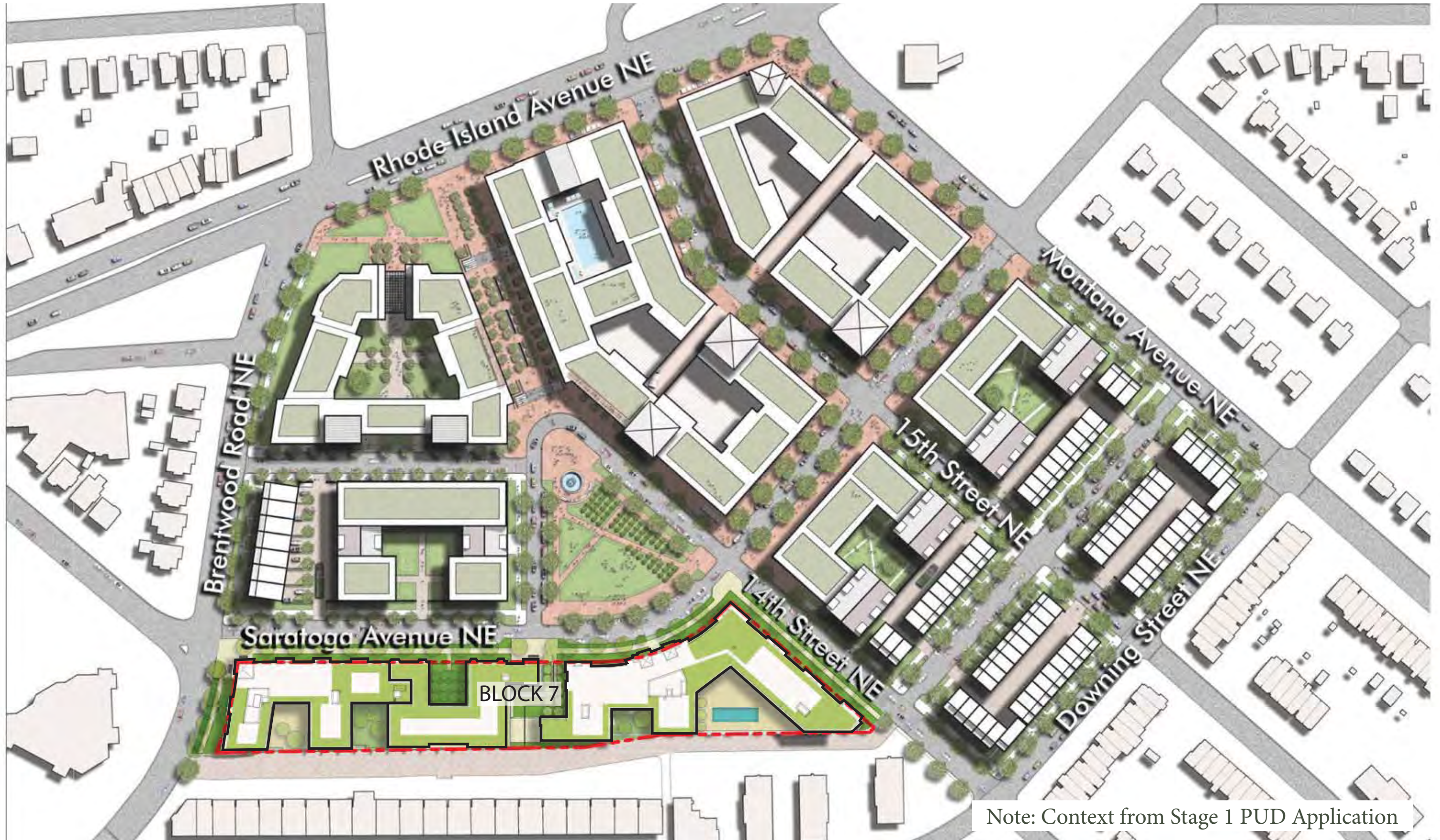


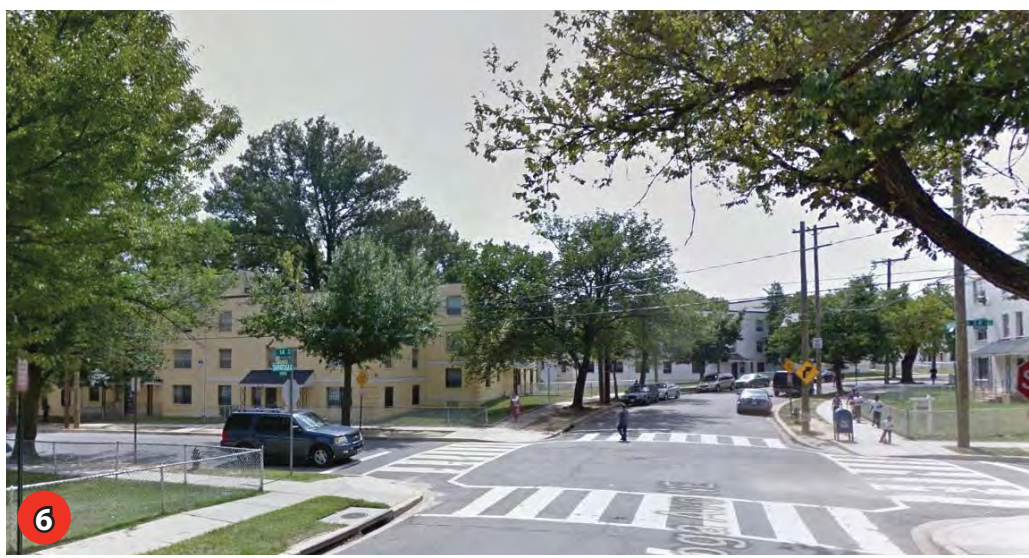
Note: Diagram from Stage 1 PUD Application





Note: Context from Stage 1 PUD Application

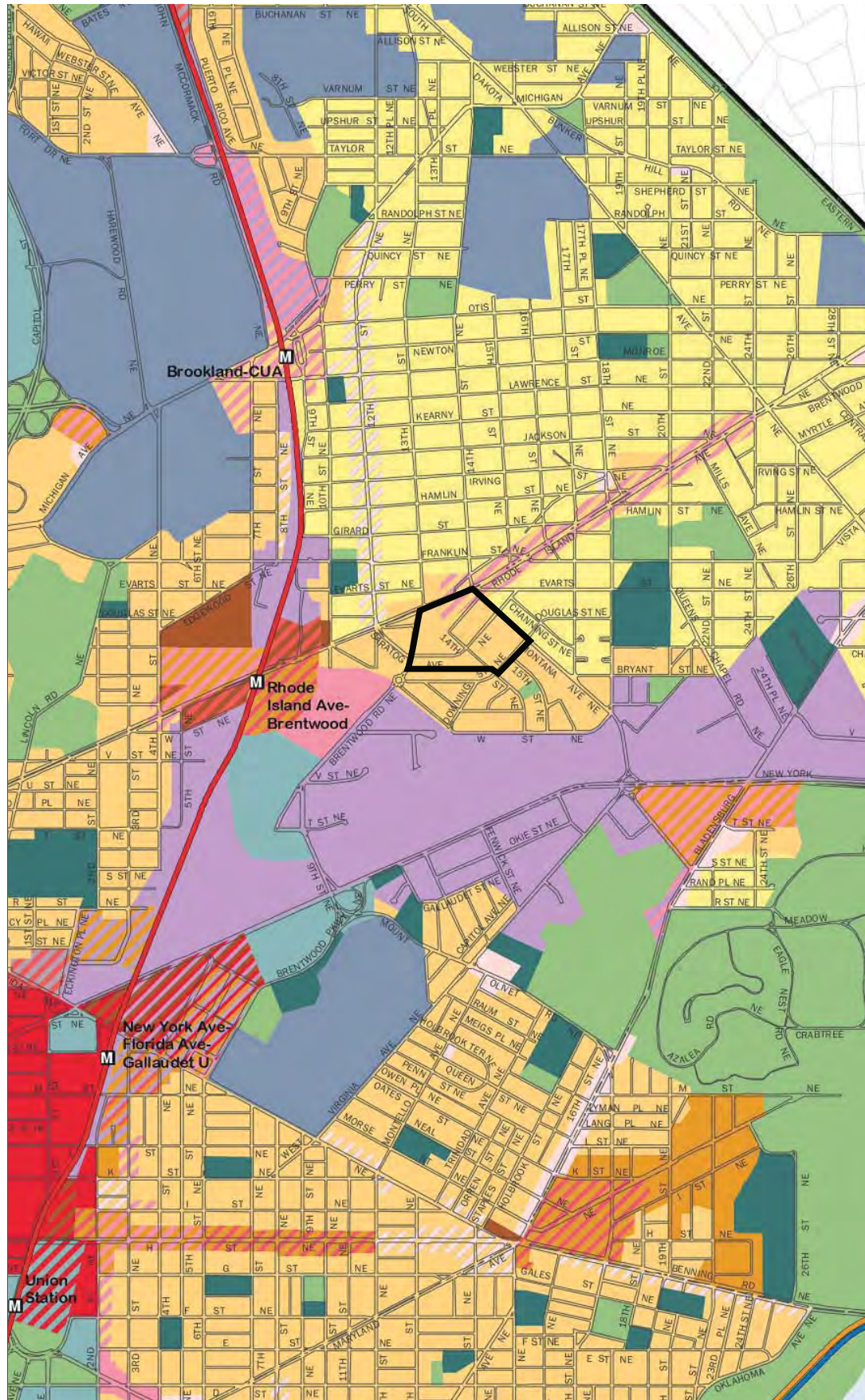




Site Photos

February 23, 2017

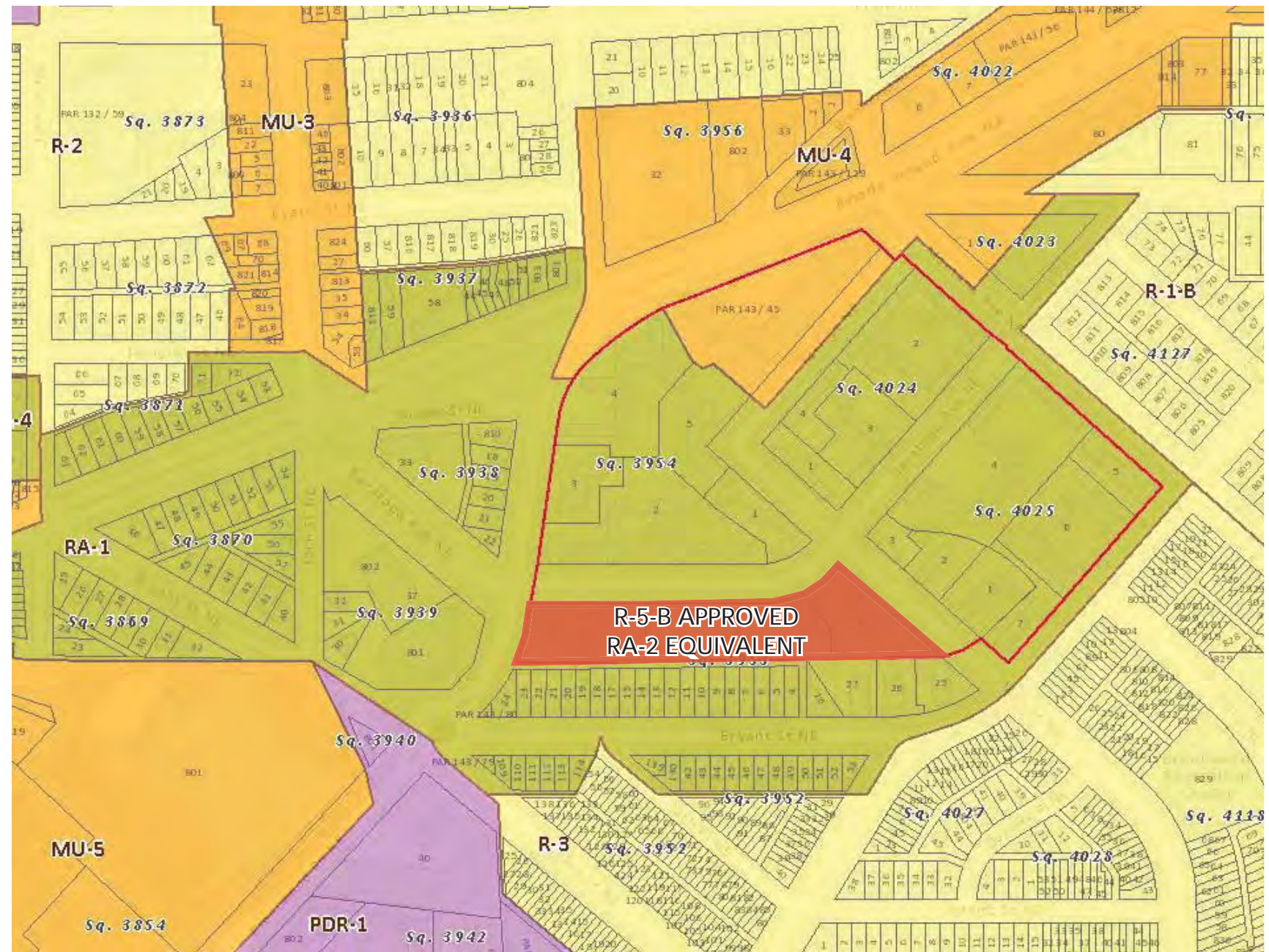




### LEGEND

RESIDENTIAL LAND USE CATEGORIES

- Low Density Residential**  
Defines the District's single family neighborhoods. Single family detached and semi-detached housing units with front, back, and side yards are the predominant uses.
- Moderate Density Residential**  
Defines the District's row house neighborhoods as well as its low-rise garden apartment complexes. Also applies to areas characterized by a mix of single family homes, 2-4 unit buildings, row houses, and low-rise apartment buildings. In some older inner city neighborhoods with this designation there may also be existing multi-story apartments.
- Medium Density Residential**  
Defines neighborhoods or areas where mid-rise (4-7 stories) apartment buildings are the predominant use. Pockets of low and moderate density housing may exist within these areas. This designation also may apply to taller residential buildings surrounded by large areas of permanent open space.
- High Density Residential**  
Defines neighborhoods and corridors where high-rise (8 stories or more) apartment buildings are the predominant use. Pockets of less dense housing may exist within these areas.





Square 3953		Site Area: 56,970 sf	Approved Zoning (R-5-B PUD) - Allowable by ZR16 RA-2*	Provided	
A (Apartment Building)	FAR	3.0 Residential (per approved Phase 1 PUD application)	2.97	169,342 GFA	
	Building Height	PUD - 60' tall stories-no limit	49' 4"		
	Penthouse	FAR = .4 max Height = 12' typ./15' allowed at stairs, elev., and mech Setback = 1:1	No habitable penthouse		
	Lot Occupancy	60%	70% Relief Requested		
	Rear Yard	4 inches per foot of height not < 15 feet (48' x 4" = 15' 10" Required)	17		
	Side Yard	None required; If provided 3 inches per foot of height not < 8 feet	None provided		
	Courtyards	Open Closed	Min. Width: 4" per ft of height not < 10' (49' 4" x 4" = 16' 4" Required) Area: Twice square of req'd width not < 350 sf	Provided as required No closed court provided	
	Green Area Ratio	0.4	0.4		
	<b>Parking Requirement</b>				
	Residential	1 space per 3 D.U. (130 / 3 = 44 Required)	68		
<b>Bike Parking</b>					
Residential	Residential: Long-Term - 1 for each 3 units (130 / 3 = 44 Required) Short-term - 1 for each 20 units (130 / 20 = 7 Required)	Provided as required Provided as required			
<b>Loading</b>					
Residential (>50 units)	1 loading berth at 30' + 1 20' service space + 100 sf platform	Provided as required			

Square 3953		Site Area: 57,515 sf	Current Zoning: R-5-B	Provided	
B (Senior Building)	FAR	PUD - 3.0 Residential	3.00	172,266 GFA	
	Building Height	PUD - 60' tall stories-no limit	51'		
	Penthouse	FAR = .4 max Height = 12' typ./15' allowed at stairs, elev., and mech Setback = 1:1	No habitable penthouse		
	Lot Occupancy	60%	73% Relief Requested		
	Rear Yard	4 inches per foot of height not < 15 feet (48' x 4" = 15' 10" Required)	17		
	Side Yard	None required; If provided 3 inches per foot of height not < 8 feet	None provided		
	Courtyards	Open Closed	Min. Width: 4" per ft of height not < 10' (51' x 4" = 16' 10" Required) Area: Twice square of req'd width not < 350 sf	Provided as required No closed court provided	
	Green Area Ratio	0.4	0.4		
	<b>Parking Requirement</b>				
	Residential	1 space per 6 D.U. of publicly assisted housing for elderly/handicapped (200 / 6 = 33 Required)	48		
<b>Bike Parking</b>					
Residential	Residential: Long-Term - 1 for each 3 units, reduced to 1 for each 6 units after the first 50 (150 / 3 = 50) + (50 / 6 = 8) = 58 Req. Short-term - 1 for each 20 units (200 / 20 = 10 Required)	10 Relief Requested			
<b>Loading</b>					
Residential (>50 units)	1 loading berth at 30' + 1 20' service space + 100 sf platform	Provided as required			

Less than height allowable

Relief Requested

\* RA-2 the ZR16 equivalent to approved Phase 1 PUD zoning of R-5-B

BUILDING/LOT	BUILDING TYPE	LOT AREA (sf)	BUILDING FOOTPRINT AREA (sf)	LOT OCCUPANCY	BUILDING FLOOR AREA (gfa)	LOT F.A.R.	NO. OF UNITS
A	APT	56,970	39,840	70%	169,342	2.97	131
B	SR APT	57,515	41,835	73%	172,266	3.00	200
<b>Combined Total</b>		<b>114,485</b>	<b>81,675</b>	<b>71%</b>	<b>341,608</b>	<b>2.98</b>	<b>331</b>

# 3.0 FAR

# 49'-51' tall (60' allowed)

# Relief for Lot Occupancy

# 70-73% (60% allowed)

# Relief for Senior Bike Parking



36 Integrative Design				Possible Points	36
Y	?Y	?N	N		
M				1.1a	Goal Setting
M				1.1b	Criteria Documentation
				9	1.1c Designing for Project Performance
M				12	1.2a Res. Health & Well-Being: Design for Health
M				12	1.2b Res. Health & Well-Being: Health Action Plan
M				15	1.3a Resilient Communities: Design for Resilience
				15	1.3b Resilient Communities: Multi-Hazard Risk

27 Location+Neighborhood				Possible Points	56
Y	?Y	?N	N		
M				2.1	Sensitive Site Protection
M				2.2	Connections to Existing Development Infra.
M				2.3	Compact Development
7				2.4	Compact Development
M				2.5	Proximity to Services
M				2.6	Preservation of and Access to Open Space R/T
	2	2	2	2.7	Preservation of and Access to Open Space
8				2.8	Access to Public Transportation
				8	2.9 Improving Connectivity to the Community
				5	2.10 Passive Solar Heating/Cooling
				4	2.11 Brownfield Site or Adaptive Reuse Building
6				2.12	Access to Fresh, Local Foods
4				2.13	LEED for Neighborhood Development Cert.
2				2.14	Local Econ. Dev't & Community Wealth

8 Site Improvements				Possible Points	17
Y	?Y	?N	N		
M				3.1	Environmental Remediation
M				3.2	Erosion and Sedimentation Control
M				3.3	Low-Impact Development
M				3.4	Landscaping
M				3.5a	Efficient Irrigation and Water Reuse
	4	4		3.5b	Efficient Irrigation and Water Reuse
8				3.6	Surface Stormwater Management
				1	3.7 Reducing Heat-Island Effect: Paving

7 Water Conservation				Possible Points	18
Y	?Y	?N	N		
M				4.1	Water-Conserving Fixtures
				3	4.2 Advanced Water Conservation
				4	4.3 Leaks and Water Metering
				4	4.4 Efficient Plumbing Layout and Design
				6	4.5 Water Reuse
				8	4.6 Access to Potable Water: Emergencies

4 Energy Efficiency				Possible Points	50
Y	?Y	?N	N		
M				5.1a	Building Performance Standard (New, low-rise)
M				5.1b	Building Performance Standard (New, mid-rise)
M				5.1c	Building Performance Standard (Rehab, low-rise)
M				5.1d	Building Performance Standard (Rehab, mid-rise)
				12	5.2a Additional Reductions in Energy Use
				12	5.2b Advanced Certification: Nearing Net Zero
M				5.3	Sizing Heating and Cooling Equipment
M				5.4	ENERGY STAR Appliances
M				5.5	Lighting
M				5.6	Electricity Meter (M for New & Sub. Rehab)
				4	5.7a Photovoltaic / Solar Hot Water Ready
				10	5.7b Renewable Energy
				8	5.8a Resilient Energy Systems: Floodproofing
				4	5.8b Resilient Energy Systems: Islandable Power

40 Materials				Possible Points	40
Y	?Y	?N	N		
M				6.1	Low / No VOC Paints, Coatings, & Primers
M				6.2	Low / No VOC Adhesives and Sealants
				3	6.3 Recycled Content Material
				4	6.4 Regional Materials
				1	6.5 Certified, Salvaged and Engineered Wood
M				6.6	CWP: Emit Low / No Formaldehyde
M				6	6.7a Environmentally Preferable Flooring (EPF)
				6	6.7b EPF: Throughout Building
M				6.8	Mold Prevention: Surfaces
M				6.9	Mold Prevention: Tub & Shower Enclosures
				12	6.10 Asthagen-Free Materials
				5	6.11 Reduced Heat-Island Effect: Roofing
M				6.12	Construction Waste Management
				6	6.12 Construction Waste Management
				3	6.13 Recycling Storage

37 Healthy Living Envrnm't				Possible Points	49
Y	?Y	?N	N		
M				7.1	Ventilation (M for New & Sub. Rehab)
M				7.2	Clothes Dryer Exhaust
M				7.3	Combustion Equipment
9				2	7.4 Elimination of Combustion Within the CS
M				7.5	Vapor Retarder Strategies
M				7.6	Water Drainage
M				7.7	Mold Prevention: Water Heaters
M				7.8	Radon Mitigation
M				7.9	Garage Isolation
M				7.10	Integrated Pest Management
9				9	7.11a ADA: Universal Design (New Construction)
				9	7.11b ADA: Universal Design (Sub & Mod Rehab)
M				10	7.12 Active Design: Promoting Physical Activity Within
				10	7.13 Active Design: Staircases and Building Circ.
9				9	7.14 Int. & Ext. Activity Spaces: Children & Adults
M				7.15	Reduce Lead Hazards in Pre-1978 Buildings
10				10	7.16 Smoke-Free Building

11 O&M + Resident				Possible Points	11
Y	?Y	?N	N		
M				8.1	Building O&M Manual and Plan (Multifamily)
M				8.2	Emergency Management Manual (Multifamily)
M				8.3	Resident Manual
M				8.4	Resident and Property Staff Orientation
M				8.5	Project Data Collection & Monitoring System
11				8.6	Project Data Collection & Monitoring System

83 Total				Possible Points	291
Y	?Y	?N	N		
83	10	13	185		
New Construction 35 points Substantial Rehab 30 points Moderate Rehab 30 points					

LEED 2009 for Neighborhood Development				Possible Points	11
(Credits targeted by ND team for Silver Certification)					
8 Green Infrastructure and Buildings				Possible Points	11
Y	?Y	?N	N		
Y				Prq 1	Certified Green Building
Y				Prq 2	Minimum Building Energy Efficiency
Y				Prq 3	Minimum Building Water Efficiency
Y				Prq 4	Construction Activity Pollution Prevention
3	2			Crdt 1	Certified Green Building
1				Crdt 7	Minimum Site Disturbance in Design & Constr'n
3	1			Crdt 8	Stormwater Management
1				Crdt 9	Heat Island Reduction

**35 Points Required**  
**83 Points Targeted**

Note: The Applicant will satisfy the point total necessary to be built in compliance with the 2015 Enterprise Green Communities Criteria for New Construction, but the distribution and total number of points attained may ultimately differ from the proposal shown here.

Note: Block 7 is part of the larger RIA neighborhood redevelopment and will be part of the overall LEED ND Silver Certification as required per the approved Phase 1 PUD.





Site Plan in Existing Aerial

February 23, 2017





View from Southwest (From Brentwood Rd, NE)

February 23, 2017





View from Southwest

February 23, 2017





Key Plan

View from Northwest (From Brentwood Rd NE)

February 23, 2017





3. Building B2 - Perspective View



Building B2 - North Elevation

MATERIALS LEGEND

- 3 Masonry - Color #3
- 4 Banding
- 5 Windows & Doors
- 6 Decorative Railing
- 7 Roofing
- 8 Metal Canopy
- 10 Panel - Color #2



Key Plan

0 4 8 16 ft February 23, 2017

Enlarged Elevation - Building B2

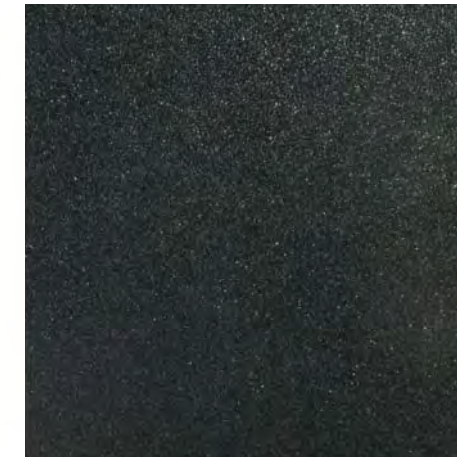




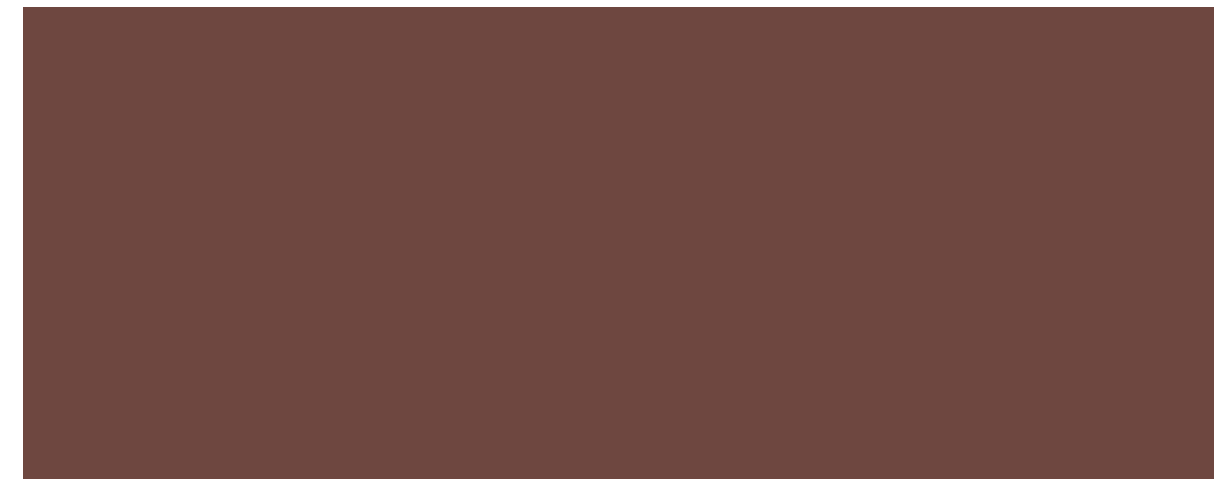
*Building B2 - Masonry Color #3*



*Building B2 - Banding*



*Building B2 - Windows & Doors,  
Panel Color #2*

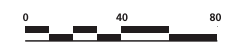


*Building B2 - Cementitious Siding Color #3*





Illustrative Site Plan



February 23, 2017



MID-CITY FINANCIAL  
TORTI GALLAS URBAN

RIA BLOCK 7





View from North (From Community Green)

February 23, 2017





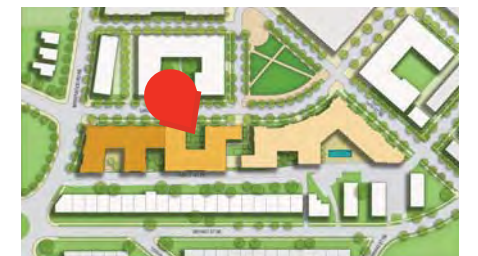
2. Building B1 - Perspective View



Building B1 - North Elevation

MATERIALS LEGEND

- 2 Masonry - Color #2
- 4 Banding
- 5 Windows & Doors
- 6 Decorative Railing
- 9 Panel - Color #1



Key Plan

0 4 8 16 ft February 23, 2017

Enlarged Elevation - Building B1