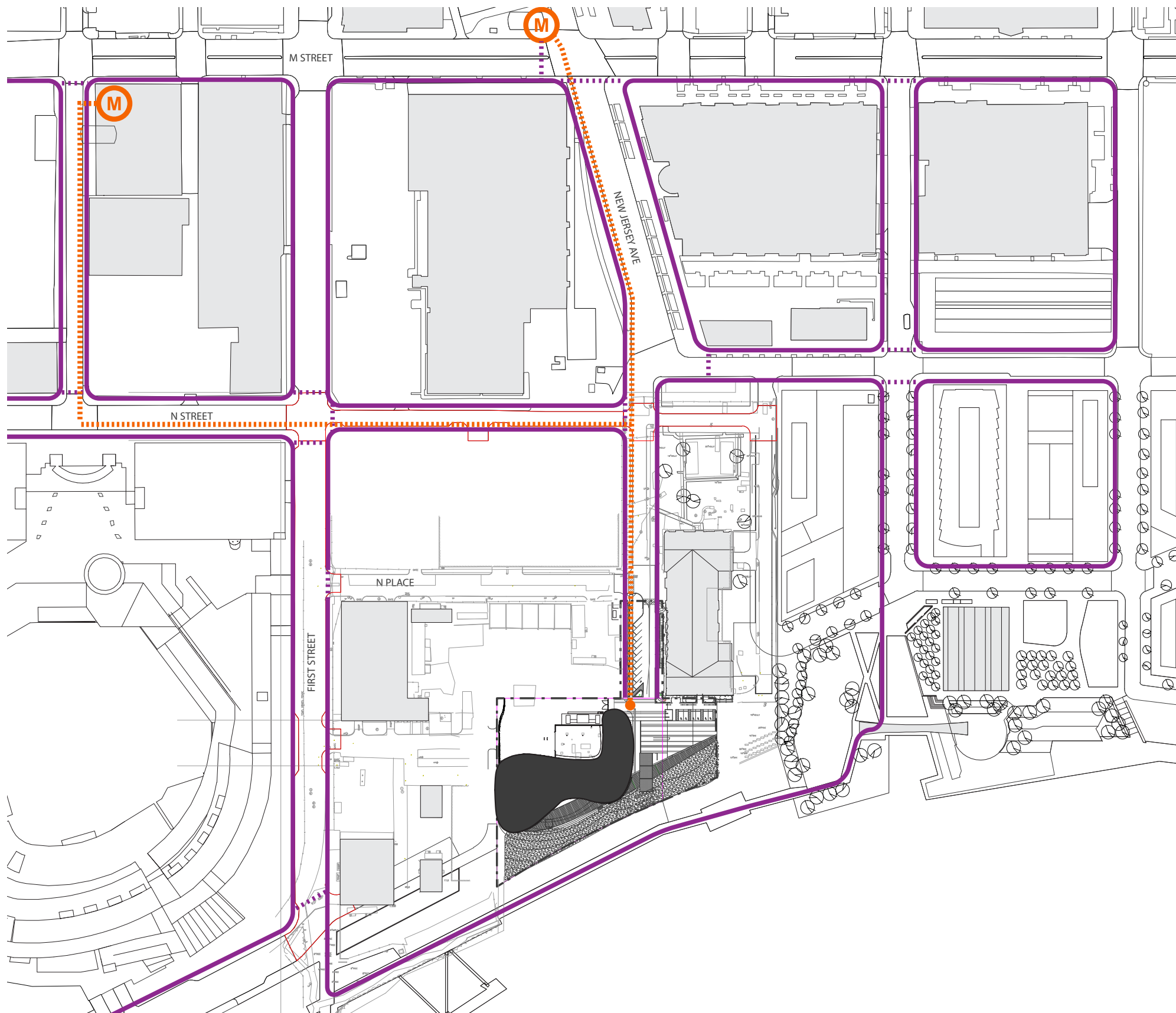
SECTION G

ARCHITECTURAL DRAWINGS



SCALE: 1' - 0" = 1/64"

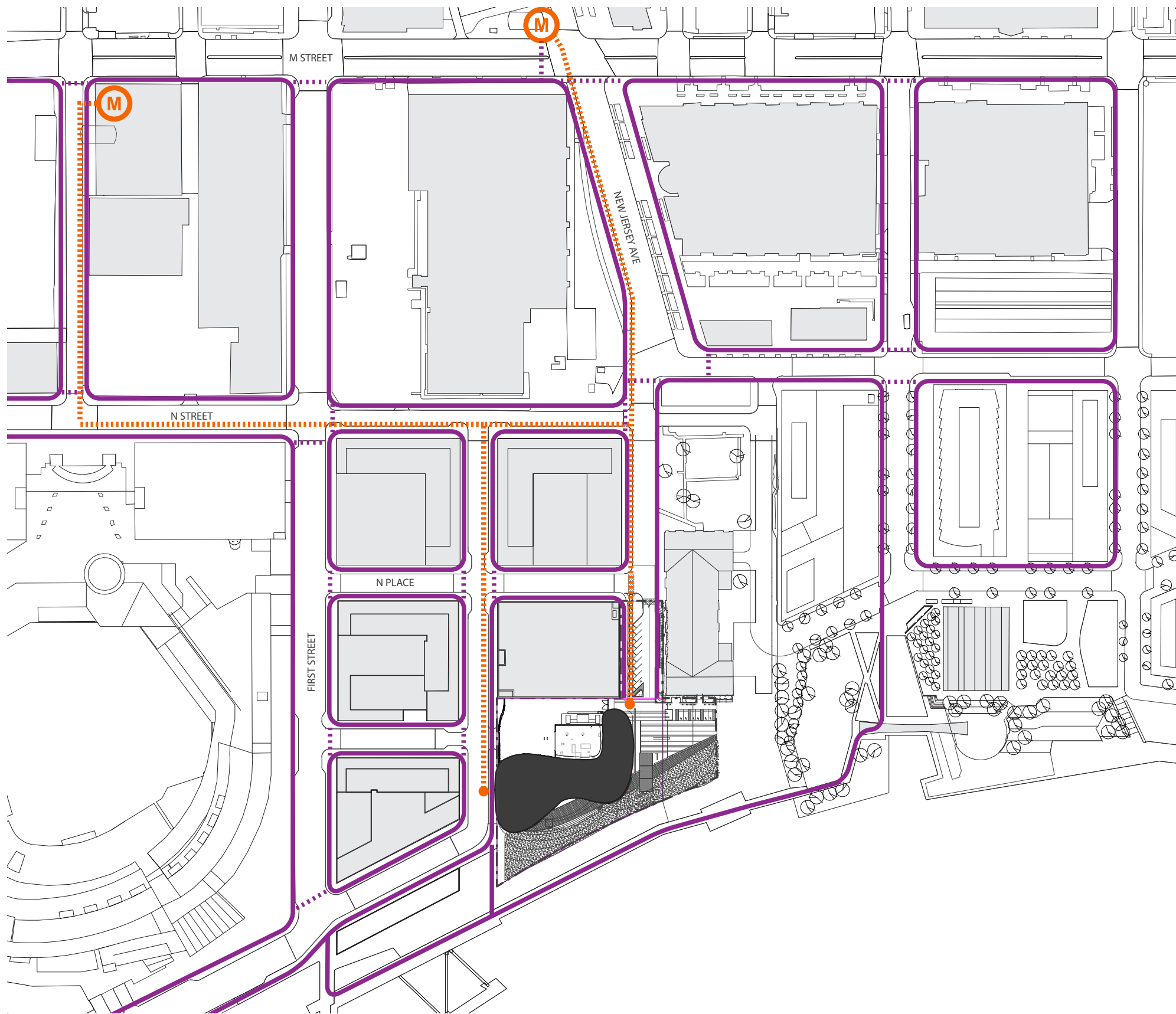
SITE GEOMETRY PLAN



LEGEND

- METRO PEDESTRIAN ACCESS
- PEDESTRIAN CIRCULATION

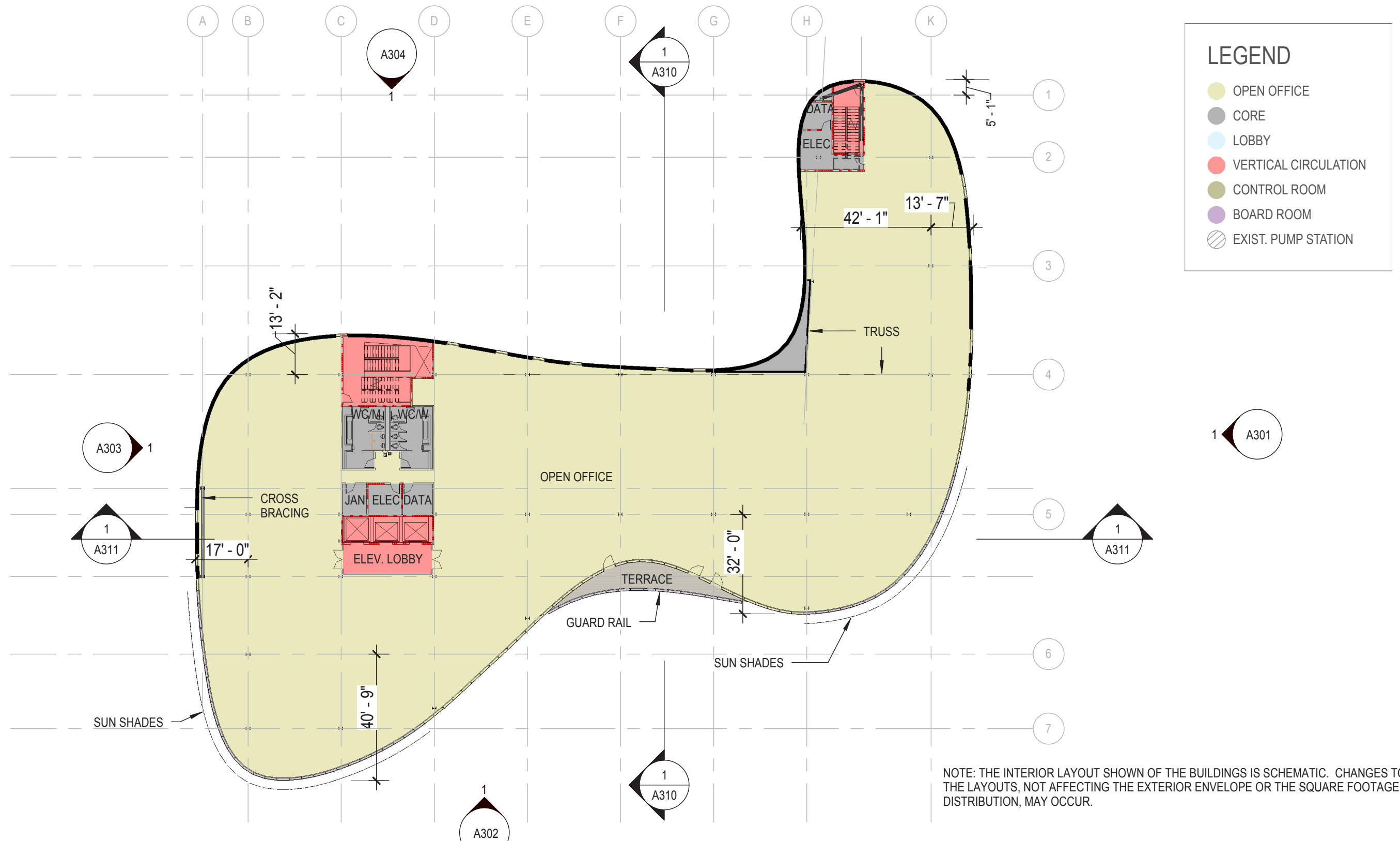
PEDESTRIAN CIRCULATION DIAGRAM - PRE FOREST CITY PUD



LEGEND

- METRO PEDESTRIAN ACCESS
- PEDESTRIAN CIRCULATION

PEDESTRIAN CIRCULATION DIAGRAM - POST FOREST CITY PUD



SCALE: 1'-0" = 1/32"

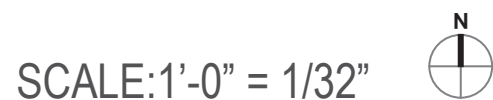


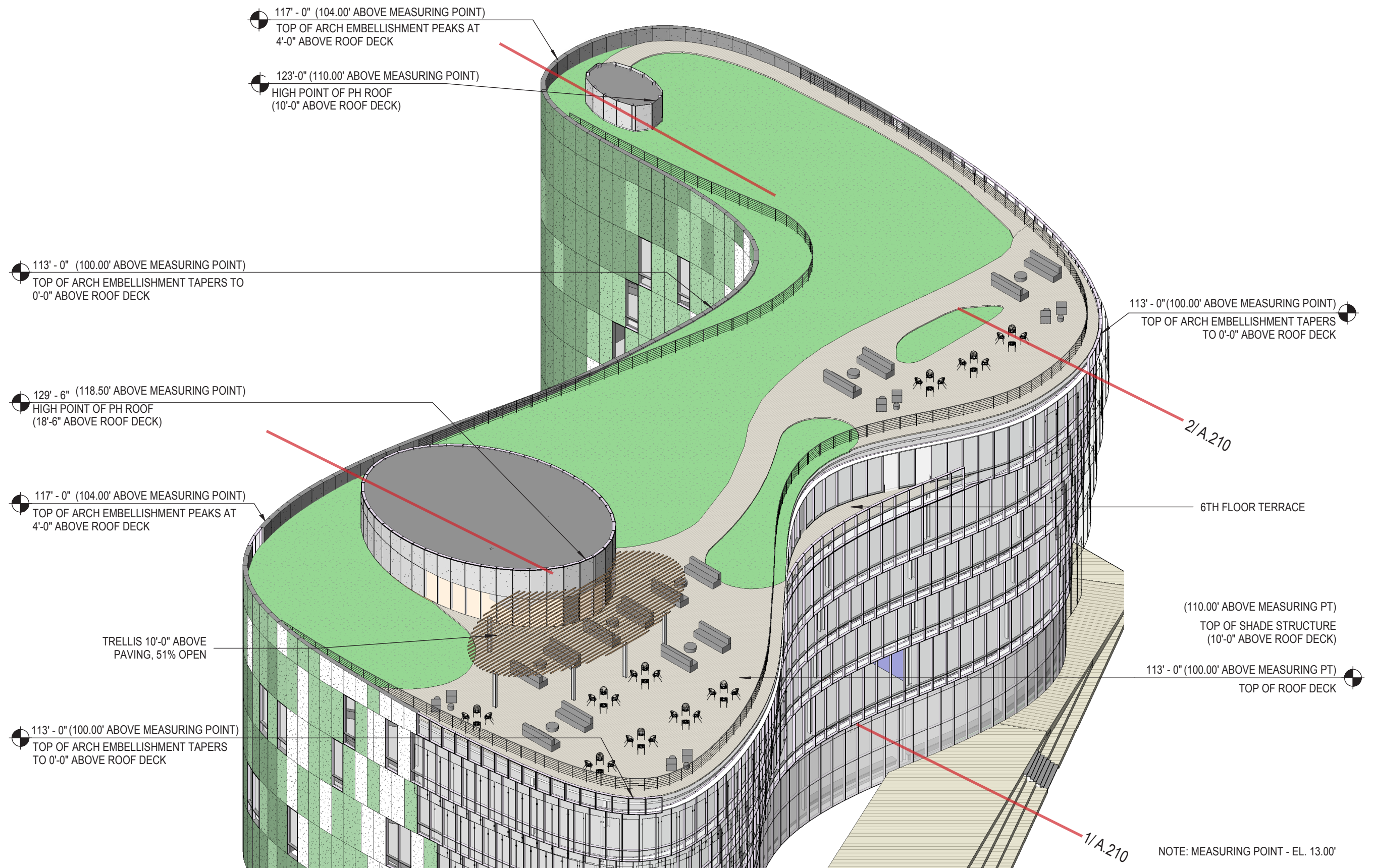
SIXTH FLOOR PLAN



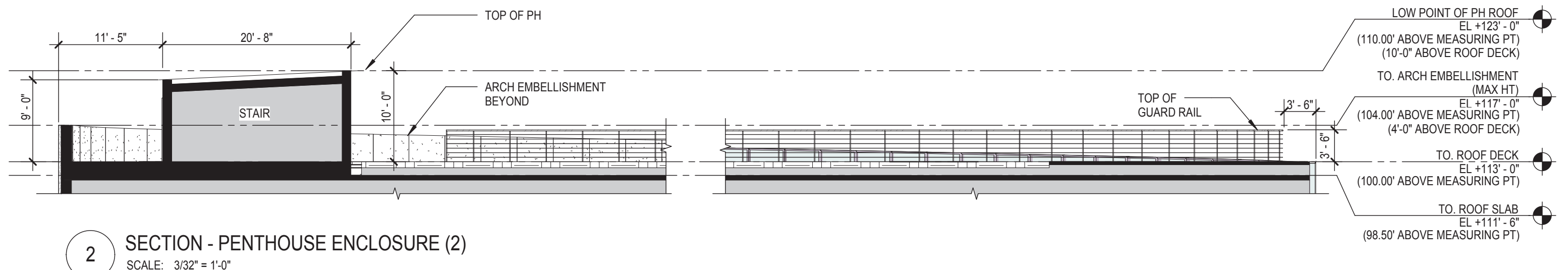
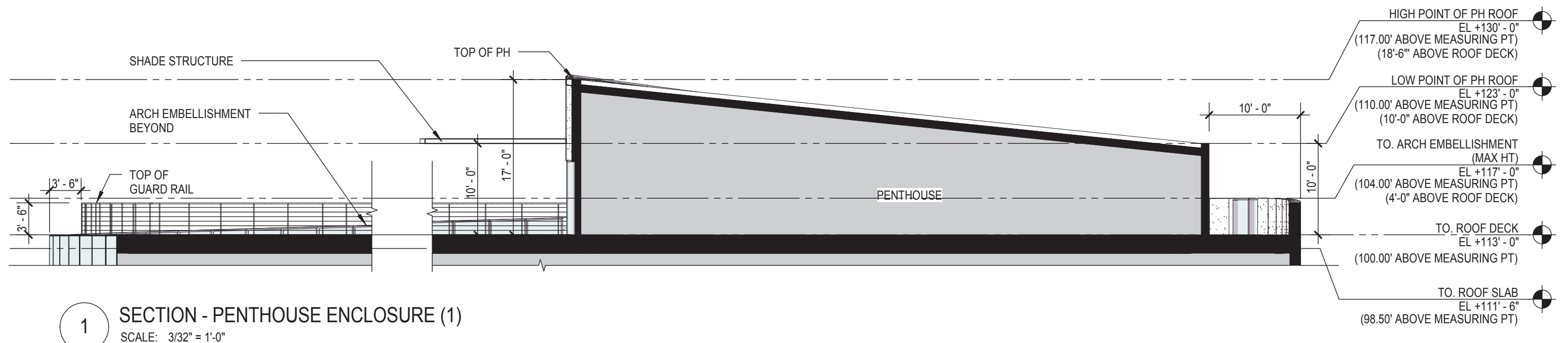
SCALE: 1'-0" = 1/32"

ROOF PLAN





ROOF TERRACE AXONOMETRIC



NOTE: MEASURING POINT - EL +13.00'

SCALE: 1'-0" = 1/32"

ROOF TERRACE SECTION

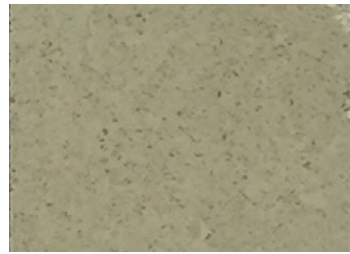


KEY PLAN

ROOF TRELLIS



A WOOD



B CONCRETE



C TINTED GLASS SUN SHADE 1



D TINTED GLASS SUN SHADE 2



E METAL PANEL



F METAL PANEL



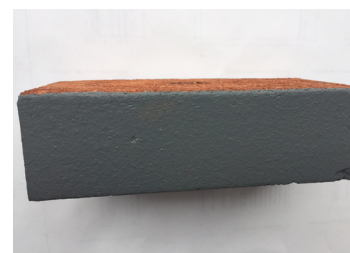
G METAL PANEL



H METAL PANEL



I PERFORATED METAL PANEL



J GREY BRICK

*USED ON EXISTING PUMP STATION



K STAINLESS STEEL CABLE LINK FENCE

*AS INDICATED



MATERIALS