

PLANS



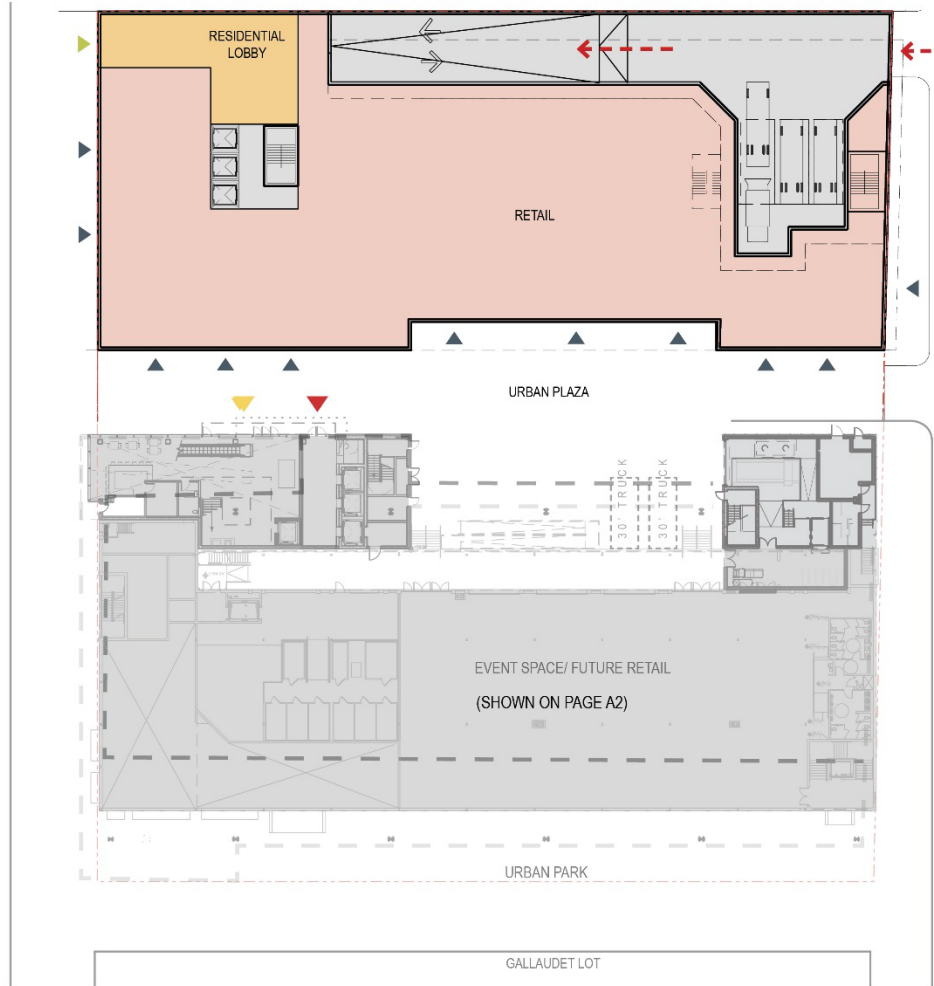
NOTES:

1. REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
2. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF THEATER BOXES, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING GARAGE LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
3. ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT. ASSUMED FOR THESE DRAWINGS TO BE +0'-0".
4. PROJECTIONS SHOWN WILL REQUIRE REVIEW AND APPROVAL BY DCRA AND ARE SUBJECT TO MODIFICATION AT THE REQUEST OF DCRA DURING SUCH PROCESS.
5. ALL BALCONY LOCATIONS SHOWN ARE ILLUSTRATIVE. SIZE/ LOCATION ARE SUBJECT TO CHANGE.

LEGEND

- - - - - PROPERTY LINE
- CORE/ SERVICE
- RETAIL
- EVENT
- THEATER
- OFFICE OR RESIDENTIAL
- PARKING
- TERRACE
- ROOF
- OFFICE
- - - - - LINE OF MARKET BELOW
- - - - - LINE OF OFFICE ABOVE

PLANS



NOTES:

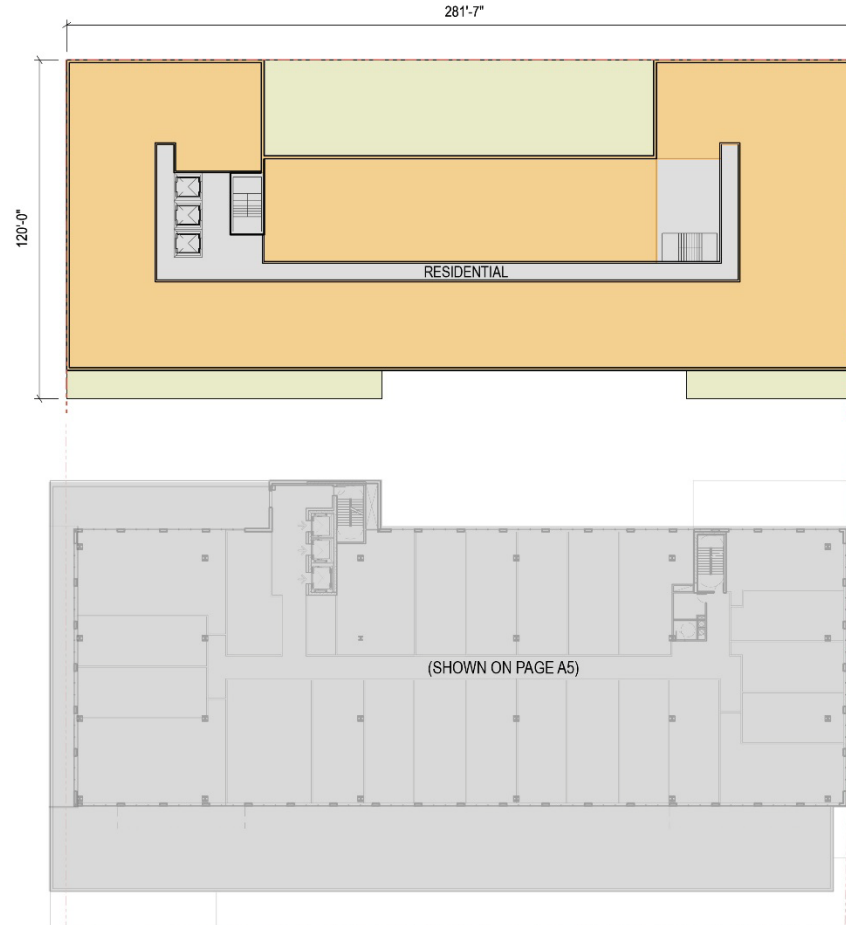
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- OFFICE
- RESIDENTIAL
- - - - - LINE OF THEATER ABOVE
- - - - - LINE OF OFFICE ABOVE
- ← DIRECTION OF TRAFFIC FLOW
- - - - - VEHICULAR ENTRANCE/ EXIT
- ▶ PEDESTRIAN OFFICE OR RESIDENTIAL ENTRANCE/ EXIT
- ▶ PEDESTRIAN RETAIL ENTRANCE/ EXIT
- ▶ PEDESTRIAN THEATER ENTRANCE/ EXIT
- ▶ PEDESTRIAN RES ENTRANCE/ EXIT

NOTE:
SOUTH BUILDING FIRST FLOOR LAYOUT AND PORTIONS OF SECOND FLOOR LAYOUT DEPICTED ARE THE CURRENT LAYOUTS OF THE MARKET AT UNION MARKET AND ARE SUBJECT TO CHANGE OVER TIME, INCLUDING THE CREATION OF SEPARATE RETAIL USES WITH INDIVIDUAL ENTRANCES.

PLANS



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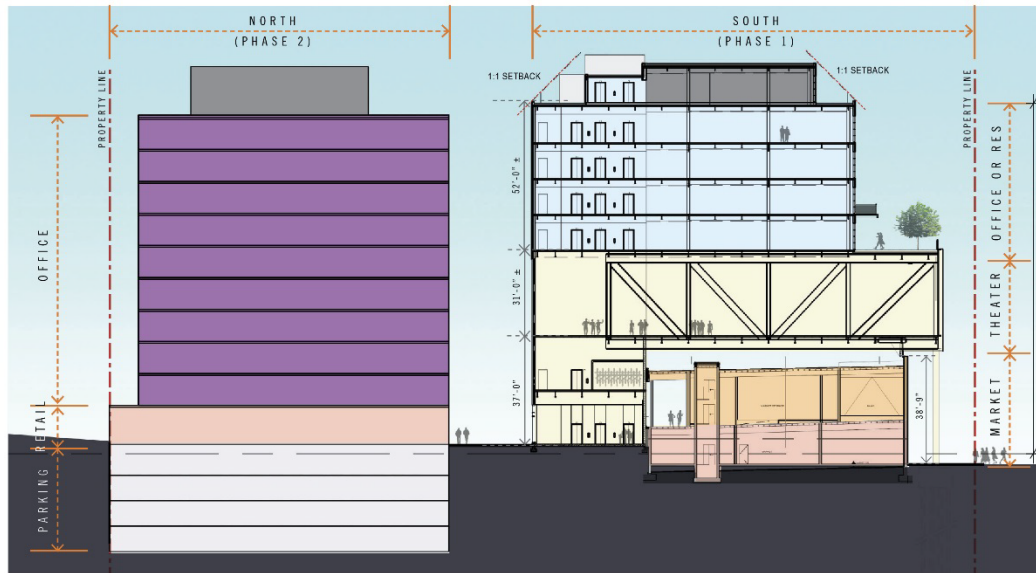
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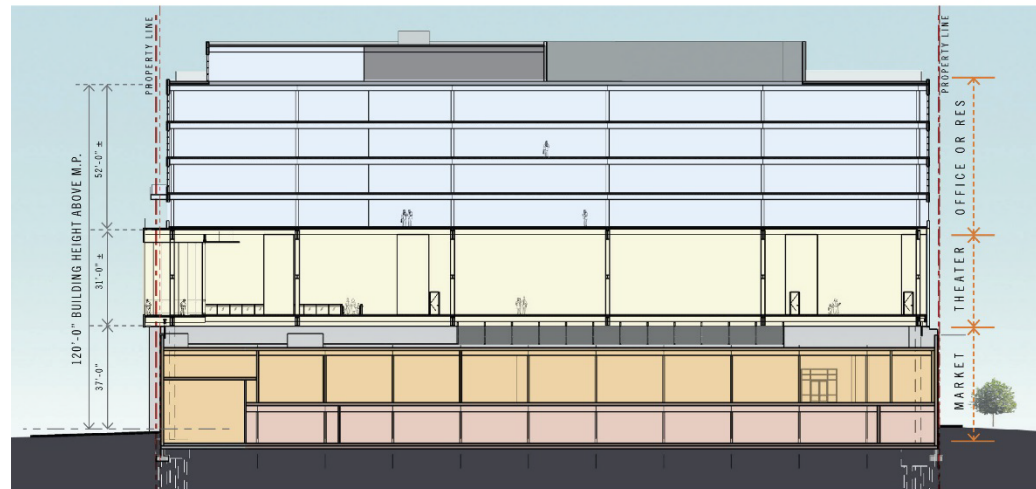
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BUILDING SECTIONS



BUILDING SECTION A-A



BUILDING SECTION B-B

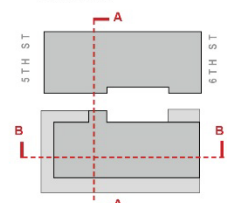
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KEY PLAN



PERSPECTIVE



1309 - 1329 5TH STREET NE WASHINGTON, DC

PUD SUBMISSION 2014 JULY 3
(REVISED 2015 JANUARY 30)

PERSPECTIVE

A 2 0

PERSPECTIVE



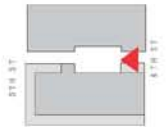
1309 - 1329 5TH STREET NE WASHINGTON, DC

PUD SUBMISSION 2014 JULY 3
(REVISED 2015 JANUARY 30)

PERSPECTIVE

A 2 1

PLAZA PERSPECTIVE



UNION MARKET PARK VIEWS



A. VIEW FROM 5TH STREET



B. VIEW FROM NEAL PLACE



C. VIEW FROM 6TH STREET



D. AERIAL VIEW FROM 6TH STREET

--- PROPERTY LINE
 NOTE: PAVING SHOWN ON PROPERTY TO THE SOUTH IS FOR ILLUSTRATIVE PURPOSES ONLY

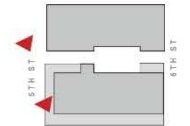
PERSPECTIVES



PLAZA PERSPECTIVE B



URBAN PORCH PERSPECTIVE



ZONING TABULATIONS OPTION A RES

ZONING TABULATIONS OPTION A SOUTH BUILDING RESIDENTIAL

ZONING SUMMARY: C-3-C/ PUD

TOTAL SITE AREA: 85,820 sf

THEORETICAL LOTS: LOT 1 AREA: ~43,742 SF; LOT 2 AREA: ~42,078 SF

ZONING REGULATION	REQUIRED/ ALLOWED	PROVIDED
Maximum Building Height(1)	120'	120'
Maximum FAR(2):	8 total	6.30 (541,423 SF)
South Building LOT 1	8	2.52 (216,423 SF)
Retail		0.73 (62,423)
Theater		0.49 (42,000 SF)
Residential		1.30 (112,000 SF)
North Building :Option 1 (6) LOT 2	8	3.78 (325,000 SF)
Retail		0.40 (35,000 SF)
Office		3.38 (290,000 SF)
North Building :Option 2 (7) LOT2	8	3.78 (325,000 SF)
Retail		0.40 (35,000 SF)
Residential		3.38 (290,000 SF)
Number of Buildings (3)	2	2
Green Area Ratio GAR:	0.2	0.2
Maximum Lot Occupancy:		84% Total Occupancy
South Building: LOT 1	commercial @ ground: 100%	90% For Theoretical Lot
North Building : Option 1/2 (6,7) LOT 2	commercial @ ground: 100%	77% For Theoretical Lot
Rear Yard Minimum:	all uses: 2-1/2"/ft (12' min)	
	27'	50' (using half of street R.O.W.)
Side Yard Minimum:	not required	not provided
Court-Open: Min. Width		
	commercial: 3"/ft (12' min)	See diagram sheet Z3 and Z4
	residential: 4"/ft (15' min)	See diagram sheet Z3 and Z4
Court-Closed: Area		
(width same as open)	commercial: 250 sf min., or 2 x width squared	See diagram sheet Z3 and Z4
	residential: 350 sf min., or 2 x width squared	See diagram sheet Z3 and Z4
Inclusionary Zoning	8% of residential FAR (8,880 SF)	8% of residential FAR (8,880 SF)
Roof Structures (4)		
Gross Floor Area	0.37	0.37
Number: 1 per core per bldg.	2	2 (see Z3 and Z4)
Maximum Height:	18'-6"	varies (see Z3 and Z4)
Setbacks:	Equal to Height of Roof Structure	varies (see Z3 and Z4)

	Required/Allowed	Provided
Off- Street Parking (5) (10)		
South Building - Stages 1 and 2 PUD		
Retail - @ 1/750 GSF above 3,000 GSF (11)	62,423 GSF	10
Theater - 1 space for 10 seats	1,250 seats	125
Residential -	112,000 GSF	36
Total parking required for South Building		171
North Building - Stage 1 PUD		
Retail	35,000 GSF	47
Office - If Option 1(6)	290,000 GSF	161
Residential- If Option 2 (7)	290,000 GSF	92
Total parking required for North Building		139 to 208
Total parking required for Project		310 to 379

	Required/Allowed	Provided
Off-Street Loading (10)		
South Building - Stages 1 and 2 PUD		
Retail (9)	62,423 GSF	1 berth @ 55'; 1 berth @ 30'; 1 berth @ 20'; 1 platform @ 100 SF; 1 platform @ 200 SF
Event space (1/10 seats)		None since < 30,000 GSF
Theater - 1 space for 10 seats	1,250 seats	1 berth @ 30'; 1 berth @ 20'; 1 platform @ 100 SF
Residential	112,000 GSF	1 berth @ 55'; 1 space @ 20'; 1 platform @ 200 SF
North Building - Stage 1 PUD		
Retail	35,000 GSF	No additional loading required.
Office - If Option 1 (6)	290,000 GSF	1 additional berth @ 30'; 1 additional platform @ 100 SF
Residential - If Option 2 (7)	290,000 GSF	1 berth @ 55'; 1 space @ 20'; 1 platform @ 200 SF

	Short Term spaces "required"	Short term spaces provided	Long Term spaces "required"	Long Term provided
Bicycle Parking South Building	Retail 1/3,500 sf = 2 spaces Theater 1/10,000 sf = 4 spaces 1/20 rest units = 5-6 spaces total = 11-12 spaces	approx 54 spaces	5 percent of 10 = 1 for retail 5 percent of 125 = 7 for theater 1/3 residential units = 39- 42 total = 47-50 spaces	8 in North Building 39-42 spaces 47-50 spaces
North Building	Retail 1/3,500 sf = 10 spaces Office 1/40,000 sf = 7 spaces or res 1/20 res units = 16-17 spaces total = 17-27 spaces	17-27 spaces in public space to be approved during Phase 2 and public space permitting process.	5 percent of 47 = 3 for retail 5 percent of 1616 = 8 spaces office 1/5 res units = 108-116 for res total = 119-127 spaces	111-119 spaces in North Bldg.

RESIDENTIAL UNITS (South Building)
The building will provide a combination of unit types that will be designed for the specific market and location. Units will range in types from studios to 3 bedrooms. The final unit count will be between 100 and 115 units. The final count and design of the units will be finalized at building permit to ensure delivery so as to provide market viability.

Indicates variance/special exception from zoning regulations Indicates changing variable between Z1 and Z2 sheets.

Notes:

- The Maximum building height is based on the width of 5th street (100' R.O.W.) for 120' allowable measured from the finished grade at the middle of the front of the buildings, at the top of the sidewalk of the internal plaza.
- The FAR is calculated based on record lot area. The FAR for each theoretical lot is compliant with DCMR Title 11 chapter 2517.
- In accordance with DCMR Title 11 chapter 2517 there are two buildings on two theoretical lots.
- Flexibility is being requested for non-uniform roof structure heights.
- The existing south building has a parking credit for existing footprint of 55,494 sf. Additional parking requirement calculated for addition of retail. Parking for the event space is included in the grandfathered parking credit running with the building. We have rounded up to be conservative.
- Option 1 : South building building program has market, theater and res in LOT 1 and North Building has retail and office program in LOT 2.
- Option 2 : South building building program has market, theater and res in LOT 1 and North Building has retail and residential program in LOT 2.
- The loading requirement for retail in excess of 30,000 GSF of retail use has been used to include all existing and proposed retail use, including the existing Market and event space.

PUD SUBMISSION 2014 JULY 3
(REVISED 2015 JANUARY 30)

ZONING TABULATIONS OPTION A RES

Z 1

1309 - 1329 5TH STREET NE

WASHINGTON, DC



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architects

ZONING TABULATIONS OPTION B OFFICE

DEAF SPACE PRINCIPLES

ZONING TABULATIONS OPTION B SOUTH BUILDING OFFICE

ZONING SUMMARY: C-3-C/ PUD

TOTAL SITE AREA: 85,820 sf

THEORETICAL LOTS: LOT 1 AREA: ~43,742 SF; LOT 2 AREA: ~42,078 SF

ZONING REGULATION	REQUIRED/ ALLOWED	PROVIDED
Maximum Building Height(1)	120'	120'
Maximum FAR(2):	8 total	6.30 (541,423 SF)
South Building LOT 1	8	2.52 (216,423 SF)
Retail		0.73 (62,423)
Theater		0.49 (42,000 SF)
Office		1.30 (112,000 SF)
North Building :Option 1 (6) LOT 2	8	3.78 (325,000 SF)
Retail		0.40 (35,000 SF)
Office		3.38 (290,000 SF)
North Building :Option 2 (7) LOT2	8	3.78 (325,000 SF)
Retail		0.40 (35,000 SF)
Residential		3.38 (290,000 SF)
Number of Buildings (3)	2	2
Green Area Ratio GAR:	0.2	0.2
Maximum Lot Occupancy:		84% Total Occupancy
South Building: LOT 1	commercial @ ground: 100%	90% For Theoretical Lot
North Building : Option 1/2 (6,7) LOT 2	commercial @ ground: 100%	77% For Theoretical Lot
Rear Yard Minimum:	all uses: 2-1/2"/ft (12' min)	
	27'	50' (using half of street R.O.W.)
Side Yard Minimum:	not required	not provided
Court-Open: Min. Width		
	commercial: 3"/ft (12' min)	See diagram sheet Z3 and Z4
	residential: 4"/ft (15' min)	See diagram sheet Z3 and Z4
Court-Closed: Area		
(width same as open)	commercial: 250 sf min., or 2 x width squared	See diagram sheet Z3 and Z4
	residential: 350 sf min., or 2 x width squared	See diagram sheet Z3 and Z4

Roof Structures (4)		
Gross Floor Area	0.37	0.37
Number: 1 per core per bldg.	2	2 (see Z3 and Z4)
Maximum Height:	18'-6"	varies (see Z3 and Z4)
Setbacks:	Equal to Height of Roof Structure	varies (see Z3 and Z4)

	Required/Allowed	Provided
Off-Street Parking (5) (10)		
South Building - Stages 1 and 2 PUD		
Retail - @ 1/750 GSF above 3,000 GSF (11)	62,423 GSF	10
Theater - 1 space for 10 seats	1,250 seats	125
Office - @ 1/1800 GSF above 2,000 GSF	112,000 GSF	63
Total parking required for South Building		198
North Building - Stage 1 PUD		
Retail	35,000 GSF	47
Office - If Option 1(6)	290,000 GSF	161
Residential- If Option 2 (7)	290,000 GSF	92
Total parking required for North Building		139 to 208
Total parking required for Project		337 to 406
Off-Street Loading (10)		
South Building - Stages 1 and 2 PUD		
Retail (9)	62,423 GSF	1 berth @ 55'; 1 berth @ 30'; 1 berth @ 20'; 1 platform @ 100 SF; 1 platform @ 200 SF
Event space (1/10 seats)		None since < 30,000 GSF
Theater - 1 space for 10 seats	1,250 seats	1 berth @ 30'; 1 berth @ 20'; 1 platform @ 100 SF
Office	112,000 GSF	2 berths @ 30'; 1 berth @ 20'; 2 platforms @ 100 SF
North Building - Stage 1 PUD		
Retail	35,000 GSF	No additional loading required.
Office - If Option 1 (6)	290,000 GSF	1 additional berth @ 30'; 1 additional platform @ 100 SF
Residential - If Option 2 (7)	290,000 GSF	1 berth @ 55'; 1 space @ 20'; 1 platform @ 200 SF
Bicycle Parking South Building	Short Term spaces "required": Retail 1/3,500 sf = 2 spaces Theater 1/10,000 sf = 4 spaces Office 1/40,000 sf = 3 spaces total = 9 spaces	Short term spaces provided approx 54 spaces
		Long Term spaces "required": 5 percent of 10 = 1 for retail 5 percent of 125 = 7 for theater 5 percent of 63 = 3 for office total = 11 spaces
		Long Term provided 8 in North Building 3 in South Building 11 spaces
North Building	Short Term spaces "required": Retail 1/3,500 sf = 10 spaces Office 1/40,000 sf = 7 spaces or res 1/20 res units = 16-17 spaces total = 17-27 spaces	Short term spaces provided 17-27 spaces in public space to be approved during Phase 2 and public space permitting process.
		Long Term spaces "required": 5 percent of 47 = 3 for retail 5 percent of 1616 = 8 spaces office 1/3 res units = 106-116 for res total = 119-127 spaces
		Long Term provided 111-119 spaces in North Bldg.

Indicates variance/special exception from zoning regulations

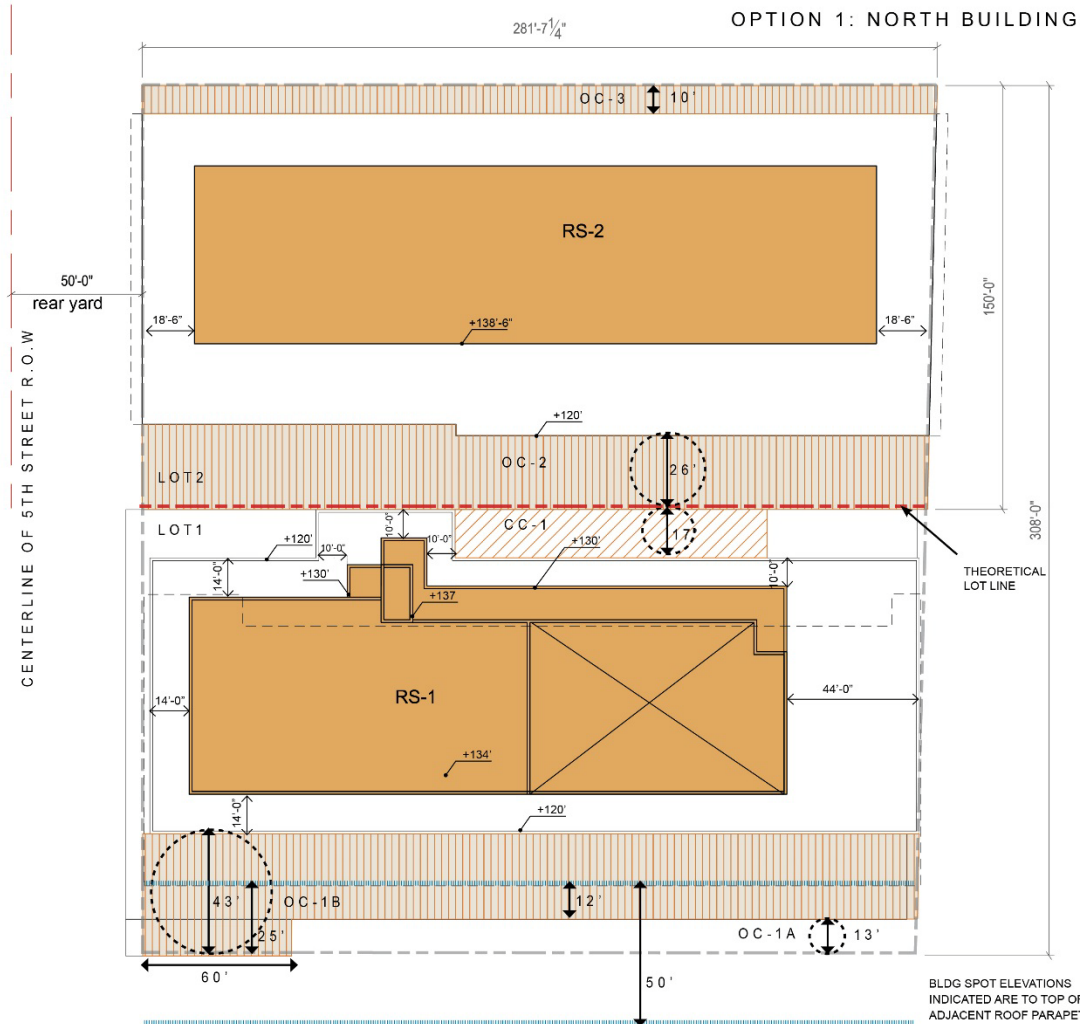
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Notes:

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ZONING PLANS OPTION 1

OPTION 1: NORTH BUILDING OFFICE OPTION



SCHEDULE OF ROOFTOP STRUCTURE HEIGHTS/ SETBACK			
Rooftop Structure	Height	Required Setback	Proposed Setback
RS-1 (3)	10'-0" / 14'-0" / 17'-0"	10'-0" / 14'-0" / 17'-0"	10'-0" / 14'-0" / 17'-0"
RS-2	18'-6"	18'-6"	18'-6"

OPEN COURT	COMMERCIAL		RESIDENTIAL	
	REQUIRED WIDTH	PROVIDED WIDTH	REQUIRED WIDTH	PROVIDED WIDTH
OC-1A @ theater	12'	12'	13'	13'
OC-1B @ office/res	12'-6"	12'-6"	30'	30'
OC-2	30'	30'	26'	26'
OC-3	26.5'	26.5'	10'	10'

CLOSED COURT	REQUIRED WIDTH	PROVIDED WIDTH	REQUIRED AREA	PROVIDED AREA
CC-1 (office)	33.5'	17'	2245	1800
CC-1 (resi)	40'	17'	3200	1800

Indicates variance/special exception from zoning regulations

NOTES:

- DIMENSIONS ON THIS SHEET ILLUSTRATE ROOF STRUCTURE PLAN, REAR YARD PLAN, AND OPEN COURTS PLAN
- SEE ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
- SPECIAL EXCEPTION FOR ROOF STRUCTURE WITH MULTIPLE HEIGHTS

LEGEND

- PROPERTY LINE
- THEORETICAL LOT LINE
- ROOF STRUCTURES
- ▨ CLOSED COURT
- ▤ OPEN COURT
- ⊕ OPEN/ CLOSED COURT WIDTH
- PRIVATE EASEMENT (MATCHES NEIL PLACE R.O.W.)

PROJECTIONS SHOWN WILL REQUIRE REVIEW AND APPROVAL BY DCRA AND ARE SUBJECT TO MODIFICATION AT THE REQUEST OF DCRA DURING SUCH PROCESS.

ROOF STRUCTURE PLAN/
REAR YARD PLAN/ OPEN COURTS PLAN

1309 - 1329 5TH STREET NE WASHINGTON, DC

PUD SUBMISSION 2014 JULY 3
(REVISED 2015 JANUARY 30)

ZONING PLANS: OPTION-1

Z3