

*John Stokes*

**REDFIN.**

**1521 VARNUM St NORTHW...**  
WASHINGTON, DC 20011

Status: Active

**\$1,849,000**

Price

**0**

Beds

**—**

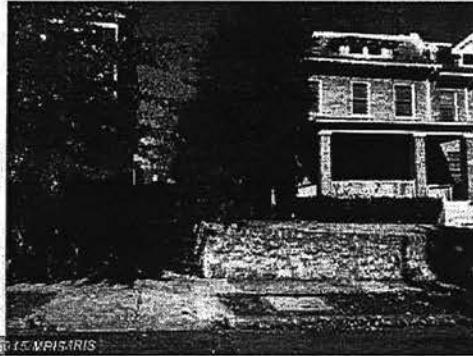
Baths

**—**

Sq. Ft.

Built: 1923 Lot Size: 5,956 Sq. Ft. Cumulative: 1 day On Redfin: 1 day

NEW



1521 VARNUM ST

1 of 1



**\*\* Approved 7 Condo Units \*\*** Permits and plans approved for 7 - 2 bedroom, 2.5 bath w/ den luxury condos. Corner unit, 4 car parking, 1380 sq. ft. per unit (approx. ), 23' wide side yard, lots of light. Inquire for more details. Buyer will split recordation if Household Title is used.

County WASHINGTON-DC

Style Colonial

Community 16TH STREET HEIGHTS

MLS# DC8529830

Property Type Semi-Detached

Stories 4

County District of Columbia

Listing provided courtesy of

Samer Kuraishi, A-K Real Estate, Inc.

Source

MRIS

Redfin last checked: 47 minutes ago | Last updated: 2 hours ago

Redfin has the best data. [Why?](#)

BUY & SELL

REAL ESTATE AGENTS

TOOLS ▼

**Katie Scire**

Real Estate Agent

Katie recently closed 32 homes in Washington

\$16,219 commission refund



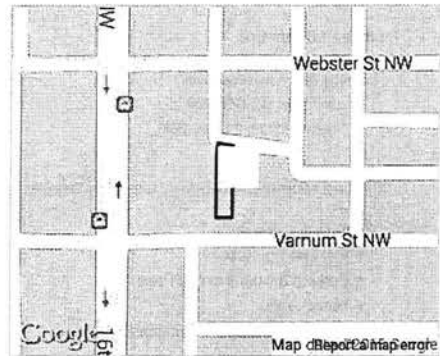
[Go Tour This Home](#)

[Ask Katie a Question or Start an Offer](#)

1 of 4 Redfin Agents in this area

**(202) 765-0777**

Questions? Call Katie's Team



[Expand Map](#) | [Street View](#) | [Directions](#)

Please add a private note about this home...

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[Map Nearby Homes](#)

[Price Home](#)

[Print This Listing](#)

\$7,300/mo. (30yr)

[Problem?](#)



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## Nearby Similar Homes

[Map These Listings](#)



0.5 mi.

**\$849,999**

**4**

**3.5**

**2,250**

1506 SPRING PI NOR... WASHINGTON, DC 20010

Beds

Baths

Sq. Ft.



0.5 mi.

**\$710,000**

**2**

**3**

**2,228**

905 VARNUM St NOR... WASHINGTON, DC 20011

Beds

Baths

Sq. Ft.



0.5 mi.

**\$895,000**

**4**

**4**

**2,580**

3535 HERTFORD PI N... WASHINGTON, DC 20010

Beds

Baths

Sq. Ft.

**ZONING COMMISSION**  
District of Columbia

CASE NO. 14-11

EXHIBIT NO. 21

CASE NO. 14-11

EXHIBIT NO. 21

1/9/2015 3:43 PM

## Property Details

Details provided by MRIS and may not match the public record. [Learn More](#).

<b>Interior Features</b>		
<b>Dining &amp; Kitchen</b> <ul style="list-style-type: none"><li>• Other (See Remarks)</li></ul> <b>Heating &amp; Cooling</b> <ul style="list-style-type: none"><li>• Central Heat</li><li>• Natural Gas Heating</li><li>• Central A/C</li></ul>	<ul style="list-style-type: none"><li>• Electric Cooling</li></ul> <b>Fireplace Information</b> <ul style="list-style-type: none"><li>• # of Fireplaces: 1</li></ul> <b>Handicap Features</b> <ul style="list-style-type: none"><li>• Other</li></ul>	<b>Basement Information</b> <ul style="list-style-type: none"><li>• Has Basement</li><li>• Unfinished</li><li>• Connect Stair, Rear Entrance</li></ul>
<b>Exterior Features</b>		
<b>Water &amp; Sewer</b> <ul style="list-style-type: none"><li>• Public Sewer</li><li>• Public Water</li></ul>	<ul style="list-style-type: none"><li>• Hot Water: Natural Gas</li></ul>	<b>Building Information</b> <ul style="list-style-type: none"><li>• Brick Exterior</li></ul>
<b>Property / Lot Details</b>		
<b>Property Information</b> <ul style="list-style-type: none"><li>• Condition: Shell, Scope Project, To Be Built</li><li>• Tax Legal Subdivision: 16TH STREET HEIGHTS</li><li>• Block or Square: 2698</li></ul>	<ul style="list-style-type: none"><li>• Election District: 4</li></ul> <b>Lot Information</b> <ul style="list-style-type: none"><li>• Lot #: 816</li><li>• Acres (Lot Area): 0.136731</li></ul>	<b>Land Use Information</b> <ul style="list-style-type: none"><li>• Unknown Soil</li></ul>
<b>Listing Information</b>		
<b>Listing Price Information</b> <ul style="list-style-type: none"><li>• Low Price: \$1,849,000</li><li>• Original Price: \$1,849,000</li></ul>	<b>Listing Information</b> <ul style="list-style-type: none"><li>• Listing Date: Thursday, January 8, 2015</li><li>• Status Change Date: Thursday, January 8, 2015 6:59 PM</li></ul>	<ul style="list-style-type: none"><li>• Type: Exclusive Right To Sell</li><li>• Not a Potential Short Sale</li></ul>
<b>Parking / Garage, Financing, Location Details &amp; Misc. Information</b>		
<b>Parking &amp; Garage</b> <ul style="list-style-type: none"><li>• # of Garage Spaces: 2</li><li>• Parking Included in List Price</li><li>• Has Garage</li><li>• Detached Garage, Front Loading Garage</li></ul> <b>Finances &amp; Fees</b> <ul style="list-style-type: none"><li>• Possession: Negotiable</li></ul>	<b>Location Information</b> <ul style="list-style-type: none"><li>• Directions: North on 16th Street NW; East on Varnum Street to 1521</li></ul> <b>Assessment Information</b> <ul style="list-style-type: none"><li>• Total Assessment Frequency: Annually</li></ul>	
<b>Documents &amp; Disclosures</b>		
<b>Documents &amp; Disclosures</b> <ul style="list-style-type: none"><li>• Other, Property Disclaimer, Lead Based Paint</li></ul>		

## Ask Redfin Agent Katie a Question

We're here to help! Katie will contact you within four business hours.

I'm considering ☐ Buying ☐ Selling



**Katie Scire**

(34 reviews)

35 Deals Last 12mo, 38+ Lifetime  
DC

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## Redfin Tour Insights for 1521 VARNUM St NORTHWEST

[Follow This Home](#)

## No Tour Insights on This Home

We haven't left any insights about this home yet, but as soon as we do, we'll leave our thoughts here.

[Notify Me When Tour Insights Are Added...](#)

## Property History

[Follow This Home](#)**Records** For completeness, Redfin often displays two records for one sale: the MLS record and the public record. [Learn More.](#)

Date	Event	Price	Appreciation	Source
Jan 8, 2015	Listed (Active)	\$1,849,000	—	MRIS #DC8529830
Jul 8, 2014	Delisted	—	—	MRIS #DC8351169
Jul 8, 2014	Sold (Public Records)	\$850,000	86.9%/yr	Public Records
Jul 2, 2014	Price Changed (Sold)	**	—	MRIS #DC8351169
Jul 2, 2014	Sold (MLS) (Sold)	\$850,000	—	MRIS #DC8351169
May 20, 2014	Pending (Contract)	—	—	MRIS #DC8351169
May 16, 2014	Listed (Active)	**	—	MRIS #DC8351169
Nov 3, 2006	Sold (Public Records) This sale was flagged as a possibly abnormal transaction.	\$7,000	—	Public Records

\*\* Price available after [signing in](#).


## Pricing Estimates

## Home Value Tool

Compare this home to nearby recent sales and see what it's really worth.

[Price This Home](#)

## Zillow Zestimate®

	\$841,511	Est.
	\$757,360	Low
	\$925,662	High

How accurate is Zillow?

\$742,998	Est.
\$631,548	Low
\$854,447	High

## Public Records

Public records are from [District of Columbia](#) and may not match the MLS record. [Learn More.](#)

## Basic Info

Beds	4	Style	Townhouse
Baths	2.5	Finished Sq. Ft.	2,380
Floors	2	Unfinished Sq. Ft.	1,190
Year Built	1923	Total Sq. Ft.	3,570
Year Renovated	—	Lot Size	—
County <a href="#">District of Columbia</a> APN 26980817 County Data Refreshed Jul 22, 2014			

## Taxable Value

Land	\$246,200
Additions	\$389,410
Total	\$635,610
Taxes (2013)	<b>\$5,398</b>
<a href="#">When Will This Info Update?</a>	

## Activity for 1521 VARNUM St NORTHWEST

## Redfin Activity

<b>76 Views</b> 375 all-time	<b>2 Favorites</b> 21 all-time	<b>0 X-Outs</b> 4 all-time	<b>0 Redfin Tours</b>
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## Featured Collections in this Area

## Mentions / Trackbacks

## No Mentions of This Property

Bloggers, have you written about this property? Make sure you add your post on the right and add to the history of this home.

Bloggers, Have You Written About This Home?

[Add Your Post to This Page.](#)



Homes with incredible views

Brian Gaverth

Cover photo from [13602 Marsh Rd, BEALETON, VA](#), listed by Karen Weimer, Arista Real Estate. MLS#: FQ8465183



Cool Exteriors in VA

Tammy Trenholm

Cover photo from [19931 Ebenezer Church Rd, BLUEMONT, VA](#), listed by Mary Ann McGowan, Thomas & Talbot Real Estate. MLS#: LO7814112

## Schools for 1521 VARNUM St NORTHWEST

School data provided by [GreatSchools](#). School service boundaries are intended to be used as reference only. To verify enrollment eligibility for a property, contact the school directly.

Serving This Home    Nearby Elementary    Nearby Middle    Nearby High

Serves Home	School Name & GreatSchools Rating	Type	Grades	Parent Rating	Distance	Homes
	<a href="#">Powell Elementary School</a>	Public	Preschool to 5		0.24 mi	
	<a href="#">Deal Middle School</a>	Public	6 to 8		2.25 mi	
	<a href="#">Roosevelt High School @ MacFarland</a>	Public	9 to 12		0.44 mi	
—	<a href="#">Sharpe Health School</a>	Public	Preschool to 12	n/a	0.23 mi	
	<a href="#">Powell Elementary School</a>	Public	Preschool to 5		0.24 mi	
—	<a href="#">Community Academy Pcs - Amos I</a>	Public	Preschool to 5		0.27 mi	
—	<a href="#">Tots Developmental School</a>	Private	Preschool to K	n/a	0.34 mi	
—	<a href="#">Bridges Pcs</a>	Public	Preschool to 1		0.42 mi	
—	<a href="#">Raymond Education Campus</a>	Public	Preschool to 8		0.71 mi	
—	<a href="#">Sacred Heart School</a>	Catholic	Preschool to 8		0.76 mi	

**GOVERNMENT OF THE DISTRICT OF COLUMBIA  
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS  
OFFICE OF THE ZONING ADMINISTRATOR**

August 11, 2014

Via Emailed PDF and US Mail



Martin P. Sullivan, Esq.  
Sullivan & Barros, LLP  
1990 M Street, NW, Suite 200  
Washington, DC 20036

Re: Minor Flexibility for Minimum Lot Area – 1521 Varnum Street, NW

Dear Mr. Sullivan:

You have asked me to confirm compliance with the Zoning Regulations of the minimum lot area requirement under § 401.3 for your client's proposed development at 1521 Varnum Street, NW (Square 2698, Lot 817) (the "Property"), in conjunction with the grant of minor flexibility pursuant to § 407.1.

According to the records of the Office of Tax and Revenue, the Property has a land area of 6,279 square feet. According to the DC Office of Zoning the Property is zoned R-4 [A Location Survey and a Zoning Certification is attached as Exhibit A]. The Property currently consists of a structure (the "Existing Structure") which existed prior to May 12, 1958. The Existing Structure has been used as a one-family dwelling.

You have represented that the proposed development would consist of an addition to the Existing Structure and a conversion to a seven (7)-unit apartment house, and also that the proposed development will comply with lot occupancy, side yard, height, and all other area requirements. I have not reviewed this proposal for compliance with any requirements other than the minimum lot area requirements under § 401.

Minimum Lot Area – Zoning Administrator Flexibility

For the proposed conversion to a seven-unit apartment house, the minimum lot area required is 6,300 square feet. As noted above, the lot area for the Property is 6,279 square feet, approximately 21 feet short of the minimum required amount, or 0.33%. Pursuant to § 407.1 of the Zoning Regulations, the Zoning Administrator is authorized to permit a deviation not to exceed two percent (2%) of the area requirements of § 401 for minimum lot dimensions, provided that:

- "(a) A building shall be allowed to deviate from the requirements of no more than two (2) of the sections identified in this subsection; and

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1100 4<sup>th</sup> Street, SW 3<sup>rd</sup> Floor Washington, D.C. 20024  
Phone: (202) 442-4576 Fax: (202) 442-4871



- (b) The deviation or deviations shall be deemed by the Zoning Administrator not to impair the purpose of the otherwise applicable regulations."

Being only approximately 0.33% short of 6,300 square feet, the Property is eligible for Zoning Administrator flexibility, provided that conditions (a) and (b), above, are satisfied. In my opinion, this proposal does in fact meet those conditions. Therefore, I will grant the necessary deviation for the reasons described herein.

The proposal meets condition (a) because deviation from §401.3 is the only deviation requested. Regarding condition (b), I have deemed the 0.33% deviation to not impair the purpose of the otherwise applicable regulations.

Reference is first made to BZA Order No. 18108 for a discussion of Subsection § 407.1 (b) as it relates to minimum lot area. In BZA Order No. 18108, the BZA affirmed a decision of the Zoning Administrator in granting a deviation under § 407.1 from the minimum lot area requirements, allowing a single record lot to be divided into two separate buildable record lots, despite one of the lots being short of the required 5,000 square-foot minimum lot area.

The Board noted generally in that BZA Order that "in creating § 407.1, the Zoning Commission...gave the ZA authority to permit minor deviations from certain provisions of the Zoning Regulations so as to alleviate the need to seek *de minimus* zoning relief from the Board." (p.5 of the Order.) The Board also noted that the Zoning Commission left this determination "to the discretion of the ZA in implementing the Zoning Regulations governing a particular property." (p.6 of the Order.)

Among the factors that the Zoning Administrator may consider in making the determination of compliance with § 407.1(b) are (i) compliance with other applicable zoning requirements, (ii) the purpose of the applicable zone district, (iii) the degree of deviation, and (iv) the configuration of a property in relation to adjacent lots. An evaluation of these items in relation to this proposal allows me to deem that the requested deviation does not impair the purpose of the otherwise applicable regulations.

As discussed, the Proposal will otherwise comply with all other applicable zoning regulations. The degree of deviation requested is one-third of one percent, which will have no apparent impact on adjacent properties and can be considered virtual compliance with the lot area requirement, as the Property has 99.66% of the required land area to support seven (7) units. In addition, granting the deviation will not cause an increase in the overall density of the proposed project, or in the lot occupancy, or likely number of occupants. It will, rather, allow the provision of seven units at market size for an apartment house in the District, rather than six slightly larger units possibly with more bedrooms overall. Despite the additional unit, the lot

occupancy, height, density, and other aspects of the Property will not be increased as a result of the requested deviation.

The R-4 District is designed to include those areas now developed primarily with row dwellings, but within which there have been a substantial number of conversions of the dwellings into dwellings for two (2) or more families. The primary purpose of the R-4 District shall be the stabilization of remaining one-family dwellings. The granting of the deviation in this case will not impair the purpose of the R-4 District, since an addition and a conversion to a six-unit apartment house is already permitted as a matter-of-right on the Property. In fact, the change between 6 units and 7 units is a much smaller change than that granted in the decision appealed in BZA Appeal No. 18108, in which the number of units was doubled, and the minor flexibility resulted in a completely new one-family dwelling which would not have been permitted without that flexibility.

I have also considered the configuration and size of the Property, relative to surrounding properties, in my decision to grant minor flexibility here. Because of its relative narrow width compared to its overall size (it is the deepest lot in its square), and the location of the Existing Structure, the Property cannot be subdivided to provide any additional units or lots. In other words, unless the Existing Structure is razed, you cannot subdivide the Property at all. Also, the Property jogs in on the west boundary line at the rear of the Property, without which it appears that the Property would meet the minimum required lot area of 6,300 square feet. I note also that there is no reasonable opportunity to add any land to the Property in order to reach the required minimum amount of land area.

In summary, the overriding factors in my decision that the requested relief does not impair the purpose of the otherwise applicable regulations include: (i) the extremely small amount of deviation required, (ii) the uniqueness of this Property compared to surrounding properties, (iii) the relative consistency in character between a 6-unit building and a 7-unit building, (iv) the fact that the 7-unit configuration provides fairly large living units (1,350 square feet) for an apartment house in the District, (v) the fact that this decision does not allow for any increase in the overall density or bulk of the proposed project, and (vi) the consistency of this decision with past decisions of the Zoning Administrator and the Board of Zoning Adjustment regarding minor flexibility for minimum lot area.

Based on all of these factors, I have deemed that an approximate 0.33% deviation in the minimum lot area requirement of § 401.3 would not impair the purpose of the otherwise application regulations. Therefore, I will permit the requested deviation under § 407.1 to allow the proposal for a matter-of-right addition and a conversion to a seven-unit apartment house at 1521 Varnum Street, NW. Such deviation also applies to any subdivision required to convert tax

lot 817 into a record lot, provided the resulting record lot is at least 6,279 square feet in land area.

Please feel free to contact me if you have any questions.

Sincerely, Matthew Le Grant  
Matthew Le Grant  
Zoning Administrator

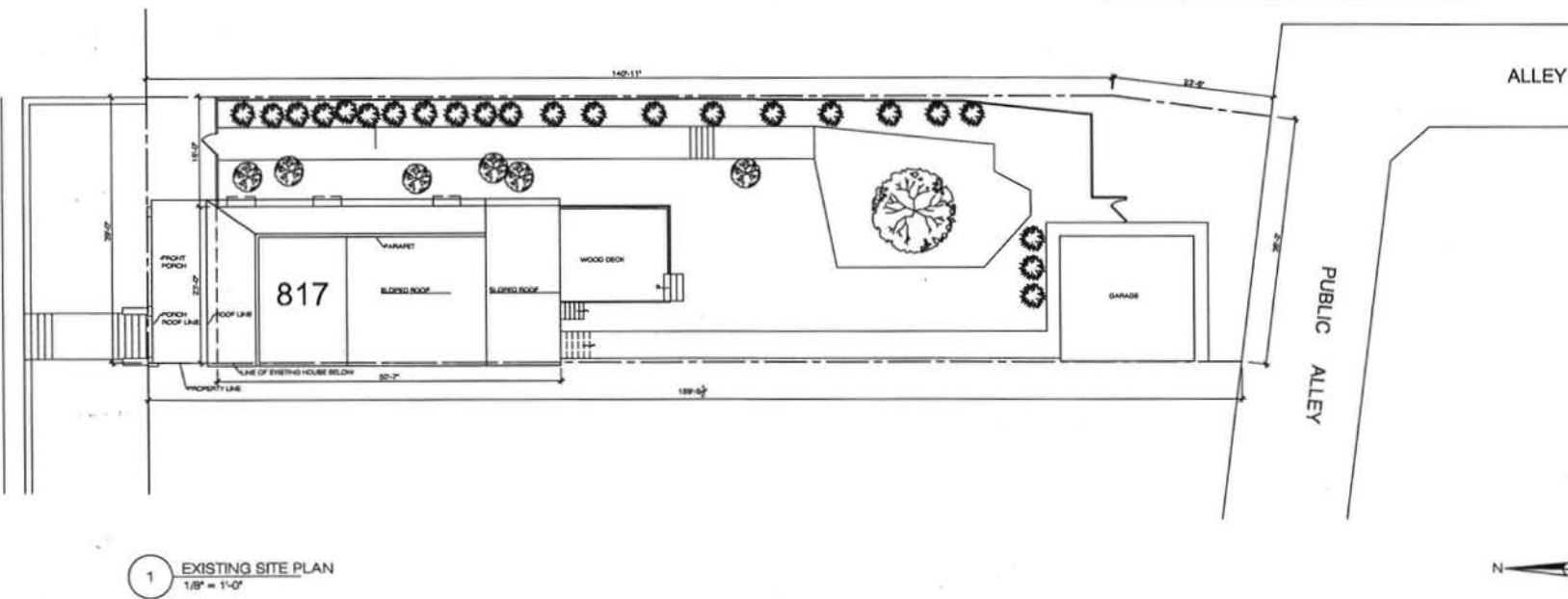
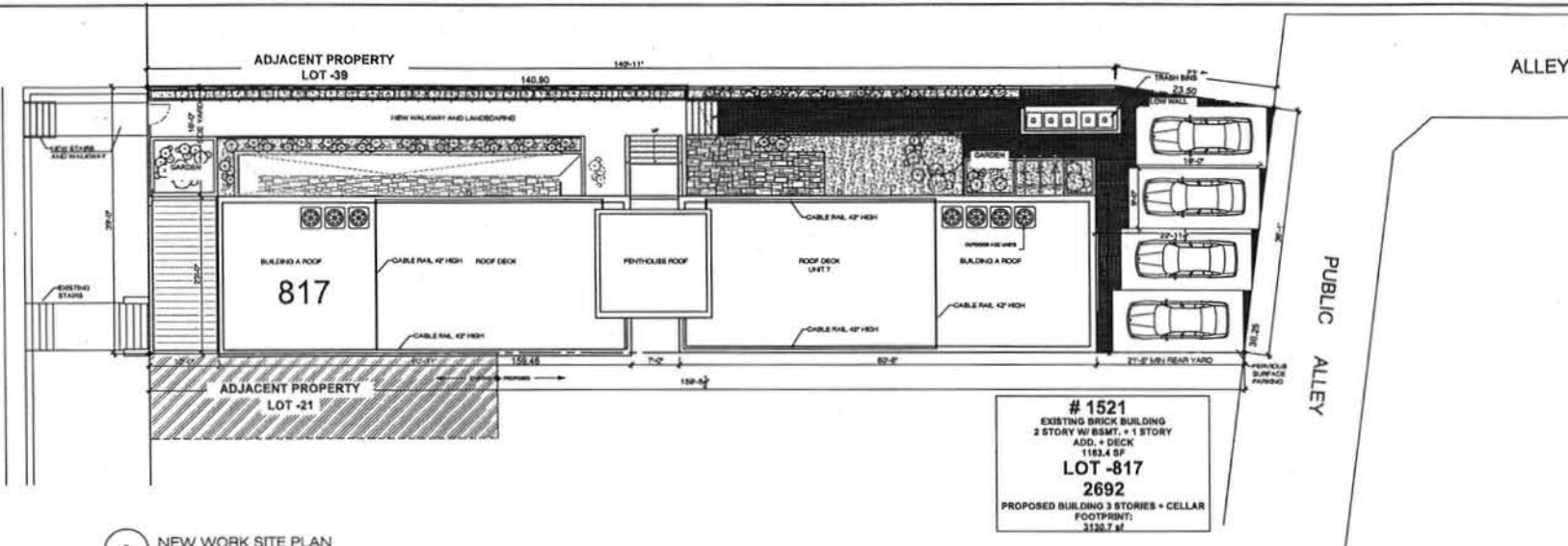
Attachment - Exhibit A:  
Location Survey  
Zoning Certification Plat





VARNUM STREET, N.W.  
VARNUM STREET NW

VARNUM STREET, N.W.



**RICH MARKUS ARCHITECTS**  
2601 P STREET NW, 2ND FLR  
WASHINGTON, DC 20007  
202.333.2733 V 202.333.2779 FAX

**WESTEND DEVELOPMENT**  
1521 VARNUM ST. N  
WASHINGTON, DC

**EXISTING & NEW WORK  
SITE PLANS**

REVISIONS

SCALE

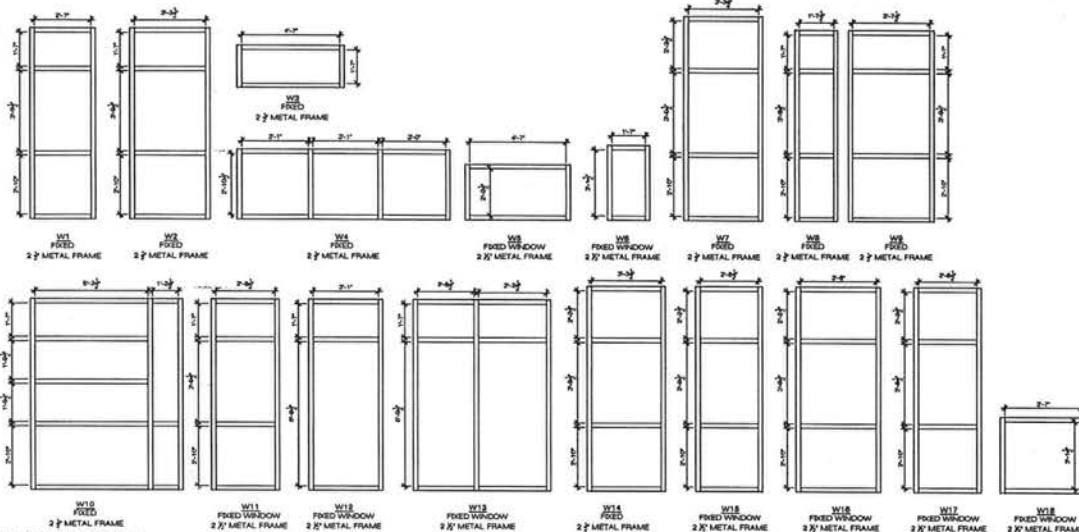
AS NOTED

JULY 29, 2014

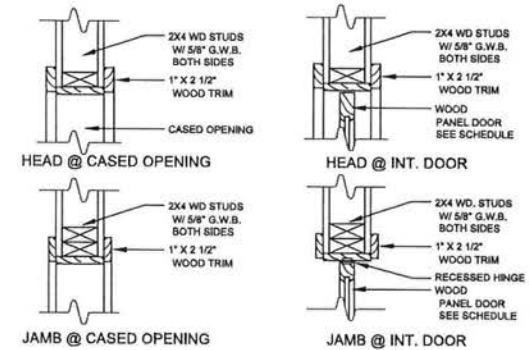
**A001**

DRAWING NUMBER

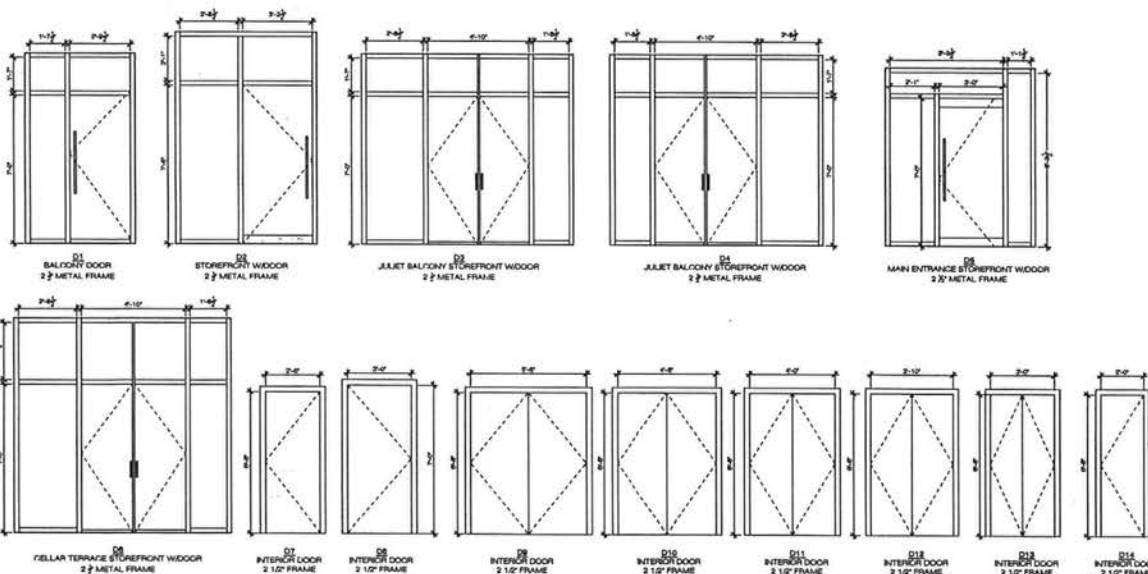




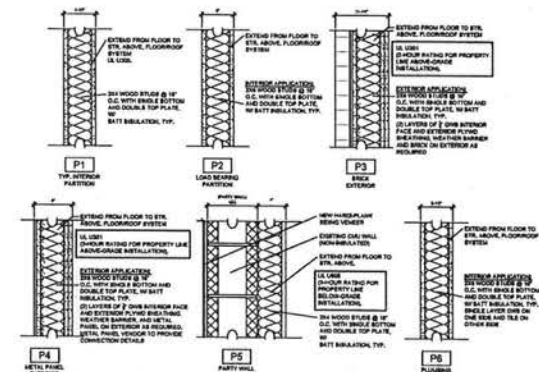
1 WINDOW SCHEDULE  
3/8" = 1'-0"



2 HEAD / JAMB DETAILS, TYP.  
N.T.S.



2 DOOR SCHEDULE  
3/8" = 1'-0"



1 PARTITION TYPES, TYP.  
1" = 1'-0"

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON, DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST.,  
WASHINGTON, D.C.

WINDOW/DOOR  
SCHEDULE WALL  
TYPES and  
HEAD-JAMB DETAILS

REVISIONS

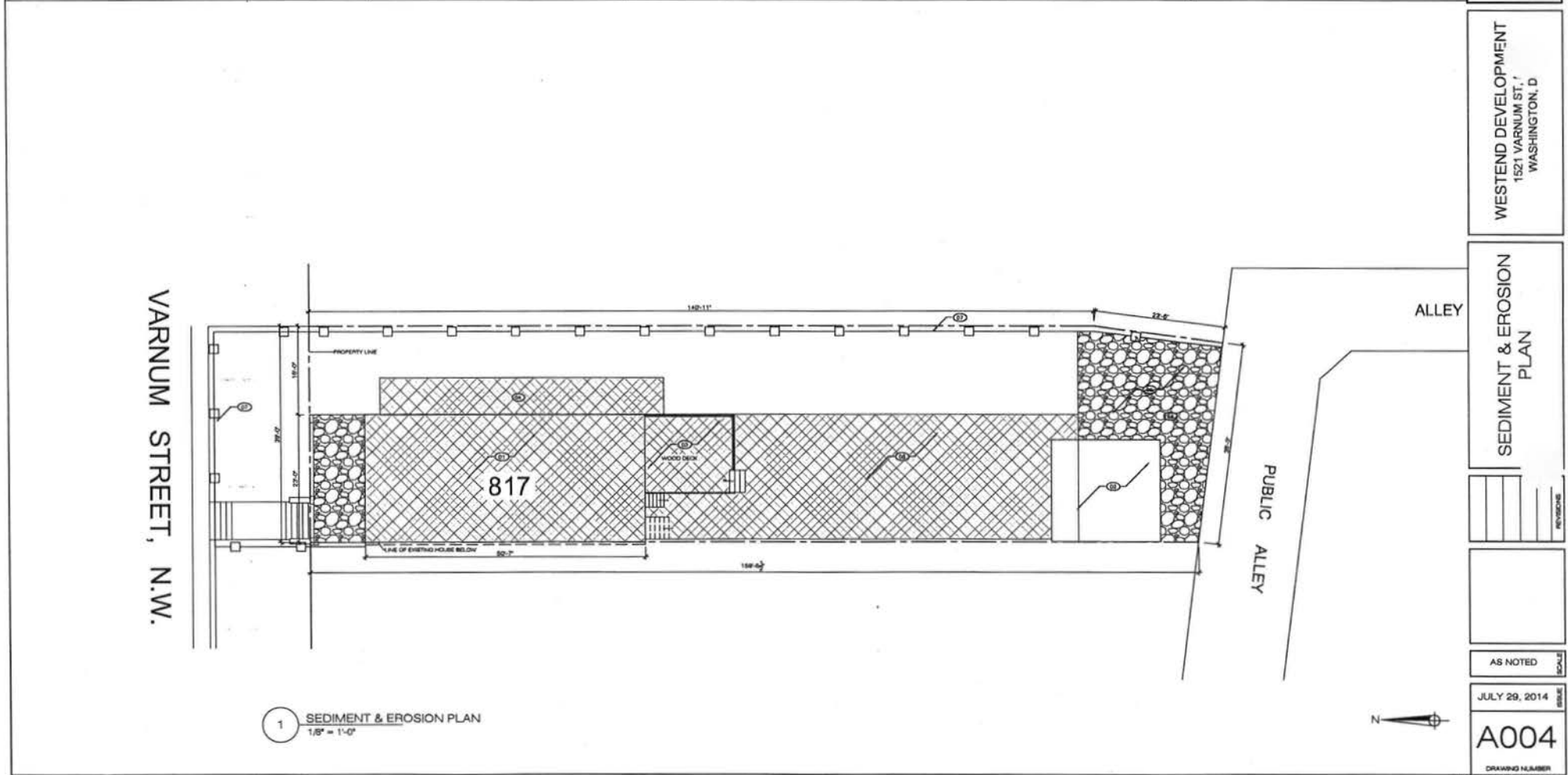
AS NOTED

JULY 29, 2014

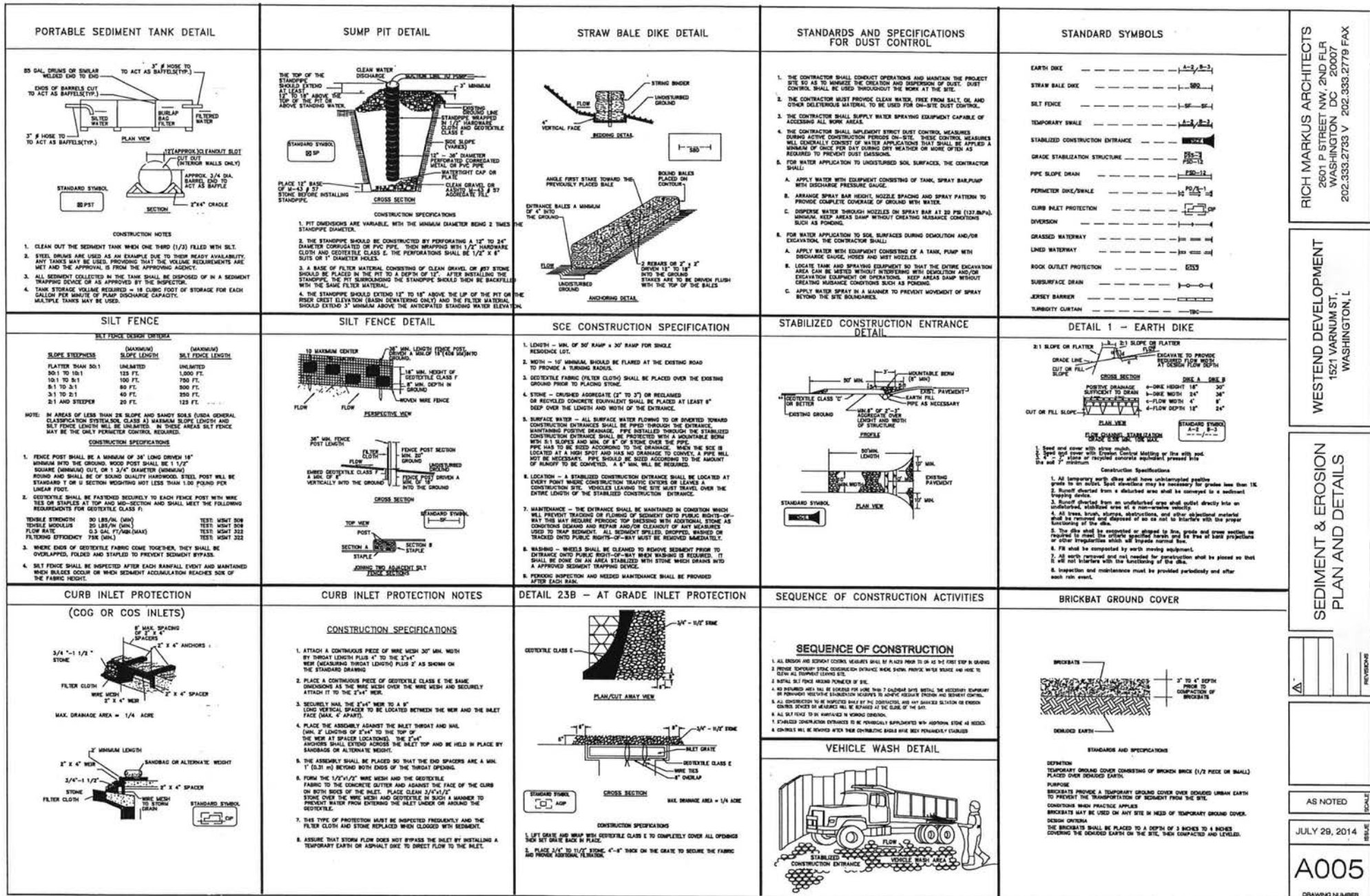
A003

DRAWING NUMBER

KEY NOTES	LEGEND	PROPOSED EXCAVATION & DISTURBANCE		<div>RICH MARKUS ARCHITECTS 2601 P STREET NW, 2ND FLR WASHINGTON DC 20007 202.333.2733 V 202.333.2779 FAX</div>															
<div><div>1</div>EXISTING FOOTPRINT OF BUILDING- EXTERIOR WALLS EXCEPT FOR REAR WALL TO REMAIN, RE: DEAD DWG.</div> <div><div>2</div>EXISTING DAMAGE TO BE REMOVED.</div> <div><div>3</div>EXISTING WOOD DECK TO BE REMOVED.</div> <div><div>4</div>EXCAVATION FOR WINDOW WELL.</div> <div><div>5</div>AREA OF EXCAVATION FOR BUILDING ADDITION / ALTERATION</div> <div><div>6</div>AREA FOR NEW PARKING LOT</div> <div><div>7</div>SALT FENCE PERIMETER, TYPICAL</div> <div><div>8</div>STABILIZED CONSTRUCTION ENTRANCE</div>	<div><div>1</div>EXISTING BUILDING</div> <div><div>2</div>DEMOLISH / REMOVAL</div> <div><div>3</div>EXTENT OF EXCAVATION</div> <div><div>4</div>STABILIZED CONSTRUCTION ENTRANCE</div> <div><div>5</div>SALT FENCE PERIMETER</div>	<table><thead><tr><th>AREA</th><th>EXCAVATION (CU YD.)</th><th>AREA OF DISTURBANCE (SF)</th></tr></thead><tbody><tr><td>WINDOW WELL</td><td>25 CU YD</td><td>342 SF</td></tr><tr><td>BUILDING ADDITION / ALTERATION</td><td>88 CU YD</td><td>1188 SF</td></tr><tr><td>CELLAR</td><td>595 CU YD</td><td>1784 SF</td></tr><tr><td>TOTAL</td><td>708 CU YD</td><td>3291 SF</td></tr></tbody></table>	AREA		EXCAVATION (CU YD.)	AREA OF DISTURBANCE (SF)	WINDOW WELL	25 CU YD	342 SF	BUILDING ADDITION / ALTERATION	88 CU YD	1188 SF	CELLAR	595 CU YD	1784 SF	TOTAL	708 CU YD	3291 SF	
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**WESTEND DEVELOPMENT**  
 1521 VARNUM ST.,  
 WASHINGTON, DC

**DEMO PLANS**

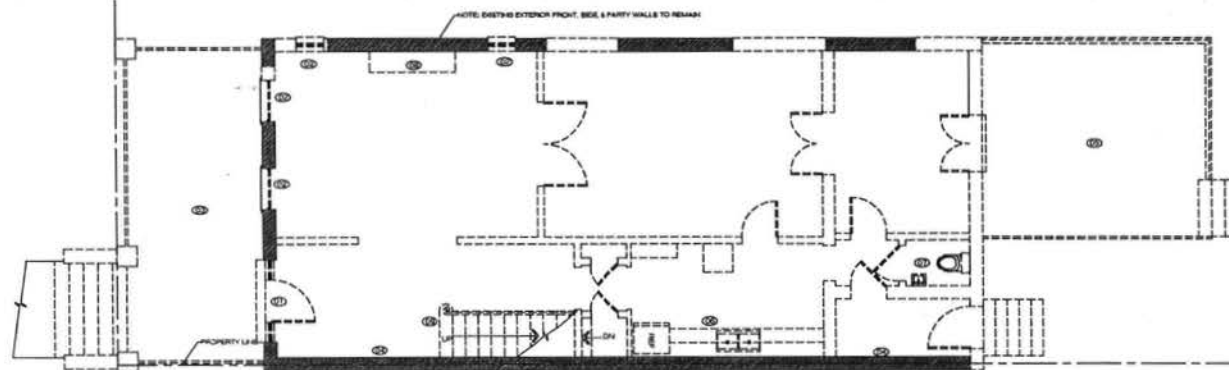
AS NOTED

JULY 29, 2014

**A101**

DRAWING NUMBER

-1521 VARNUM ST, NW



**2 FIRST FLOOR PLAN**  
 1/4" = 1'-0"

**DEMOLITION PLAN SYMBOLS**

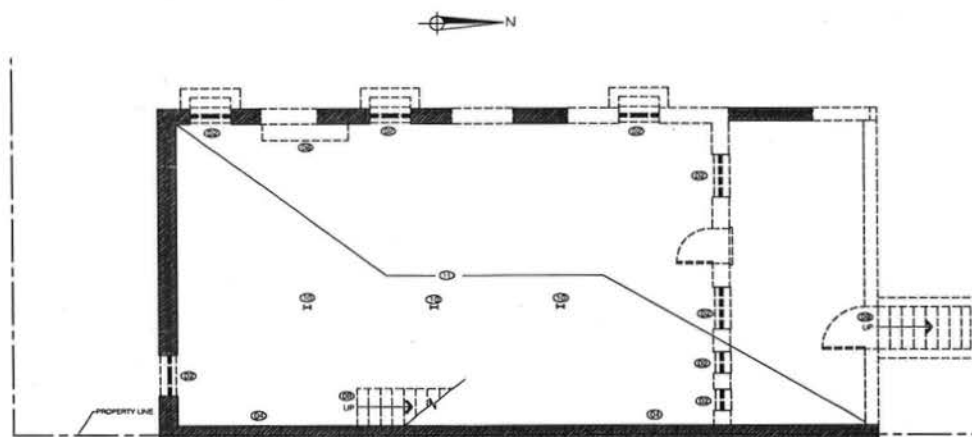
- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL

**GENERAL NOTES**

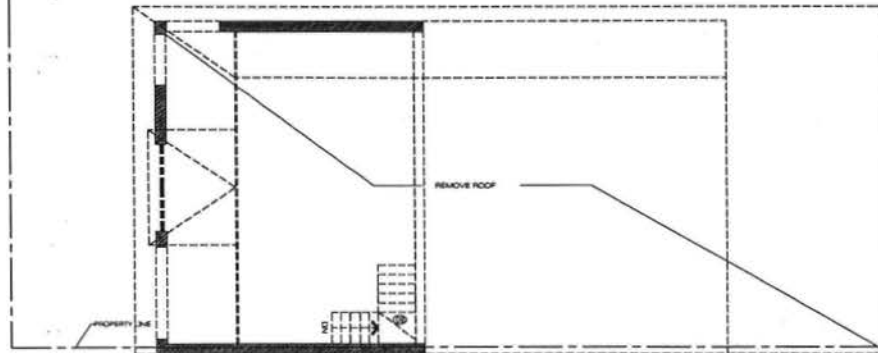
- REMOVE ALL PLUMBING FIXTURES.
- REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION, PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORS, PATCH AS REQUIRED TO RECEIVE SCHEDULED FINISHES.
- ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

**KEYED NOTES**

- REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- EXISTING WINDOW TO BE DEMOLISHED. INFILL OPENING, REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- DEMOLISH EXISTING WOOD PORCH.
- EXISTING PARTY WALL TO REMAIN
- DEMOLISH EXISTING WOOD DECK
- REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- REMOVE ALL PLUMBING FIXTURES.
- EXISTING CHIMNEY TO BE DEMOLISHED.
- REMOVE STAIR
- STEEL COLUMN TO BE REMOVED. RE: STRUCT. DWG#
- SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT./LANDSCAPING DWG#



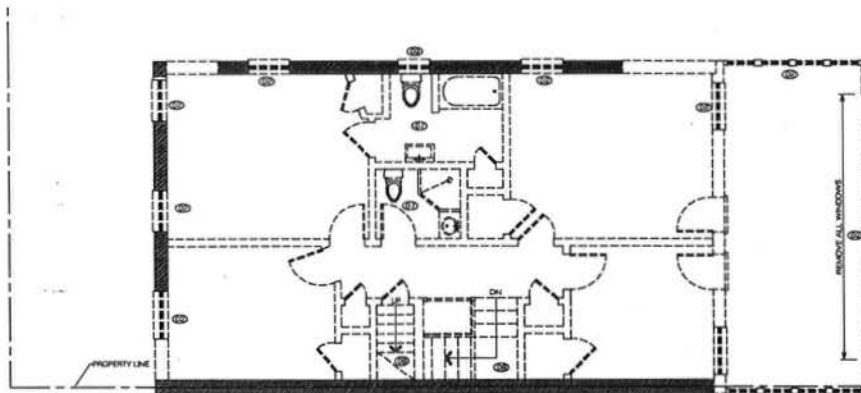
**1 CELLAR FLOOR PLAN**  
 1/4" = 1'-0"



2 ATTIC / ROOF FLOOR PLAN  
1/4" = 1'-0"

#### DEMOLITION PLAN SYMBOLS

- KEY NOTE-SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

#### GENERAL NOTES

- REMOVE ALL PLUMBING FIXTURES.
- REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION, PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORING, PATCH AS REQUIRED TO RECEIVE SCHEDULED FINISHES.
- ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

#### KEYED NOTES

- (11) REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- (12) EXISTING WINDOW TO BE DEMOLISHED, INFILL OPENING. REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- (13) DEMOLISH EXISTING WOOD PORCH.
- (14) EXISTING PARTY WALL TO REMAIN
- (15) DEMOLISH EXISTING WOOD DECK
- (16) REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- (17) REMOVE ALL PLUMBING FIXTURES.
- (18) EXISTING CHIMNEY TO BE DEMOLISHED.
- (19) REMOVE STAIR
- (20) STEEL COLUMN TO BE REMOVED, RE-STRUCT. DWGS
- (21) SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT / UNDERPINNING DWGS

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON, DC, 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST, N  
WASHINGTON, D

DEMO PLANS



AS NOTED

JULY 29, 2014

A102

DRAWING NUMBER

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM S  
WASHINGTON,

PROPOSED  
FLOOR PLANS

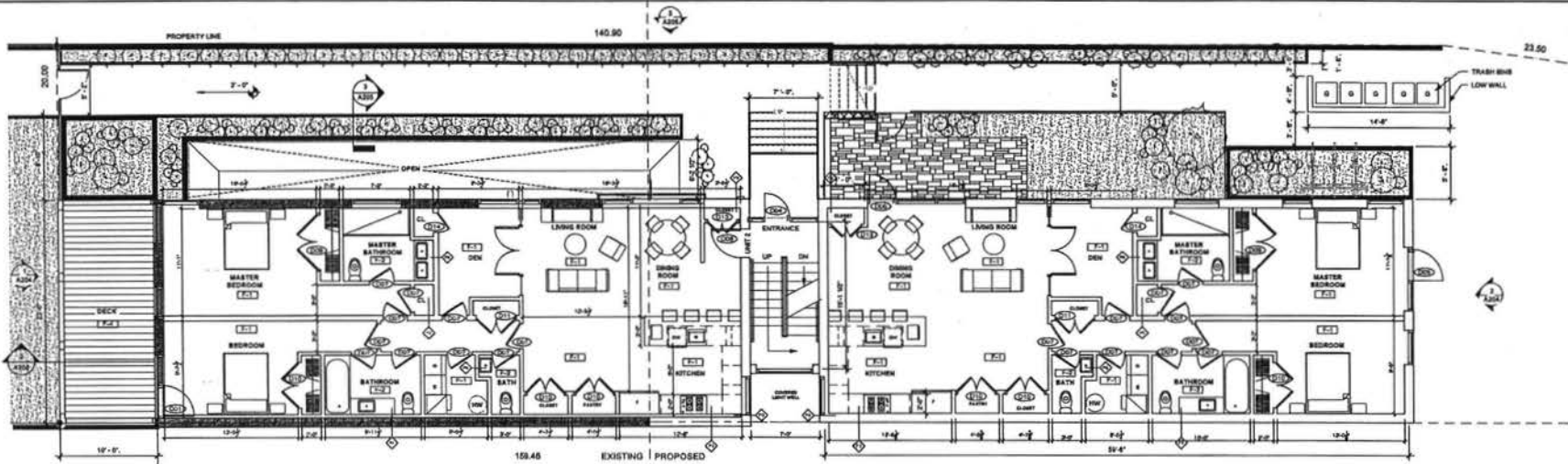
AS NOTED

JULY 29, 2014

A201

DRAWING NUMBER

-1521 VARNUM ST, NW



2 FIRST FLOOR PLAN  
3/16" = 1'-0"

2A CELLAR FLOOR PLAN  
3/16" = 1'-0"

## LEGEND | SCHEDULES

ROOM FINISH SCHEDULE				
MARK NO.	FLOOR	BASE	WALLS	CEILING
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT
F-2	Tile	Wood	GPWB-PNT	GPWB-PNT
F-3	Plaster	---	---	---
F-4	Wood Deck	---	---	---
F-5	Concrete	---	---	---

## LEGEND

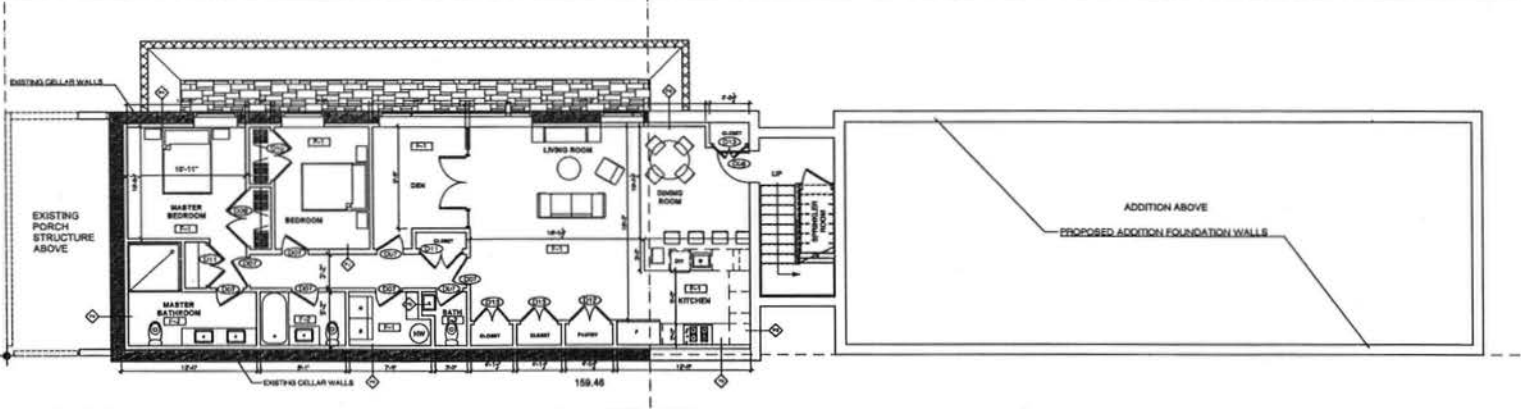
EXISTING WALL	---
DEMOL WALL	---
NEW WALL	---

## CONSTRUCTION PLAN SYMBOLS

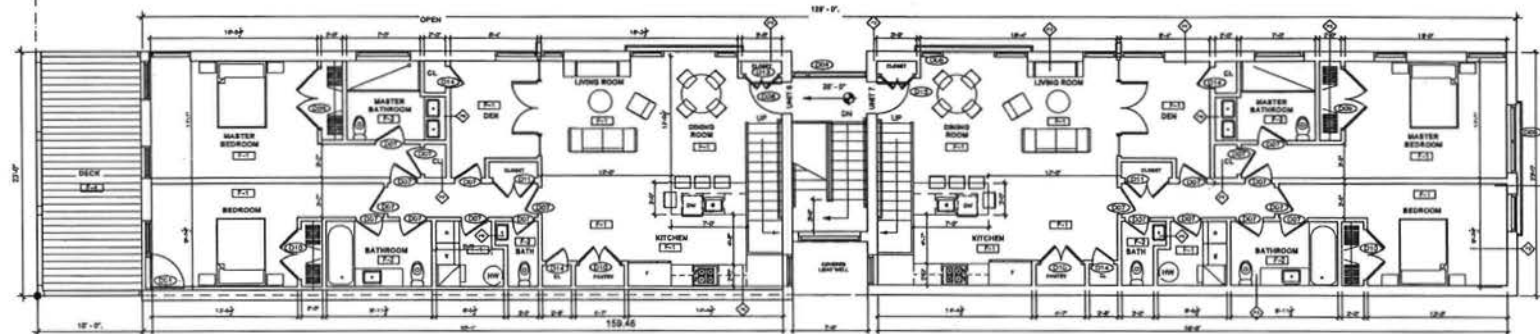
- KEY NOTE-SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-003 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISH. RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE. RE: SHEET A-003 FOR WINDOW SCHEDULE
- PARTITION TYPE. SEE SHEET A-701
- ELEVATION REFERENCE DRAWING REFERENCE

## GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, UNLESS NOTED OTHERWISE. REFER TO ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF DOOR TO ANY CONSTRUCTION PER ANSI / AIA REQUIREMENTS.
- ALL LATHES SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-001. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- ALL PARTITIONS SHALL BE TYPE "D" UNLESS NOTED OTHERWISE. RE: SHEET A-003 FOR PARTITION TYPES.
- PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.
- THE WALLS AND SPOFFS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HR FIRE RESISTANT RATED CONSTRUCTION OR THE FIRE RESISTANCE RATING OF STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. PER SECTION 1008.5.3 IBC 2008.



1 CELLAR FLOOR PLAN  
3/16" = 1'-0"



2 THIRD FLOOR PLAN  
3/16" = 1'-0"

## LEGEND | SCHEDULES

MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
P-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
P-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
P-3	Plaster	---	---	---	
P-4	Wood Deck	---	---	---	* Slab
P-5	Concrete	---	---	---	

## LEGEND

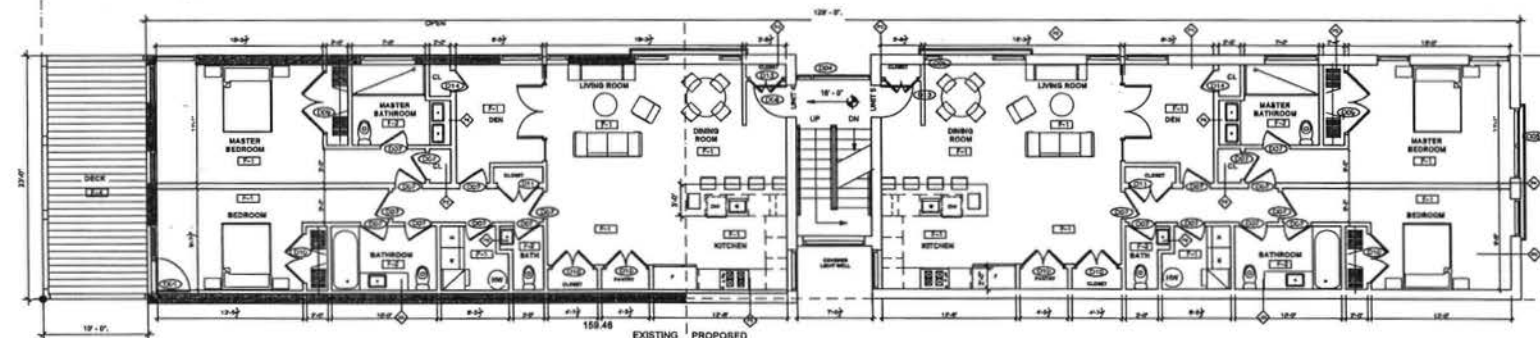
EXISTING WALL	---
DEMOL WALL	---
NEW WALL	---

## CONSTRUCTION PLAN SYMBOLS

- KEY NOTE-SEE NOTES ON DRAWING SHEET.
- MASCHIFF INFL.
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE. SHEET A-002 FOR DOOR SCHEDULE.
- FINISH # TAG- NUMBER DESIGNATES FINISHES. RE. SHEET A-002 FOR FINISH SCHEDULE.
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE. RE. SHEET A-002 FOR WINDOW SCHEDULE.
- PARTITION TYPE, SEE SHEET A-001
- ELEVATION REFERENCE
- DRAWING REFERENCE

## GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, UNLESS NOTED OTHERWISE. REFER TO ENLARGED PLANS AND ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANBI / ADA REQUIREMENTS.
- ALL LATCHES SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-001, BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- ALL PARTITIONS SHALL BE TYPE "P" UNLESS NOTED OTHERWISE. SEE SHEET A-002 FOR PARTITION TYPES.
- PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT, REFER TO ELEVATIONS FOR ADDITIONAL INFO.



1 SECOND FLOOR PLAN  
3/16" = 1'-0"

RICH MARKUS ARCHITECTS  
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WASHINGTON, DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST.  
WASHINGTON, D.C.

PROPOSED  
FLOOR PLANS

AS NOTED

JULY 29, 2014

A202

DRAWING NUMBER

-1521 VARNUM ST., NW

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST.,  
WASHINGTON, D.C.

PROPOSED  
FLOOR PLANS

REVISIONS

AS NOTED

JULY 29, 2014

A203

DRAWING NUMBER

-1521 VARNUM ST, NW

# LEGEND | SCHEDULES

ROOM FINISH SCHEDULE				
MARK NO.	FLOOR	BASE	WALLS	CILING
F-1	Wood	Wood	GPWB/PNT	GPWB/PNT
F-2	Tile	Tile	GPWB/PNT	GPWB/PNT
F-3	Plaster	---	---	---
F-4	Wood Deck	---	---	---
F-5	Concrete	---	---	Exposed

LEGEND	
EXISTING WALL	---
DEMOL WALL	---
NEW WALL	---

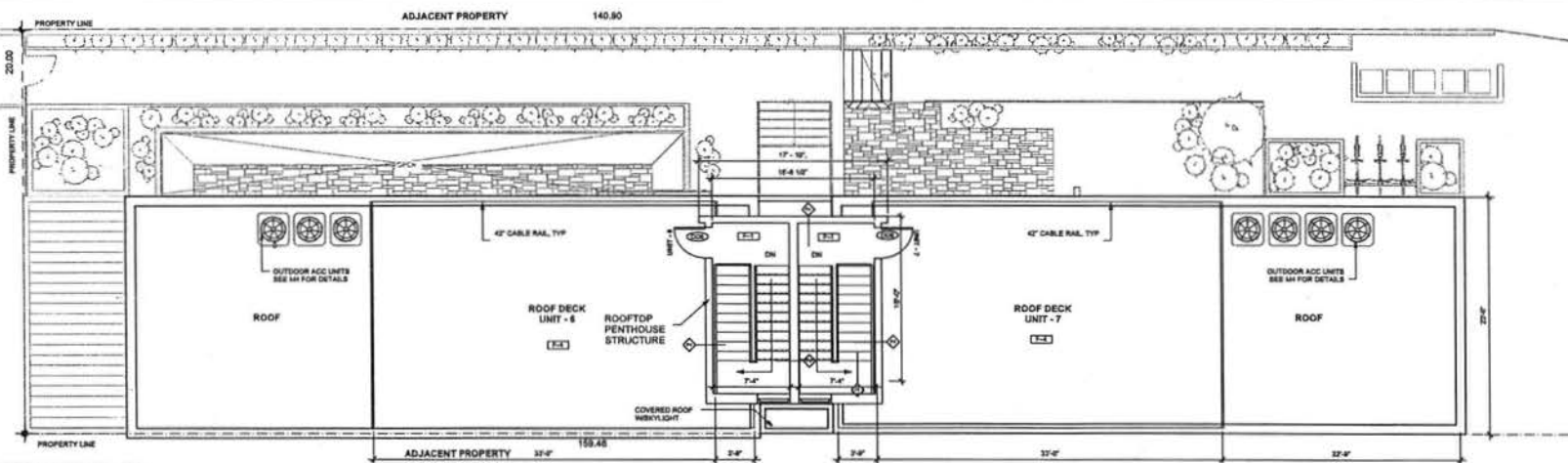
# CONSTRUCTION PLAN SYMBOLS

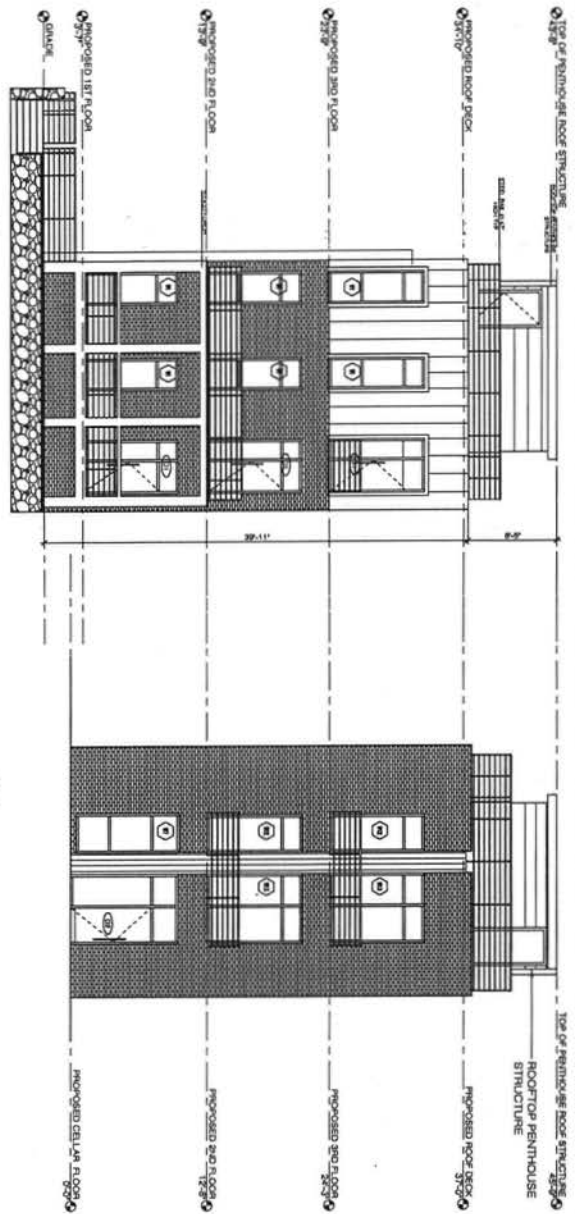
- KEY NOTE-SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE. SHEET A-002 FOR DOOR SCHEDULE.
- FINISH # TAG- NUMBER DESIGNATES FINISH. RE. THIS SHEET FOR FINISH SCHEDULE.
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE. RE. SHEET A-002 FOR WINDOW SCHEDULE.
- PARTITION TYPE, SEE SHEET A-101
- ELEVATION REFERENCE
- DRAWING REFERENCE
- N

# GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND/OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE UP TO ANY CONSTRUCTION, PER AND / OR REQUIREMENTS.
- ALL LATCHES SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-001, BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.

1 ROOFTOP DECK PLAN  
3/16" = 1'-0"





# BUILDING ELEVATIONS

WESTEND DEVELOPMENT  
1521 VARNUM ST.,  
WASHINGTON, I

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON DC 20007  
202.333.2733 V 202.333.2779 FAX

A204

AS NOTED  
JULY 29, 2014  
SCALE

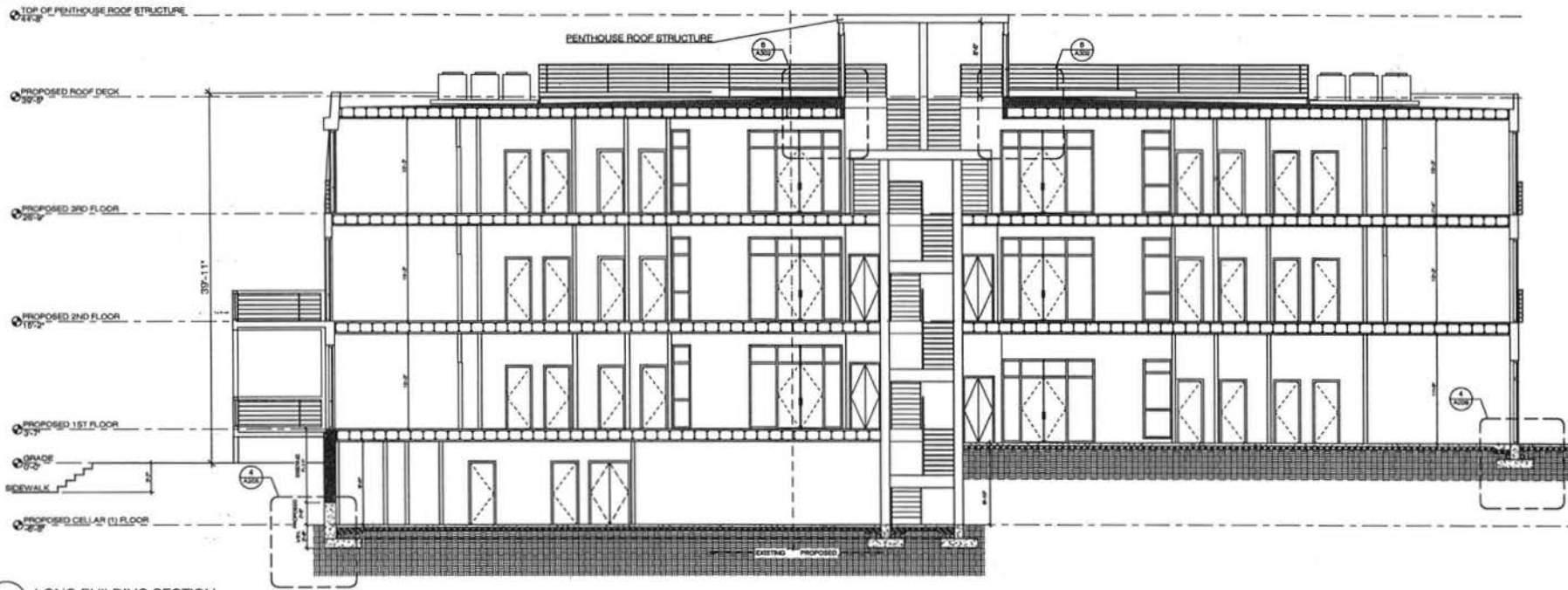
REVISIONS



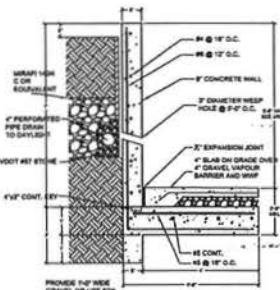
RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON, DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST  
WASHINGTON,

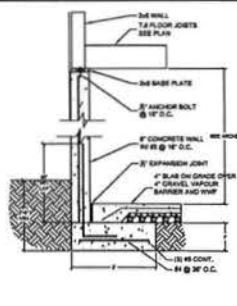
PROPOSED BUILDING  
SECTION



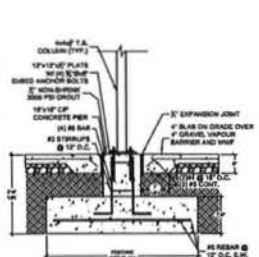
1 LONG BUILDING SECTION  
3/16" = 1'-0"



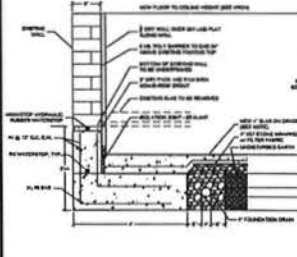
3 RETAINING WALL SECTION  
1/2" = 1'-0"



4 EXTERIOR WALL SECTION  
1/2" = 1'-0"



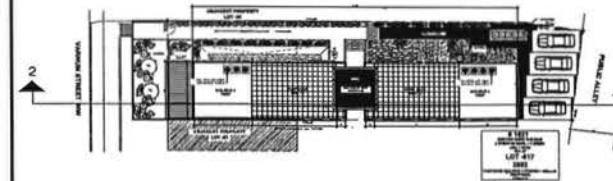
5 POST CONNECTION DETAIL  
1/2" = 1'-0"



6 EXTERIOR WALL SECTION  
1/2" = 1'-0"

GENERAL NOTE  
A. SEE STRUCTURALS FOR MORE DETAILS.

KEY PLAN



7 KEY PLAN  
NTS



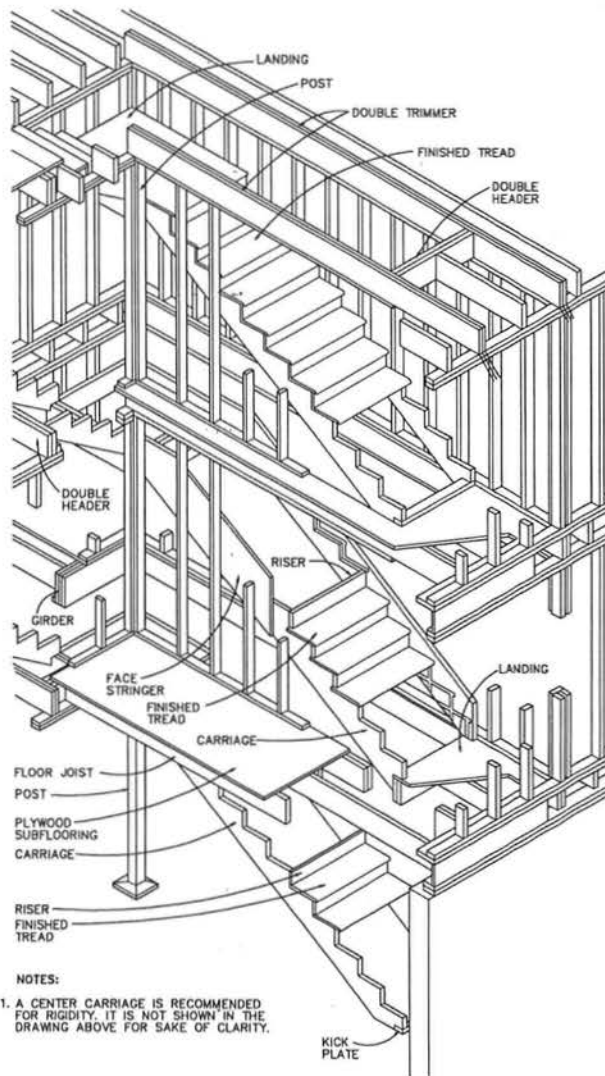
AS NOTED

JULY 29, 2014

A205

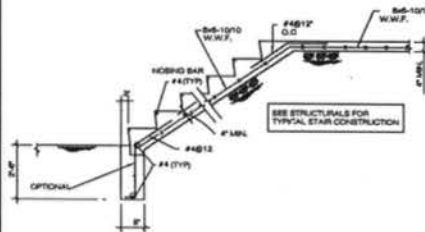
DRAWING NUMBER

-1521 VARNUM ST, NW

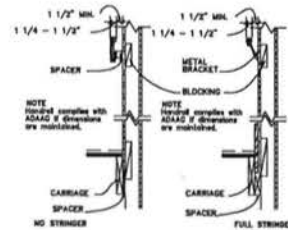


NOTES:  
1. A CENTER CARRIAGE IS RECOMMENDED FOR RIGIDITY. IT IS NOT SHOWN IN THE DRAWING ABOVE FOR SAKE OF CLARITY.

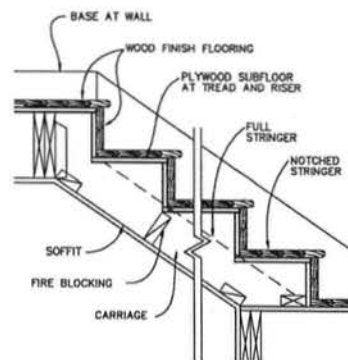
7 TYP. INTERIOR STAIR CONSTRUCTION  
1/2" = 1'-0"



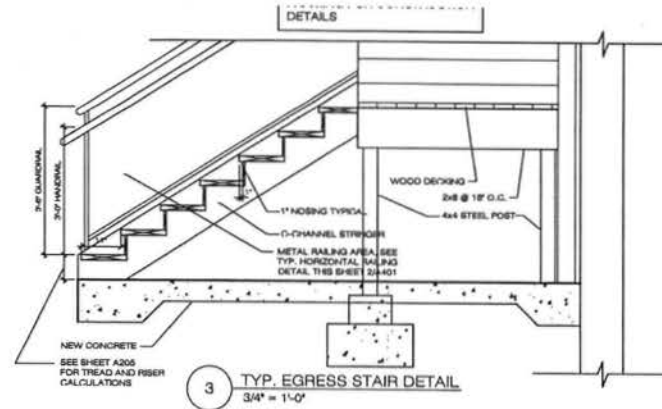
6 TYP. TERRACE STAIR DETAIL  
1/4" = 1'-0"



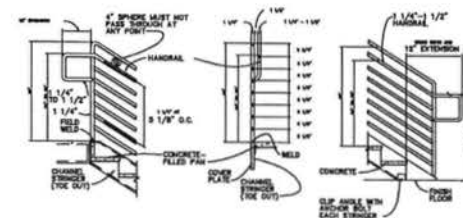
5 TYP. INTERIOR HAND RAIL DETAILS  
N.T.S.



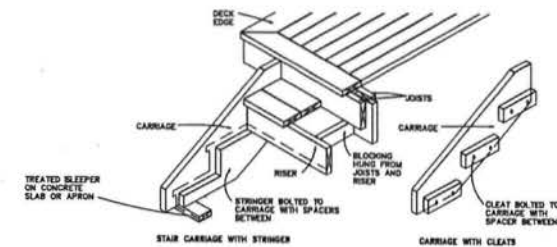
4 TYP. INTERIOR STAIR DETAILS  
1 1/2" = 1'-0"



3 TYP. EGRESS STAIR DETAIL  
3/4" = 1'-0"



2 TYP. EXTERIOR RAILING DETAIL  
1/2" = 1'-0"



1 TYP. DECK STAIRS  
3/4" = 1'-0"

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WESTEND DEVELOPMENT  
1521 VARNUM ST  
WASHINGTON,

STAIR AND RAILING  
DETAILS

REVISIONS

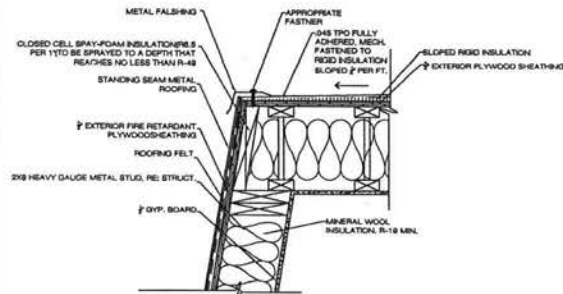
AS NOTED

JULY 25, 2014

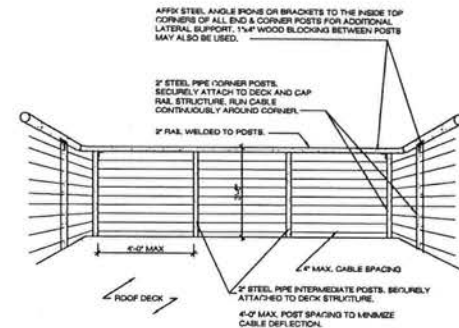
A301

DRAWING NUMBER

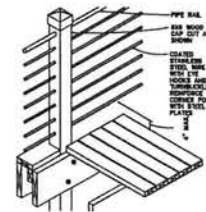
-1521 VARNUM ST, NW



8 TYP. LOW SLOPED ROOFING AT MANSARD ROOF DETAIL  
1 1/2" = 1'-0"

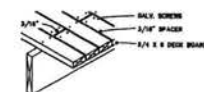


3 RAIL AT ROOF DECK  
1/2" = 1'-0"



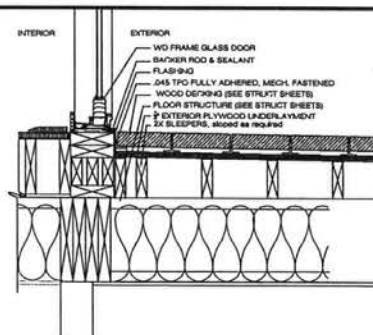
ALL DECK MATERIAL SHALL BE PRESSURE TREATED.

5 TYP. RAILING DETAIL  
3/4" = 1'-0"

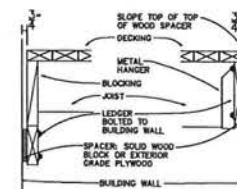


ALL DECK MATERIAL SHALL BE PRESSURE TREATED.

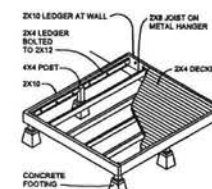
2 TYP. DECKING DETAIL  
3/4" = 1'-0"



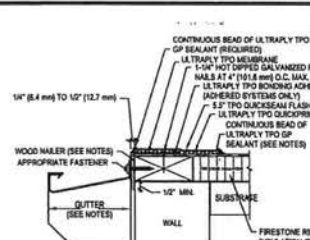
6 TYP. TERRACE DETAIL AT PENTHOUSE STRUCTURE  
1 1/2" = 1'-0"



4 TYP. TERRACE CONNECTION DETAIL  
1 1/2" = 1'-0"



1 TYP. BALCONY DETAIL  
1/4" = 1'-0"



9 TYP. GUTTER DETAIL  
1 1/2" = 1'-0"

- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
  2. GP SEALANT IS REQUIRED ALONG ENTIRE UPSLOPE EDGE OF QUICKSEAM FLASHING WHEN ROOF SLOPE IS 1" (25.4 mm) PER FOOT OR GREATER.
  3. ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4" (6.4 mm) BELOW TOP OF WOOD WALKER.
  4. DO NOT PRE-ANAL MEMBRANE TO THE FACE OF THE WOOD WALKER.
  5. ANCHOR GUTTER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  6. WOOD WALKER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY DIRECTION.
  7. FLANGE OF METAL GUTTER MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 12" (305 mm) FROM EDGE OF WOOD.
  8. CONTACT FIRESTONE ROOFING SOLUTIONS FOR BALLASTED ROOF SYSTEMS.
  9. IF THE FLANGE OF THE METAL GUTTER IS NOT COMPLETELY COVERED WITH QUICKSEAM FLASHING, THEN AN ADDITIONAL PIECE OF QUICKSEAM FLASHING SHALL BE INSTALLED AT ALL METAL SPICES. REFER TO UFA-27.

RICH MARKUS ARCHITECTS  
2601 P STREET NW, 2ND FLR  
WASHINGTON DC 20007  
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT  
1521 VARNUM ST  
WASHINGTON,

ROOF DECK AND  
RAILING DETAILS

AS NOTED  
JULY 29, 2014  
A302

AS NOTED  
JULY 29, 2014  
A302  
DRAWING NUMBER

-1521 VARNUM ST, NW

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., May 28, 2014

Plan for Building Permit of: SQUARE 8088 LOT 817

Scale: 1 inch = 20 feet Recorded in Book AET Page 1045 - J

Receipt No. 14-05235

Submitted to: BUNN, CHABRA

*[Signature]*  
J. M. Bunn, D.C.

By: LER

NOTE: Data shown for lot and this.

I certify and attest that the official records of the Recording Commission for the District of Columbia indicate that, Lot 817 in Square 8088 is owned by BUNN, CHABRA as shown on the attached plan.

*[Signature]*  
DEAN S. NERO, JR.  
Deputy Director of Operations  
Office of Recording



VARNUM STREET, N.W.

RECORDED  
14-05235  
MAY 29 2014

**LOCATION SURVEY**  
**LOT 817 SQUARE 2698**

#1521 VARNUM STREET, N.W.  
 WASHINGTON, D.C.



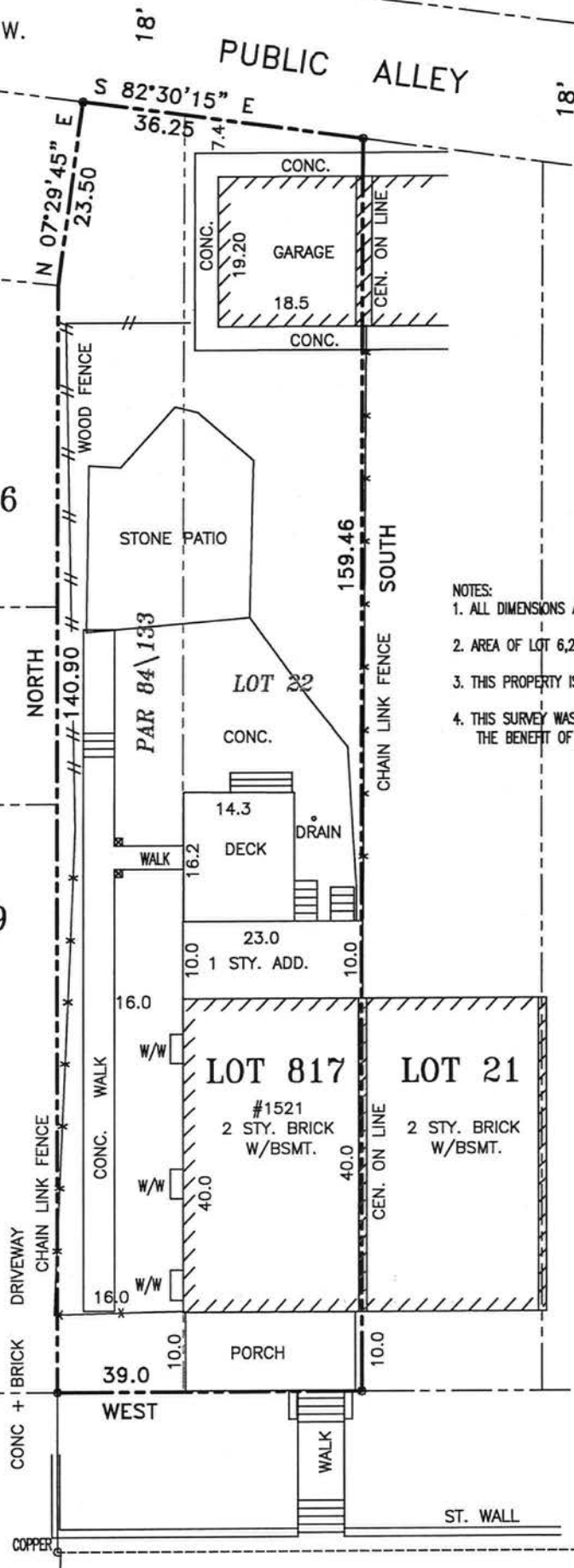
LOT 18

LOT 806

LOT 805

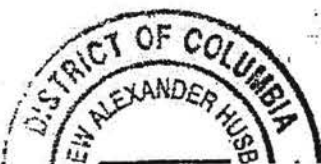
LOT 39

PUBLIC ALLEY



**NOTES:**

1. ALL DIMENSIONS ARE IN FEET.
2. AREA OF LOT 6,279 SQ.FT. BY RECORD.
3. THIS PROPERTY IS SUBJECT TO RESTRICTION OF RECORD.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.







# Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442-4589 Fax (202) 442-4852



# B

## BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 12/31/2014

PERMIT NO. **B1503050**

Expiration Date: 12/31/2015

Address of Project: 1521 VARNUM ST NW		Zone:	Ward: 4	Square: 2698	Suffix:	Lot: 0817
Description Of Work: Revision to Building Permit B1411058 to correct description of work. Description of work is Conversion of SFD into MULTI-FAMILY DWELLING WITH 7 UNITS						
Permission Is Hereby Granted To: Westend Development LLC		Owner Address: 9924 POTOMAC MANORS DR 20854		PERMIT FEE: \$36.30		
Permit Type: Addition Alteration Repair	Existing Use: Single Family	Proposed Use: Multifamily (> 2 units)			Plans: Yes	
Agent Name:	Agent Address:	Existing Dwell Units: 1	Proposed Dwell Units: 7	No. of Stories: 3	Floor(s) Involved: 3	
Conditions/ Restrictions:  <p>This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.</p> <p><b>Lead Paint Abatement</b> Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to <a href="http://ddoe.dc.gov">http://ddoe.dc.gov</a>, Lead and Healthy Housing.</p>						
Director: Rabbiah A. Sabbakhan <i>Rabbiah A. Sabbakhan</i>		Permit Clerk: Keith Hawkins <i>Keith Hawkins</i>				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1839 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557						



# Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



# AC

## AIR CONDITIONING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

PERMIT NO. **M1500760**

Bldg Permit: **B1411058**

Issue Date: **12/31/2014**

Expiration Date: **12/31/2015**

Address of Project: <b>1521 VARNUM ST NW</b>		Zone: <b>R-4</b>	Ward: <b>4</b>	Square: <b>2698</b>	Suffix:	Lot: <b>0817</b>
Description Of Work:  <b>3</b>						
Existing Use: <b>Single Family Dwelling - R-3</b>		Proposed Use: <b>Apartment Houses - R-2</b>		Type of Work: <b>Remodeling</b>		
Permisson Is Hereby Granted To: <b>Andrew P Carayiannis</b>		Contractor Address: <b>1340 Lexington Ave Rochester, NY 32204</b>			<b>PERMIT FEE</b> <b>\$354.20</b>	
Quantity:	Condenser Location: <b>OUTSIDE</b>	Refrigerant Type: <b>410A</b>	Refrigerant Effect: Class A (Over 2,400,000 BTU/h) Class B (1,200,001 - 2,400,000 BTU/h) Class C (600,001 - 1,200,000 BTU/h) Class D (120,001 - 600,000 BTU/h) Class E (0 - 120,000 BTU/h)		Number of Compressors:  <b>7</b>	
Cooling Method: <b>Air</b>	Equipment Maker: <b>GOODMAN</b>					
Equipment Model: <b>K23</b>						
Contractor Name: <b>Andrew P Carayiannis</b>		Contractor Lic. No: <b>DRM902077</b>		Contractor Address: <b>1340 Lexington Ave Rochester, NY 32204</b>		
Conditions/ Restrictions:  This permit is associated with the building permit number . This permit expires if no construction is started within 1 year or if the last inspection is over 1 year. All construction done according to the current construction codes and zoning regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one (1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within						
Director: Rabbiah A. Sabbakhan		Permit clerk: <b>Wendy Watkins</b>				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442 9557						



# Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442-4589 Fax (202) 442-4862



# E

## ELECTRICAL PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Bldg Permit: B1503050

Issue Date: 12/31/2014

Expiration Date: 12/31/2015

PERMIT NO. E1502201

Address of Project: 1521 VARNUM ST NW		Zone: R-4	Ward: 4	Square: 2698	Suffix:	Lot: 0817
Permission Is Hereby Granted To: Lee Electrical Co		Electrical Contractor Address: 4903 ASTOR PL SE WASHINGTON, DC		Electrical Contractor Phone No.: (202) 409-3517		PERMIT FEE: \$1,035.10
Permit Type: Electrical		Existing Use: Single Family Dwelling - R-3		Proposed Use: Apartment Houses - R-2		Plans
Owner Name: Varnum Holdings Limited Liability	Owner Address: 1521 VARNUM ST NW WASHINGTON, DC 20011-7009	Existing Dwell Units:	Proposed Dwell Units:	No. of Stories:	Floor(s) Involved:	
Master Electrician Name: Ralph Threatt	Master Electrician Lic No: DM665	Master Electrician Address: 4903 ASTOR PL SE WASHINGTON, DC				
Agent Name: Ralph Threatt	Agent Address: 4903 ASTOR PL SE WASHINGTON, DC					
<b>Description Of Work:</b> 200 Group 01 - Wiring Only (Receptacle & Switch Outlets) 120 Group 02 - Fixtures and Lamp Holders 1 Group 07 - Service Conductor 1 Group 08 - 401 through 800 Amp range 8 Group 08 - Up through 200 Amp range 7 Group 13 - Dishwasher (Residential) 20 Group 13 - Fire Alarm Smoke & Heat Detectors 7 Group 13 - Garbage Disposal (Residential) 10 Group 13 - Telephone / Data						
<b>Conditions/ Restrictions:</b> This Permit Expires if no Construction Is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations. As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void.						
Director: Rabbiah A. Sabbakhan		Permit Clerk: Wendy Watkins				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557						



# Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



# P

## PLUMBING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Bldg Permit: B1411058

Issue Date: 12/31/2014

Expiration Date: 12/31/2015

PERMIT NO. P1502355

Address of Project: 1521 VARNUM ST NW		Zipcode: 20011	Zone: R-4	Ward: 4	Square: 2698	Suffix:	Lot: 0817
Permission Is Hereby Granted To: Jeronescott		Owner Address: 1521 VARNUM ST NW, WASHINGTON, DC 20011-7009		New Pipes:	Type of Pipes:	PERMIT FEE: \$2,015.20	
Proposed Use: Apartment Houses - R-2		Type of Work: Remodeling 3					
Contractor Name: Jerone Scott		Contractor Address: 9004 BRIGHTLEA COURT, LANHAM, MD 20706		Phone No: (301) 552-8304			
Master Plumber: Jerone Scott		License Number: DPM1317		Phone No: (301) 552-8304			
Description of Work:							
Plumbing Fixtures:				Plumbing and Gas:			
QTY	Type	QTY	Type				
21	Basins	7	Gas Range				
14	Bath Tubs						
7	Dishwashers						
7	Garbage Disposals						
7	Sinks						
7	Washer Box						
21	Water Closets						
Conditions/ Restrictions:							
<p>This permit expires if no construction is started within 1 year or if the last inspection is over 1</p> <p>All construction done according to the current construction codes and zoning regulations;</p> <p>As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.</p>							
Director: Rabbiah A. Sabbakhan		Permit Clerk: Wendy Watkins					
<p>TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639</p> <p>FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-6557</p> <p>TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557</p>							