

GREEN BUILDING – LEED



LEED 2009 for New Construction and Major Renovation Project Scorecard

Project Name: UMOT
Project Address: 1309 5th Street NE

Yes	?	No	
17	4	5	SUSTAINABLE SITES

Y			Prereq					Required
1	0	0	Credit 1	Construction Activity Pollution Prevention				1
5			Credit 2	Site Selection				5
		1	Credit 3	Development Density and Community Connectivity				1
6			Credit 4.1	Brownfield Redevelopment				6
		1	Credit 4.2	Alternative Transportation - Public Transportation Access				1
		3	Credit 4.3	Alternative Transportation - Bicycle Storage and Changing Rooms				3
2			Credit 4.4	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles				2
	1		Credit 4.5	Alternative Transportation - Parking Capacity				1
	1		Credit 5.1	Site Development - Protect or Restore Habitat				1
	1		Credit 5.2	Site Development - Maximize Open Space				1
1			Credit 6.1	Stormwater Design - Quantity Control				1
	1		Credit 6.2	Stormwater Design - Quality Control				1
1			Credit 7.1	Heat Island Effect - Nonroof				1
1			Credit 7.2	Heat Island Effect - Roof				1
	1		Credit 8	Light Pollution Reduction				1

Yes	?	No	
6	3	1	WATER EFFICIENCY

Y			Prereq					Required
4			Credit 1	Water Use Reduction				4
	2		Credit 2	Water Efficient Landscaping				2 to 4
2	1	1	Credit 3	Innovative Wastewater Technologies				2
			Credit 3	Water Use Reduction				2 to 4

Yes	?	No	
11	7	17	ENERGY & ATMOSPHERE

Y			Prereq					Required
Y			Prereq 1	Fundamental Commissioning of Building Energy Systems				Required
Y			Prereq 2	Minimum Energy Performance				Required
Y			Prereq 3	Fundamental Refrigerant Management				Required
9	3	7	Credit 1	Optimize Energy Performance				1 to 19
		7	Credit 2	On-Site Renewable Energy				1 to 7
	2		Credit 3	Enhanced Commissioning				2
	2		Credit 4	Enhanced Refrigerant Management				2
		3	Credit 5	Measurement and Verification				3
2			Credit 6	Green Power				2

Yes	?	No	
3	6	5	MATERIALS & RESOURCES

Y			Prereq					Required
		3	Credit 1.1	Storage and Collection of Recyclables				Required
		1	Credit 1.2	Building Reuse - Maintain Existing Walls, Floors and Roof				1 to 3
2			Credit 2	Building Reuse - Maintain Interior Nonstructural Elements				1
	2		Credit 3	Construction Waste Management				1 to 2
1	1		Credit 4	Materials Reuse				1 to 2
	2		Credit 5	Recycled Content				1 to 2
	1		Credit 6	Regional Materials				1 to 2
		1	Credit 7	Rapidly Renewable Materials				1
		1	Credit 7	Certified Wood				1

Yes	?	No	
8	2	5	INDOOR ENVIRONMENTAL QUALITY

Y			Prereq					Required
Y			Prereq 1	Minimum Indoor Air Quality Performance				Required
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control				Required
		1	Credit 1	Outdoor Air Delivery Monitoring				1
		1	Credit 2	Increased Ventilation				1
1			Credit 3.1	Construction Indoor Air Quality Management Plan - During Construction				1
	1		Credit 3.2	Construction Indoor Air Quality Management Plan - Before Occupancy				1
1			Credit 4.1	Low-Emitting Materials - Adhesives and Sealants				1
1			Credit 4.2	Low-Emitting Materials - Paints and Coatings				1
1			Credit 4.3	Low-Emitting Materials - Flooring Systems				1
	1		Credit 4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products				1
1			Credit 5	Indoor Chemical and Pollutant Source Control				1
1			Credit 6.1	Controllability of Systems - Lighting				1
1			Credit 6.2	Controllability of Systems - Thermal Comfort				1
1			Credit 7.1	Thermal Comfort - Design				1
		1	Credit 7.2	Thermal Comfort - Verification				1
		1	Credit 8.1	Daylight and Views - Daylight				1
		1	Credit 8.2	Daylight and Views - Views				1

Yes	?	No	
5	1	0	INNOVATION IN DESIGN

Y			Prereq					Required
4	1		Credit 1	Innovation in Design				1 to 5
1			Credit 2	LEED® Accredited Professional				1

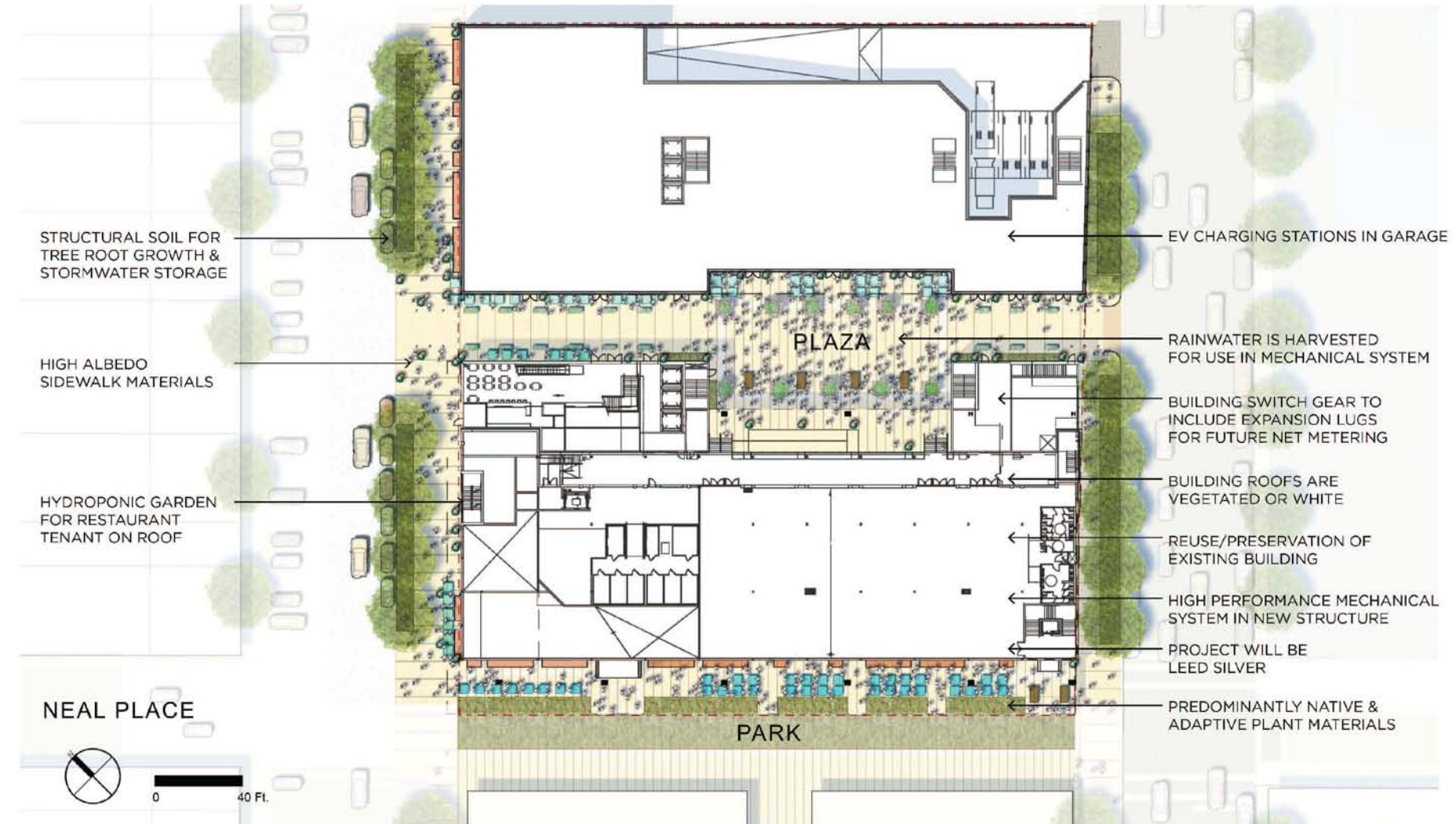
Yes	?	No	
1	1	2	REGIONAL PRIORITY

Y			Prereq					Required
1	1	2	Credit 1	Regional Priority				1 to 4

Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points

Scorecard above shows one of the possible ways to achieve LEED Silver certification. Other scenarios could be considered as well.

SUSTAINABILITY MEASURES



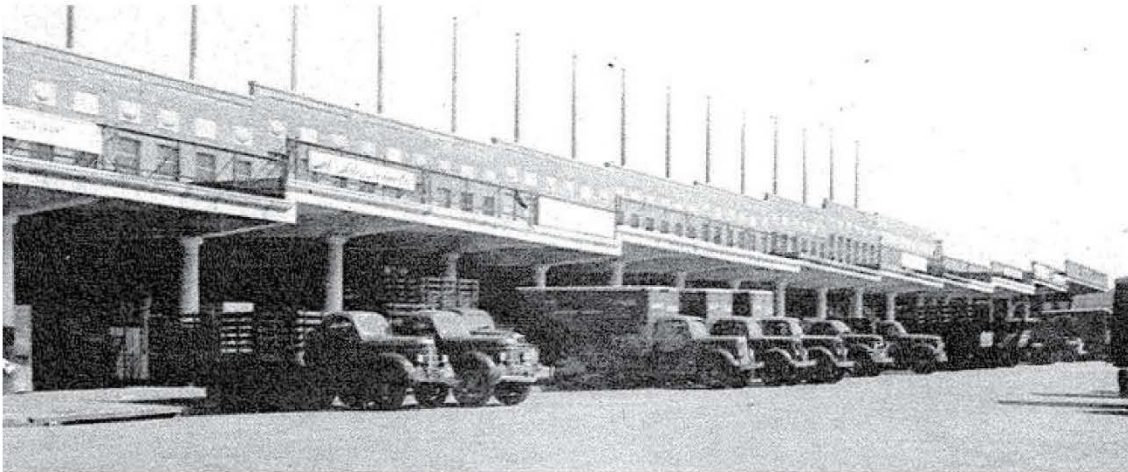
1309 - 1329 5TH STREET NE WASHINGTON DC

PUD SUBMISSION 2014 JULY 3
 10:00AM - 12:00PM

LANDSCAPE - GREEN INITIATIVES | LD2

We have one opportunity
to shape our places; after
that these places will shape our
communities for generations.

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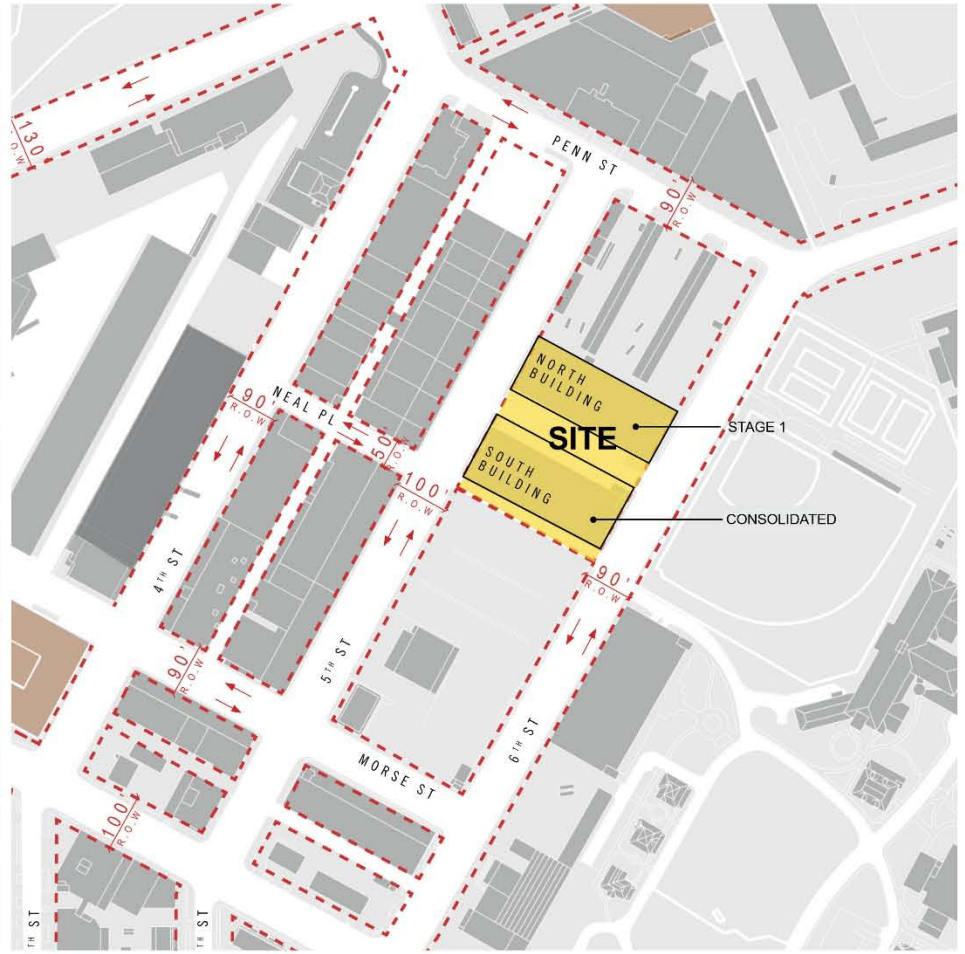
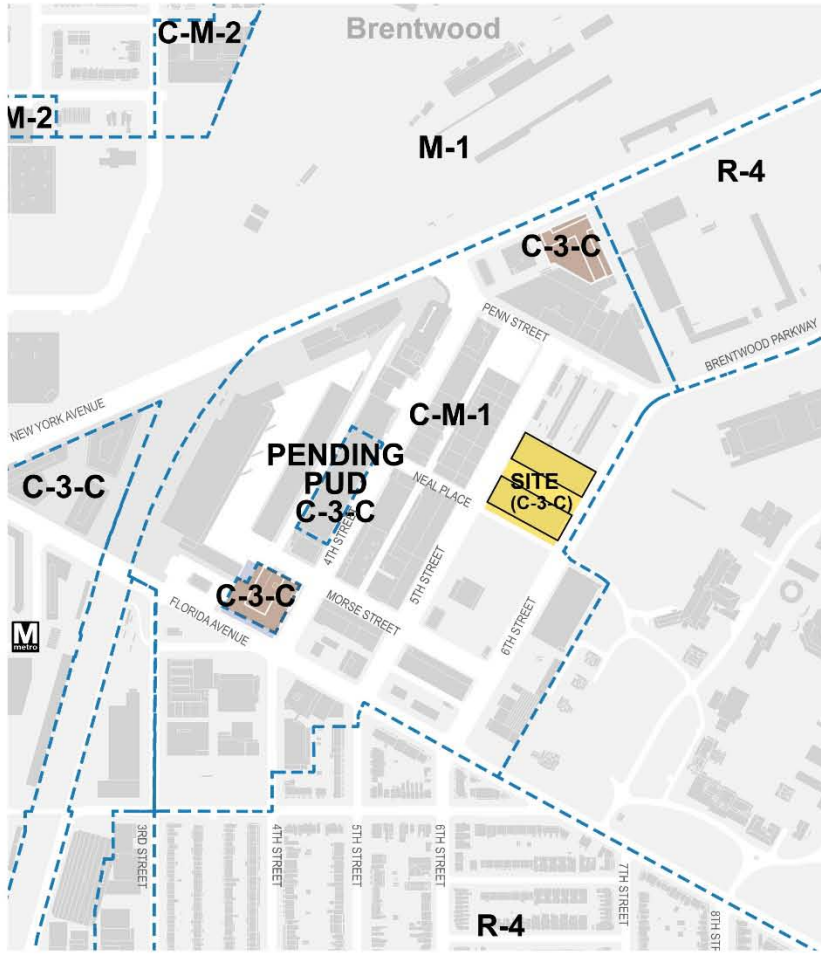
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CITY ZONING PLAN/ STREET R.O.W. DIAGRAM



SITE PHOTOGRAPHS



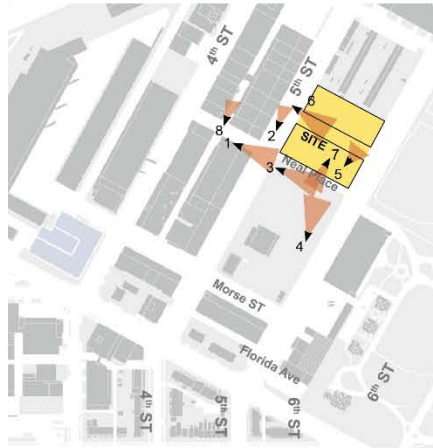
SOUTH OPEN SPACE



EAST



FRONT FACADE



1



2



3



4



5



6



WEST



7



8

URBAN CONTEXT DIAGRAM



PLAZA PRECEDENTS



Hafencity: Hamburg, Germany



Hamburg, Germany



Bethesda Row



Pearl District: Portland, OR



Sydney, Australia

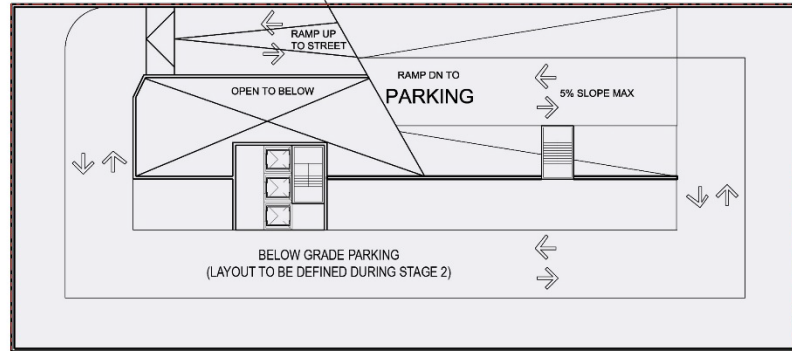


Cady's Alley: DC

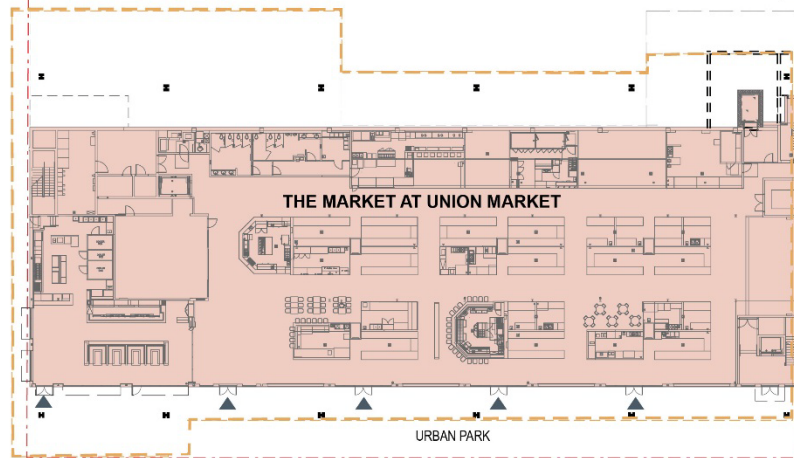


Stone Street: NYC

PLANS



- NOTES:**
1. REFER TO ROOF PLAN FOR OVERALL BUILDING DIMENSIONS.
 2. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF THEATER BOXES, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING GARAGE LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 3. ALL SPOT ELEVATIONS ARE RELATIVE TO THE MEASURING POINT, ASSUMED FOR THESE DRAWINGS TO BE +0'-0".
 4. ALL BALCONY LOCATIONS SHOWN ARE ILLUSTRATIVE; SIZE/ LOCATION ARE SUBJECT TO CHANGE.



- LEGEND**
- PROPERTY LINE
 - CORE/ SERVICE
 - RETAIL
 - EVENT
 - THEATER
 - OFFICE OR RESIDENTIAL
 - PARKING
 - TERRACE
 - ROOF
 - OFFICE
 - LINE OF THEATER ABOVE
 - ← DIRECTION OF TRAFFIC FLOW
 - ▶ PEDESTRIAN RETAIL ENTRANCE/ EXIT

5TH ST NE
TWO-WAY
100' R.O.W.

6TH ST NE
TWO-WAY
90' R.O.W.

NOTE:
SOUTH BUILDING FIRST FLOOR LAYOUT AND PORTIONS OF SECOND FLOOR LAYOUT DEPICTED ARE THE CURRENT LAYOUTS OF THE MARKET AT UNION MARKET AND ARE SUBJECT TO CHANGE OVER TIME, INCLUDING THE CREATION OF SEPARATE RETAIL USES WITH INDIVIDUAL ENTRANCES.

NOTE: SEE SHEET L1 FOR LANDSCAPE PLAN

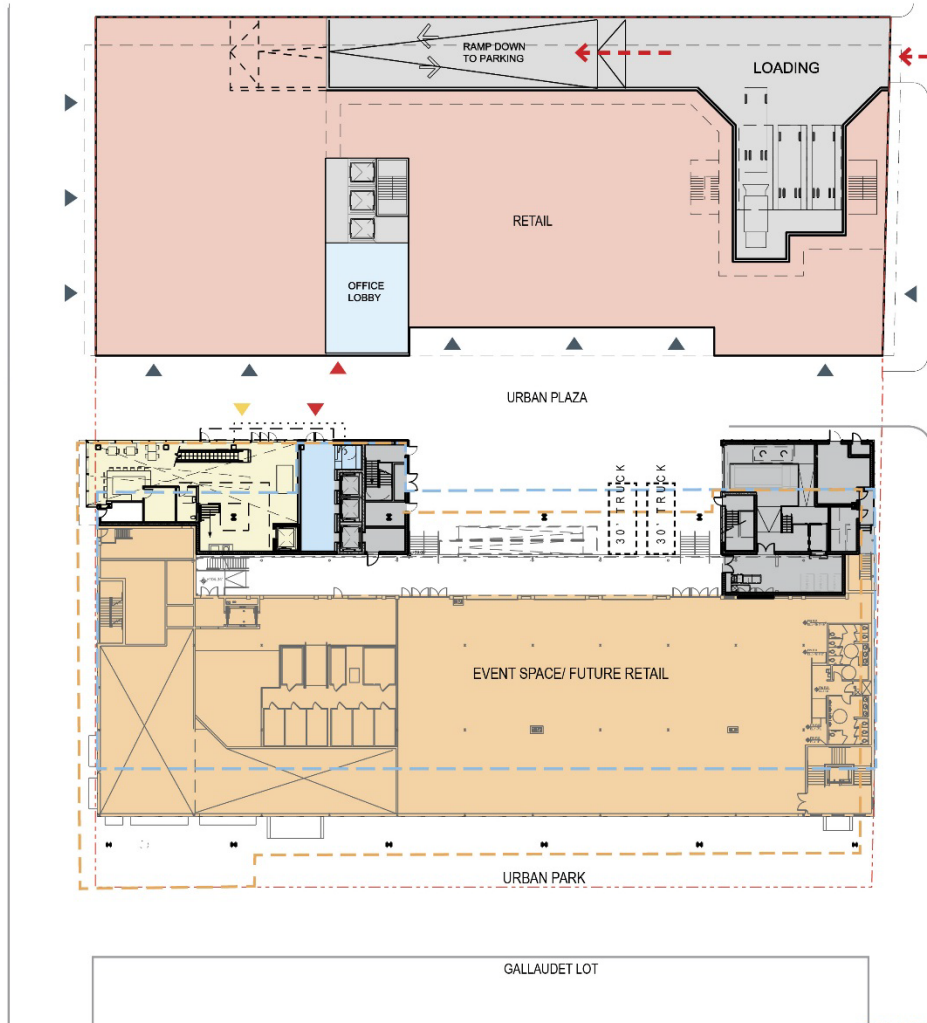
1309 - 1329 5TH STREET NE WASHINGTON, DC

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(REVISED 2015 JANUARY 30)

OPTION 1 (NORTH BUILDING OFFICE OPTION)
GROUND FLOOR PLAN 1"=40'

A1

PLANS



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 4. PROJECTIONS SHOWN WILL REQUIRE REVIEW AND APPROVAL BY DCRA AND ARE SUBJECT TO MODIFICATION AT THE REQUEST OF DCRA DURING SUCH PROCESS.
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- LEGEND
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 - - - LINE OF THEATER ABOVE
 - - - LINE OF OFFICE ABOVE
 - ← DIRECTION OF TRAFFIC FLOW
 - VEHICULAR ENTRANCE/ EXIT
 - ▶ PEDESTRIAN OFFICE OR RESIDENTIAL ENTRANCE/ EXIT
 - ▶ PEDESTRIAN RETAIL ENTRANCE/ EXIT
 - ▶ PEDESTRIAN THEATER ENTRANCE/ EXIT

NOTE:
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OPTION 1 (NORTH BUILDING OFFICE OPTION)
EVENT LEVEL PLAN 1"= 40'

A2

PLANS



NOTES:

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LEGEND

- PROPERTY LINE
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