

APPLICANT  
**A&R COMPANIES**

LAND USE ATTORNEY  
**Holland & Knight**

ARCHITECT - WALMART  
 ARCHITECT - RESTAURANT  
**MMA**

ARCHITECT - MIXED-USE  
**PERKINS + WILL**  
 LANDSCAPE ARCHITECT  
**cgl**

CIVIL ENGINEER  
 LANDSCAPE ARCHITECT  
**Bowman CONSULTING**

# CAPITOL GATEWAY MARKETPLACE

WASHINGTON, DC

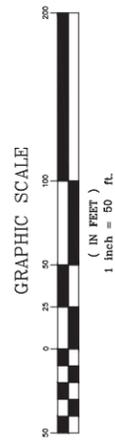
DATE  
**05.31.13**

TITLE  
 PARTIAL GRADING AND UTILITY PLAN - EAST

SHEET  
**C02-01B**

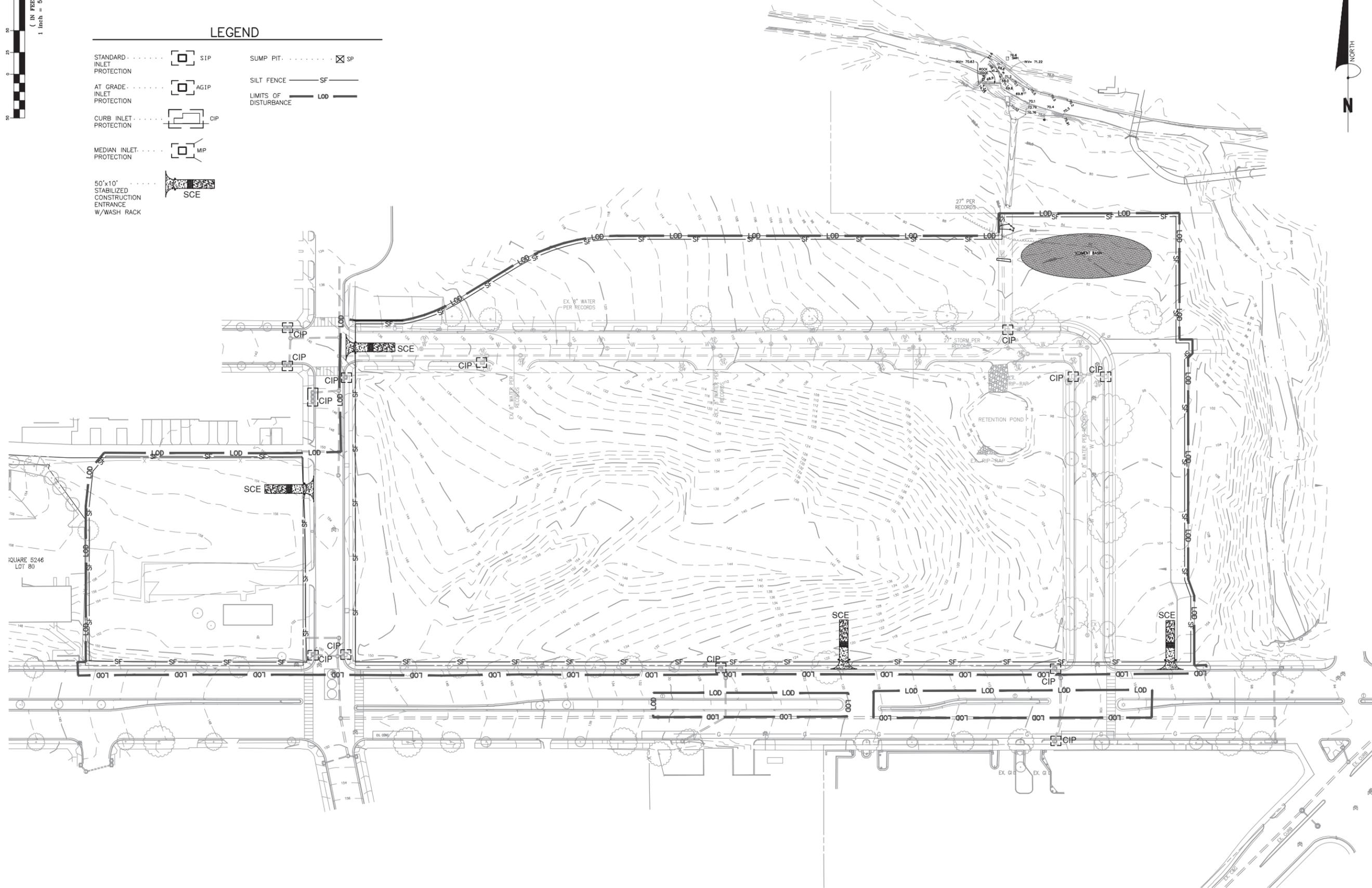
Page 81 of 89

**ZONING COMMISSION**  
 District of Columbia  
 CASE NO. 12-16  
 EXHIBIT NO. 25A-10



**LEGEND**

- |  |  |                       |  |
|--|--|-----------------------|--|
| STANDARD INLET PROTECTION                            |  | SUMP PIT              |  |
| AT GRADE INLET PROTECTION                            |  | SILT FENCE            |  |
| CURB INLET PROTECTION                                |  | LIMITS OF DISTURBANCE |  |
| MEDIAN INLET PROTECTION                              |  |                       |  |
| 50'x10' STABILIZED CONSTRUCTION ENTRANCE W/WASH RACK |  |                       |  |



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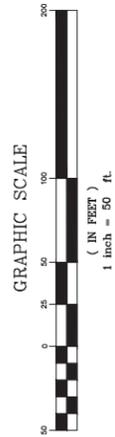
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**CAPITOL GATEWAY  
 MARKETPLACE**

WASHINGTON, DC



**STORMWATER MANAGEMENT STRATEGY**

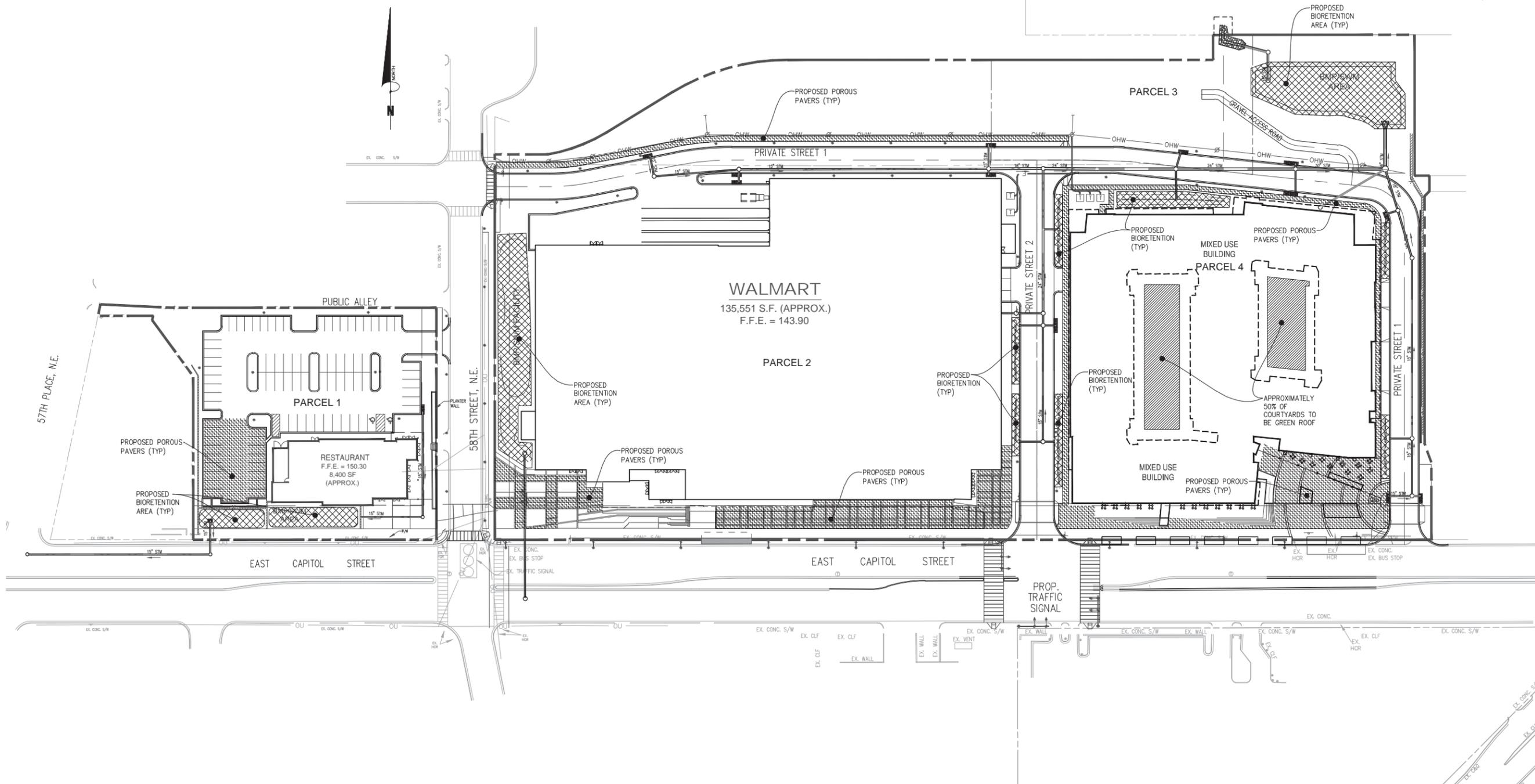
STORMWATER RETENTION REQUIREMENTS, AS OUTLINED IN DC'S "STORMWATER MANAGEMENT GUIDEBOOK" DATED AUGUST 2012, FOR THE FOUR (4) PARCELS IN THIS APPLICATION WILL BE MET USING RETENTION AND DETENTION METHODS OUTLINED WITHIN THE GUIDEBOOK. THE 1.2" RETENTION REQUIREMENT SHALL BE ATTAINED THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMP) AND LOW IMPACT DEVELOPMENT (LID) MEASURES WHICH INCLUDE: GREEN ROOF; POROUS PAVERS; AND BIORETENTION FACILITIES (TRADITIONAL, STREETSCAPE, AND STORMWATER PLANTERS). THE EXHIBIT BELOW SHOWS POTENTIAL LOCATIONS FOR GREEN ROOF, POROUS PAVERS, AND BIORETENTION FACILITIES. GREEN ROOF SHALL COVER APPROXIMATELY 50% OF THE COURTYARDS WITHIN THE MIXED-USE BUILDING LOCATED ON PARCEL 4. POROUS PAVERS SHALL BE PLACED ON SIDEWALKS AND PLAZA AREAS. BIORETENTION SHALL BE PLACED ALONG THE STREETSCAPE TO TREAT ROAD RUNOFF. BIORETENTION FACILITIES WILL ALSO BE IN AREAS ADJACENT TO BUILDINGS TO TREAT ROOF RUNOFF. LARGE BIORETENTION FACILITIES WILL BE LOCATED IN THE NORTHEAST CORNER OF THE PROJECT AND IN THE WESTERN PORTION OF PARCEL 2 BETWEEN THE WALMART AND 58TH STREET. THE BIORETENTION FACILITY LOCATED IN THE NORTHEAST CORNER OF THE PROJECT WILL TREAT RUNOFF THAT WILL BE PIPED FROM THE STREETS AND ROOFS AND THE BIORETENTION FACILITY ALONG 58TH STREET WILL TREAT A LARGE PORTION OF THE WALMART ROOF. AT THE TIME OF FINAL ENGINEERING, THE "DISTRICT OF COLUMBIA STORMWATER COMPLIANCE SPREADSHEET" AND DESIGN METHODOLOGY SHALL BE UTILIZED TO DEMONSTRATE THE STORMWATER RETENTION VOLUME FOR ALL PARCELS HAS BEEN ACHIEVED.

PARCEL 1 DETENTION REQUIREMENTS SHALL BE SATISFIED BY UTILIZING THE PROPOSED BIORETENTION BASIN (SWM/BMP AREA) AND SIZING IT ADEQUATELY TO ENSURE THAT THE PROPOSED 2-YEAR PEAK DISCHARGE RATE IS BELOW THE PRE-DEVELOPMENT DISCHARGE RATE AND THE PROPOSED 15-YEAR PEAK DISCHARGE RATE IS BELOW THE PRE-PROJECT DISCHARGE RATE. STORMWATER FROM THIS PARCEL WILL OUTFALL INTO THE EXISTING STORM SEWER SYSTEM UNDER EAST CAPITOL STREET.

PARCELS 2, 3, AND 4 DETENTION REQUIREMENTS SHALL BE SATISFIED BY UTILIZING THE BMP/SWM AREA IN THE NORTHEAST CORNER OF THE SITE AND SIZING IT TO ADEQUATELY DISCHARGE THE PEAK FLOWS FROM THE SITE INTO WATTS BRANCH CREEK. ADDITIONAL MEASURES MAY ALSO BE NEEDED TO ADEQUATELY CONTROL THE 2- AND 15-YEAR PEAK DISCHARGE RATES WHICH INCLUDE OVER SIZED PIPES, AND/OR UNDERGROUND DETENTION VAULTS.

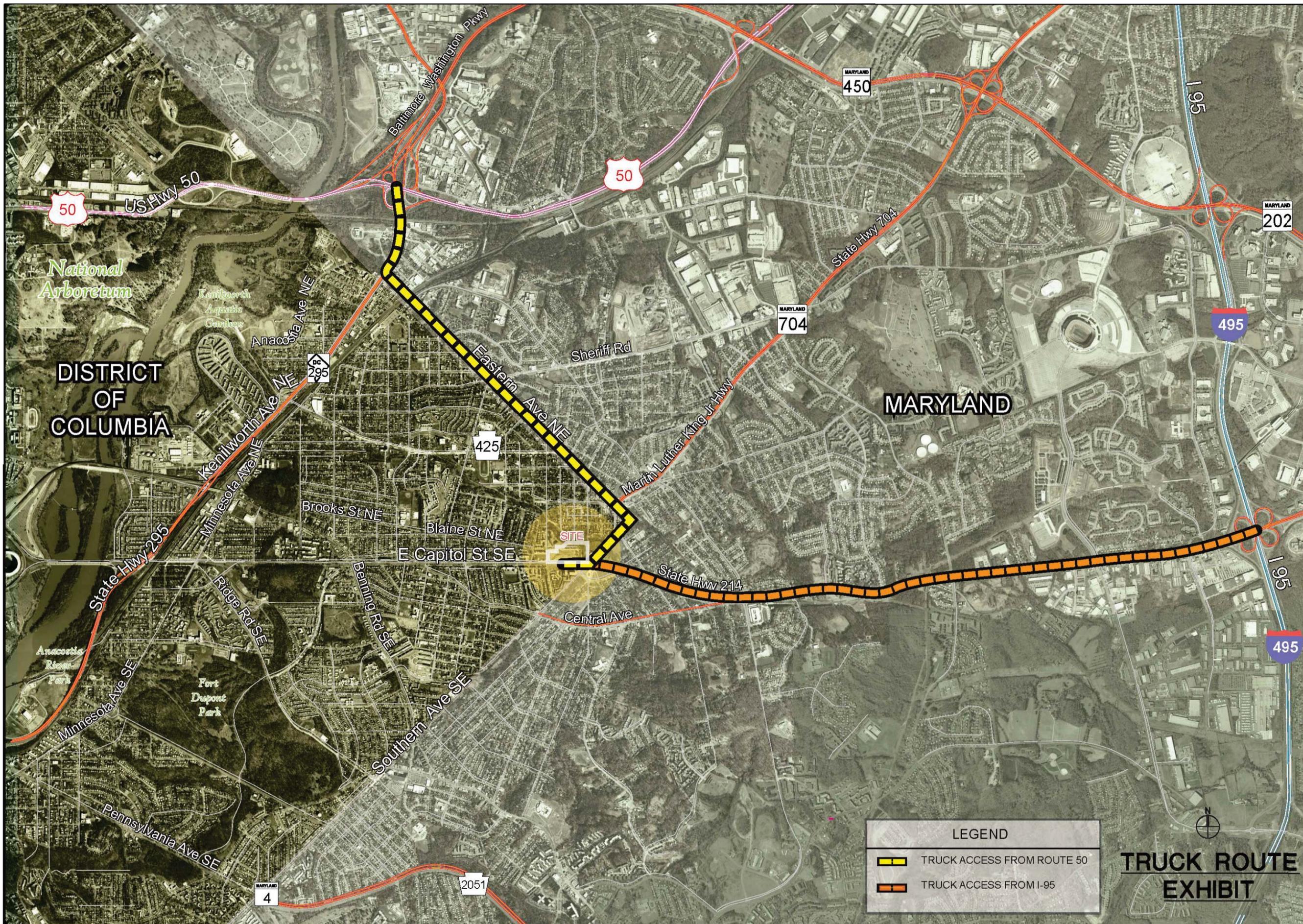
**LEGEND**

-  BIORETENTION
-  POROUS PAVEMENT
-  GREEN ROOF



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 PERKINS + WILL  
 LANDSCAPE ARCHITECT  
  
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 LANDSCAPE ARCHITECT  

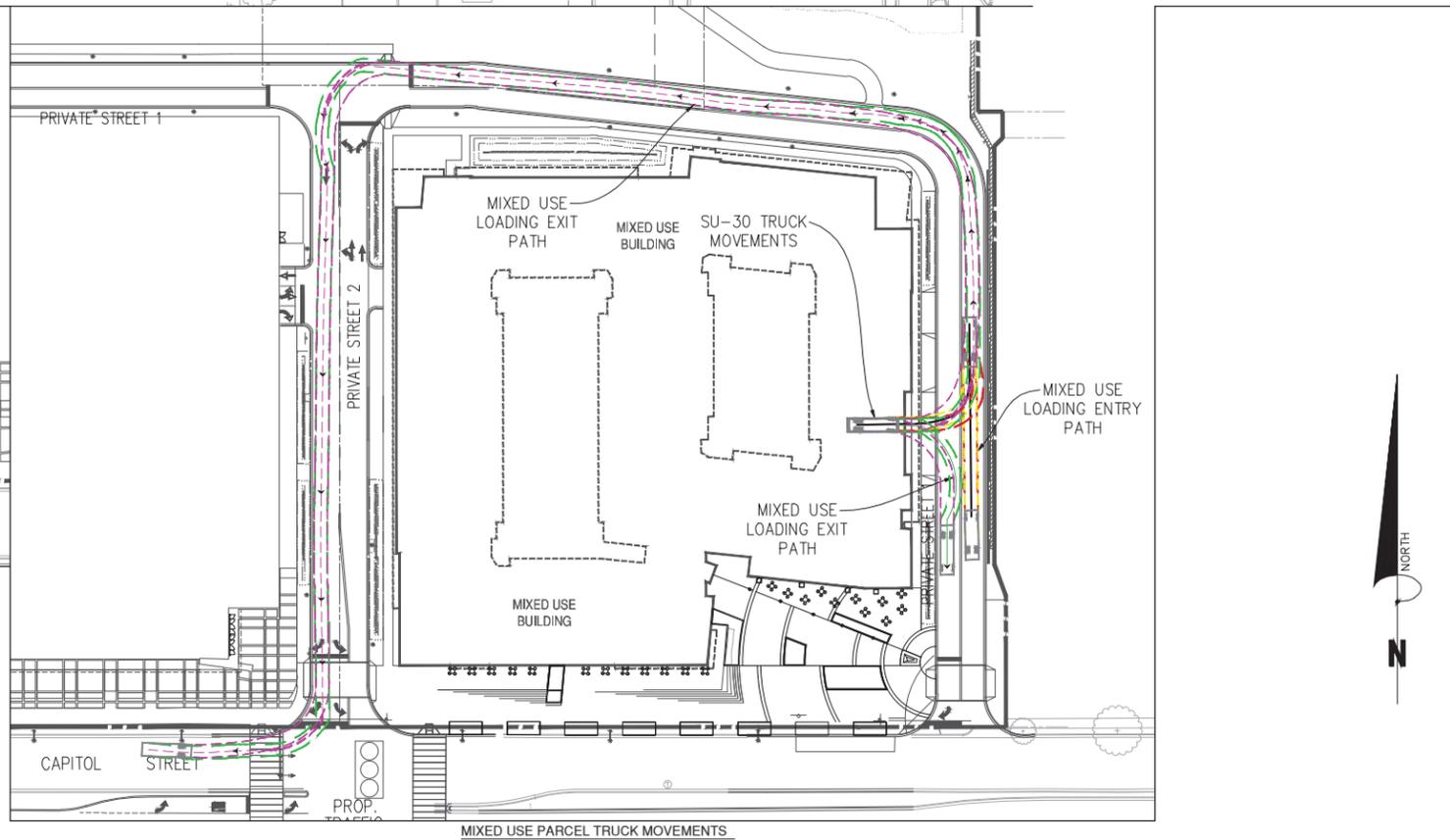
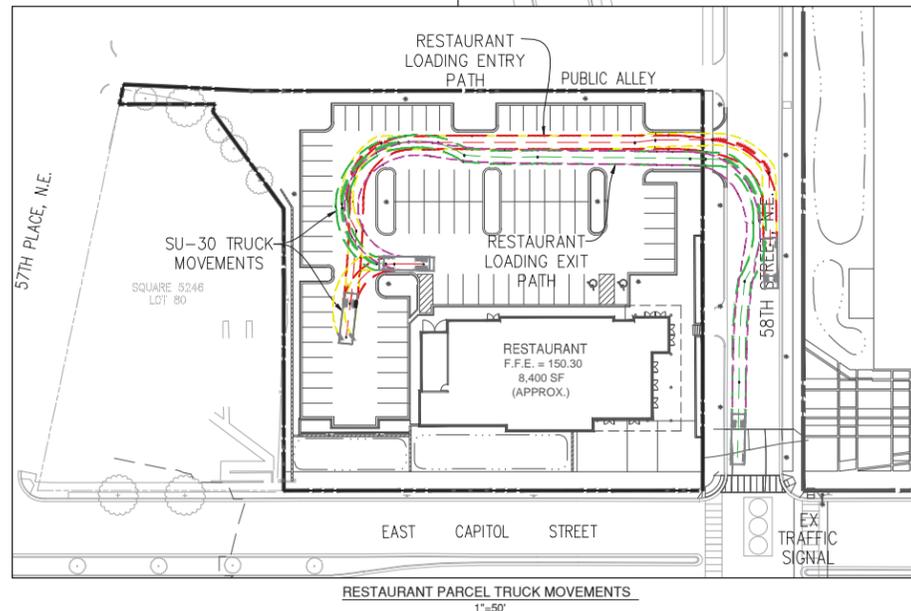
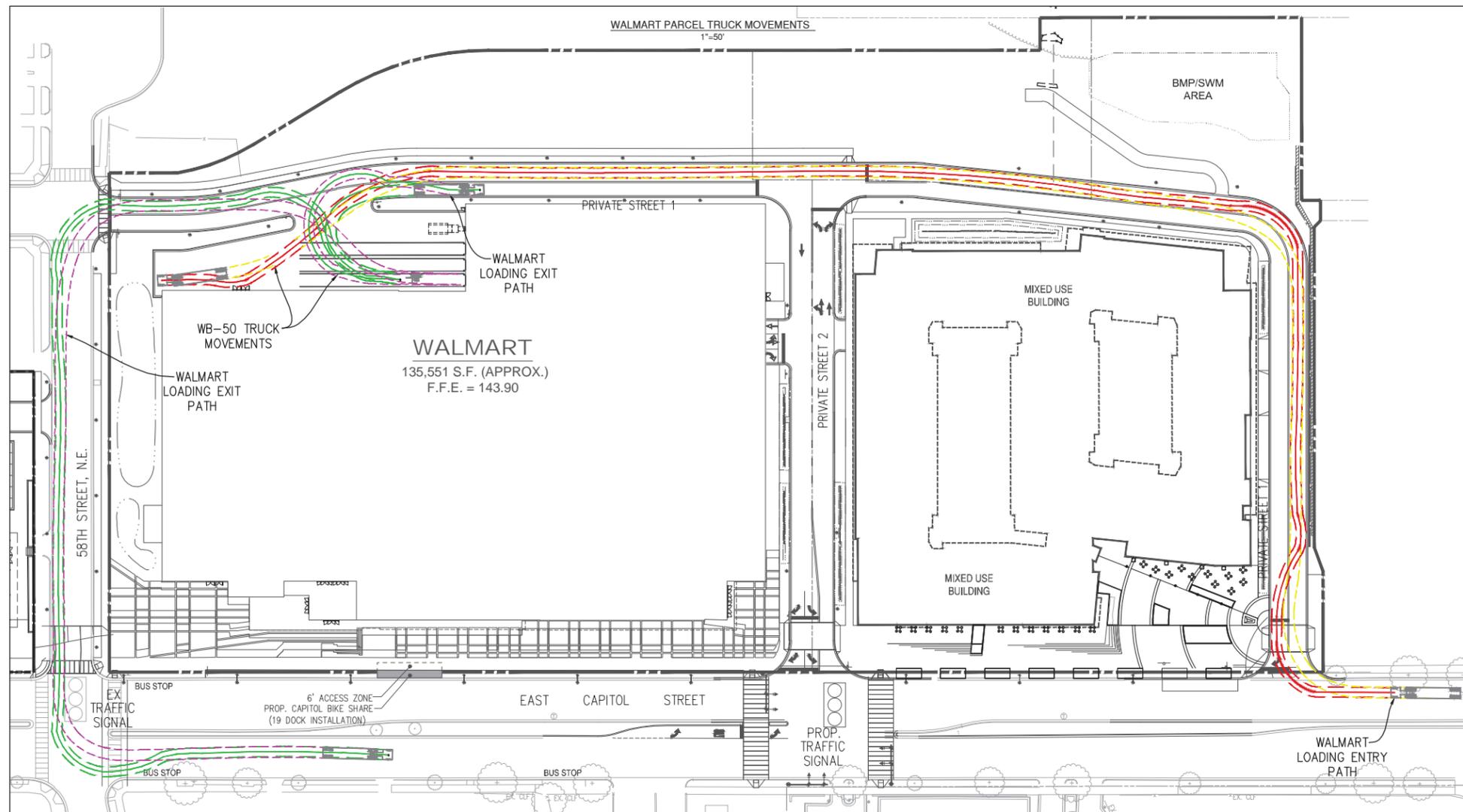
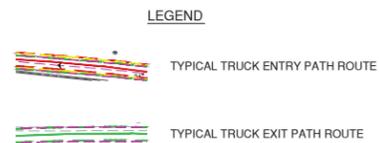
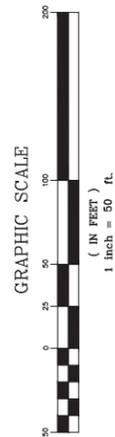

**CAPITOL GATEWAY  
 MARKETPLACE**  
 WASHINGTON, DC



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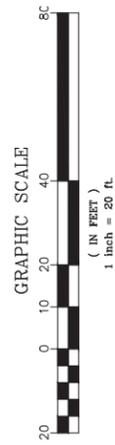


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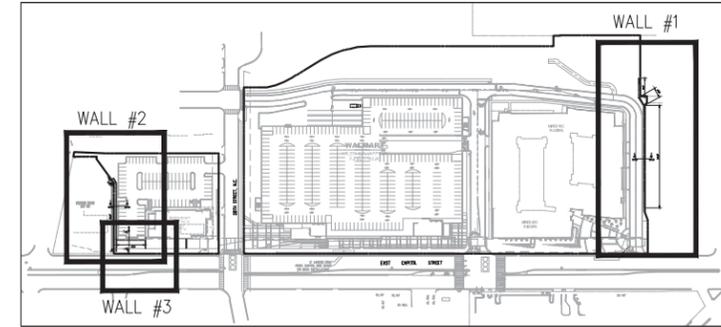
**CAPITOL GATEWAY MARKETPLACE**  
 WASHINGTON, DC



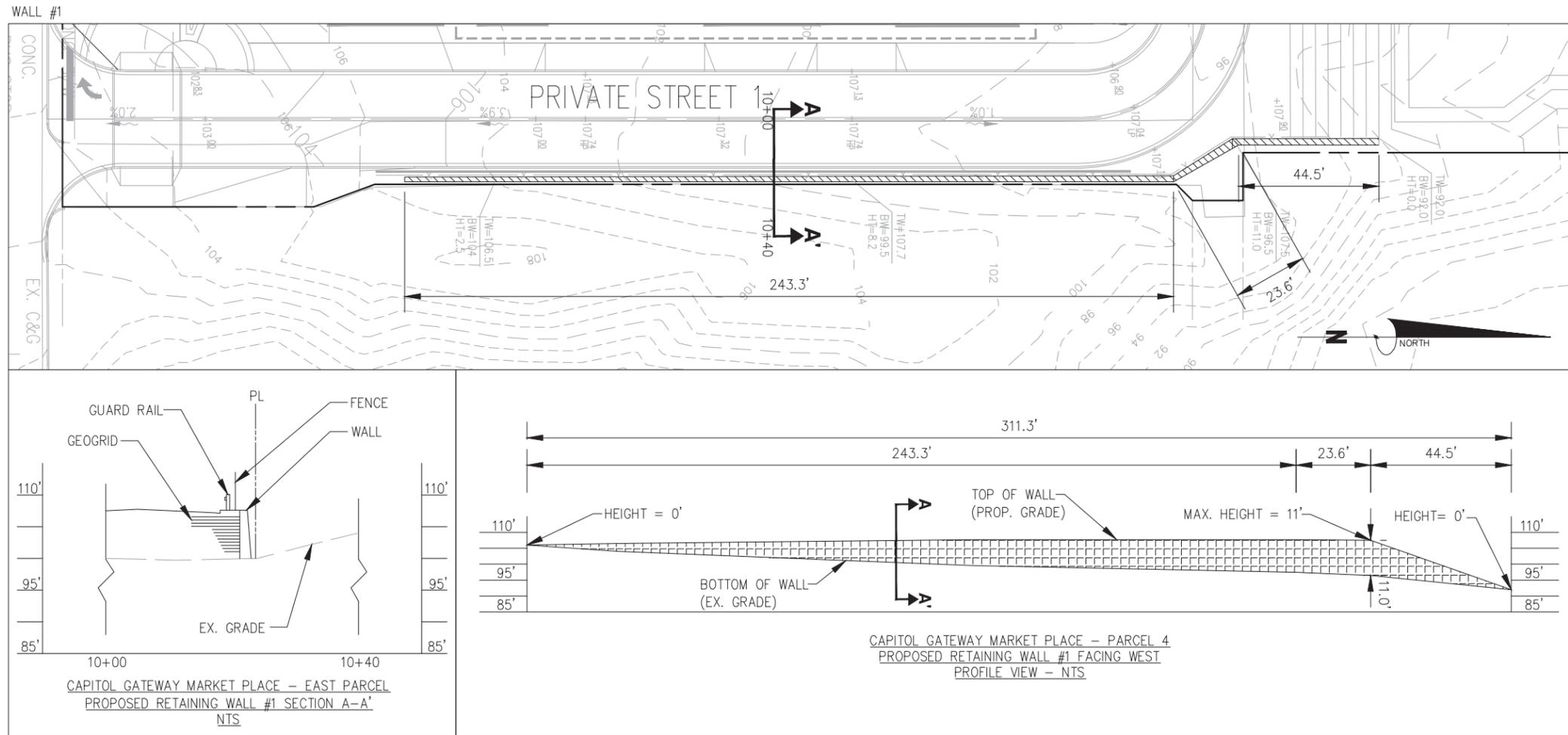
DATE  
 05.31.13  
 TITLE  
 TRUCK MOVEMENT EXHIBIT  
 SHEET  
**C04-02**  
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KEY PLAN



NOTE: WALLS TO BE DESIGNED BY OTHERS. WALL PROFILES AND CROSS-SECTIONS ARE FOR CONCEPTUAL PURPOSES ONLY.



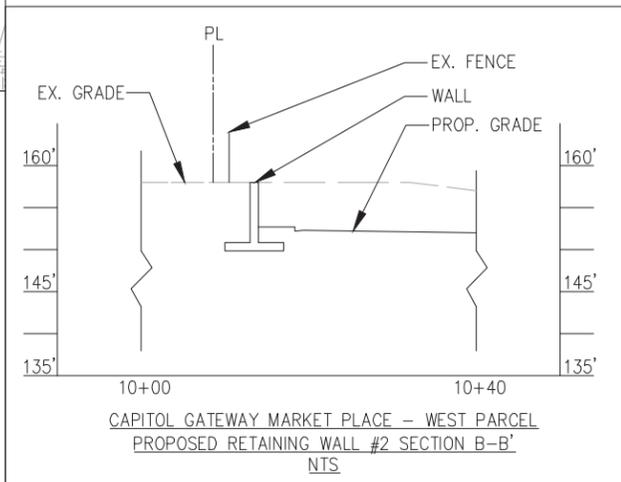
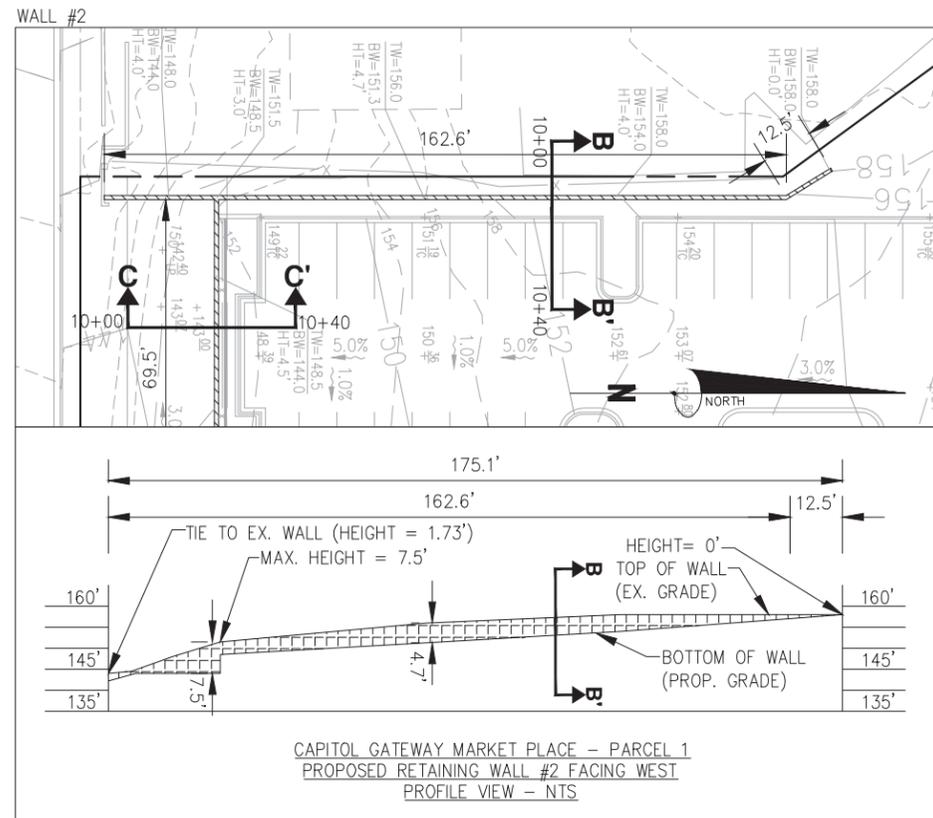
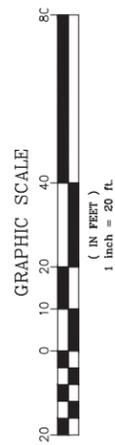
AVERAGE BLOCK WIDTH = 12" - 14"  
OVERALL LENGTH = 311.3 FT

# WALL #1

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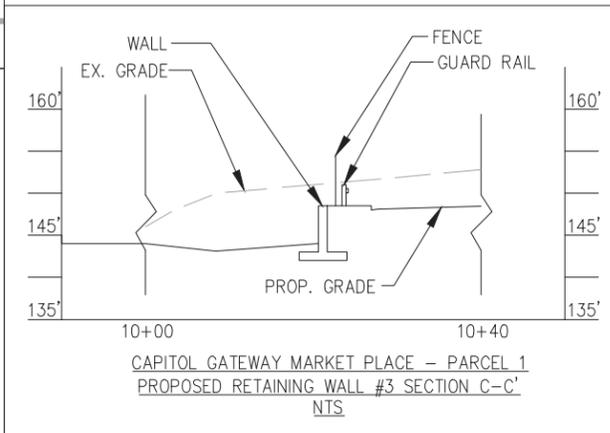
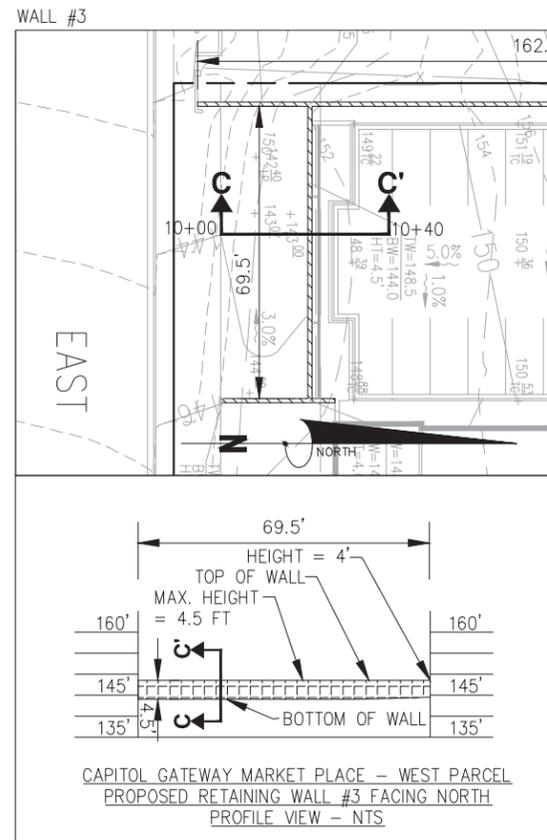
# CAPITOL GATEWAY MARKETPLACE

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CAST-IN-PLACE (CIP) WALL WIDTH = 10" - 12"  
OVERALL LENGTH = 175.1 FT

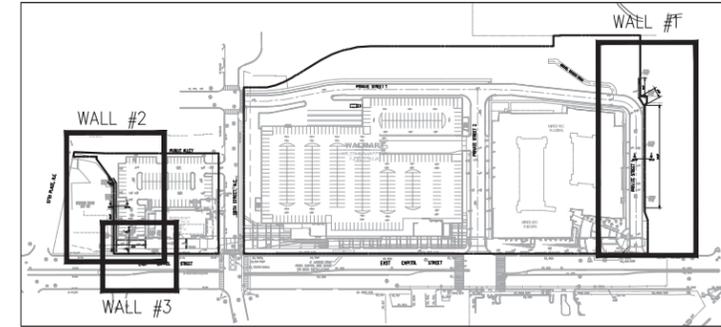
## WALL #2



AVERAGE BLOCK WIDTH = 12" - 14"  
OVERALL LENGTH = 69.5 FT

## WALL #3

### KEY PLAN



NOTE: WALLS TO BE DESIGNED BY OTHERS. WALL PROFILES AND CROSS-SECTIONS ARE FOR CONCEPTUAL PURPOSES ONLY.

# CAPITOL GATEWAY MARKETPLACE

WASHINGTON, DC

4  
2  
1  
0



WALL #1 FROM SOUTHEAST



WALL #1 FROM NORTHEAST

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ARCHITECT - RESTAURANT



ARCHITECT - MIXED-USE

**PERKINS  
+ WILL**

LANDSCAPE ARCHITECT



CIVIL ENGINEER

LANDSCAPE ARCHITECT

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# CAPITOL GATEWAY MARKETPLACE

WASHINGTON, DC

DATE

05.31.13

TITLE

CONCEPTUAL  
RETAINING WALL  
RENDERINGS

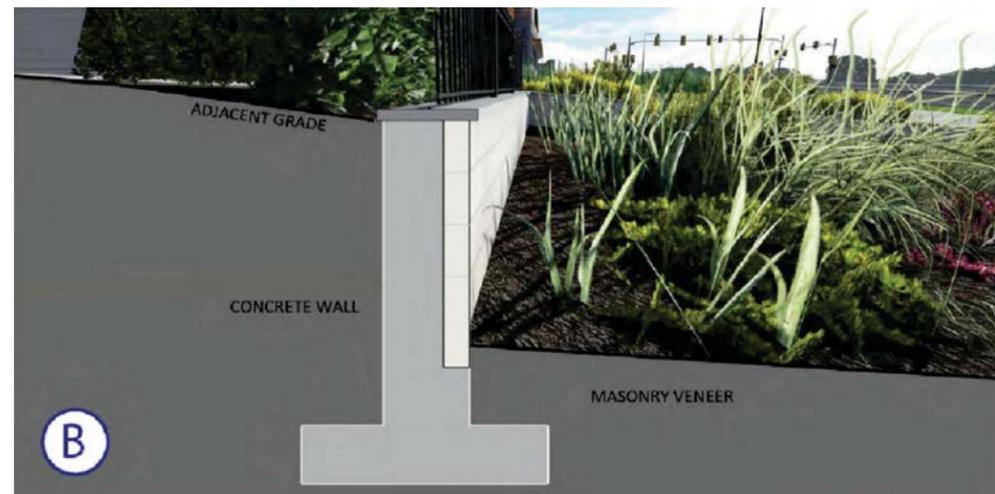
SHEET

**C05-03**  
Page 88 of 89

**WALL #2 CAST-IN-PLACE CONCRETE WALL**



**WALL #3 CAST-IN-PLACE CONCRETE WALL WITH MASONRY VENEER**



**WALL #1 REINFORCED SEGMENTAL WALL**

**ANCHOR** BUILD SOMETHING BEAUTIFUL

**Vertica** RETAINING WALL SYSTEM

**PRODUCT INFORMATION**

Designed for steep, sloping hillides and other structural challenges, the Vertica® retaining wall system can be built to virtually any height in incredibly tight spaces – thanks to an impressive 4-degree batter, built-in lug locators, and a nearly vertical rise for less excavation and land loss. Typically used with geosynthetic reinforcement, Vertica blocks meet or exceed industry standards for strength and durability.

- Pinless, patented locator lug gives quick, uniform setback for reduced labor costs
- Used in commercial-site development or anywhere space is at a premium
- Features warm earth-tone colors and rugged, rock-like texture
- For gravity wall applications, the Vertica wall system can be built up to 3 feet 4 inches high, including buried course
- Taller walls can be built using geosynthetic reinforcement or the Anchorplex™ retaining wall system when designed by a qualified engineer
- Minimum outside radius, measured on the top course to the front of the units: 5 feet
- Minimum inside radius, measured on the base course to the front of the units: 7 feet

Stretcher Units	Straight Face	Beveled Face
Approximate Dimensions*	8" x 32" x 12"	8" x 32" x 12"
Approximate Weight*	89 lbs.	87 lbs.
Coverage	100 sq. ft.	100 sq. ft.
Setback/System Batter	1 1/2"	1 1/2"

Accessory Units	Cap	Corner
Approximate Dimensions*	Front: 4" x 12" x 10 1/2" Back: 4" x 12" x 10 1/2"	8" x 32" x 8"
Approximate Weight*	41 lbs.	107 lbs.
Coverage	1.22 sq. ft.	1.50 sq. ft.

ANCHOR WALL SYSTEMS, INC. 3900 BAKER ROAD, SUITE 380, HARRISBURG, PA 17109

**ANCHOR** BUILD SOMETHING BEAUTIFUL

**Vertica** RETAINING WALL SYSTEM

**PRODUCT INFORMATION**

Designed for steep, sloping hillides and other structural challenges, the Vertica® retaining wall system can be built to virtually any height in incredibly tight spaces – thanks to an impressive 4-degree batter, built-in lug locators, and a nearly vertical rise for less excavation and land loss. Typically used with geosynthetic reinforcement, Vertica blocks meet or exceed industry standards for strength and durability.

- Pinless, patented locator lug gives quick, uniform setback for reduced labor costs
- Used in commercial-site development or anywhere space is at a premium
- Features warm earth-tone colors and rugged, rock-like texture
- For gravity wall applications, the Vertica wall system can be built up to 3 feet 4 inches high, including buried course
- Taller walls can be built using geosynthetic reinforcement or the Anchorplex™ retaining wall system when designed by a qualified engineer
- Minimum outside radius, measured on the top course to the front of the units: 5 feet
- Minimum inside radius, measured on the base course to the front of the units: 7 feet

Stretcher Units	Straight Face	Beveled Face
Approximate Dimensions*	8" x 32" x 12"	8" x 32" x 12"
Approximate Weight*	89 lbs.	87 lbs.
Coverage	100 sq. ft.	100 sq. ft.
Setback/System Batter	1 1/2"	1 1/2"

Accessory Units	Cap	Corner
Approximate Dimensions*	Front: 4" x 12" x 10 1/2" Back: 4" x 12" x 10 1/2"	8" x 32" x 8"
Approximate Weight*	41 lbs.	107 lbs.
Coverage	1.22 sq. ft.	1.50 sq. ft.

ANCHOR WALL SYSTEMS, INC. 3900 BAKER ROAD, SUITE 380, HARRISBURG, PA 17109

Product Details - Retaining Walls from Anchor Wall Systems Page 1 of 1

**ANCHOR** BUILD SOMETHING BEAUTIFUL

**FOR PROFESSIONALS**

**VERTICA® RETAINING WALL SYSTEM, STRAIGHT FACE**

**Product Catalog**

Product Information: Wall Units, Brochures, Estimating Charts, CAD Drawings, Installation Instructions, Installation Videos

Wall Units	Dimensions
Vertica® straight-face stretcher	Height: 8" Front Length: 32" Depth: Varies by Manufacturer Weight: 89 lbs. Coverage: 1.00 sq. ft. Setback: 1 1/2"
Accessory Units	
Vertica®/Vertica® Pro® Cap	Dimensions: 4" x 12" x 10 1/2" Height: 4" Front Length: 12" Depth: 10 1/2" Back Length: 12" Weight: 41 lbs. Coverage: 1.22 sq. ft.
Vertica®/Vertica® Pro® Corner	Dimensions: 8" x 32" x 8" Height: 8" Front Length: 32" Depth: 8" Back Length: 16" Weight: 107 lbs.

QUICK PICK PRODUCT SELECTOR: Please Select

Anchor Wall Systems, Inc. 3900 Baker Road, Suite 380, Harrisburg, PA 17109

**VERTICA**

*Big jobs call for big performance. That's why you need to specify this block for large-scale projects and your tallest walls. With Vertica® products, you can count on a solid structure each and every time.*

	Vertica® Straight
HEIGHT	8" x 12" x 12"
SETBACK	1.00
WEIGHT	87.5 lbs.
SETBACK	45
WEIGHT	5.942 sq.
SETBACK	45

ANCHORPLEX™ RETAINING WALL SYSTEM

If there isn't enough space to construct a conventional retaining wall with geosynthetic reinforcement, or if poor in-fill soils are your challenge, the Anchorplex™ Retaining Wall System can be an effective option. It is a cost-effective, nonconventional retaining wall system that offers unique solutions to difficult site problems. Excavating costs can be dramatically reduced and excavation depth can be minimized to preserve property.

ANCHOR WALL SYSTEMS, INC. 3900 BAKER ROAD, SUITE 380, HARRISBURG, PA 17109

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**CAPITOL GATEWAY MARKETPLACE**  
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DATE  
05.31.13

TITLE  
CONCEPTUAL RETAINING WALL IMAGES/PRECEDENT

SHEET