

**MONUMENT BALLPARK
SQUARE 701, SE**

WASHINGTON, DC

ZONING COMMISSION REVIEW UNDER CG OVERLAY
POST HEARING SUBMISSION, JANUARY 25, 2007

OWNER / DEVELOPER:
MASTER PLANNER
RESIDENTIAL AND HOTEL ARCHITECT:
OFFICE ARCHITECT:
LAND USE COUNSEL:
CIVIL ENGINEER:
TRAFFIC CONSULTANT:
STRUCTURAL ENGINEER:
LANDSCAPE ARCHITECT:
RETAIL ARCHITECT:
MECHANICAL/ELECTRICAL/PLUMBING:

MONUMENT REALTY
SHALOM BARANES ASSOCIATES
SHALOM BARANES ASSOCIATES
DAVIS, CARTER, SCOTT ASSOCIATES
HOLLAND & KNIGHT, LLP
BOHLER ENGINEERING
WELLS ASSOCIATES
SK&A STRUCTURAL ENGINEERS, PLLC
LANDSCAPE ARCHITECTURE BUREAU
GENSLER
GIRARD ENGINEERING, PC

55 M STREET, S.E.

EXHIBIT A

**ARCHITECTURAL PLANS
AND
ELEVATIONS**

**MONUMENT BALLPARK
SQUARE 701, SE** WASHINGTON, DC.

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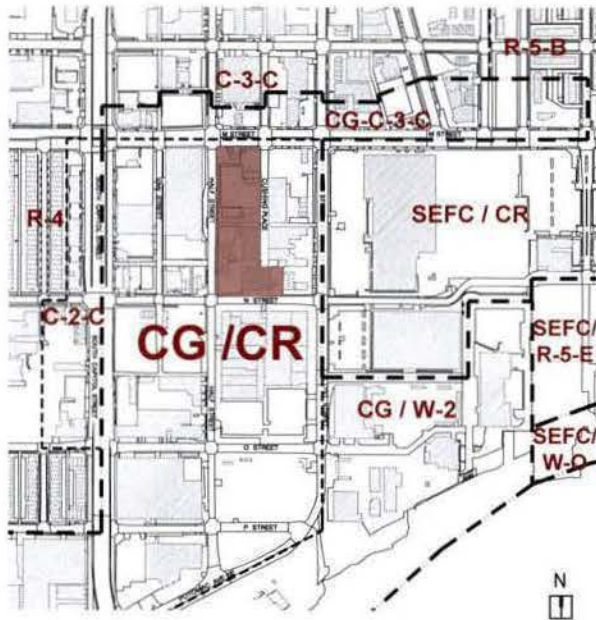
DRAWING INDEX

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ZONING COMMISSION
District of Columbia

CASE NO. 06-46-211
EXHIBIT NO. 39

shalom baranes associates architects
ZONING COMMISSION
District of Columbia
CASE NO. 06-46
EXHIBIT NO. 33A



Zone: CR/CG Overlay District	
Site Area- Combined Lot Development	
Square 701	102,494.4
Square 700 (Lot# 43, 46, 45, 37, 38)	
39, 803, 33, 802, 804, 805, 841, 800 & 804)	49,680
Total:	152,174.4

Program FAR:	
Building 1: Metro	8,410
Office	277,600
Retail	13,980
Sub-total	299,990
Building 2: Hotel	105,560
Retail	37,130
Residential	320,100
Sub-total	462,790
Lot: Tot Non-Res:	442,580
Lot: Tot Res:	320,100
Lot: TOTAL:	762,680

Zoning Regulation		CR/CG Overlay	
		Req'd/Allowed	Proposed
Height (Height act in Capitol Gateway Overlay district)		110'	110'
Total FAR Allowed		7.0 max	
FAR-Combined Lot Development (10)			
Residential (10)		7.0 max	2.10
Office			1.82
Retail			0.34
Hotel			0.59
Total Non-Residential		75 min, 3.0 max	2.91
Total FAR		7.0	8.01
FAR- Square 701 Lot			
Residential		7.0 max	3.12
Office			2.71
Retail			0.50
Hotel			1.03
Total Non-Residential		75 min, 3.0 max	4.32
Total FAR		7.0	7.44
Max angle lot FAR		8.00	7.44
Lot Occupancy %		100% comm, 75% resid	varies by floor
Building 1		100.0%	98.0%
Building 2		79.0%	92.0%
Ground Level		75.0%	75.0%
Resid. Levels 2&3		75.0%	67.0%
Resid. Levels 4-7		75.0%	60.0%
Resid. Levels 8-10		75.0%	60.0%
Required Public Space (open to sky or 10' vertical clearance)		not required (for preferred use retail)	not provided
Rear yard			
Building 1, Non-Residential		none required	none provided
Building 2, Residential: 3'ft, 12' min		28'	28'
Side Yard (3'ft or 8' min if provided)		none required	none provided

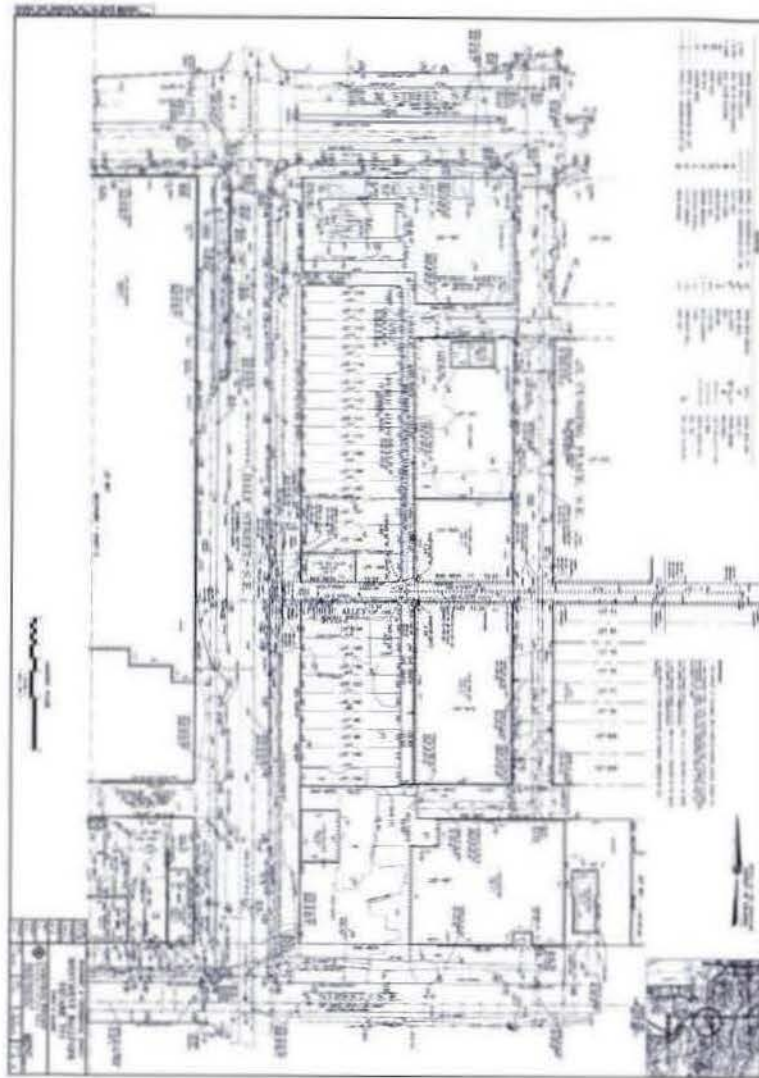
ZONING NOTES:
 1. ITEMS IN GRAY REQUIRE A VARIANCE OR SPECIAL EXCEPTION FROM ZONING.
 2. FOR ZONING PURPOSES, BUILDING 1 AND BUILDING 2 ARE ON A SINGLE LOT OF RECORD. FOR ZONING TABULATIONS, BUILDING 1 AND BUILDING 2 ARE ON SEPARATE THEORETICAL LOTS PER TITLE 11, CHAPTER 25.
 3. BUILDING 1 HEIGHT IS BASED ON M STREET R O W, WHICH IS 90'. BUILDING 2 HEIGHT IS BASED ON N STREET R O W, WHICH IS 90'.
 4. SEE SHEET A7 FOR BUILDING 1 AND BUILDING 2 MEASURING POINT LOCATIONS.
 5. OVERALL GROUND FLOOR PREFERRED RETAIL USE % IS 56%. ON BUILDING 2, GROUND FLOOR PREFERRED RETAIL USE % IS 62% WHILE ON BUILDING 1, GROUND FLOOR PREFERRED RETAIL, IS 45%. SEE A1 FOR PREFERRED USE TABULATION.
 6. FOR ZONING COURTS & ROOF STRUCTURES SETBACK DIMENSIONS SEE A7.
 7. GROUND FLOOR RETAIL CEILING HEIGHT IS 14'-0" FOR MOST RETAIL SPACE EXCEPT AS SHOWN IN A13 AND FOR BACK OF HOUSE AND SERVICE AREAS WHICH TOTAL APPROXIMATELY 25% OF GROUND FLOOR RETAIL.
 8. PREFERRED USE AT STREET FRONTAGE, PREFERRED RETAIL STREETWALL AND GROUND FLOOR PERCENTAGE CALCULATIONS INCLUDE METRO FLOOR AND FACADE AREAS.
 9. THE RESIDENTIAL RECREATION SPACE, WHICH TOTALS 4,500 SF, WILL BE PROVIDED AS FOLLOWS:
 -2ND FLOOR LOBBY AREA: 1,000 SF
 -2ND FLOOR COURTYARD AND MAIN ROOF TERRACES: 3,500 SF

Court -open(8) (Res 3'ft 10 min)	see court fabrication on A7	no relief required
(Non-Res: 2.5'ft 5 min)		
Closed Court (8) (Res: 4'ft 15 min)	see court fabrication on A7	no relief required
(Non-Res: 2.5'ft 12 min)		
Recreation Space	15% of read. Gross area	1.5%
Roof Structures		
Number (1 per core)	One to One	4
Setbacks	One to one	varies-see sheet A7
Parking (11)	Req'd/Allowed	Proposed
Residential (1 per 3 units)	110	
Office (1 per 1800 sqft)	154	
Retail (1 per 750 sqft)	65	
Hotel (1 per 4 rms & 1 per 300SF of function rm)	54	
Total	383	412 to 543 (w/vault space)
Loading		
Residential	1-55, 1-20 berth	1-55, 1-20
Office	3-30, 1-20	3-30
Retail	1-65, 1-30, 1-20	2-30, 1-20
Hotel	1-30, 1-20	1-30
Total	2-65, 5-30, 4-20	1-65, 6-30, 2-20

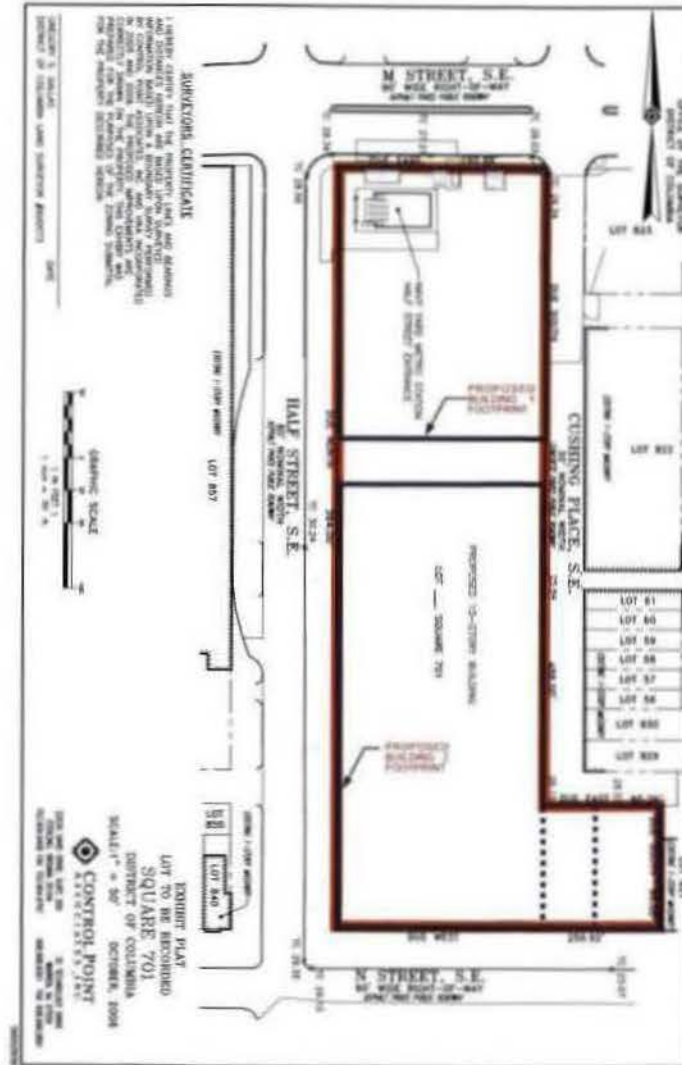
CG Overlay Issues		
Half Street		
Setback Height:	65'+10'	80'
Setback Width	20'-8"	12'
Preferred Retail % (8)	75%	56%
Retail Ceiling Height (7)		
Primary Retail Space	14'	14'
Back of House Retail Space	14'	11'
Retail 5-A on Half St and Retail 7 on N St	14'	11'-6" and 13'-0"
Parking/Loading Driveways	None allowed	None provided
100% preferred use at street frontage (8)	100%	75%
M Street		
Preferred Retail %	35%	45%
15' setback from sidewalk	15'	15'
100% preferred use at street frontage (8)	100%	50%
50% of streetwall preferred retail (8)	50%	50%
Retail Ceiling Height (7)	14'	14'11"

10. DOES NOT INCLUDE RESIDENTIAL OR NON-RESIDENTIAL FAR TO BE CONSTRUCTED IN SQUARE 700. FAR MAY BE REALLOCATED AS PERMITTED BY ZONING REGULATIONS.
 11. SEE A6 FOR PARKING TABULATIONS.

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EXISTING CONDITIONS



PROPOSED PLAT

PROPOSED LOT TO BE RECORDED

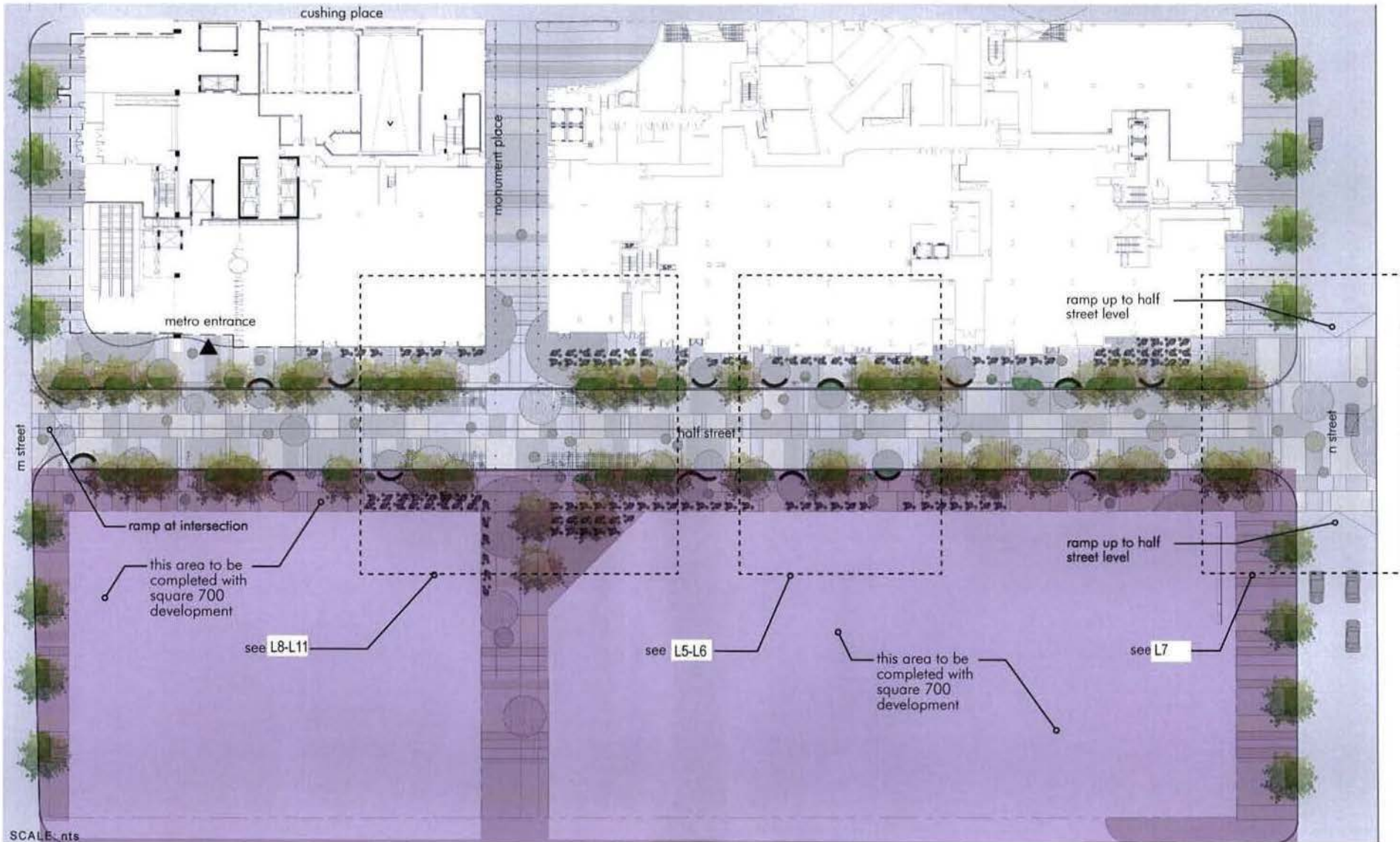
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SURVEYOR'S EXISTING CONDITIONS & PROPOSED PLAT-LOT TO BE RECORDED

D2

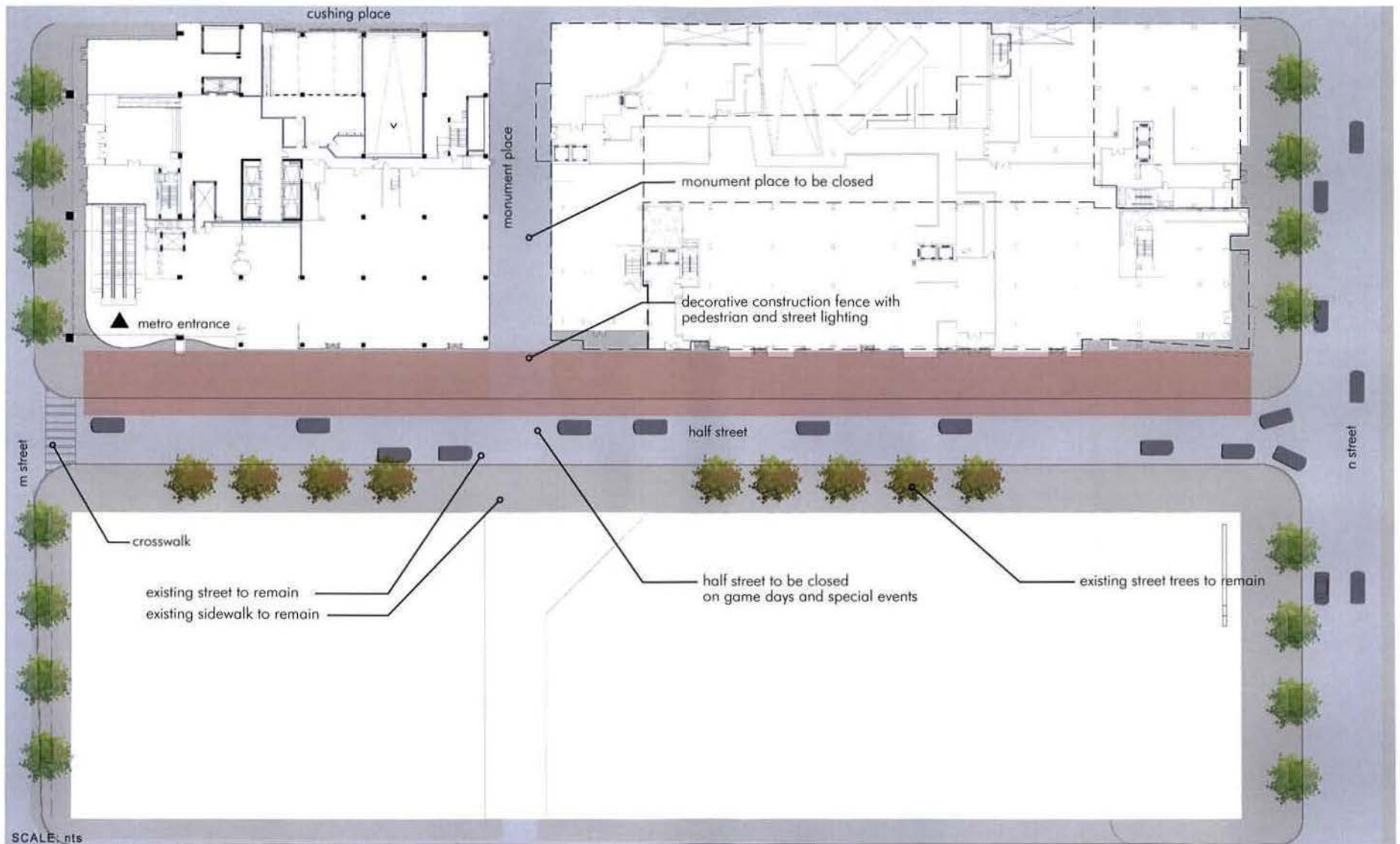
control point associates, inc. | shalom baranes associates | architects



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OVERVIEW PLAN OF COMPLETED STREETScape

L1



SCALE: 1/8" = 1'-0"

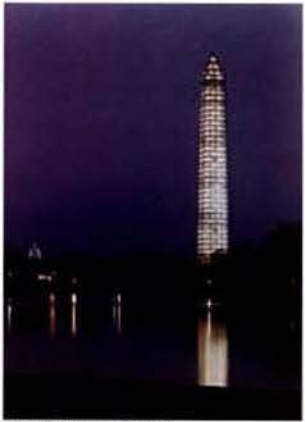
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INTERIM PLAN APRIL 2008-APRIL 2009

L2

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SCAFFOLDING WITH SCRIM



ILLUSTRATION AND COLLAGE STYLE



BILLBOARD LIGHTING

See following page
for detail

Rendering of barrier for placement and
scale relative to completed building.



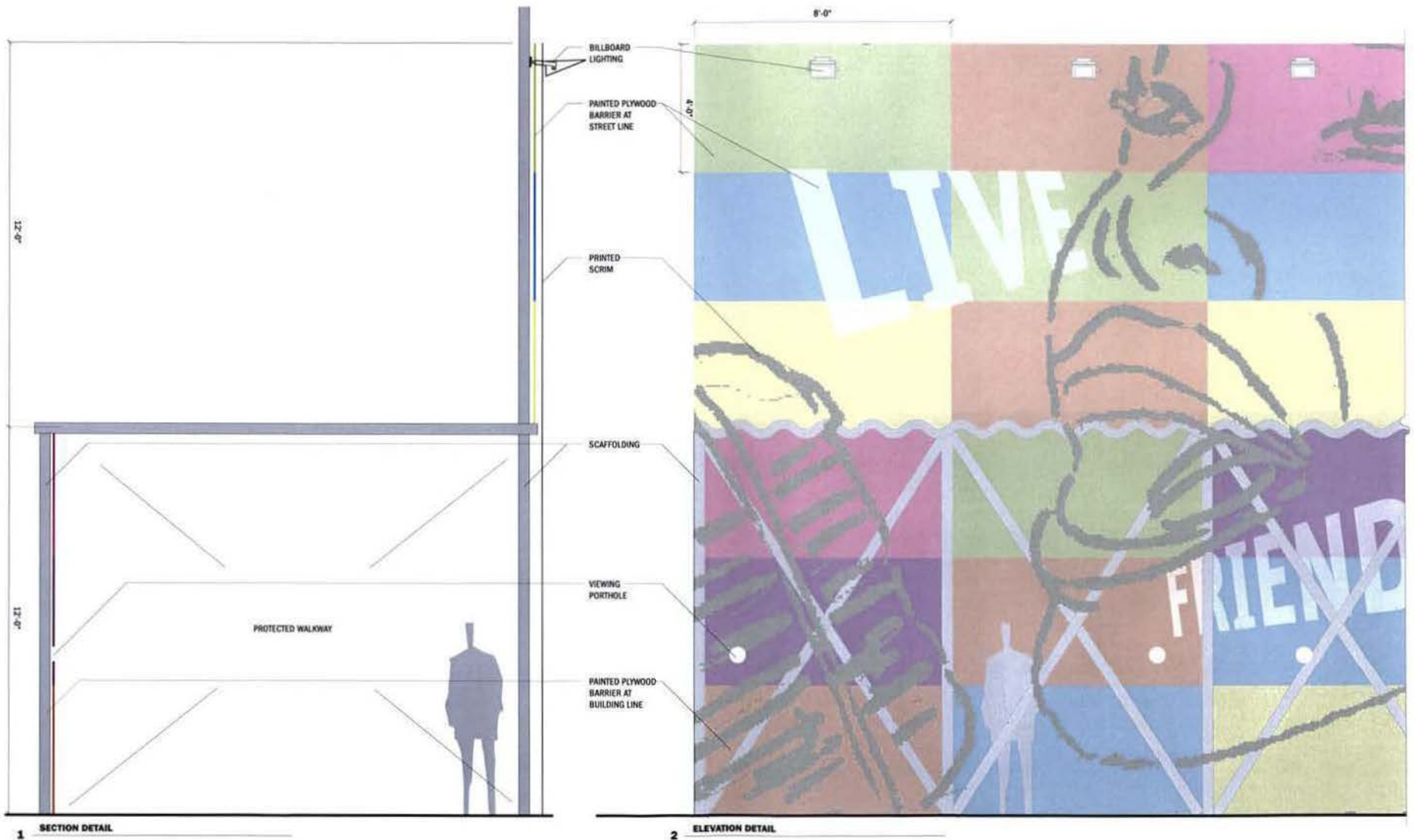
1 ELEVATION
SCALE: NTS

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INTERIM PLAN APRIL 2008-APRIL 2009 L3

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1 SECTION DETAIL

2 ELEVATION DETAIL

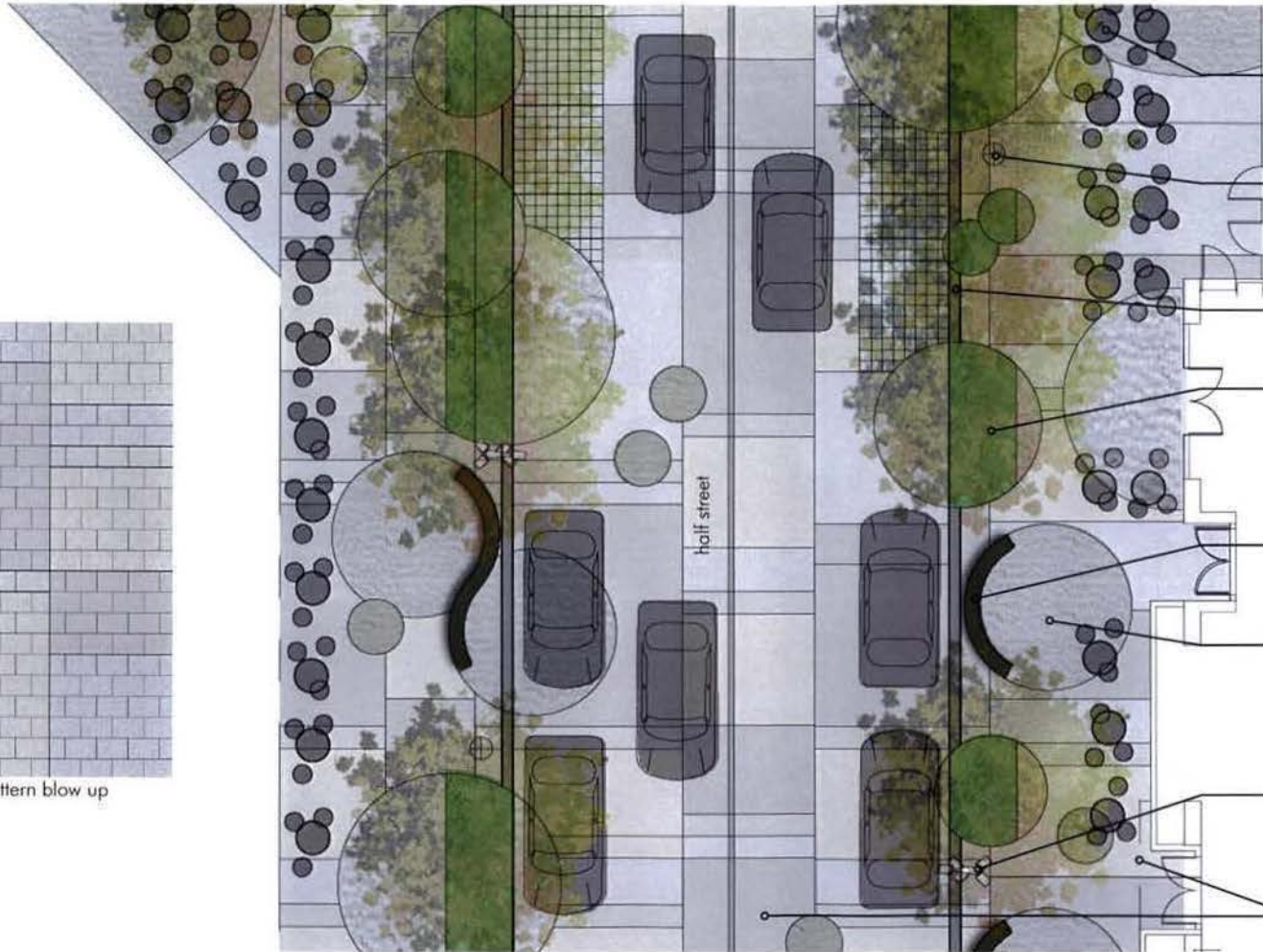
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INTERIM PLAN APRIL 2008-APRIL 2009

L4



pavement pattern blow up



cafe seating

litter receptacle
by Landscape Forms,
per AWI standard
8.2.(2)

trench drain to
detention area
by Urban Accessories

detention plantings:
canopy trees,
flowering shrubs
and perennials

curved wood bench by
Sitecraft

permeable cobble
paving by Eurocobble
per AWI standard
6.1.(10)

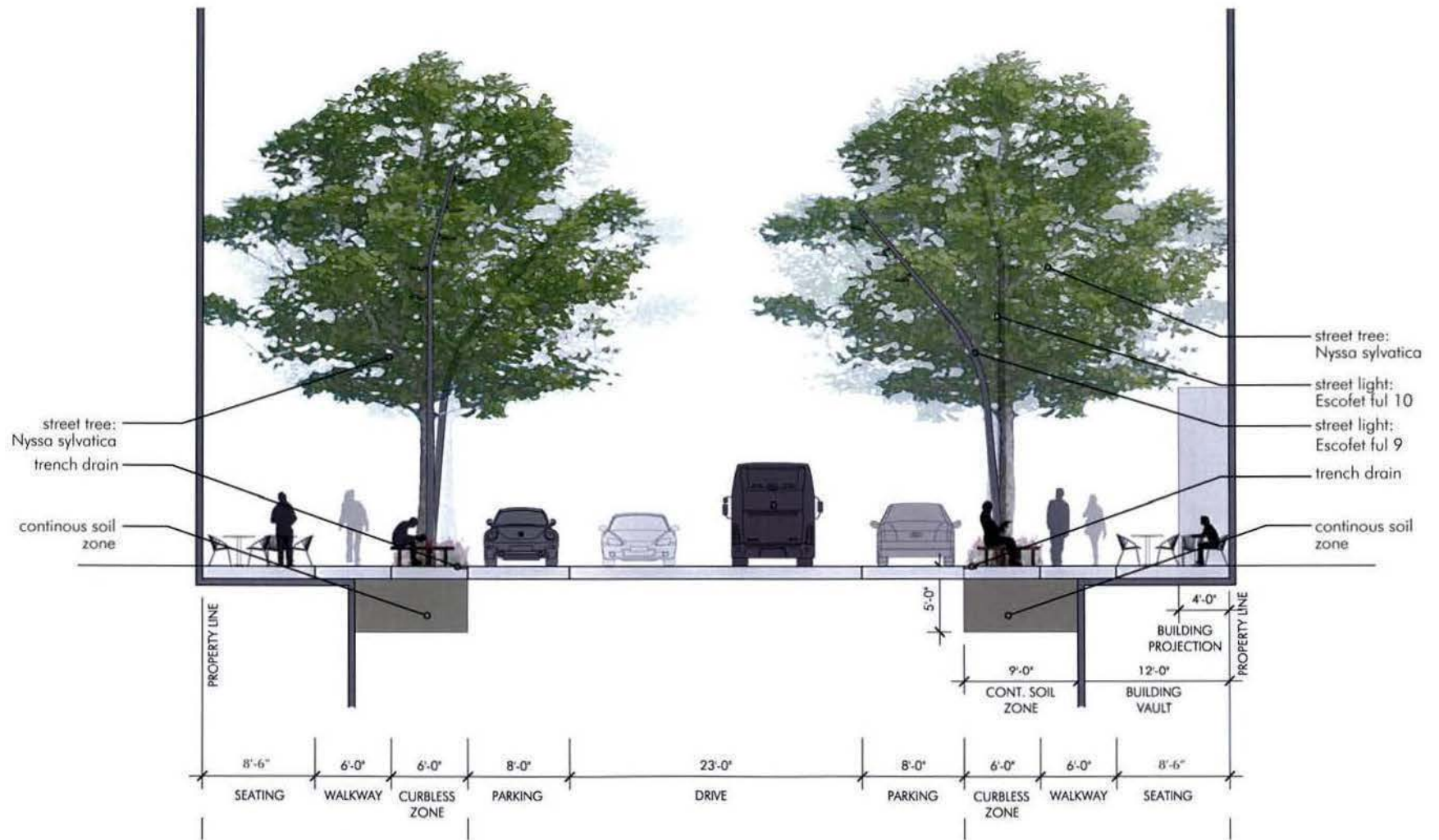
street lights by Escofet

permeable unit
pavers by Hanover
per AWI standard
6.1.(3) & 6.1.(10)



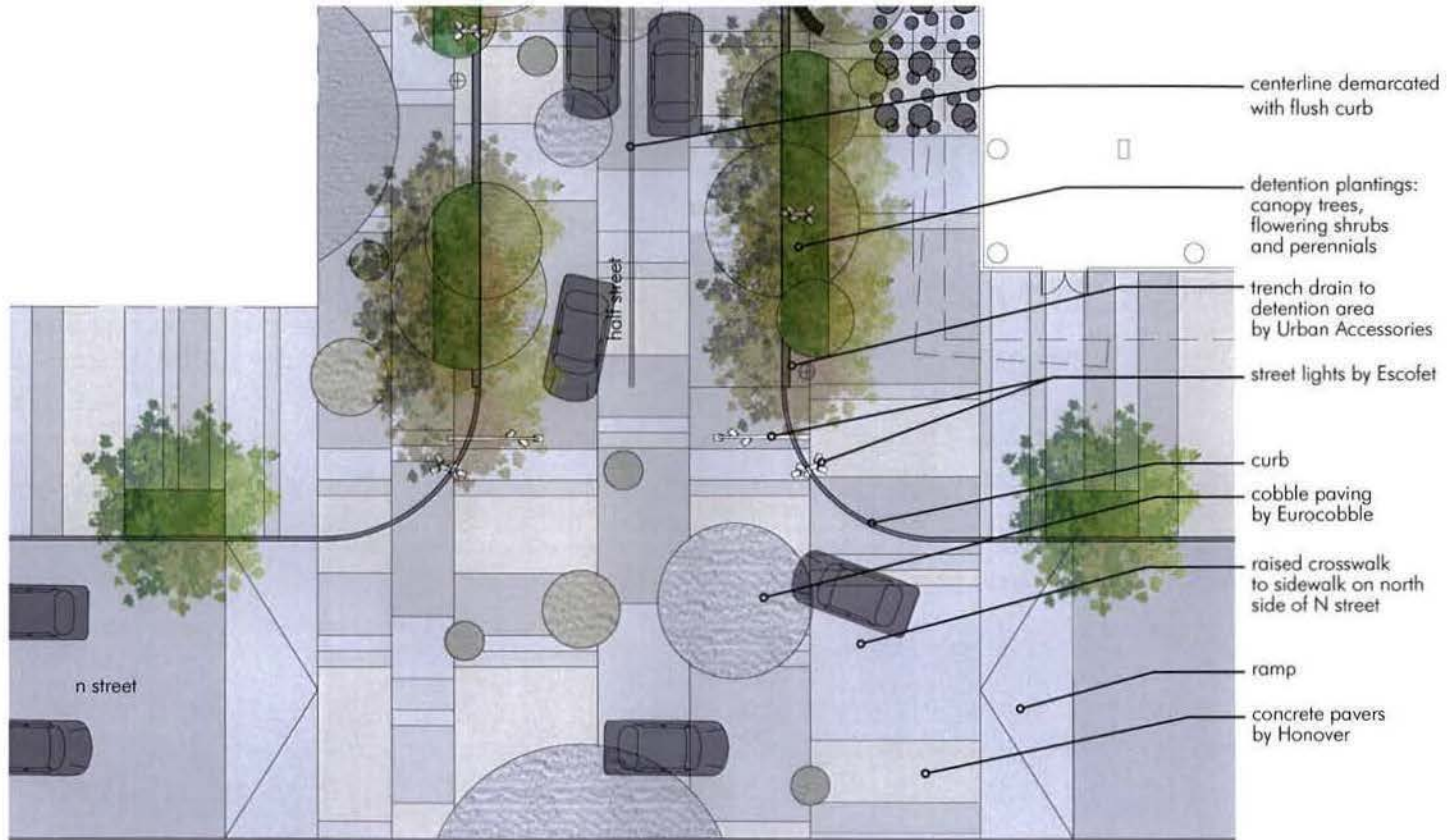
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STREETSCAPE DETAIL - HALF STREET L5



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STREETSCAPE- HALF STREET SECTION L6



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STREETSCAPE- HALF STREET AND N STREET INTERSECTION L7

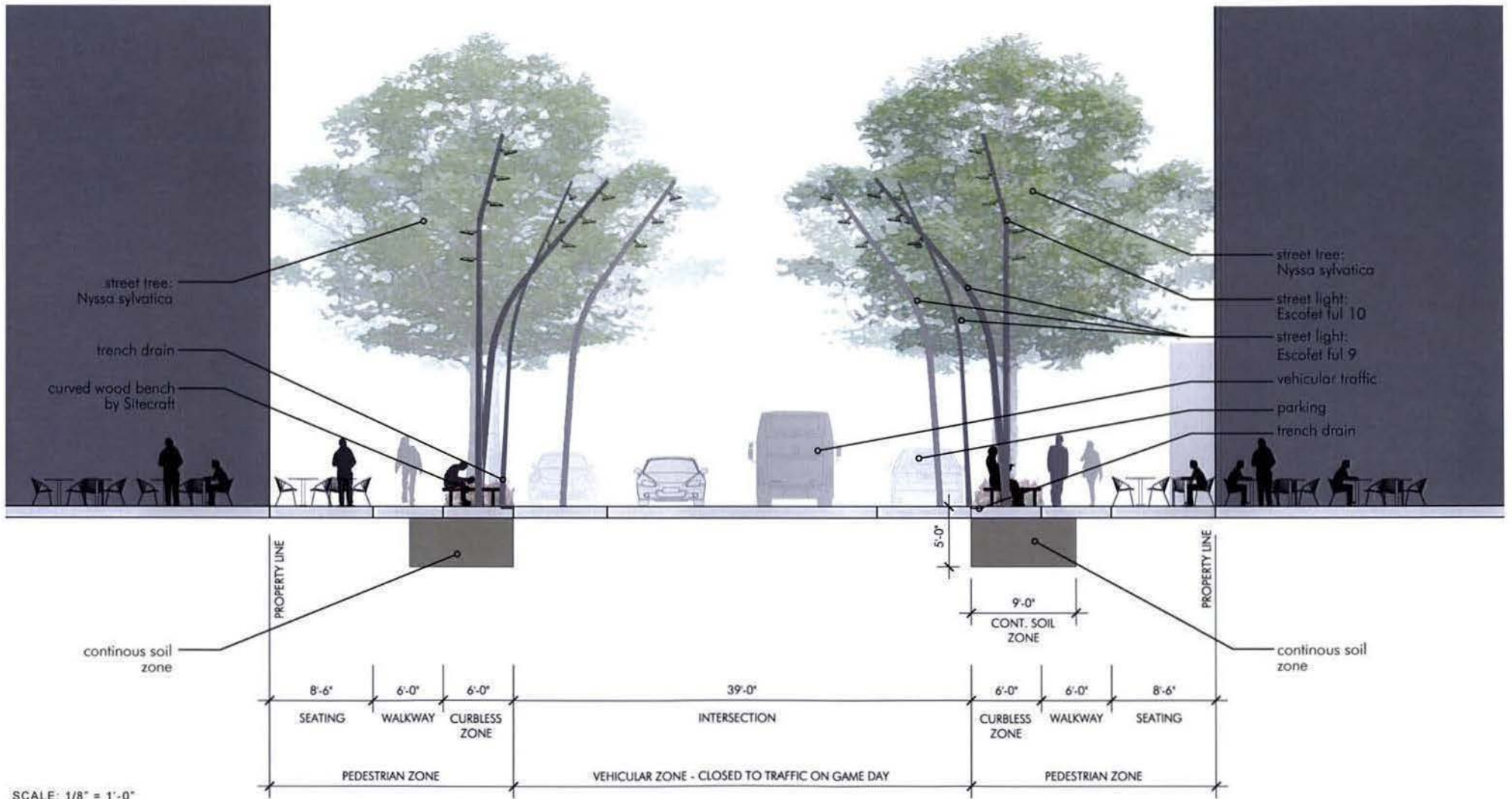


SCALE: 1/16" = 1'-0"

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STREETSCAPE- HALF ST. AND MONUMENT PLACE INTERSECTION- NON-GAME DAYS L8

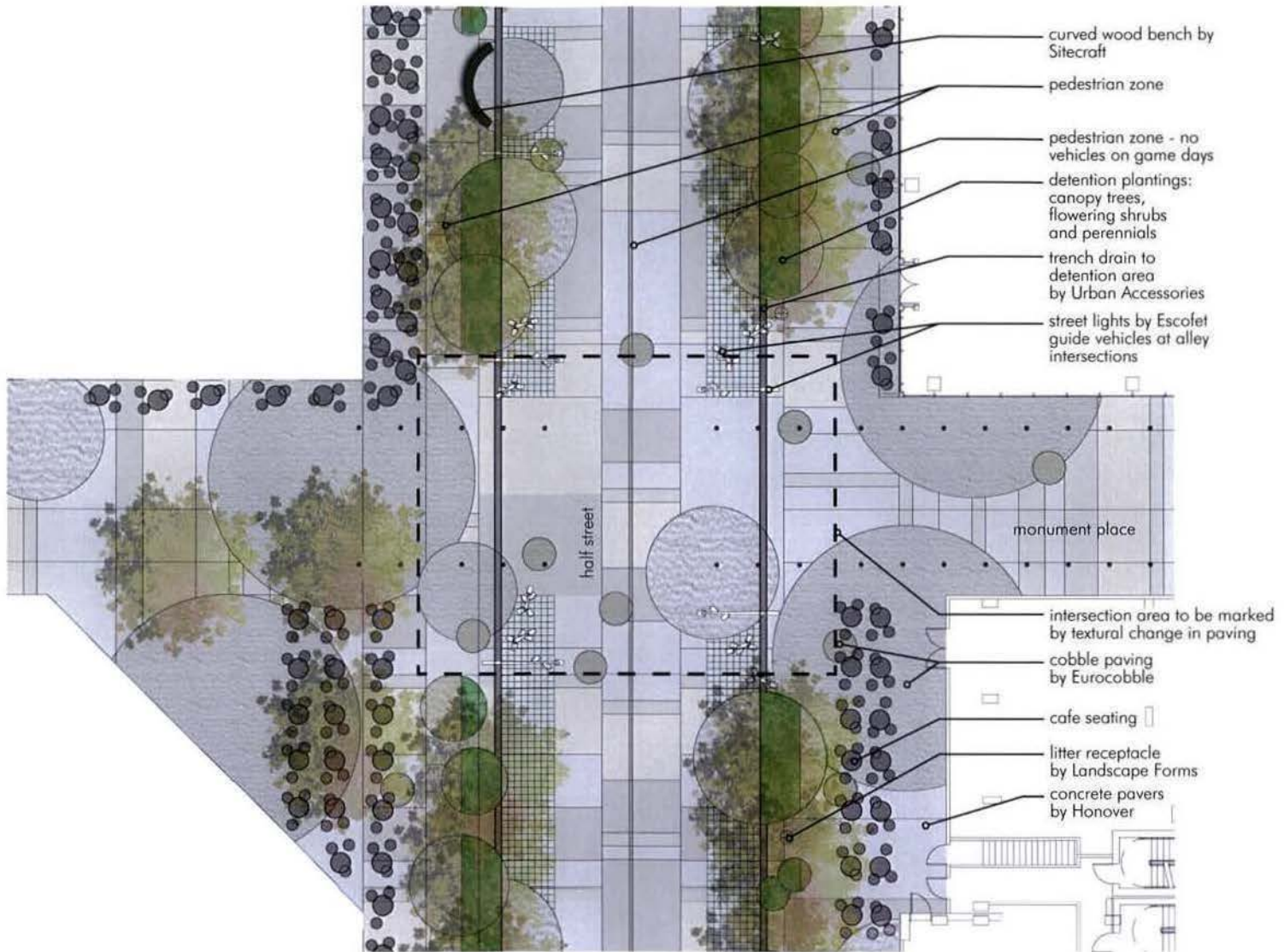
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STREETSCAPE- HALF ST. AND MONUMENT PLACE SECTION - NON-GAME DAYS

L9




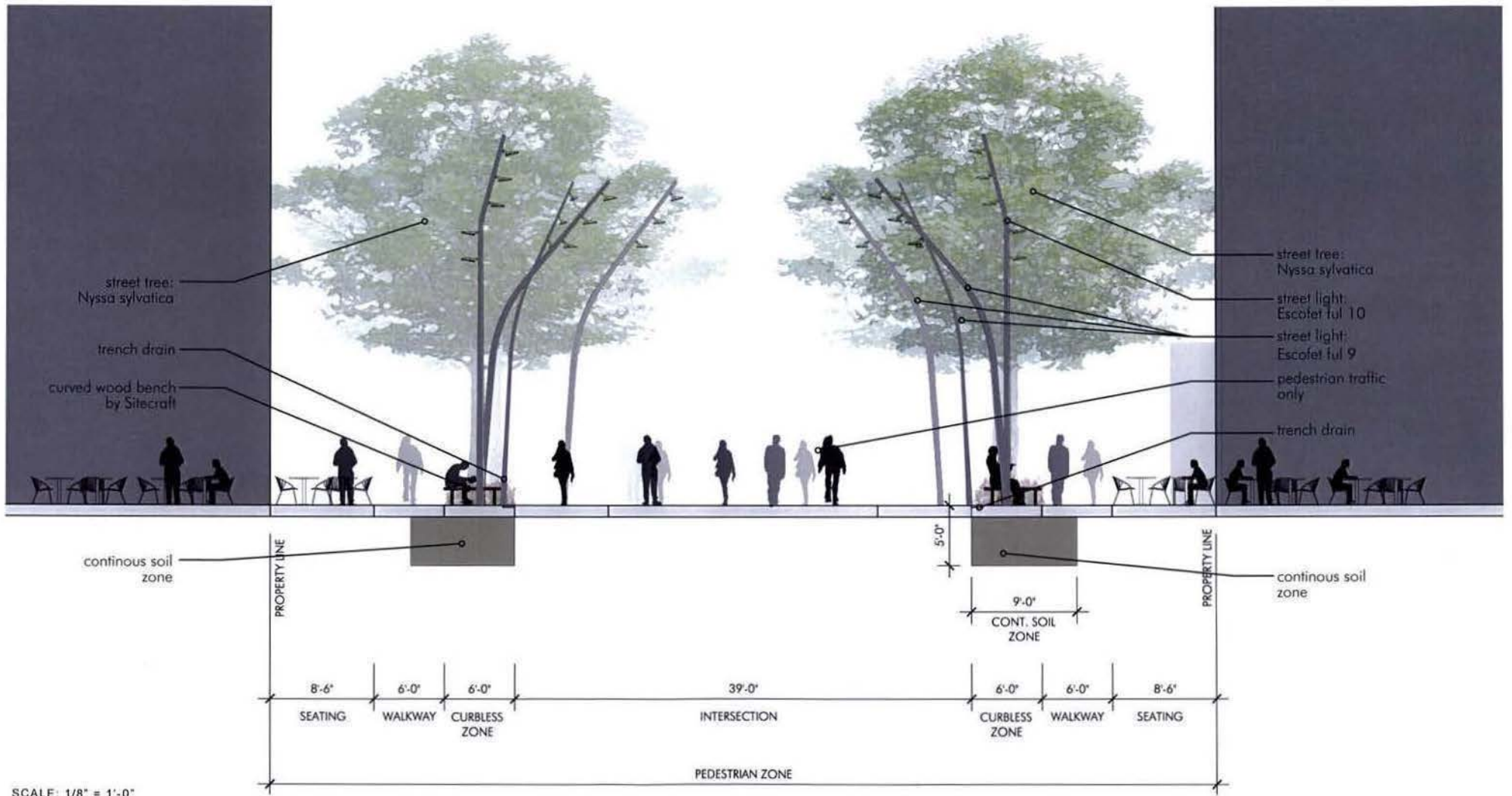
SCALE: 1/16" = 1'-0"

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STREETSCAPE- HALF ST. AND MONUMENT PLACE INTERSECTION-GAME DAYS L10

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Genstor  [lab] architects



SCALE: 1/8" = 1'-0"

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STREETSCAPE- HALF ST. AND MONUMENT PLACE SECTION-GAME DAYS L11

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Gensler (585) [lab] architects



Concrete Pavers by Hanover (top)
Concrete Cobbles by Eurocobble (bottom)



Aerial Street Cam by Cablecam



Pitch Litter Receptacle by Landscape Forms



Bike Rack by Creative Pipe



Ful Series Street Lights by Escofet



Stormwater Detention Area




Underlit Curved Wood Bench by Sitecraft

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STREETSCAPE ELEMENTS L12

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Soft Rush



Blueflag Iris



Lady Fern

Chokecherry



Redtwig Dogwood



Canna Lily



Virginia Sweetspire



Black Tupelo

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STREETSCAPE PLANTING L13

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Santana Row - California



Verkehrsberuhigung - Germany



Santana Row - California



East Wing Nat'l Gallery of Art - Washington, DC



Clematis Street - Florida



Woonerf - Holland

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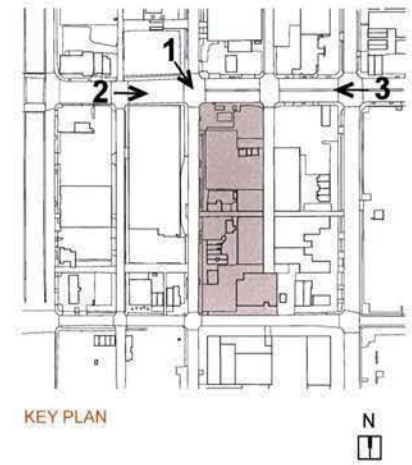
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STREETSCAPE CURBLESS PRECEDENTS

L14



1. M & HALF STREETS INTERSECTION
LOOKING SOUTH



2. M STREET LOOKING EAST



3. M STREET LOOKING WEST

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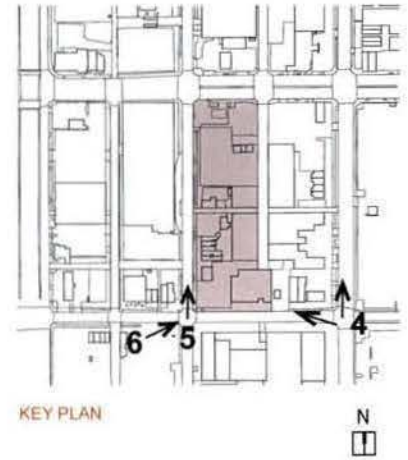
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SITE PHOTOS S1

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4. N & FIRST STREETS INTERSECTION
LOOKING WEST



KEY PLAN



5. N STREET LOOKING NORTH



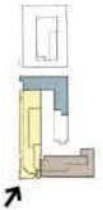
6. N & HALF STREETS INTERSECTION
LOOKING EAST

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SITE PHOTOS S2

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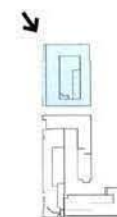


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RENDERING R1

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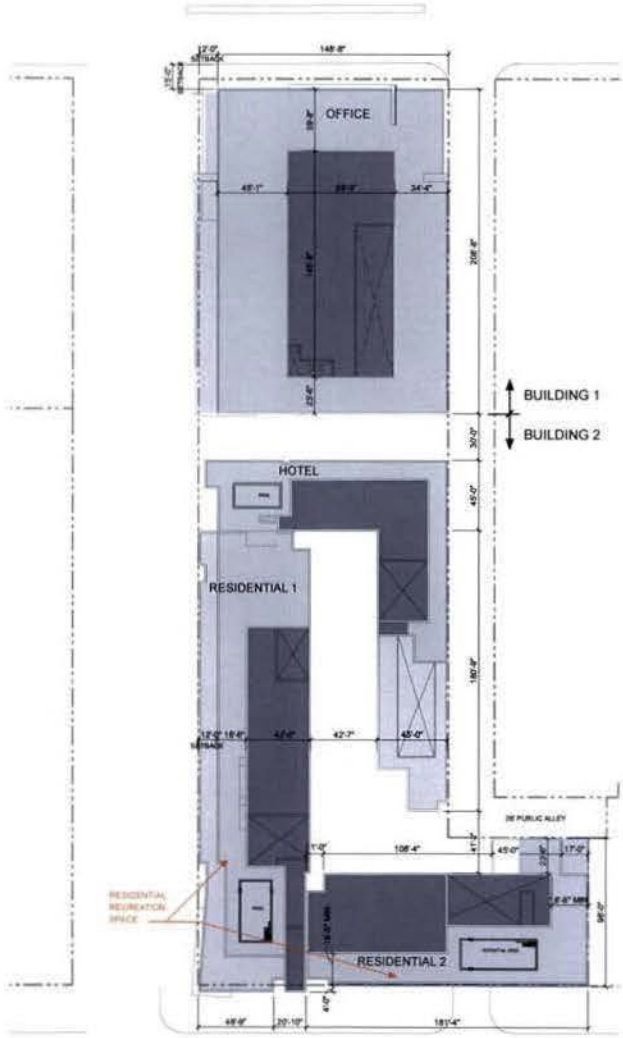
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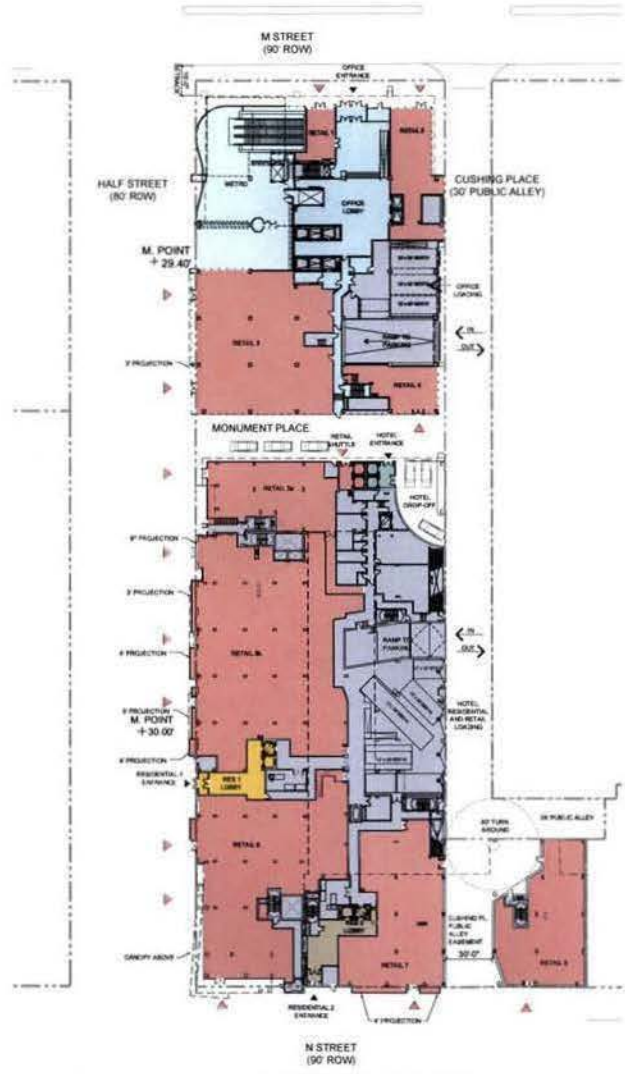
RENDERING

R2

dcs architects



ROOF PLAN



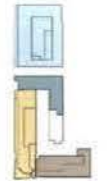
GROUND LEVEL PLAN

NOTES:
 1. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF RESIDENTIAL UNITS, STAIRS AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING SPACE LAYOUTS IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL LAYOUTS MAY VARY. REFER TO ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS.
 2. REFER TO SHEETS L1 THRU L6 FOR STREETSCAPE.

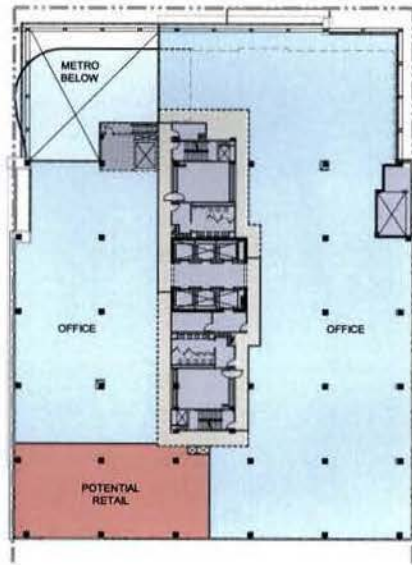
LEGEND:
 ▶ RETAIL ENTRANCE

OVERALL GROUND FLOOR PREFERRED RETAIL USE

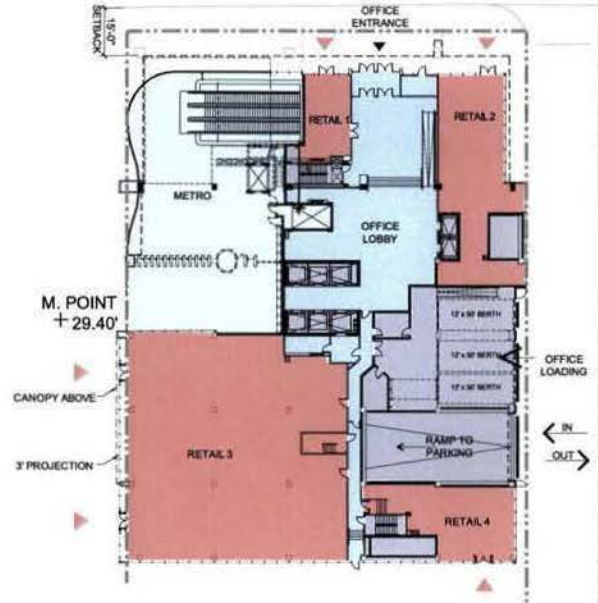
	SF	%
TOTAL GROSS FLOOR AREA	91,108	100%
RETAIL BUILDING 1	13,880	
RETAIL BUILDING 2	37,130	
TOTAL RETAIL	51,010	56.0 %
WMATA	7,400	8.1 %
COVERED CONNECTION FROM CUSHING PL. TO N STREET	4,000	4.4 %



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LEVEL 2 PLAN



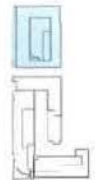
GROUND LEVEL PLAN

NOTES:

- 1 THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF RESIDENTIAL UNITS, STAIRS AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY THE PARKING SPACE LAYOUTS IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY THE FINAL LAYOUTS MAY VARY. REFER TO ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS.
- 2 REFER TO SHEETS L1 THRU L5 FOR STREETSCAPE.
- 3 INFRASTRUCTURE FOR SHOWERS TO BE PROVIDED. BUILD OUT FOR SHOWERS PER TENANT REQUEST.

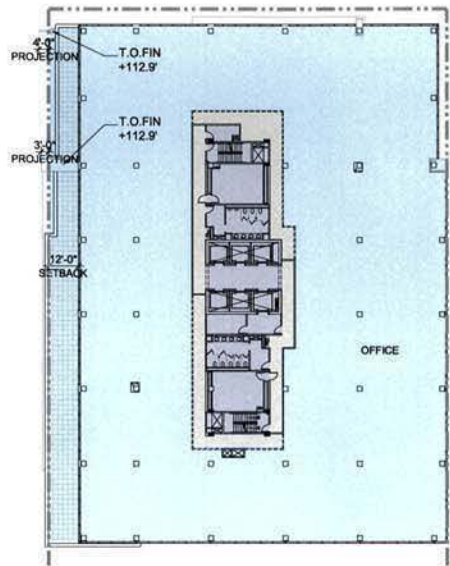
LEGEND:

- ▶ RETAIL ENTRANCE

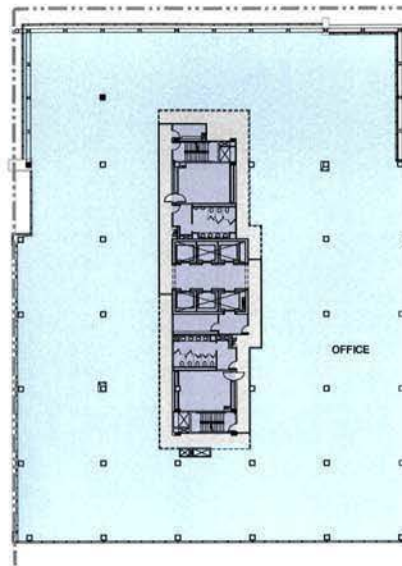


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GROUND LEVEL & LEVEL 2 PLANS - OFFICE BUILDING A2



LEVELS 7, 8 & 9 PLANS



LEVELS 3 TO 6 PLANS

- NOTES:**
1. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF RESIDENTIAL UNITS, STAIRS AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING SPACE LAYOUTS IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL LAYOUTS MAY VARY. REFER TO ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS.
 2. INFRASTRUCTURE FOR SHOWERS TO BE PROVIDED. BUILD OUT FOR SHOWERS PER TENANT REQUEST.



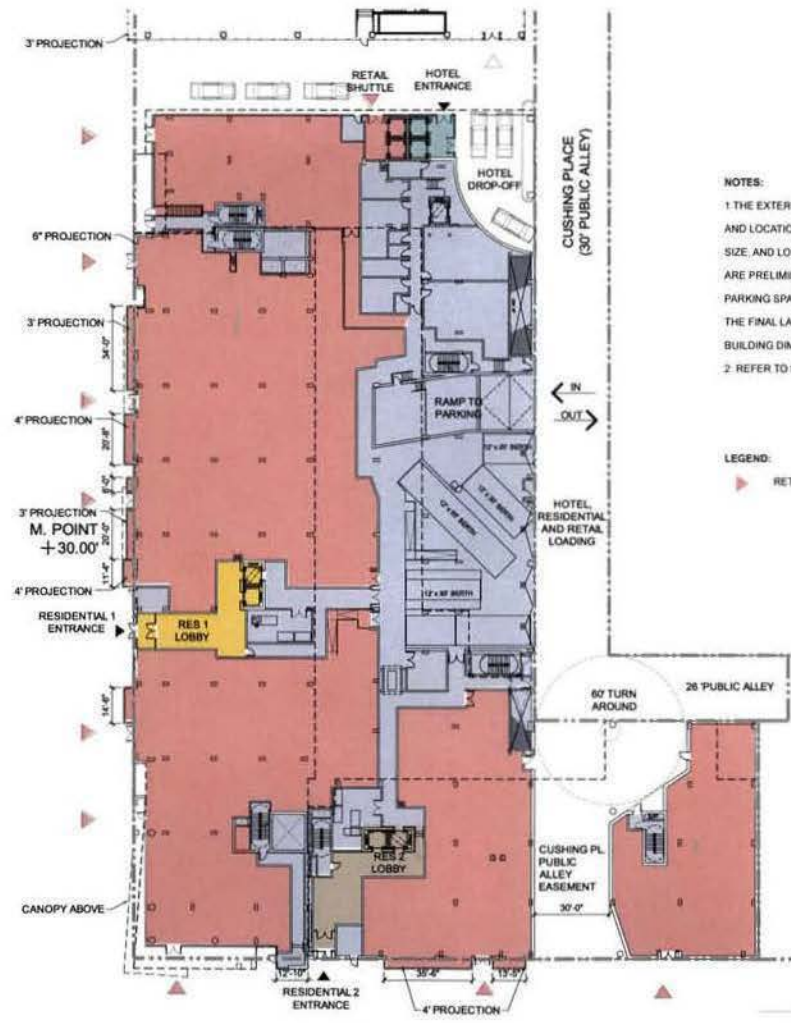
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LEVELS 3 TO 6 & LEVELS 7 TO 9 PLANS - OFFICE BUILDING

A3



LEVEL 2 PLAN



GROUND LEVEL PLAN

NOTES:

1. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF RESIDENTIAL UNITS, STAIRS AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING SPACE LAYOUTS IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL LAYOUTS MAY VARY. REFER TO ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS.
2. REFER TO L1 THRU L4 FOR STREETSCAPE.

LEGEND:

▶ RETAIL ENTRANCE



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LEVELS 8 PLAN
 (HOTEL LEVELS 4-10 SIMILAR
 RESIDENTIAL 1 LEVELS 8-10 SIMILAR
 RESIDENTIAL 2 LEVELS 8-11 SIMILAR)

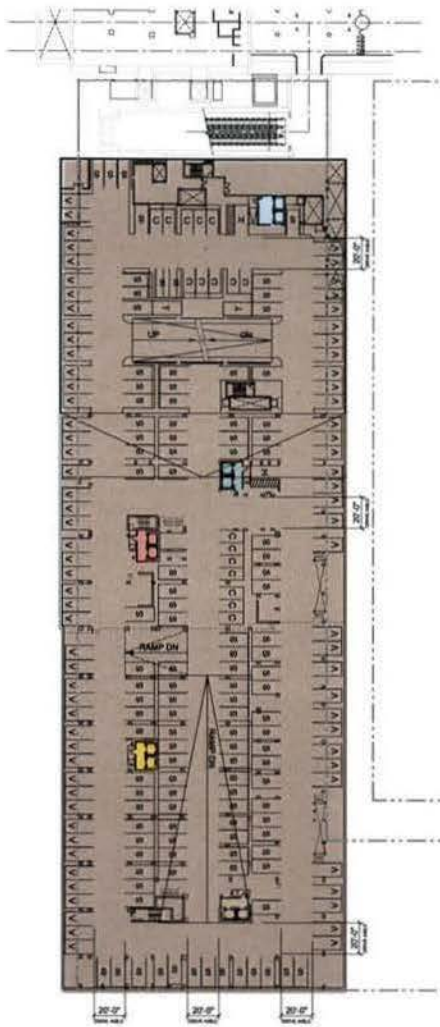


LEVELS 3 PLAN
 (RESIDENTIAL 1&2 LEVELS 4-7 SIMILAR)

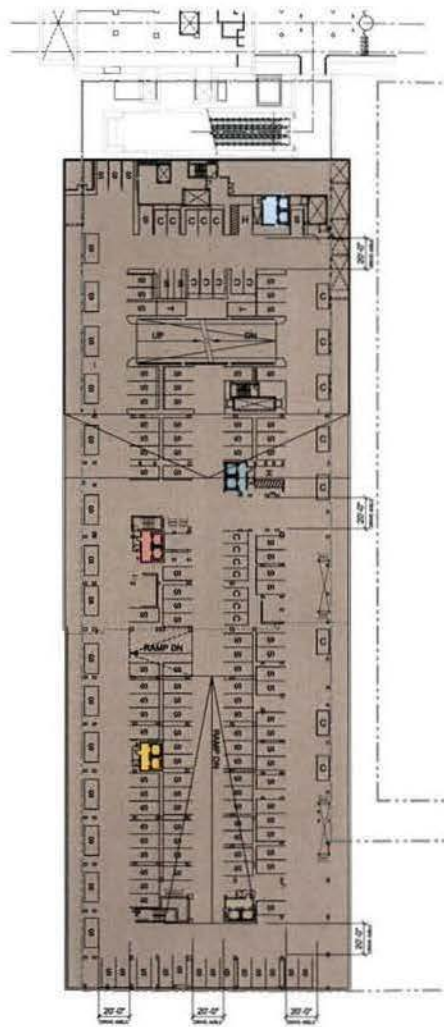
NOTES:
 1. THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF RESIDENTIAL UNITS, STAIRS AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING SPACE LAYOUTS IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL LAYOUTS MAY VARY. REFER TO ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS.



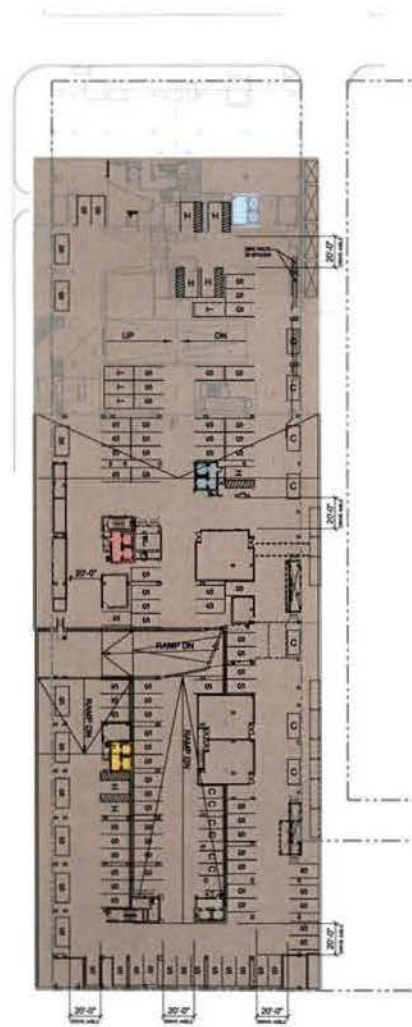
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PARKING LEVEL P2 (P3 SIMILAR)
WITH VAULT SPACES



PARKING LEVEL P2 (P3 SIMILAR)
w/o VAULT SPACES



PARKING LEVEL P1 PLAN
w/o VAULT SPACES

PARKING TABULATIONS & NOTES

LEVEL	STANDARD 8' x 19' (S)	COMPACT 8' x 16' (C)	ACCESSIBLE 12' x 19' (I)	TOTAL
P1	79	30	10	119
P2	114	37	7	158
P3	97	36	2	135
TOTAL	290	103	19	412

PARKING SPACES NOT INCLUDING VAULT (V) SPACES → 412

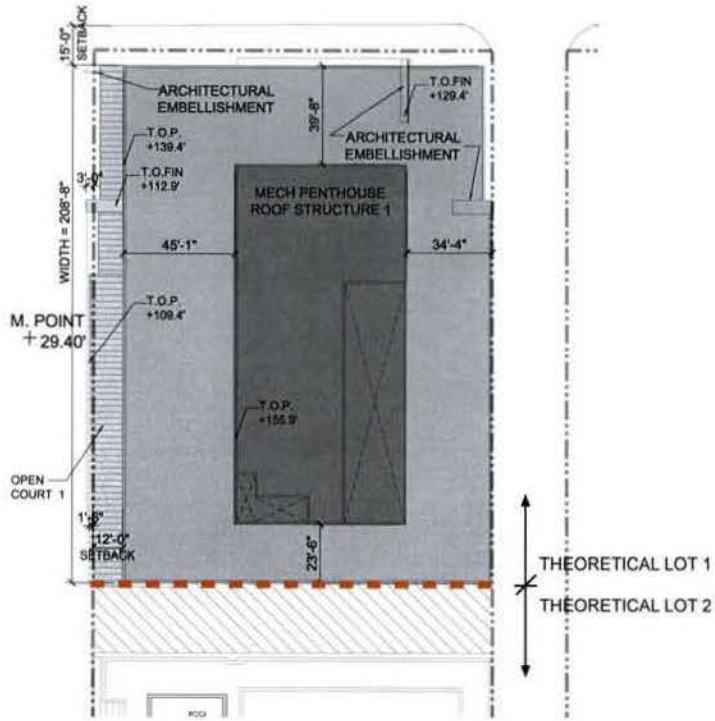
PARKING SPACES INCLUDING VAULT (V) SPACES → 543

TOTAL PARKING SPACES REQUIRED BY ZONING: 383

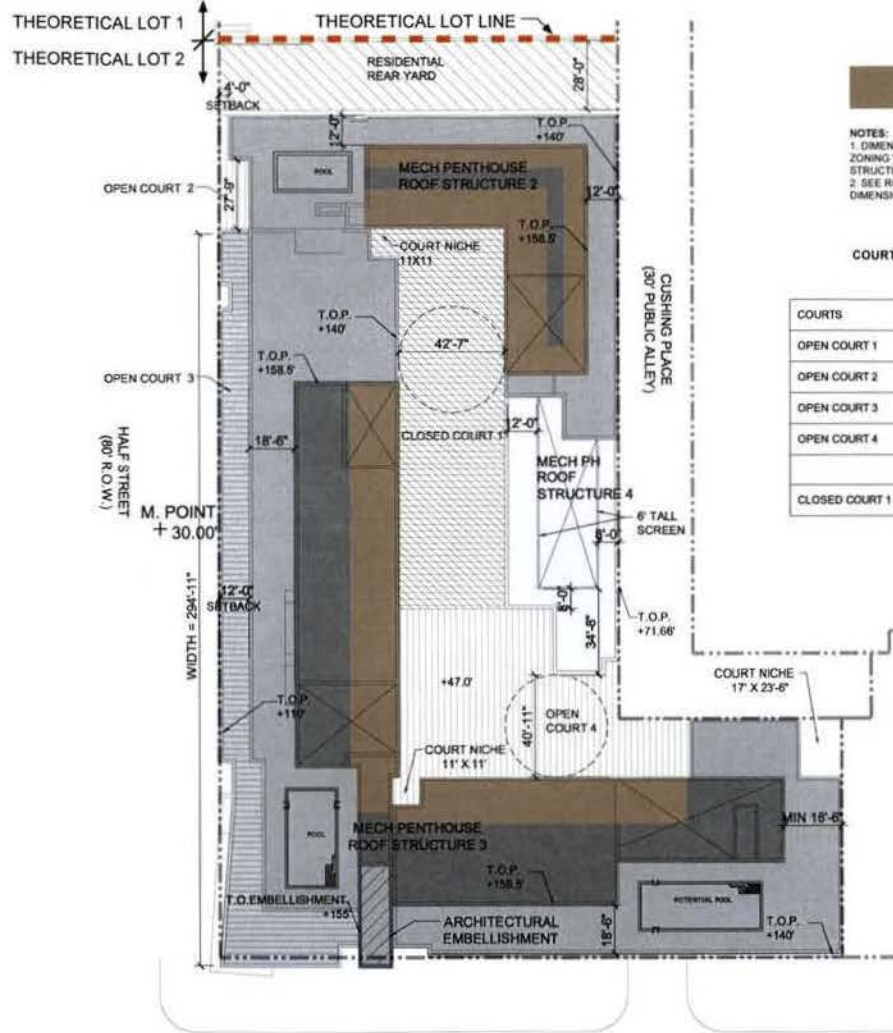
- NOTES:
1. THE PARKING SPACE LAYOUTS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL LAYOUTS MAY VARY.
 2. TANDEM (T) PARKING SPACES ARE NOT INCLUDED IN THE TOTALS INDICATED.



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BUILDING 1- OFFICE



BUILDING 2- HOTEL/RESIDENTIAL

NON COMPLIANT ROOF STRUCTURE SETBACK

NOTES:
 1. DIMENSIONS ON THIS SHEET ILLUSTRATE ZONING YARDS, COURTS, COURT NICHE AND ROOF STRUCTURES SETBACK
 2. SEE ROOF PLAN A1 FOR OVERALL BUILDING DIMENSIONS

COURTS SUMMARY :

COURTS	REQUIRED	PROVIDED
OPEN COURT 1	10'	208'-8"
OPEN COURT 2	23'-6"	27'-8"
OPEN COURT 3	10'	295'-0"
OPEN COURT 4	28'	40'-11"
CLOSED COURT 1	36'-6"	42'-7"

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OFFICE

HOTEL

RESIDENTIAL 1

A - WEST ELEVATION (HALF STEET)



OFFICE

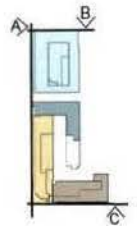
B - NORTH ELEVATION (M STREET)



RESIDENTIAL 1

RESIDENTIAL 2

C - SOUTH ELEVATION (N STREET)



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NORTH, SOUTH & WEST ELEVATIONS **A8**



OFFICE
D-OFFICE SOUTH ELEVATION (MONUMENT PLACE)



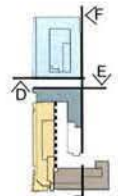
HOTEL
E-HOTEL NORTH ELEVATION (MONUMENT PLACE)



RESIDENTIAL 1 BEYOND HOTEL



OFFICE
F-EAST ELEVATION (CUSHING PLACE)



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EAST ELEVATIONS & MONUMENT PLACE ELEVATIONS

A9

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HOTEL
E - HOTEL NORTH ELEVATION (MONUMENT PLACE)



OFFICE

HOTEL

RESIDENTIAL 1
A - WEST ELEVATION (HALF STREET)

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HOTEL ELEVATIONS WITH ARCHITECTURAL EMBELLISHMENT

A9a

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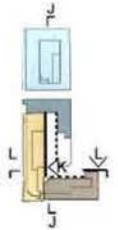
SECTION JJ



K- RESIDENTIAL 1 WEST (COURTYARD)



L-RESIDENTIAL 2 NORTH (COURTYARD SECTION)



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BUILDING SECTION/ ELEVATIONS A11

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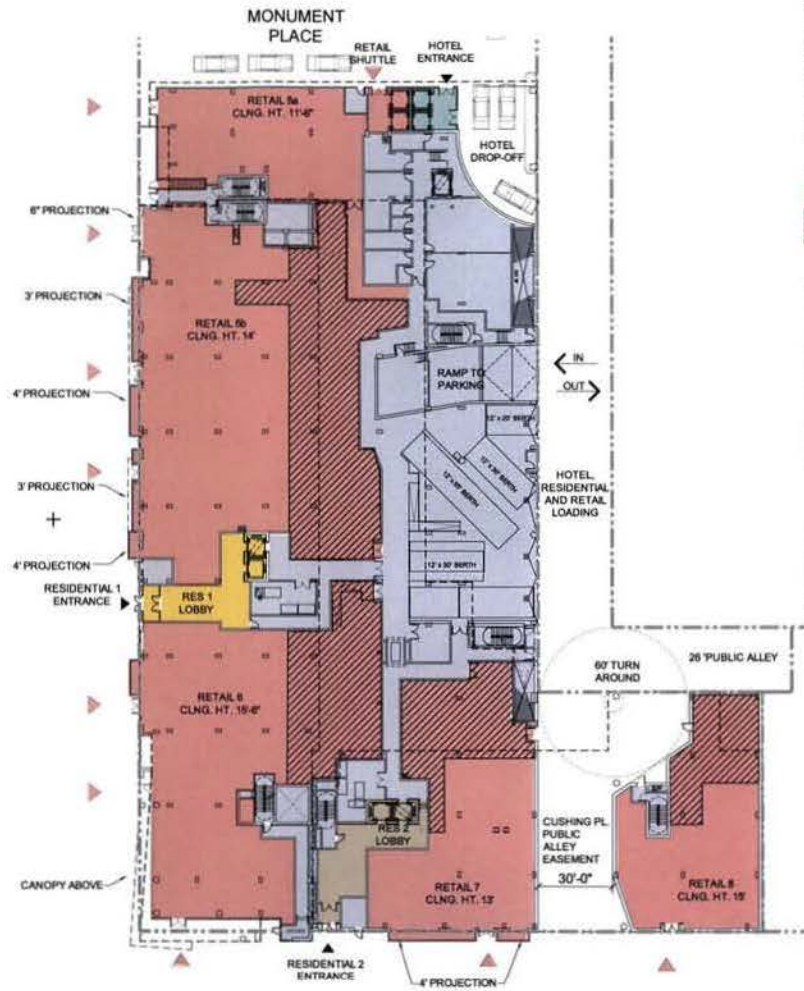
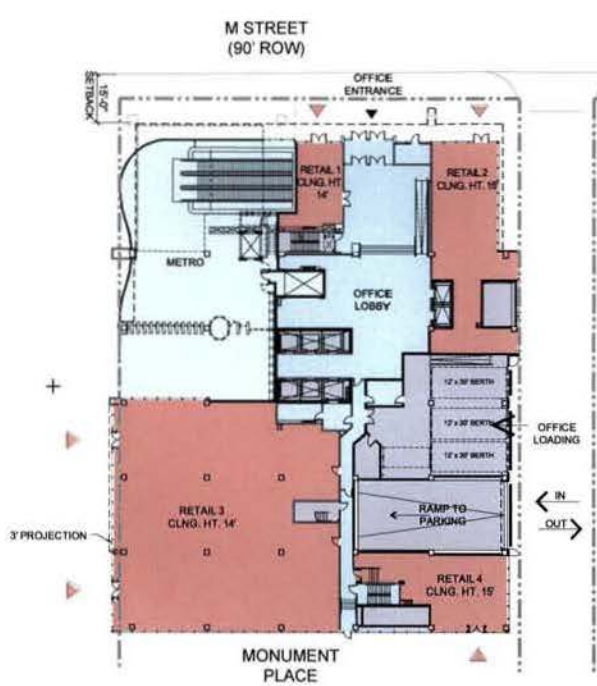
METRO EXTERIOR

Woven metal mesh wall embedded with LEDs. The lights are concentrated heavily at the bottom and cascade, or “grow” up the metal barrier, spilling over the top and into the interior.

LEDs

Woven metal fabric

LEDs in metal mesh (example)



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 2. REFER TO SHEETS L1 THRU L5 FOR STREETSCAPE.

LEGEND:
 ▲ RETAIL ENTRANCE
 [Hatched Area] 11'-0" CEILING HEIGHT ZONE (BACK OF HOUSE AND SERVICE); NOT TO EXCEED 25% OF TOTAL RETAIL.

AVERAGE CEILING HEIGHT OF RETAIL SPACE CALCULATION:

	SF	%
TOTAL RETAIL AREA AT 11'-6"	3,722 SF	7.3%
TOTAL RETAIL AREA AT 13'	5,854 SF	11.4%
TOTAL RETAIL AREA AT 14'	23,903 SF	46.9%
TOTAL RETAIL AREA AT 15' OR ABOVE	17,531 SF	34.4%
TOTAL RETAIL AREA	51,010 SF	
AVERAGE RETAIL SPACE CEILING HEIGHT (EXCLUDING SERVICE & BACK OF HOUSE ZONE)	14'-1"	

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HALF STREET RETAIL ELEVATION 1 | A14

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HALF STREET RETAIL ELEVATION 2

A15



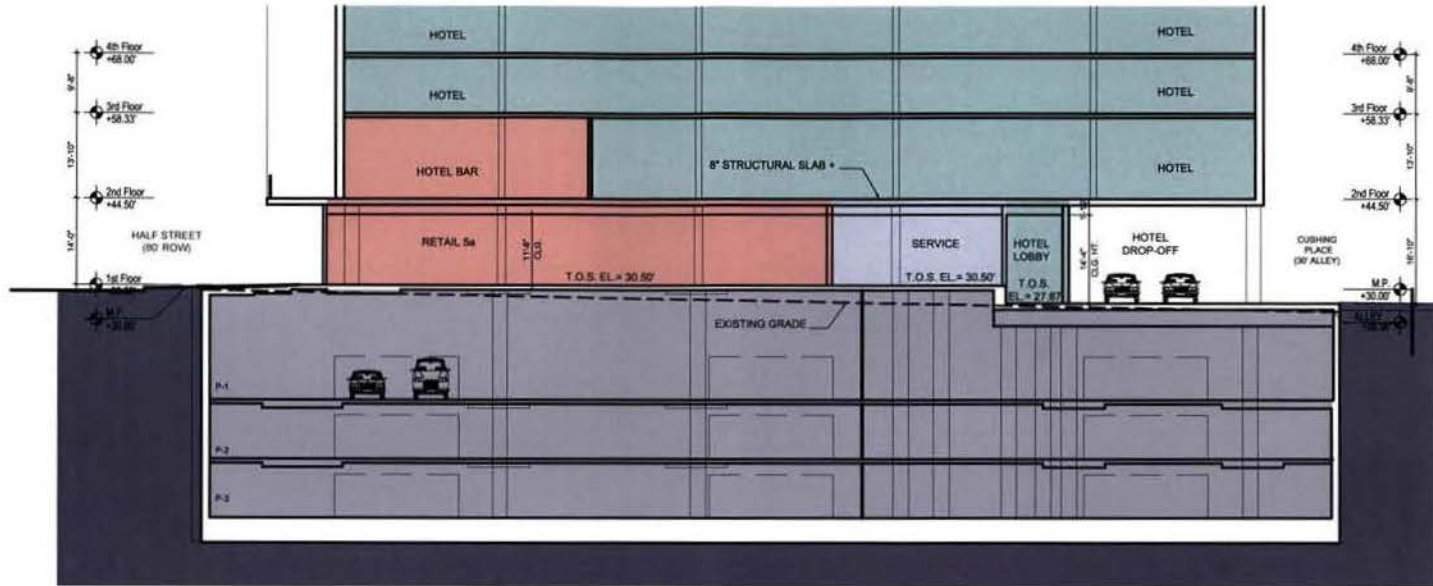
MATCH LINE

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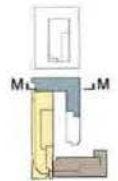
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HALF STREET RETAIL ELEVATION 3 A16

Gensler  architects



SECTION MM

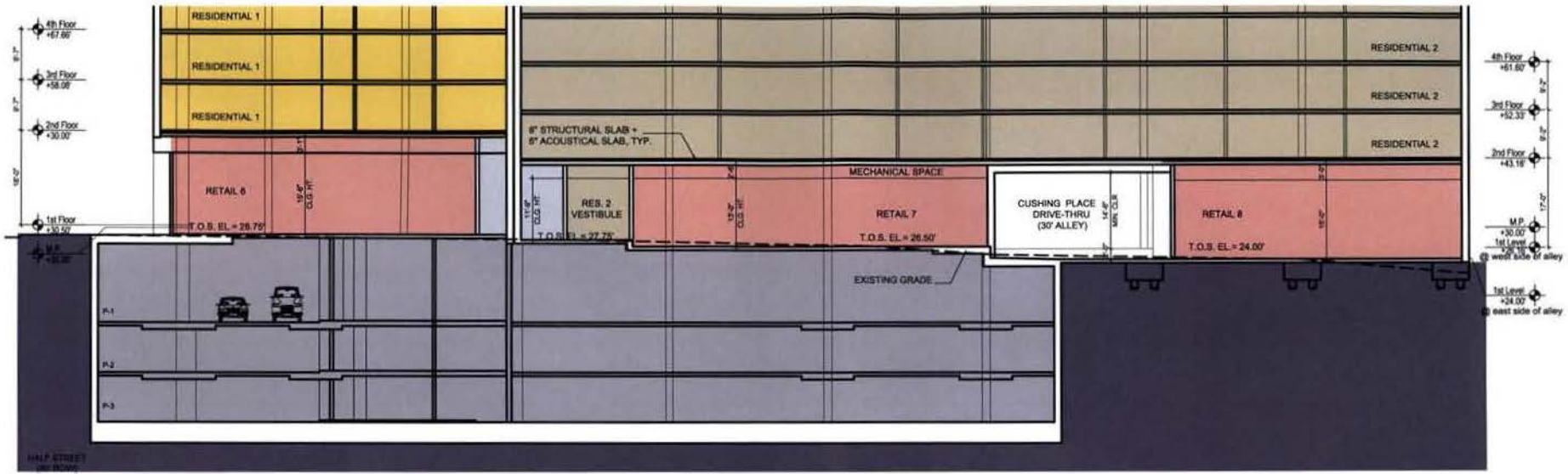


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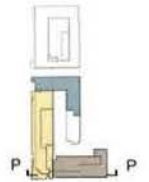
PARTIAL SECTION - RETAIL A17

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SECTION PP



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PARTIAL SECTION - RETAIL A19

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WHITE METAL PANEL
PROTRUDES 4' FROM BUILDING FACADE

GLAZED PORCELAIN CLADDING
PROTRUDES 3' FROM BUILDING FACADE

HALO-LIT DIMENSIONAL LETTERING

VINYL GRAPHICS AT GLASS PLANE

CLEAR GLASS STOREFRONT
PROTRUDES 4' FROM BUILDING FACADE

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RETAIL ELEVATION DETAIL

A20

Gensler 585 architects



- ENTRY DOORS BY TENANT
- ILLUMINATED DIMENSIONAL SIGNAGE
- LED BACKLIT LIGHT SLOTS WITH ACRYLIC FASCIA
- ILLUMINATED DIMENSIONAL SIGNAGE
- VERTICAL COLORED LED LIGHT SLOTS SET INTO STOREFRONT
- FLUSH WOOD PANELS
- NOVA WALL OPERABLE PANEL DOORS
- OUTDOOR SEATING

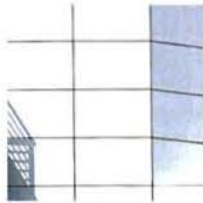
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RETAIL ELEVATION DETAIL | A21

RETAIL BASE PALETTE



Terracotta



White Metal Panels



Flush Wood Panels



Silver Metal Panels



Stone Cladding



Glazed Ceramic Tile



Clear Tempered Glass



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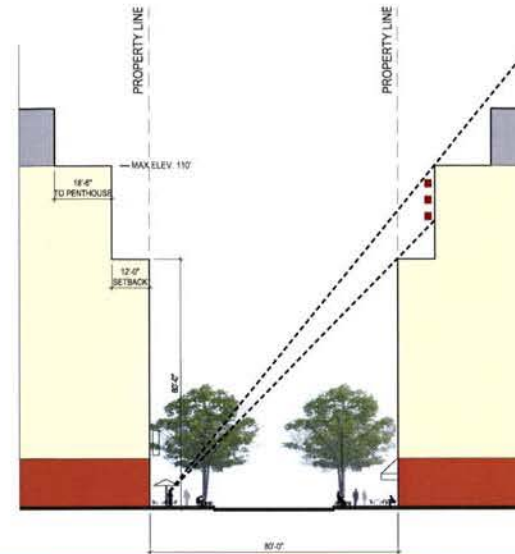
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RETAIL MATERIALS | A22

Gensler 585 architects



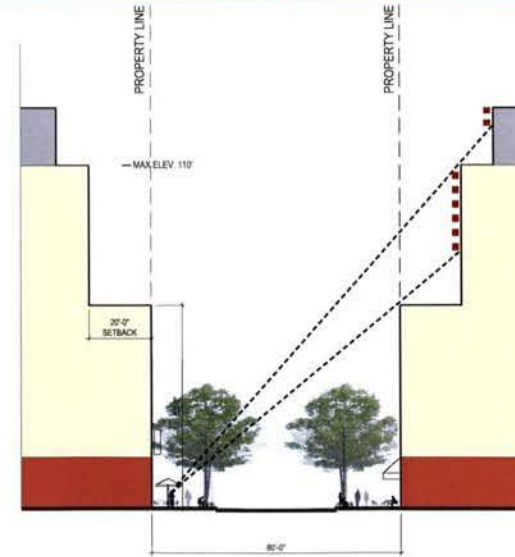
PROPOSED MASSING - 12'-0" SETBACK



HALF STREET SECTION



COMPARATIVE MASSING WITH 20' SETBACK

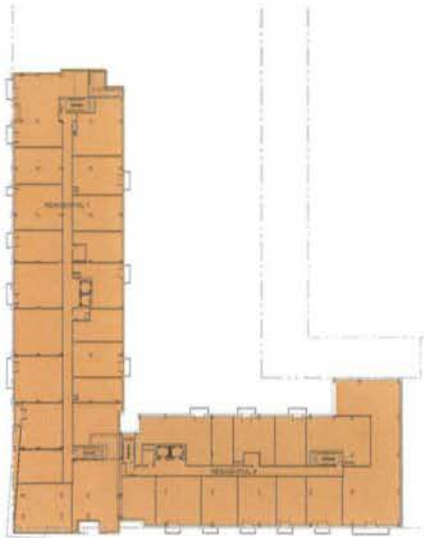


HALF STREET SECTION

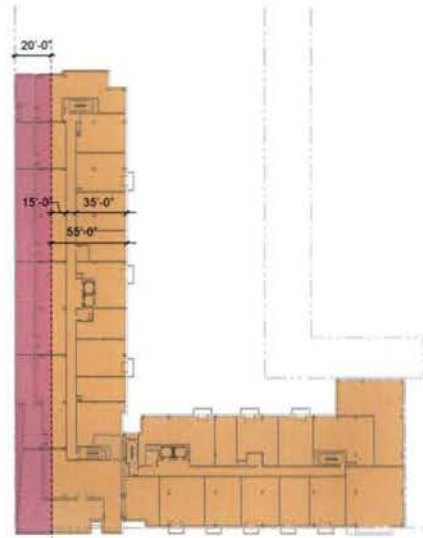
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SETBACK COMPARISON DIAGRAM - SECTION

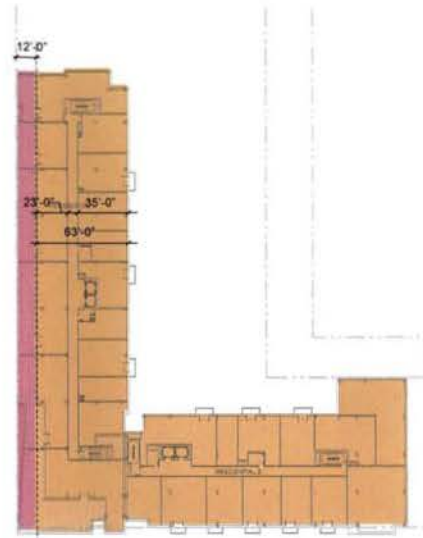
V1



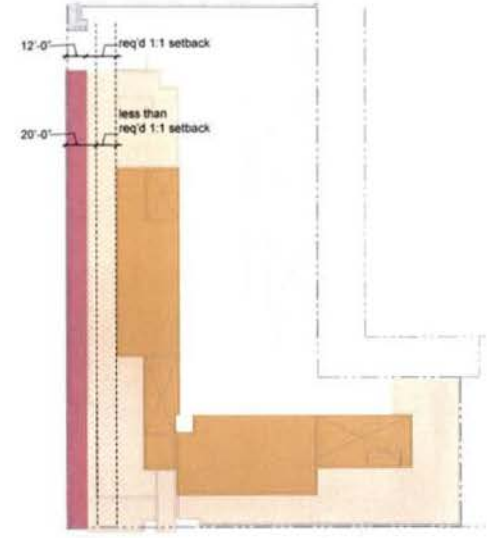
75' Residential Bar
TYPICAL FLOOR



20' Setback
UPPER FLOOR



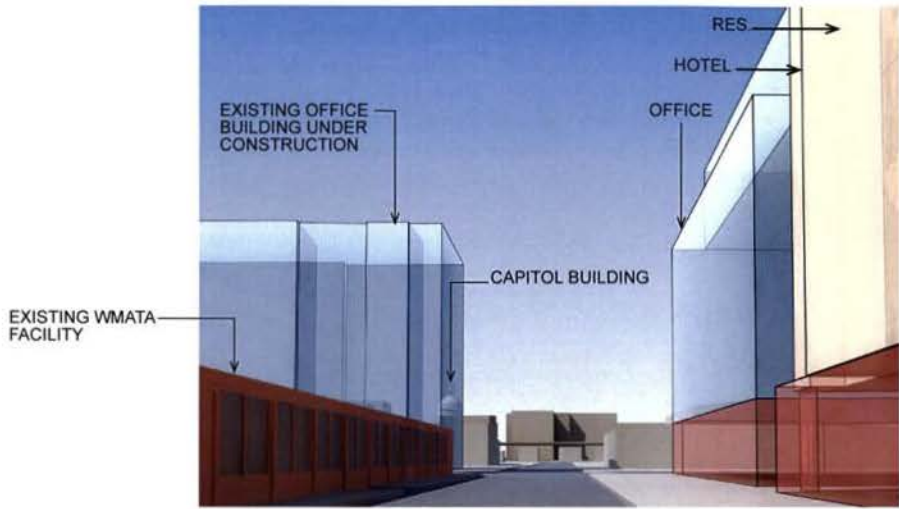
12' Setback
UPPER FLOOR



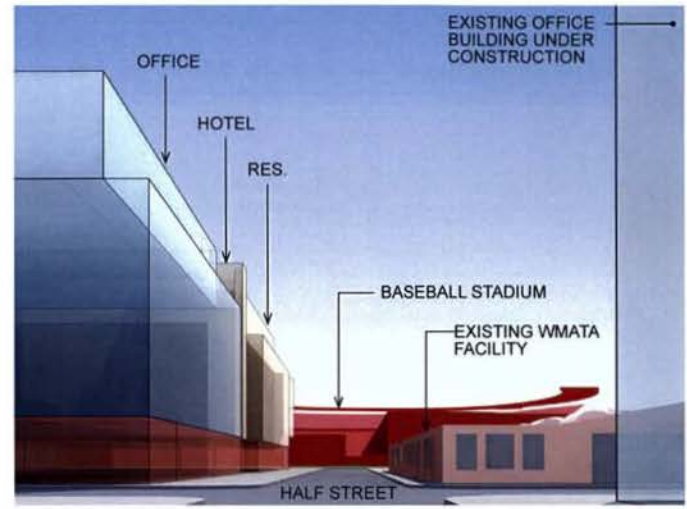
18'-6" Setback
PENTHOUSE

Impact of Typical Upper Floor Setback on Residential Bar

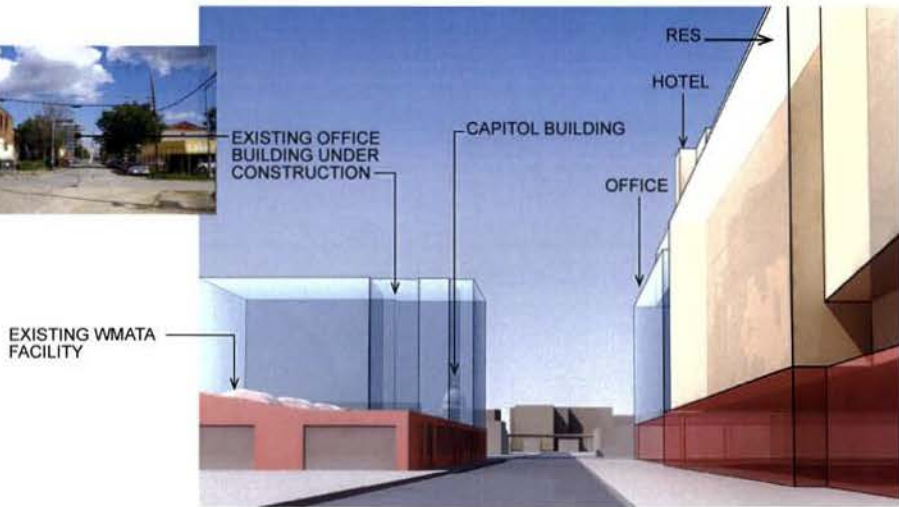
Impact of Penthouse Setback on Residential Bar



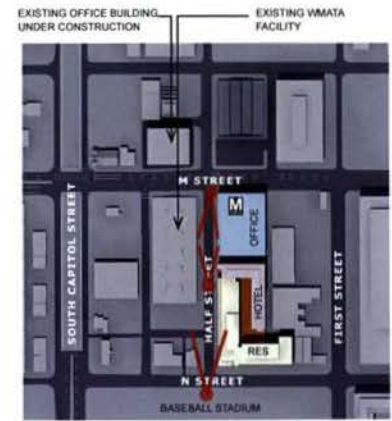
VIEW NORTH OF HALF STREET TOWARDS CAPITOL BUILDING (NOT VISIBLE)



VIEW SOUTH OF HALF STREET, TOWARDS NEW BASEBALL STADIUM AS FOCAL POINT.

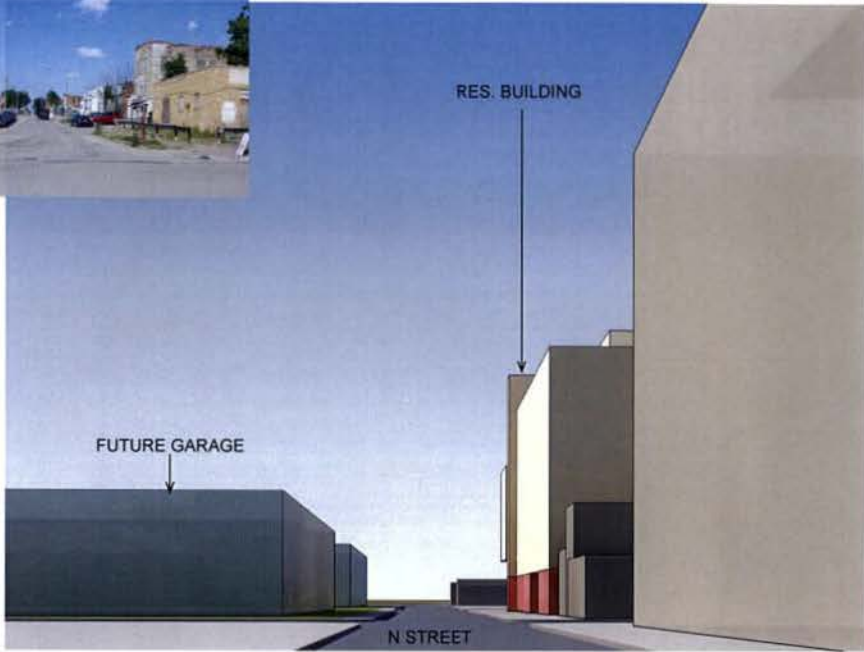


VIEW NORTH OF HALF STREET TOWARDS CAPITOL BUILDING (NOT VISIBLE)

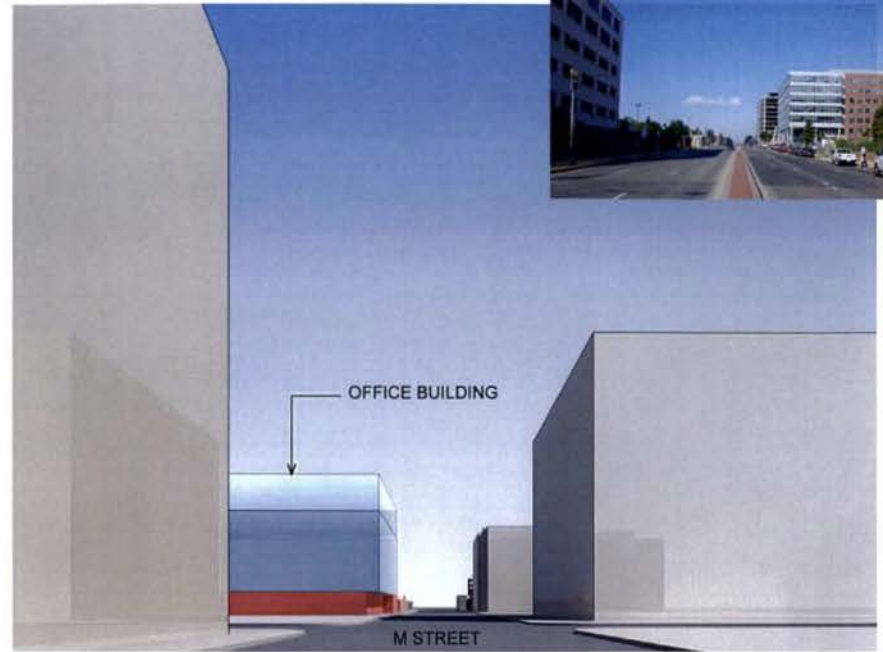


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VIEW WEST OF N STREET



VIEW WEST OF M STREET TOWARDS CAPITOL STREET



KEY PLAN

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VIEW ANALYSIS V4

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HOTEL

RESIDENTIAL 1

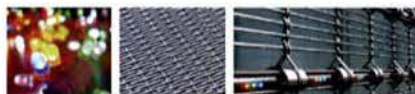
RESIDENTIAL 2

METAL PANELS:

MTL-1

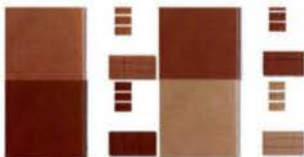


MTL-2



LEDs WOVEN METAL FABRIC LEDs IMBEDDED IN METAL MESH

TERRACOTTA:



PRAIRIE STONE:



METAL PANELS:

MTL-1



MTL-2



MTL-3



PRODEMA WOOD PANELS:



CMU BLOCKS:

SPLIT FACE



TERRACOTTA:

TC-1



TC-2



GLASS RAIL:



METAL PANELS:

MTL-1



MTL-2



CMU BLOCKS:

SPLIT FACE



GROUND FACE



TERRACOTTA:

TC-2



GLASS RAIL:



METAL PANELS:

MTL-1



MTL-2



CMU BLOCKS:

SPLIT FACE



GROUND FACE



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PROPOSED BUILDING MATERIALS

M1



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PROPOSED BUILDING MATERIALS / TERRACOTTA

M2

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