



PUD MODIFICATIONS

CASE NOS. 05-36-36 I

Owner / Developer
Toll DC II LP

Land Use Counsel
Holland & Knight

Architect
Davis Carter Scott Ltd

Civil Engineer
Wiles Mensch Corporation

Landscape Architect
Landscape Architecture Bureau

Structural Engineer
SK &A Structural Eng. PLLC

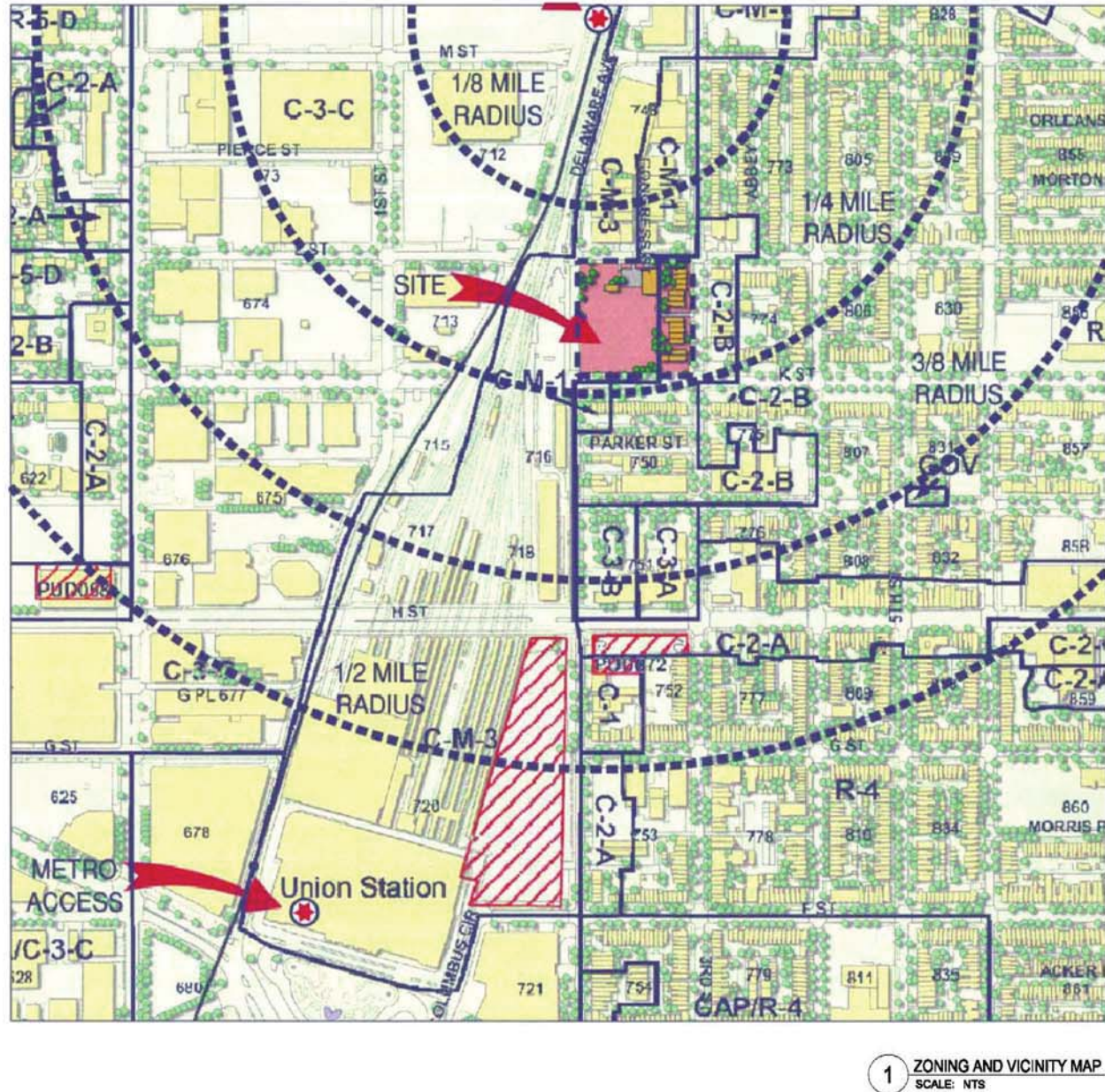
MEP Engineer
Schwartz Suevers Anolia Eng. LLC

JULY 18, 2014

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ZONING COMMISSION
District of Columbia
CASE NO.05-36I
EXHIBIT NO.13A1



ZONING TABULATION

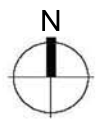
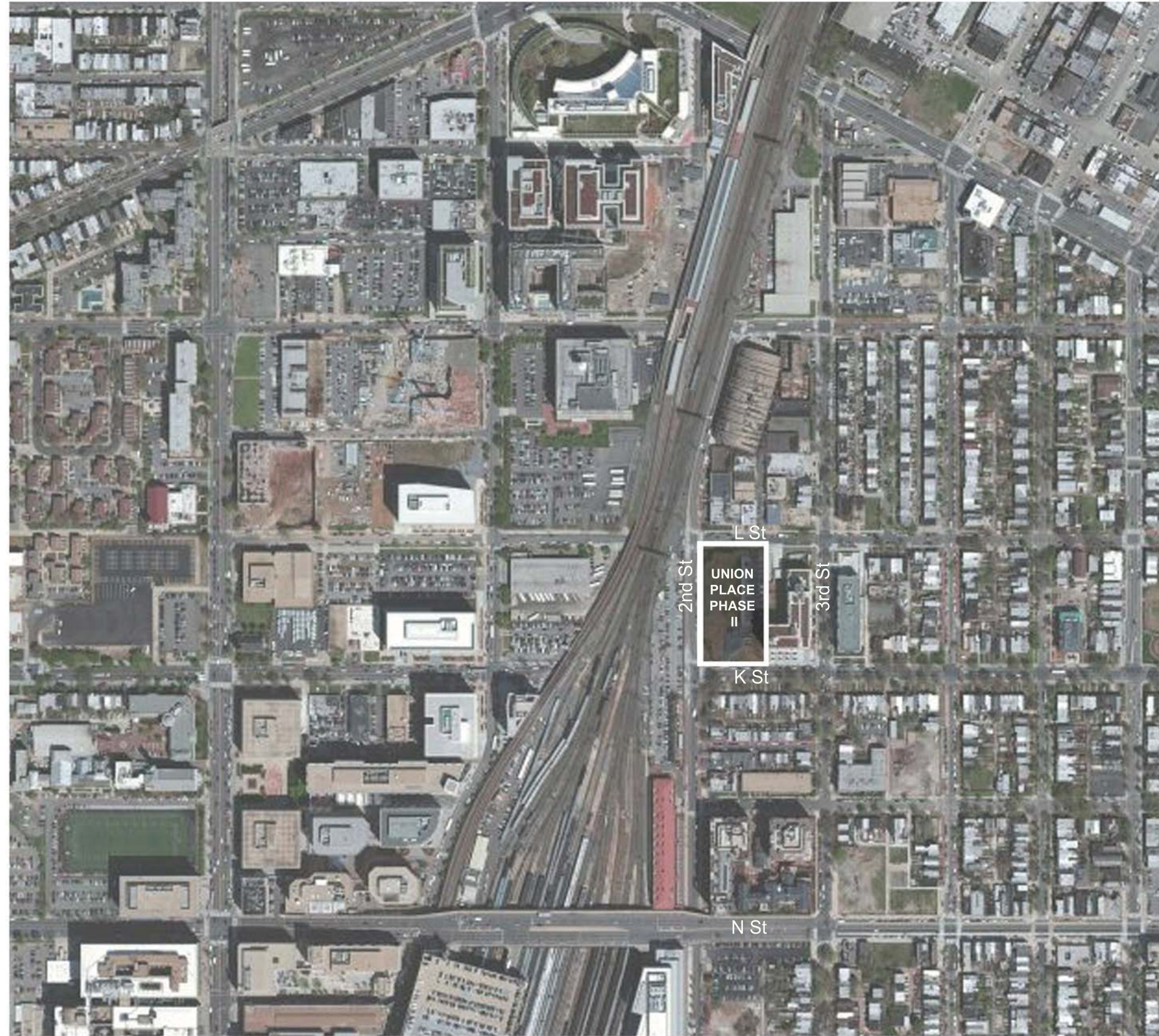
Zone:	C-3-C PUD		
Square:	749		
Lots:	67	828 for Phase-1	
		826, 827 for Phase-2A & 2B	
	31	804, 805, 830 for Phase-3	
Site Area:	Phase - 1	42,839 sf	(as per served by CAS Engineering on 6/27/2008)
	Phase - 2	58,263 sf	(as per served by Wiles Mensch Corp - DC on 11/20/2011)
	Phase - 3	5,295 sf	(as per CAS Engineering Dwg dated 01/14/2013)
	106,397 sf Total Site Area		

Floor Area (FAR) Allowed: 893,735 sf 8.4 FAR as per Approved PUD

Total FAR Proposed by Phases:	Phase - 1	236,905 sf
	Phase - 2A	321,548 sf
	Phase - 2B	238,130 sf
	Phase - 3	34,293 sf
	Total 7.81 FAR	830,876 sf
Number of Dwelling Units	Phase - 1	212
	Phase - 2A	296
	Phase - 2B	229
	Phase - 3	41
	Total	778

	PER APPROVED PUD ORDER	PROVIDED / PROPOSED
	No. 05-36A	
GROSS FLOOR AREA TOTAL *	555,545 sf	559,678 sf
RESIDENTIAL UNITS	415,307 sf	450,742 sf
RETAIL	13,801 sf (incl. daycare 3,446 sf)	16,398 sf (Incl. daycare 6,475 sf)
RESIDENTIAL ANCILLARY USE (Amenity area, fitness center, multi-purpose romms)	13,328 sf	12,719 sf
CORE/SERVICE (Elevators, stairs, corridors, loading areas, trash room utility rooms, storage areas)	113,109 sf	79,769 sf
FAR	Overall Site: 7.84	7.81
	Phase - 1 2.34	2.23
	Phase - 2 5.49	5.26
	Phase - 3 N/A	0.32
LOT OCCUPANY:	68%	68%
BUILDING HEIGHT:	121'-0" from m.p. and 14 stories from intersection of 2nd & K st	130'-0" from m.p. at L street 14 stories from intersection of 2nd & K St.
PENTHOUSE HEIGHT:	18' - 0"	18' - 6"
PENTHOUSE AREA:	4,490 sf	3,915 sf
PARKING:	545	416 Total spaces 173 spaces in Phase-1 243 spaces in Phase -2A & 2B
LOADING BERTHS:	2 @ 55' DEEP	1 @ 30' DEEP
LOADING PLATFORMS:	2 @ 200 sf	1 @ 200 sf
SERVICE/DELIVERY LOADING:	2 @ 20' deep	1 @ 30' DEEP
TOTAL RESIDENTIAL UNIT AREA (90%)	373,749 sf	405,668 sf
AFFORDABLE RESID UNIT AREA (10%)	41,558 sf	45,074 sf
REAR YARD SETBACK	1/2 width of street (2nd Street) 1/2 (90'-0") = 45'	1/2 width of street (K Street) 1/2 (147'-0") = 73.5'
SIDE YARD	N/A	N/A

* NOTE:
1) FOR PURPOSE OF COUNTING FAR: GROSS FLOOR AREA DOES NOT INCLUDE; 1) BAY PROJECTING OVER
PROPERTY LINE AND 2) PARKING ACCESS RAMPS.





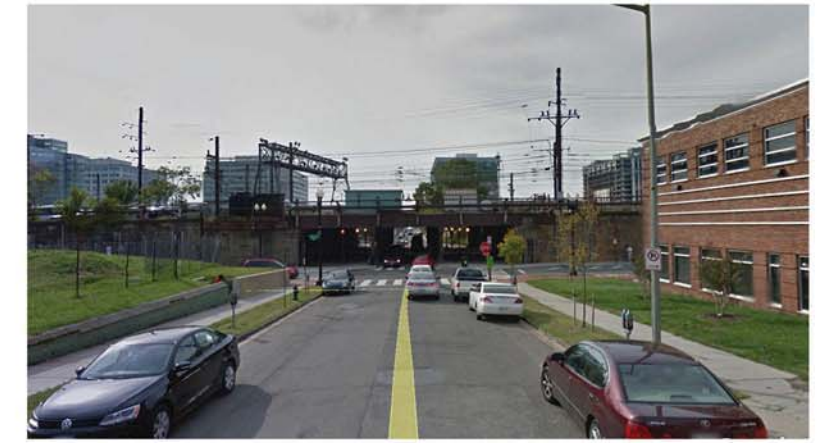
1 INTERSECTION OF 2ND AND L ST - VIEW SOUTH



2 INTERSECTION OF 2ND AND L ST - VIEW NORTH



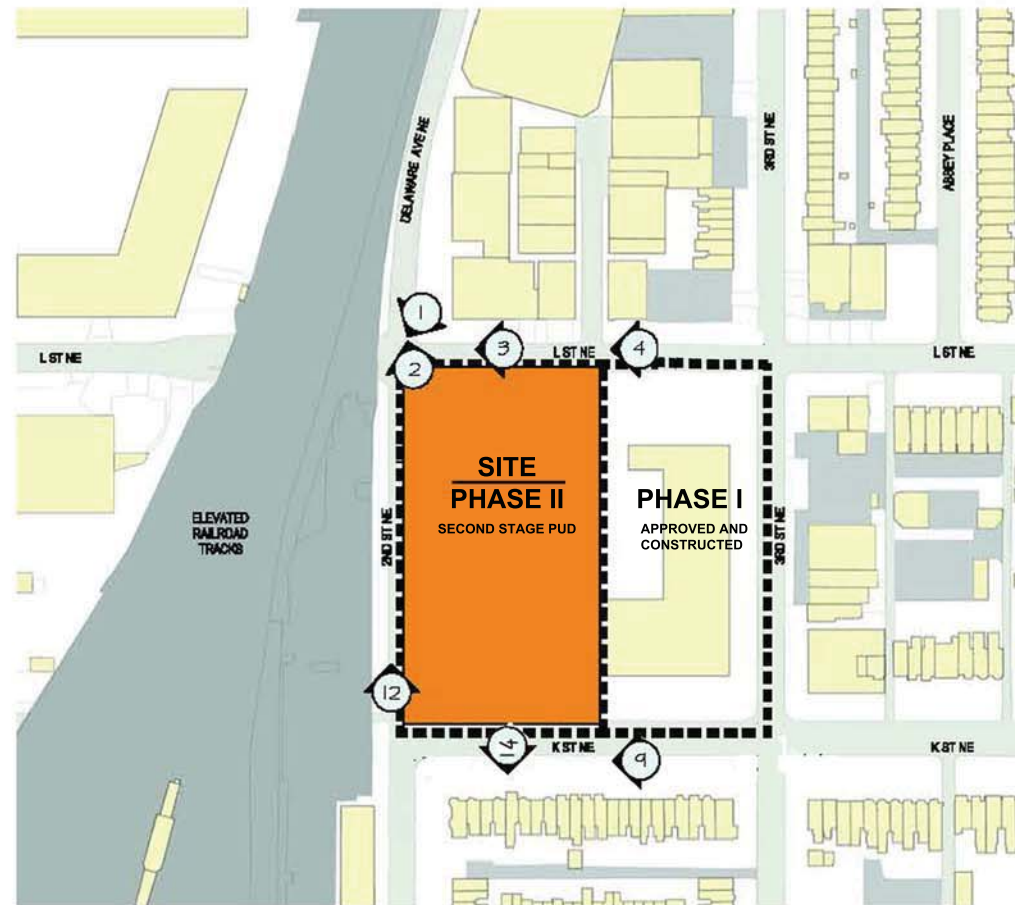
3 L STREET OVERPASS - VIEW WEST



4 L STREET - VIEW WEST



9 K STREET OVERPASS - VIEW WEST



12 2ND STREET - VIEW NORTH



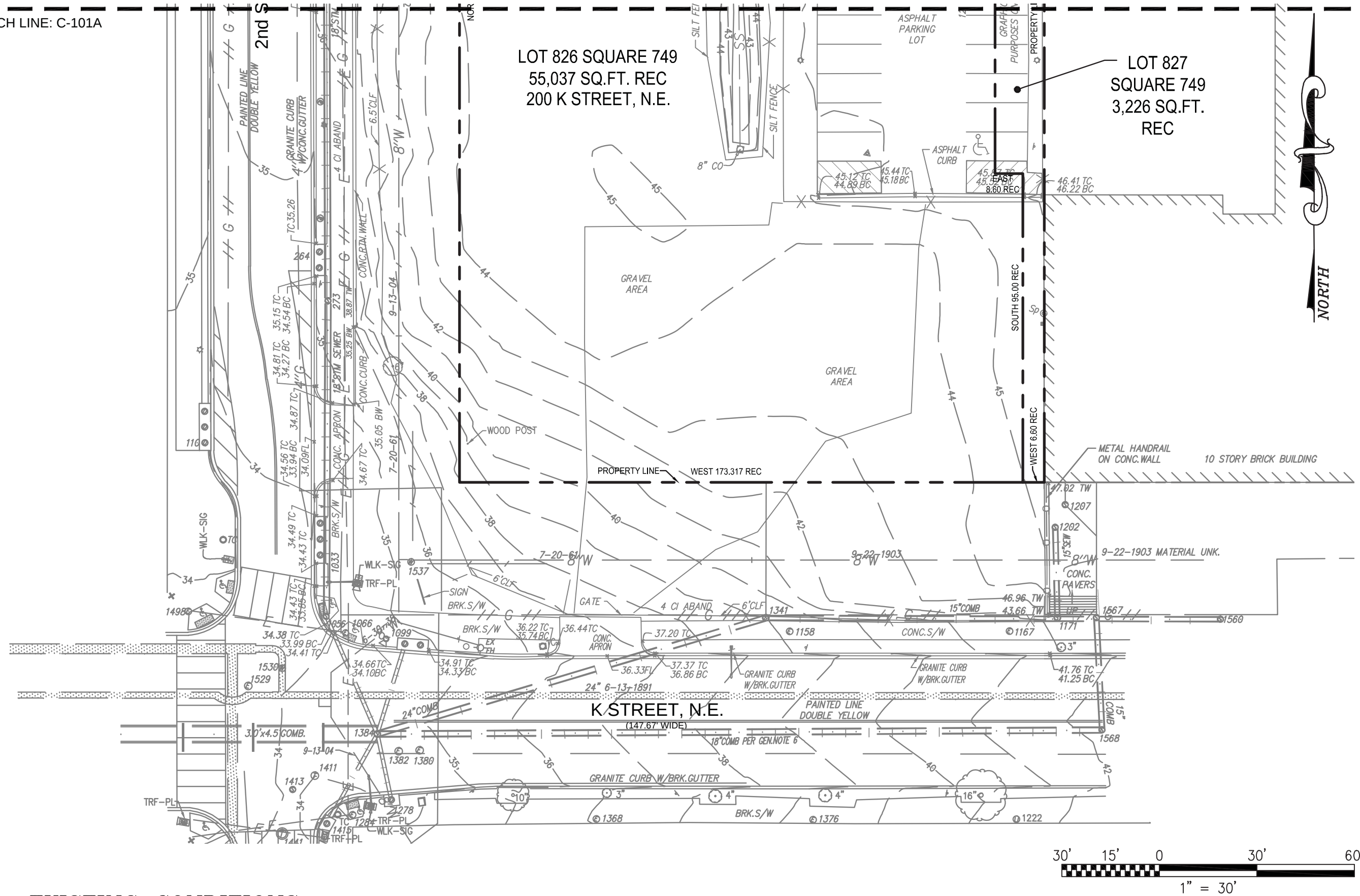
14 2ND STREET- WALL

UNION PLACE - Phase 2A / 2B

313236.00

P:\2013\072_UnionPI2\CAD\ENG\PUD\Sheets\C-101 Existing Conditions.dwg
Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD

MATCH LINE: C-101A



EXISTING CONDITIONS

UNION PLACE - Phase 2A / 2B

C-101B

07/18/2014

313236.00

NOTE:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
3. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION.
4. PROVIDE CHAIN LINK FENCE AT PERIMETER OF SITE.
5. APPLICANT SHALL CONTACT THE DEPARTMENT OF THE ENVIRONMENT TO SCHEDULE A PRECONSTRUCTION MEETING BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY.

CONSTRUCTION DATES:

- * THE PROPOSED DEMOLITION WORK DUE TO COMMENCE IN XXXX XXXX AND IS ANTICIPATED TO TAKE APPROXIMATELY 24 MONTHS.
- * EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

TOTAL AREA OF DISTURBANCE:

TOTAL AREA OF DISTURBANCE: 92,450 SQUARE FEET OR 2.12 AC

LEGEND

PROPOSED

TEMP CONSTRUCTION ENTRANCE	
WASH RACK	
SILT FENCE	
INLET PROTECTION	
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION	
APPROXIMATE LIMIT OF DISTURBANCE	
TREE PROTECTION	
SUMP PUMP	
SEDIMENT TRAP	

TOTAL VOLUME OF CUT /FILL FOR UTILITIES:

TOTAL AREA OF EXCAVATION: 546 SF
VOLUME OF CUT: $\frac{546 \text{ SQ. FT. (AREA)} \times 7 \text{ FEET (DEPTH)}}{27}$
VOLUME OF CUT AND FILL: 142 cy +/-

TOTAL VOLUME OF CUT OF BELOW GRADE EXCAVATION:

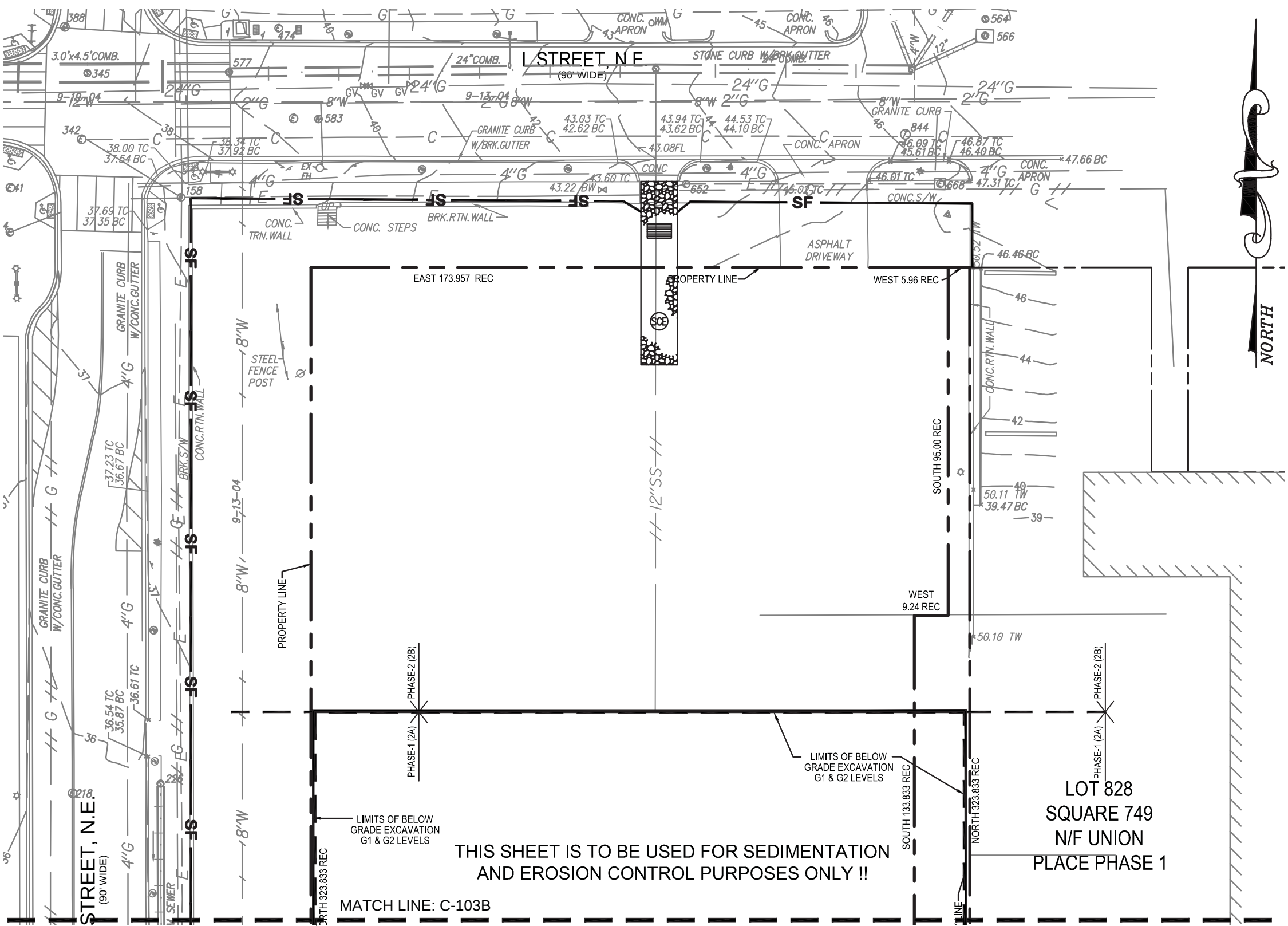
GARAGE PARKING LEVEL G1

TOTAL AREA OF EXCAVATION: 35,957 SF / 0.83 AC
VOLUME OF CUT: $\frac{35,957 \text{ SQ.FT. (AREA)} \times 14 \text{ FEET (DEPTH)}}{27}$
VOLUME OF CUT: 18,644 cy +/-

TOTAL VOLUME OF CUT OF BELOW GRADE EXCAVATION:

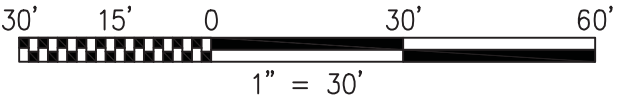
GARAGE PARKING LEVEL G2

TOTAL AREA OF EXCAVATION: 35,957 SF / 0.83 AC
VOLUME OF CUT: $\frac{35,957 \text{ SQ.FT. (AREA)} \times 9 \text{ FEET (DEPTH)}}{27}$
VOLUME OF CUT: 11,986 cy +/-



THIS SHEET IS TO BE USED FOR SEDIMENTATION AND EROSION CONTROL PURPOSES ONLY !!

LOT 828
SQUARE 749
N/F UNION
PLACE PHASE 1



DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

CONSTRUCTION AND STABILIZATION SEQUENCE:

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED TREE PROTECTION, AND SILT FENCE AS INDICATED ON SHEET C-103. SEE SHEET C-501
2. FOR SEDIMENTATION AND EROSION CONTROL DETAILS.
3. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
4. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
5. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
6. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

SEDIMENTATION EROSION CONTROL NOTE:

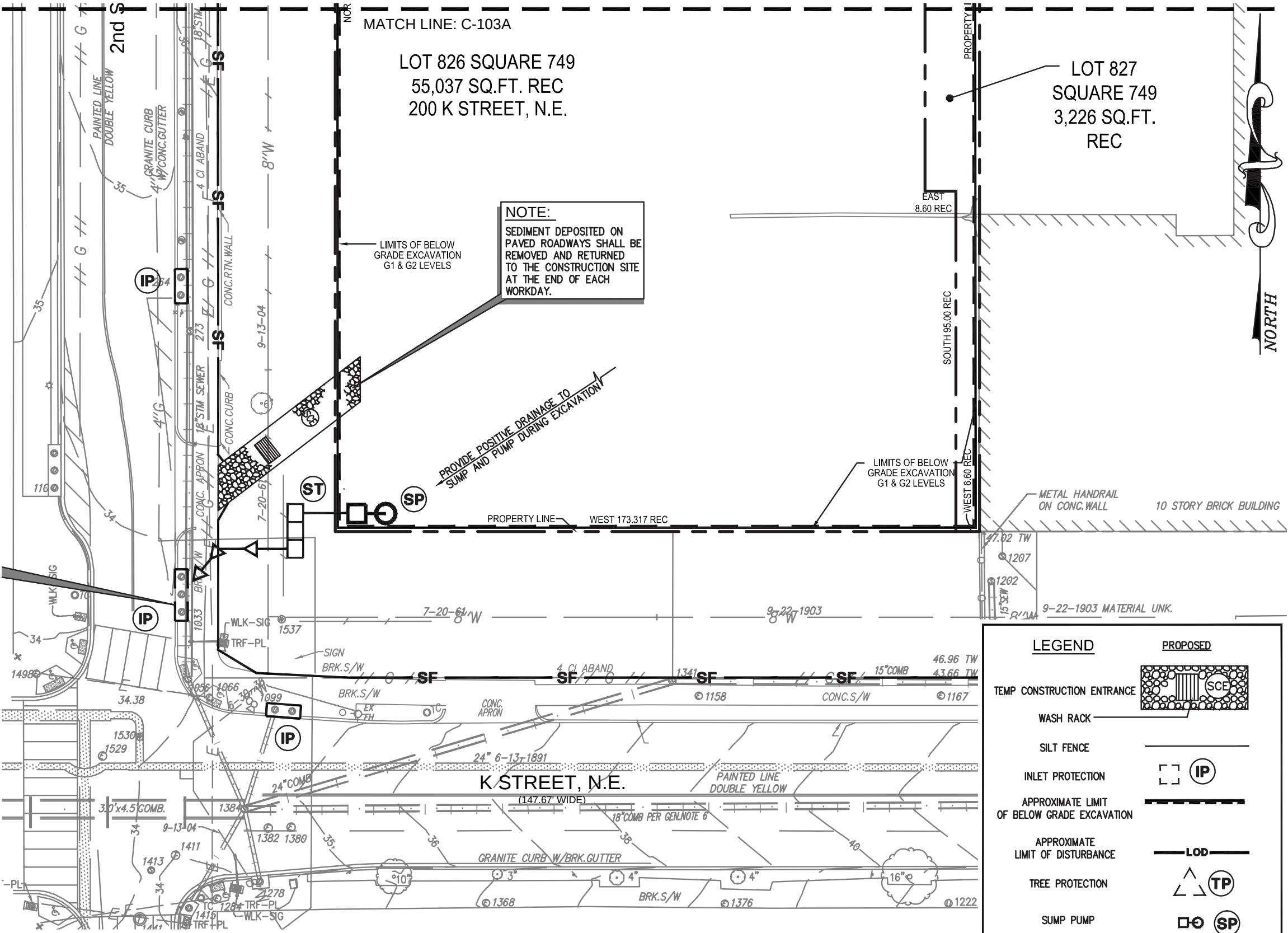
THE APPLICANT MUST NOTIFY THE DEPARTMENT OF HEALTH BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO THE START OF GRADING ACTIVITY AND WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF HEALTH MUST BE NOTIFIED IMMEDIATELY. SCHEDULE AND HOLD PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY. CALL 202-535-2977 FOR APPOINTMENT.

THE CONTRACTOR SHALL CALL THE INSPECTION/ENFORCEMENT BRANCH, WATERSHED PROTECTION DIVISION, DISTRICT DEPARTMENT OF THE ENVIRONMENT AT (202) 535-2240 FOR A PRE-CONSTRUCTION MEETING 72 HOURS PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY.

REMOVAL OF ANY SEDIMENT EROSION CONTROL MEASURES REQUIRES APPROVAL FROM DDOE INSPECTOR.

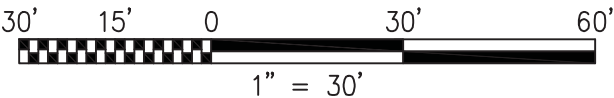
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AND EROSION CONTROL PURPOSES ONLY !!

LEGEND	
PROPOSED	
TEMP CONSTRUCTION ENTRANCE	
WASH RACK	
SILT FENCE	
INLET PROTECTION	
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION	
APPROXIMATE LIMIT OF DISTURBANCE	
TREE PROTECTION	
SUMP PUMP	
SEDIMENT TRAP	



C-103B

07/18/2014

313236.00

P:\2013\072_UnionPl2\CAD\ENG\PU2\Sheets\C-103 Erosion Control Plan-PH2A.dwg
Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD; 13-072 ESC



EROSION AND SEDIMENT CONTROL PLAN - PHASE 2A

UNION PLACE - Phase 2A / 2B

C-103C

07/18/2014

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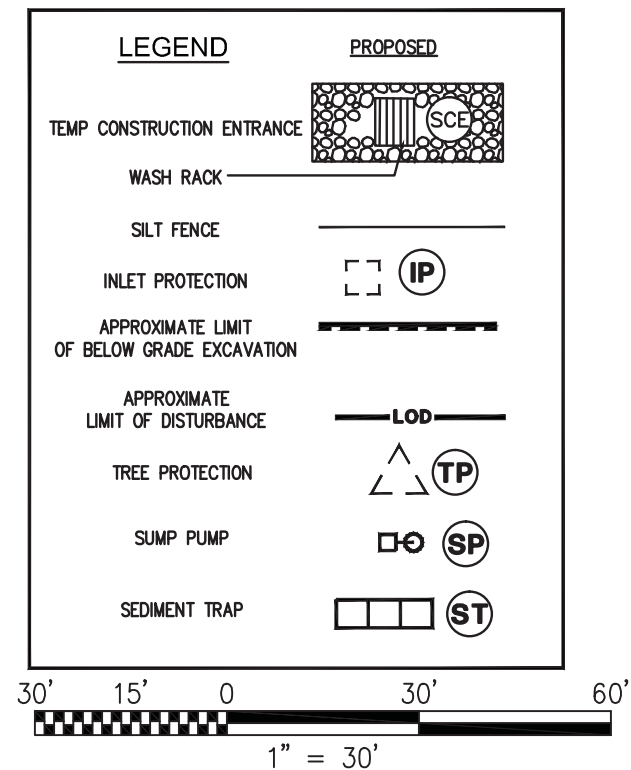
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 3. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION.
 4. PROVIDE CHAIN LINK FENCE AT PERIMETER OF SITE.

CONSTRUCTION DATES:

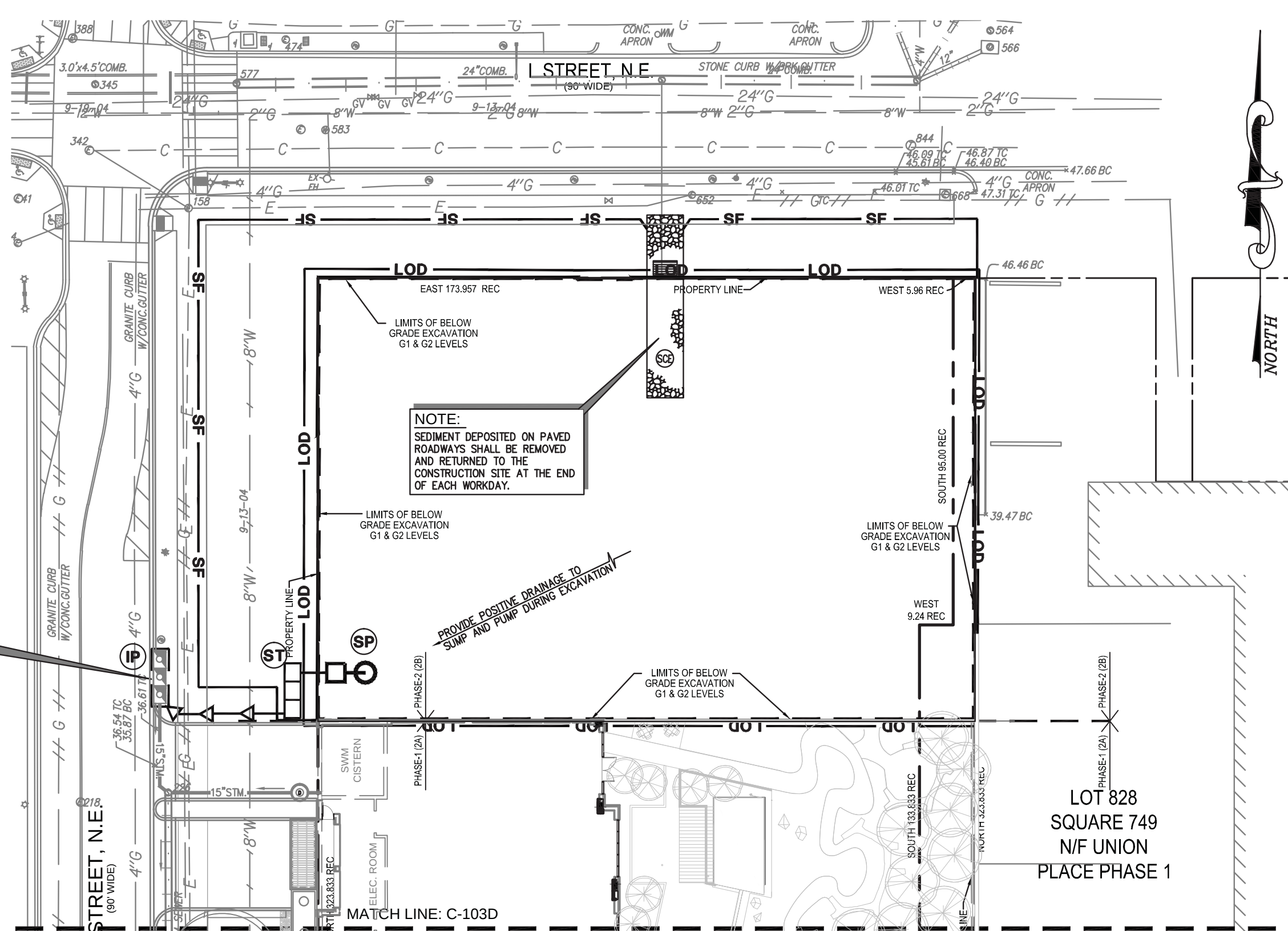
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- * EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

TOTAL AREA OF DISTURBANCE:

TOTAL AREA OF DISTURBANCE: 19,405 SQUARE FEET OR 0.45 AC



CONTRACTOR TO COORDINATE WITH MS.
ELAINE WILSON OF DC/WATER IN
REGARDS TO DC/WATER TEMPORARY
DISCHARGE PERMIT AT 202-787-4177.



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- 2. FOR SEDIMENTATION AND EROSION CONTROL DETAILS.
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- 4. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
- 5. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
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SEDIMENTATION EROSION CONTROL NOTE:

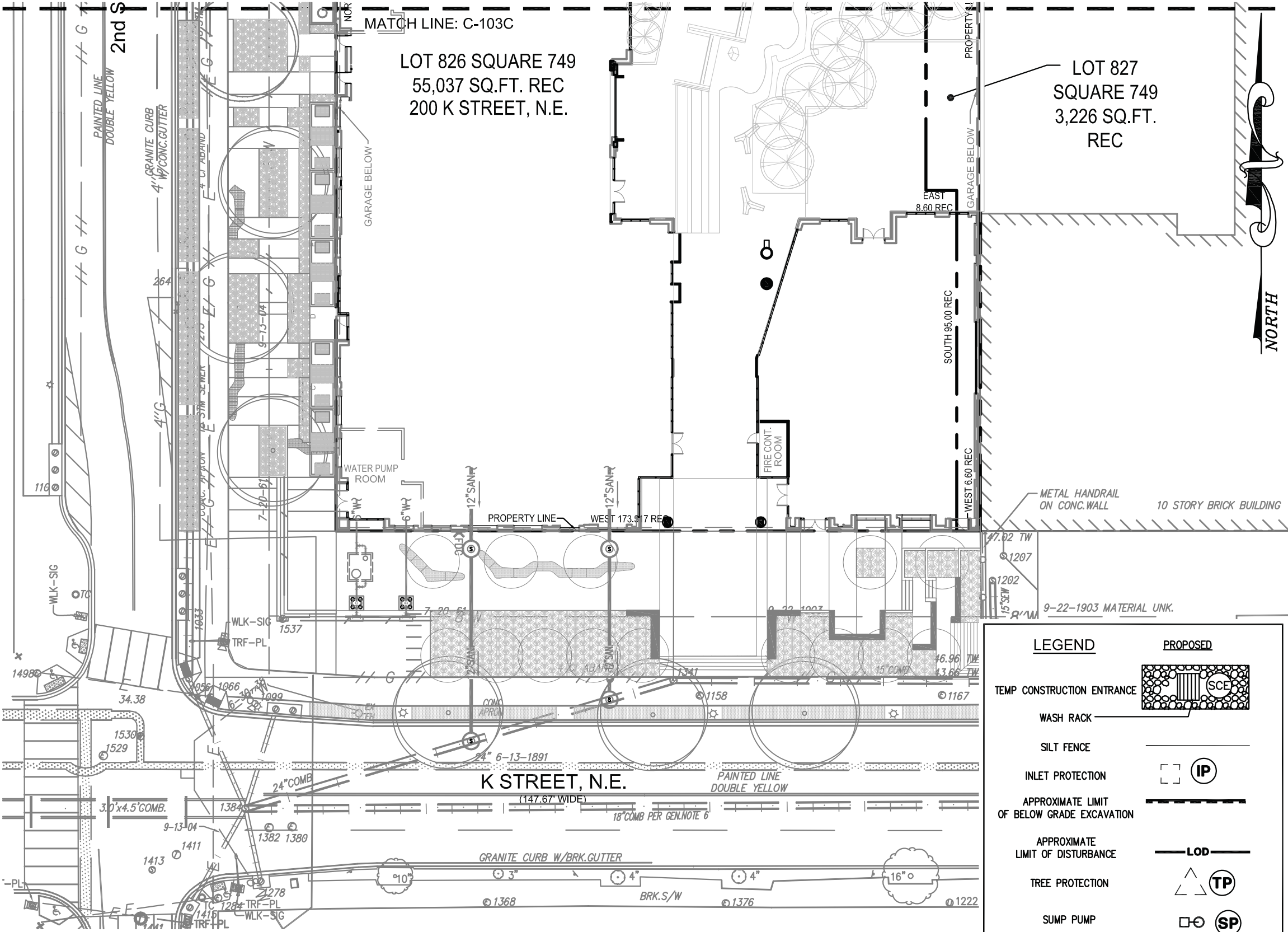
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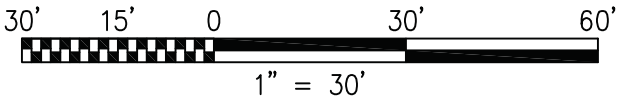


THIS SHEET IS TO BE USED FOR SEDIMENTATION AND EROSION CONTROL PURPOSES ONLY !!



EROSION AND SEDIMENT CONTROL PLAN - PHASE 2B

UNION PLACE - Phase 2A / 2B



C-103D

07/18/2014

313236.00

P:\2013\072_UnionPl2\CAD\ENG\PU\Sheets\C-104 Site Plan.dwg
Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD; 13-072 SITE; 13-072 ARCH; 13-072 LANDSCAPE; 13-072 UTIL

SITE KEYNOTES:

- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 NEW ASPHALT SURFACE COURSE FRONTING CONSTRUCTION PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 3 LIMIT OF NEW ASPHALT PAVEMENT.
- 4 NEW GRANITE CURB WITH BRICK GUTTER PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 5 LIMIT OF NEW GRANITE CURB AND BRICK GUTTER TO MATCH IN LINE ON GRADE.
- 6 NEW HANDICAP RAMP PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET C-583 FOR DETAILS.
- 7 NEW CONCRETE APRON PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 8 NEW STREET TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 9 NEW COURTYARD. REFER TO LANDSCAPE DRAWING FOR DETAILS.
- 10 NEW COURTYARD ENTRYWAY. REFER TO ARCH DRAWINGS FOR DETAILS.
- 11 NEW 6' RADIUS CURB RETURN PER DC DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 12 NEW 3' RADIUS CURB RETURN PER DC DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 13 NEW FUTURE BUILDING. TO BE BUILT AND PERMITTED UNDER SEPARATED CONTRACT.
- 14 NEW RETAINING WALL. REFER TO STRUCTURAL AND LANDSCAPE PLANS FOR DETAILS.
- 15 NEW EXPOSED AGGREGATE SIDEWALK PER DC/DDOT NOMA STANDARDS AND SPECIFICATIONS. SEE SHEET C-582 FOR DETAILS.
- 16 NEW RAIN GARDEN AREA. SEE SHEET C-703 FOR DETAILS.
- 17 NEW GRASSED AREA.
- 18 REFER TO LANDSCAPE AND STRUCTURAL DRAWINGS FOR TREATMENT OF RETAINING WALL AND EXISTING FENCE.

SITE LEGEND:

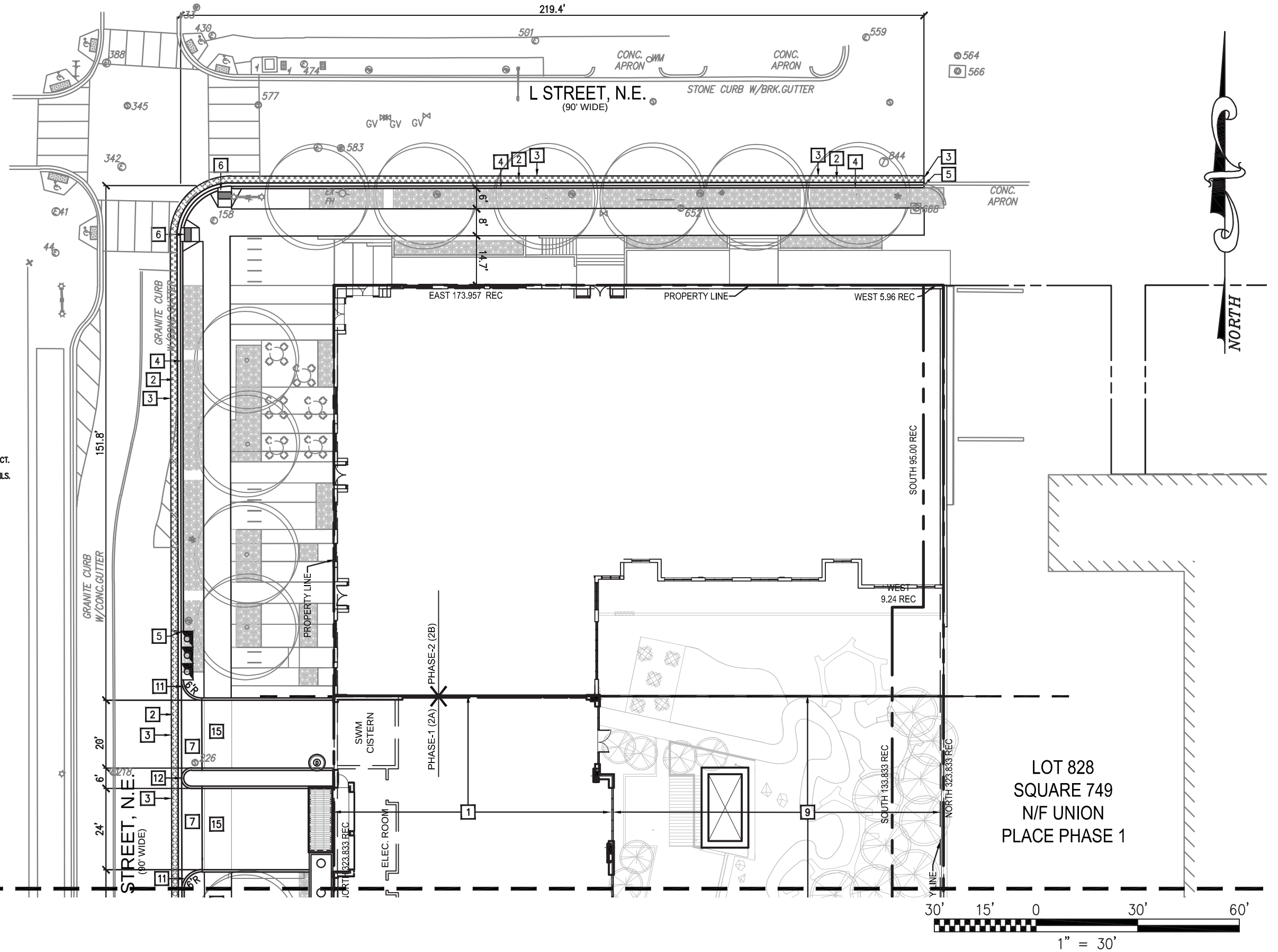
- NEW ASPHALT PAVEMENT
(FULL DEPTH)
- NEW ASPHALT PAVEMENT
(SURFACE COURSE)

SITE KEY-NOTE

NOTE:

1. REFER TO LANDSCAPE DRAWING FOR LAYOUT AND SPECIES OF TREES.
2. REFER TO LANDSCAPE DRAWING FOR LAYOUT OF COURTYARD.
3. ALL EXISTING MANHOLE TOP TO BE ADJUSTED TO MATCH PROPOSED GRADES.

MATCH LINE: C-104B



MATCH LINE: C-104A

SITE KEYNOTES:

- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 NEW ASPHALT SURFACE COURSE FRONTING CONSTRUCTION PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 3 LIMIT OF NEW ASPHALT PAVEMENT.
- 4 NEW GRANITE CURB WITH BRICK GUTTER PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 5 LIMIT OF NEW GRANITE CURB AND BRICK GUTTER TO MATCH IN LINE ON GRADE.
- 6 NEW HANDICAP RAMP PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET C-503 FOR DETAILS.
- 7 NEW CONCRETE APRON PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 8 NEW STREET TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 9 NEW COURTYARD. REFER TO LANDSCAPE DRAWING FOR DETAILS.
- 10 NEW COURTYARD ENTRYWAY. REFER TO ARCH DRAWINGS FOR DETAILS.
- 11 NEW 6' RADIUS CURB RETURN PER DC DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 12 NEW 3' RADIUS CURB RETURN PER DC DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 13 NEW FUTURE BUILDING. TO BE BUILT AND PERMITTED UNDER SEPARATED CONTRACT.
- 14 NEW RETAINING WALL. REFER TO STRUCTURAL AND LANDSCAPE PLANS FOR DETAILS.
- 15 NEW EXPOSED AGGREGATE SIDEWALK PER DC/DDOT NMA STANDARDS AND SPECIFICATIONS. SEE SHEET C-502 FOR DETAILS.
- 16 NEW RAIN GARDEN AREA. SEE SHEET C-703 FOR DETAILS.
- 17 NEW GRASSED AREA.
- 18 REFER TO LANDSCAPE AND STRUCTURAL DRAWINGS FOR TREATMENT OF RETAINING WALL AND EXISTING FENCE.

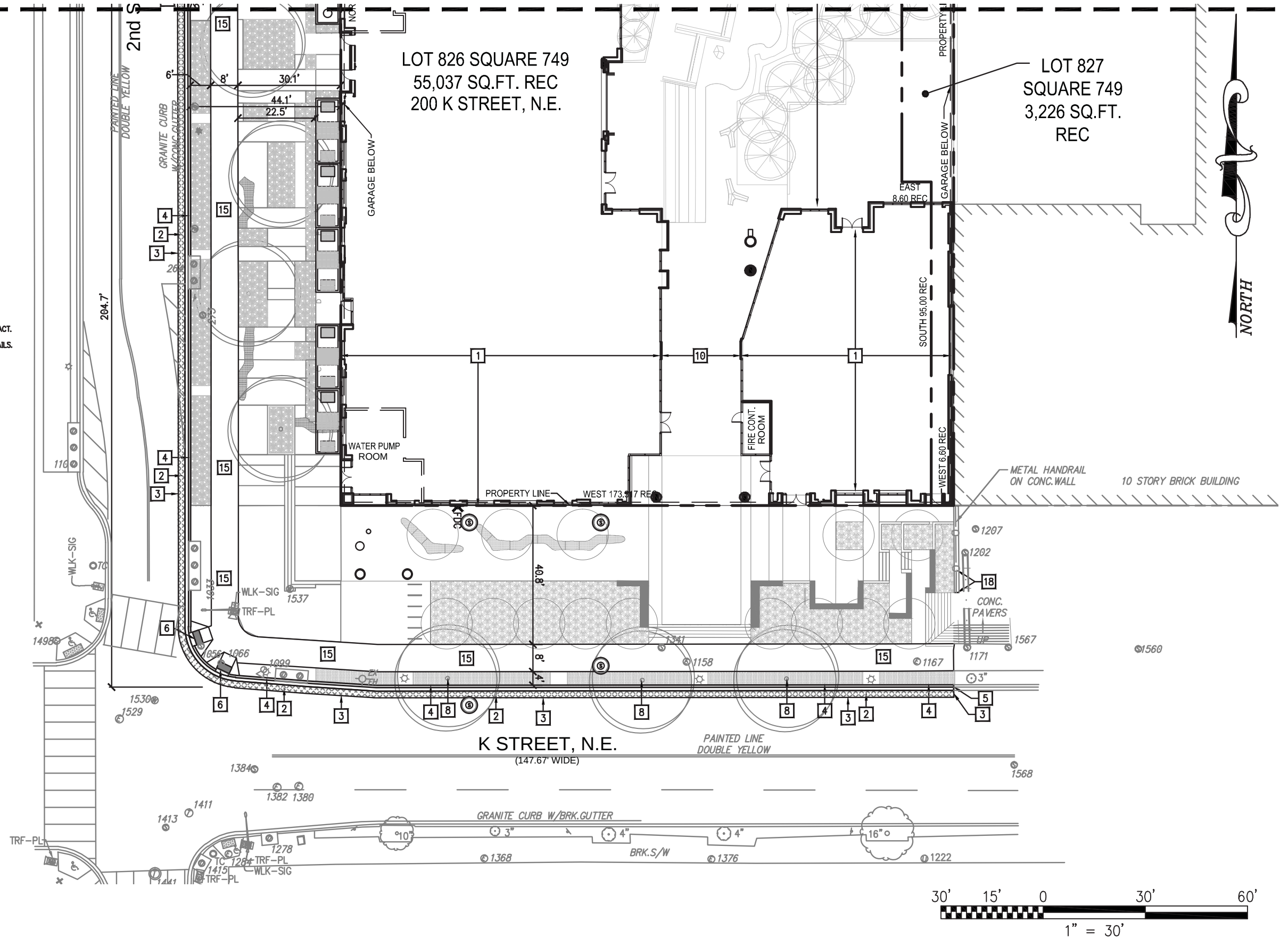
SITE LEGEND:

- NEW ASPHALT PAVEMENT (FULL DEPTH)
- NEW ASPHALT PAVEMENT (SURFACE COURSE)

SITE KEY-NOTE

NOTE:

1. REFER TO LANDSCAPE DRAWING FOR LAYOUT AND SPECIES OF TREES.
2. REFER TO LANDSCAPE DRAWING FOR LAYOUT OF COURTYARD.
3. ALL EXISTING MANHOLE TOP TO BE ADJUSTED TO MATCH PROPOSED GRADES.



SITE PLAN

UNION PLACE - Phase 2A / 2B

C-104B

07/18/2014

313236.00



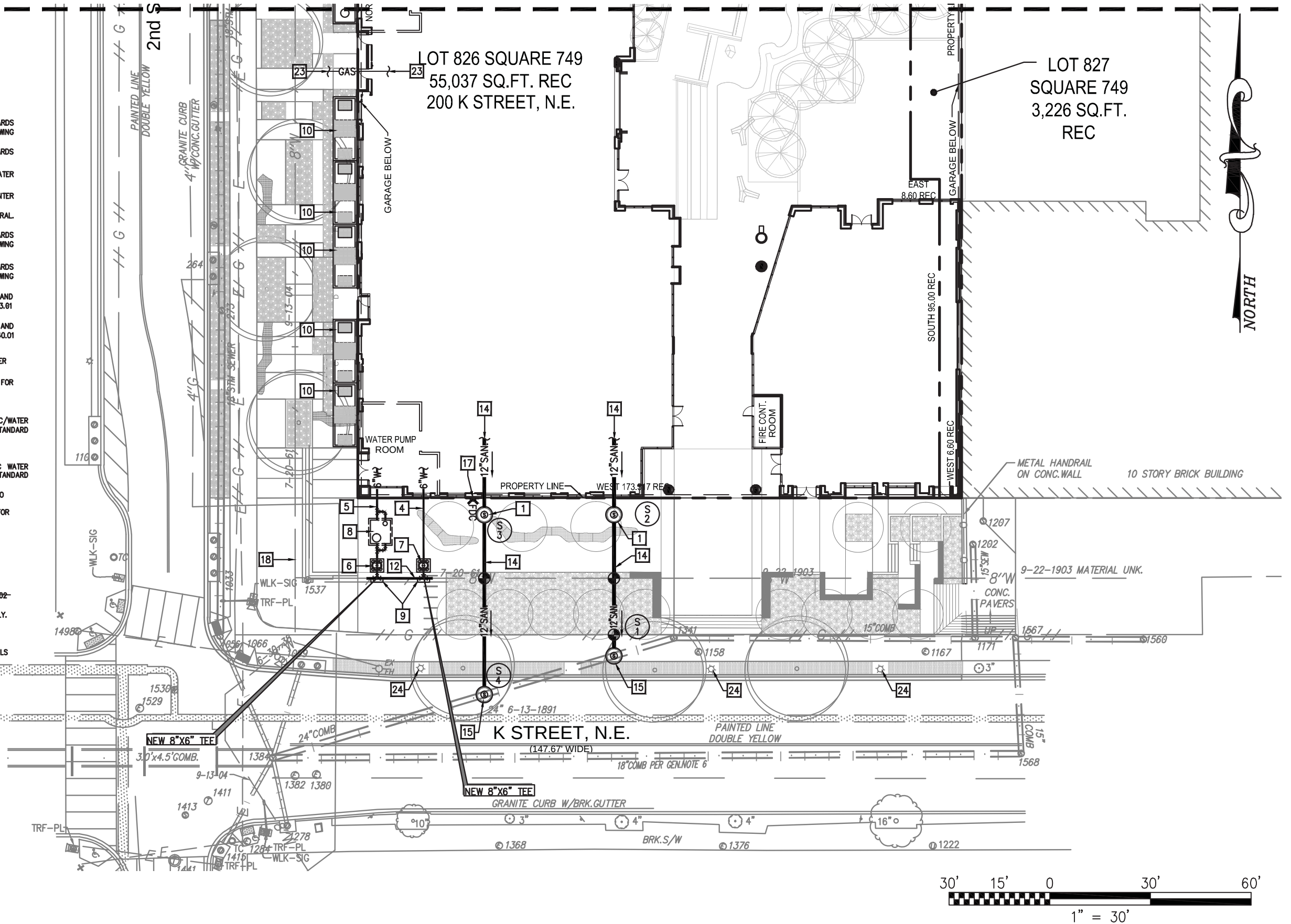
dcs
DESIGN
DAVIS
CARTER
SCOTT

UNION PLACE – Phase 2A / 2B

MATCH LINE: C-105A

UTILITY KEYNOTES:

- 1 NEW 4.0' DIAMETER CLEANOUT MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-20.01 ON SHEET C-503.
- 2 NEW CONNECTION TO EXISTING MANHOLE PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 3 NEW 15" RCP CLASS III STORM SEWER PIPE PER DC/WATER STANDARDS AND SPECIFICATIONS.
- 4 NEW 6" DIP CLASS 52 FIRE SERVICE LATERAL BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1048.
- 5 NEW 6" DIP CLASS 52 DOMESTIC WATER SERVICE LATERAL BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1015.
- 6 NEW 6" WATER VALVE WITH 4.0' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-20.01 ON SHEET C-503.
- 7 NEW 8" WATER VALVE WITH 4.0' CASING PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-20.01 ON SHEET C-503.
- 8 NEW 84"x72"x72" I.D. METER VAULT PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING DG-23.01 ON SHEET C-503.
- 9 NEW CONCRETE THRUST BLOCK PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING W-40.01 ON SHEET C-503.
- 10 NEW 6'x18" PEPCO PARTIALLY GRATED TRANSFORMER VAULT. REFER TO DRY UTILITY DRAWINGS FOR DETAILS.
- 11 NEW PEPCO BUS VAULT. REFER TO DRY UTILITY DRAWINGS FOR DETAILS.
- 12 NEW 8" DIP CLASS 52 WATER LINE AND SLEEVE CONNECTIONS.
- 13 NEW WATER QUALITY CURB INLET CATCH BASIN PER DC/WATER STANDARDS AND SPECIFICATIONS. REFER TO DC/WATER STANDARD DRAWING S-31.01.
- 14 NEW 12" PVC SCH 40 SANITARY SEWER.
- 15 NEW 4.0' DIAMETER MANHOLE WITH DOGHOUSE BASE PER DC STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DRAWING S-20.11 ON SHEET C-503.
- 16 NEW 6'x18" PEPCO FULLY GRATED TRANSFORMER VAULT. REFER TO DRY UTILITY DRAWINGS FOR DETAILS.
- 17 NEW SIAMESE FDC CONNECTION. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- 18 LIMITS OF EXISTING ABANDONED 8" WATER MAIN.
- 19 NEW 6" PVC SCH 40 PIPE.
- 20 NEW 6" PERFORATED PVC SCH 40 UNDERDRAIN PIPE.
- 21 NEW OVERFLOW GRATE INLET.
- 22 NEW CLEANOUT. REFER TO DC/WATER STANDARD DRAWING S-00.02 ON SHEET C-503.
- 23 NEW 2" GAS LATERAL, SHOWN FOR COORDINATION PURPOSED ONLY. COORDINATE REQUIREMENTS WITH WASHINGTON GAS. REFER TO MECHANICAL/ELECTRICAL/PLUMBING DRAWINGS FOR DETAILS.
- 24 NEW WASHINGTON GLOBE #16 PER DC/DDOT STANDARDS AND SPECIFICATIONS. REFER TO SITE ELECTRICAL DRAWINGS FOR DETAILS AND CONDUIT ROUTING.



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Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD; 13-072 SITE; 13-072 ARCH; 13-072 UTIL; 13-072 LANDSCAPE



UTILITY PLAN

UNION PLACE - Phase 2A / 2B

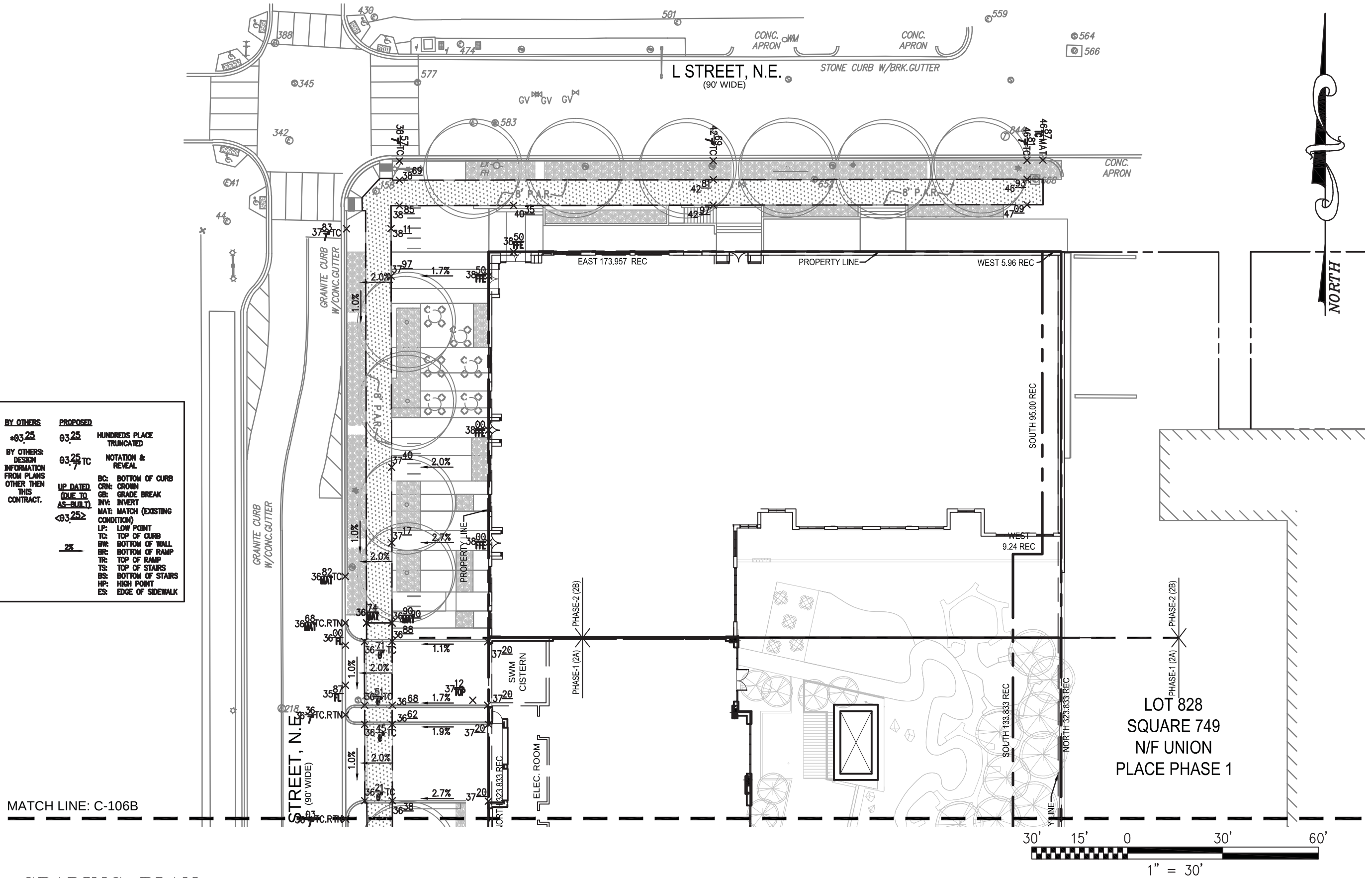
C-105B

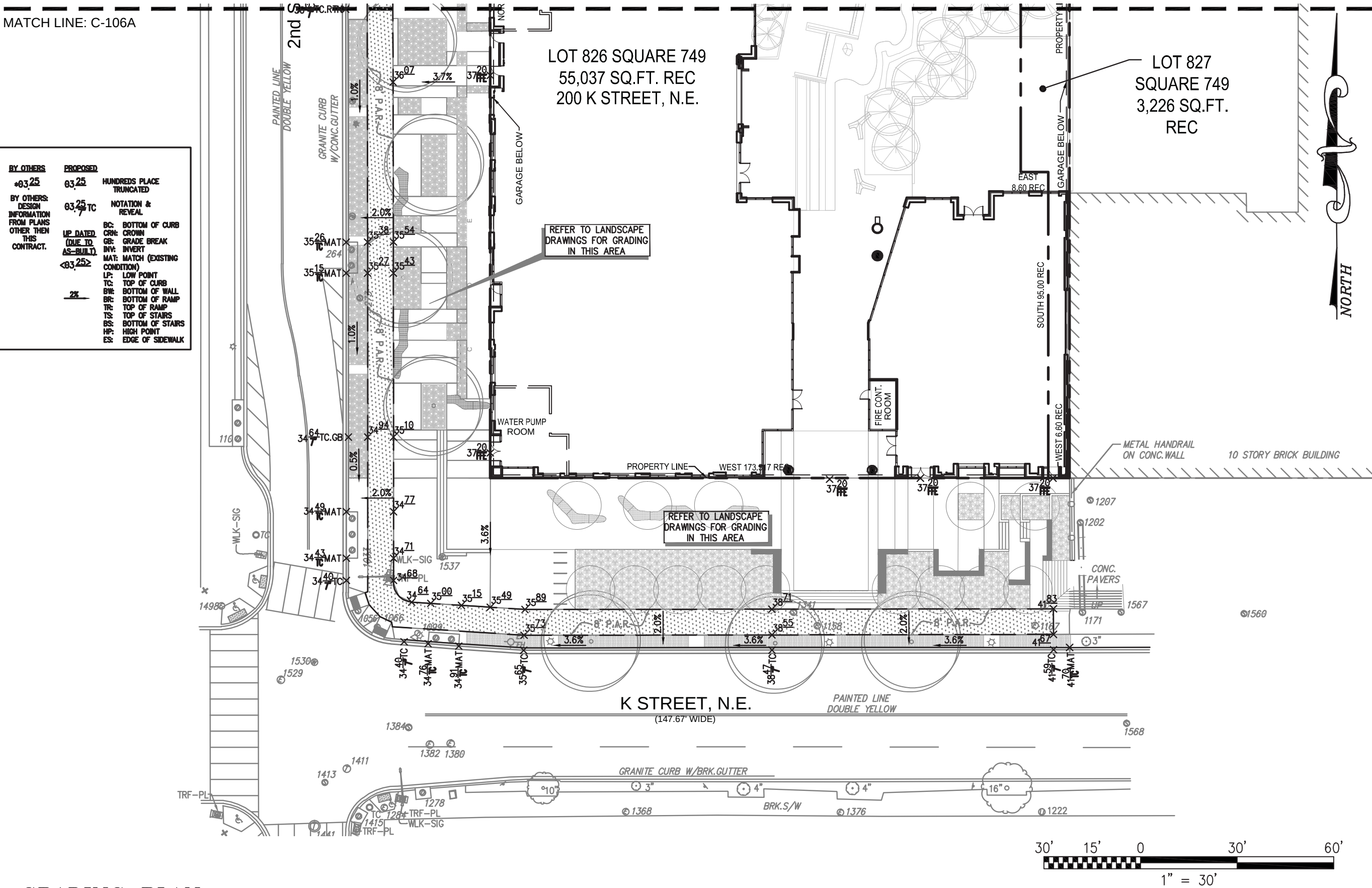
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Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD; 13-072 SITE; 13-072 ARCH; 13-072 GRDG; 13-072 GRDG PH2; 13-072 LANDSCAPE

EXISTING	LEGEND	BY OTHERS	PROPOSED
383.25	SPOT ELEVATIONS	+03.25	03.25 HUNDREDS PLACE TRUNCATED
AS-BUILT [03.25]	SPOT ELEVATIONS (WITH NOTATION)	BY OTHERS: DESIGN INFORMATION FROM PLANS OTHER THEN THIS CONTRACT.	03.25 TC NOTATION & REVEAL
			UP DATED (DUE TO AS-BUILT) 03.25
			BC: BOTTOM OF CURB CRN: CROWN GB: GRADE BREAK INV: INVERT MAT: MATCH (EXISTING CONDITION) LP: LOW POINT TC: TOP OF CURB BW: BOTTOM OF WALL BR: BOTTOM OF RAMP TR: TOP OF RAMP TS: TOP OF STAIRS BS: BOTTOM OF STAIRS HP: HIGH POINT ES: EDGE OF SIDEWALK
	SLOPE		2% 2%





EXISTING	LEGEND	BY OTHERS	PROPOSED
363.25	SPOT ELEVATIONS	+83.25	83.25 HUNDREDS PLACE TRUNCATED
AS-BUILT [83.25]	SPOT ELEVATIONS (WITH NOTATION)	BY OTHERS: DESIGN INFORMATION FROM PLANS OTHER THAN THIS CONTRACT.	83.25 TC NOTATION & REVEAL
			UP DATED (DUE TO AS-BUILT) <83.25>
	SLOPE		2% 2%
			BC: BOTTOM OF CURB CRH: CROWN GB: GRADE BREAK INV: INVERT MATE: MATCH (EXISTING CONDITION) LP: LOW POINT TC: TOP OF CURB BWM: BOTTOM OF WALL BR: BOTTOM OF RAMP TR: TOP OF RAMP TS: TOP OF STAIRS BS: BOTTOM OF STAIRS HP: HIGH POINT ES: EDGE OF SIDEWALK

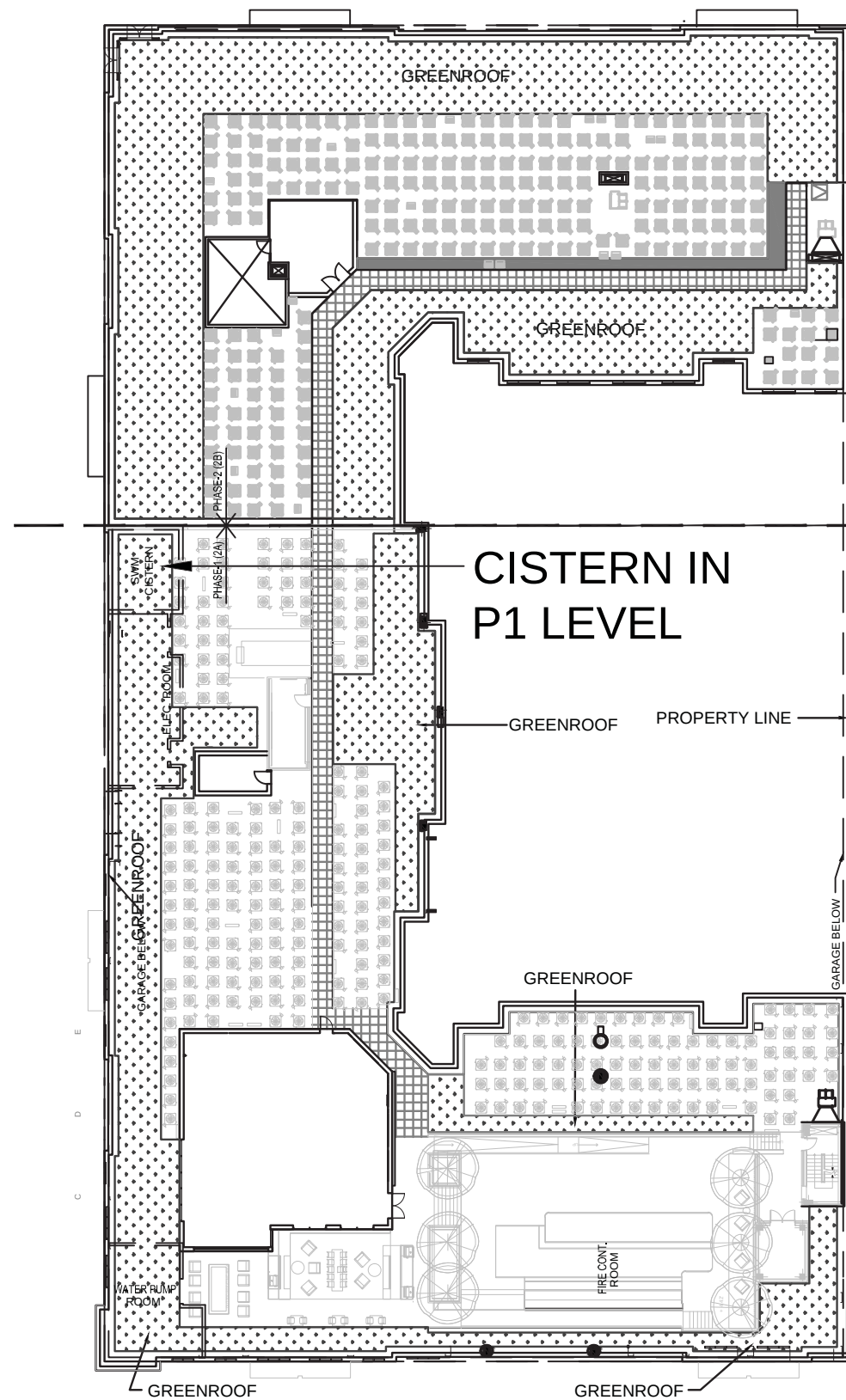
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Xrefs: 13-072 BASE; 13-072 PHASE; 13-072 BDR-PUD; 13-072 SITE; 13-072 ARCH; 13-072 GRDG; 13-072 GRDG PH2; 13-072 LANDSCAPE



GRADING PLAN
UNION PLACE – Phase 2A / 2B

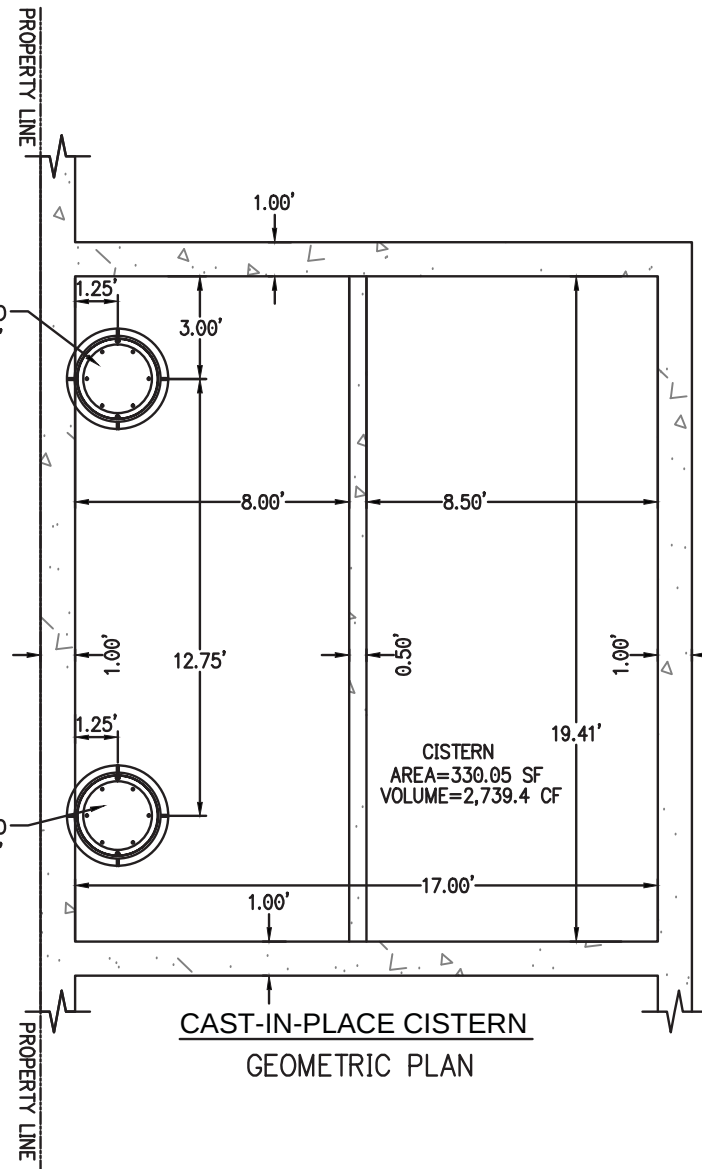
C-106B
07/18/2014
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P:\2013\072_UnionPl2\CAD\ENG\PU2\Sheets\C-701 SWM.dwg
Xrefs: 13-072 BDR-PU2; 13-072 SWM; 13-072 GREEN ROOF; 13-072 PHASE; 13-072 ARCH



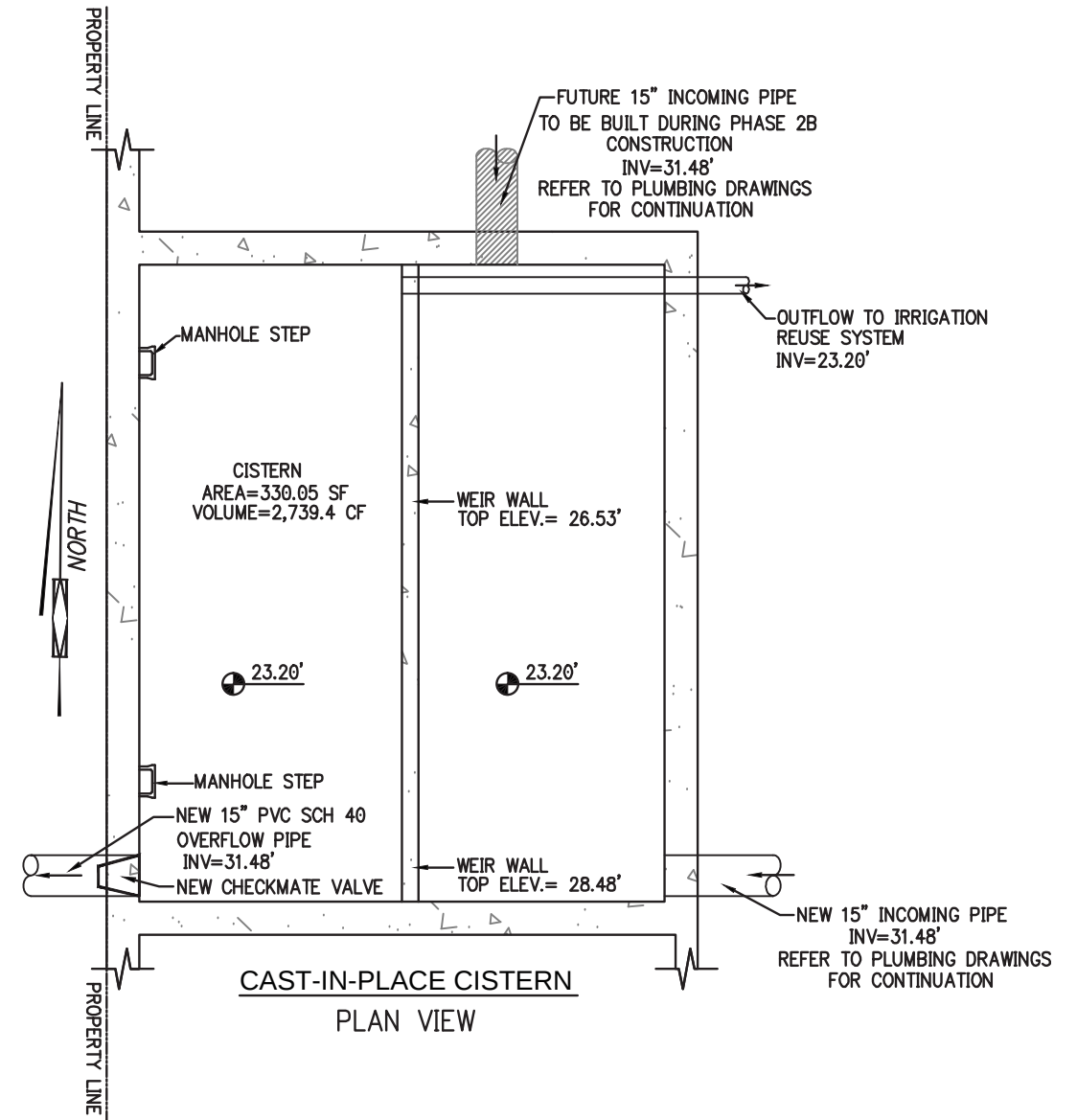
30" DIAMETER
MANHOLE FRAME AND
COVER TOP = 37.18'

30" DIAMETER
MANHOLE FRAME AND
COVER TOP = 37.18'



CAST-IN-PLACE CISTERN
GEOMETRIC PLAN

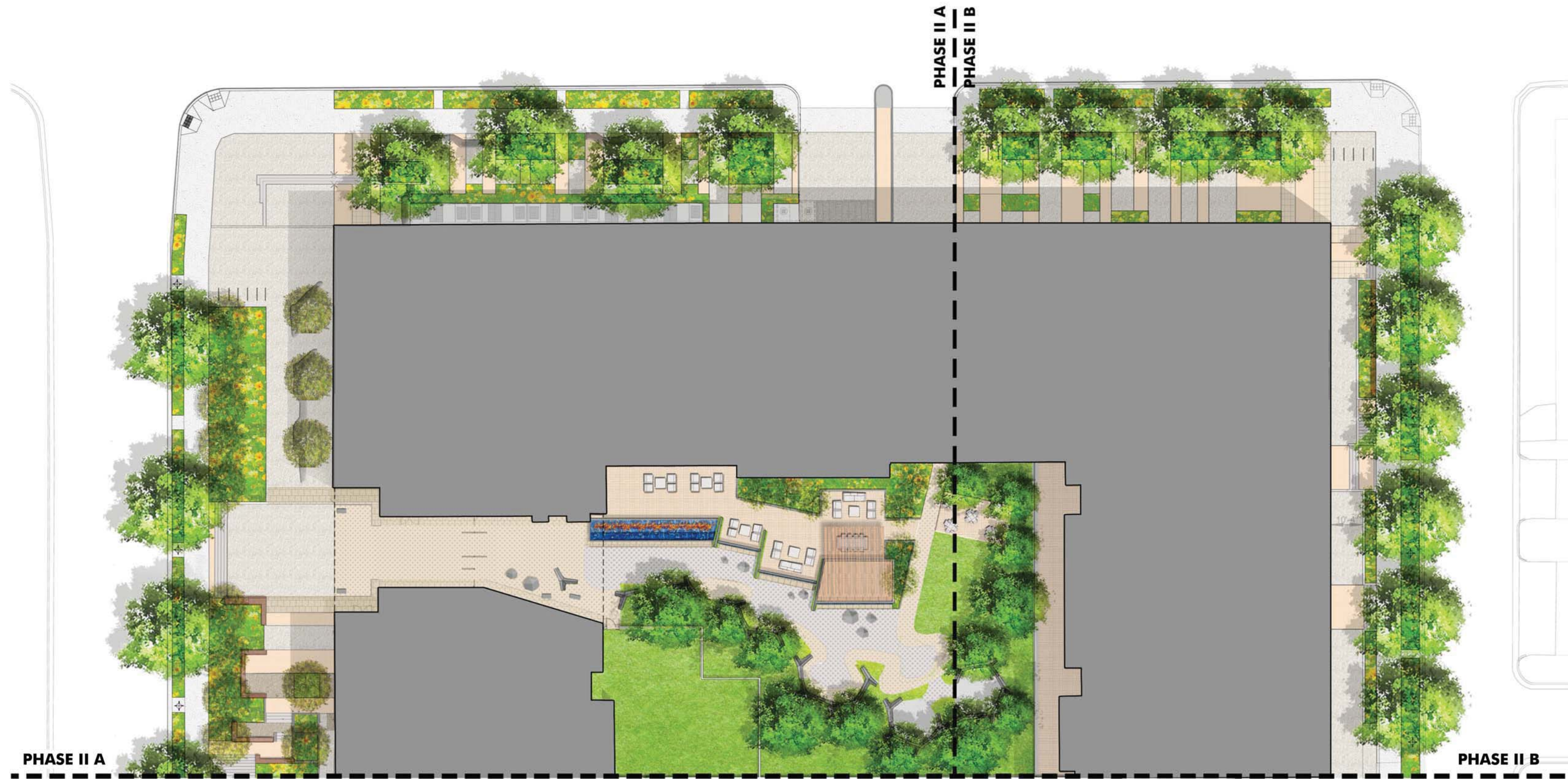
REFER TO LANDSCAPE
DRAWINGS FOR GREENROOF
DETAILS



CAST-IN-PLACE CISTERN
PLAN VIEW



Note:
For illustrative purposes only and are subject to final engineering design
and municipal authority permit requirements.



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and municipal authority permit requirements.

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LAB

LANDSCAPE ARCHITECTURE BUREAU LLC

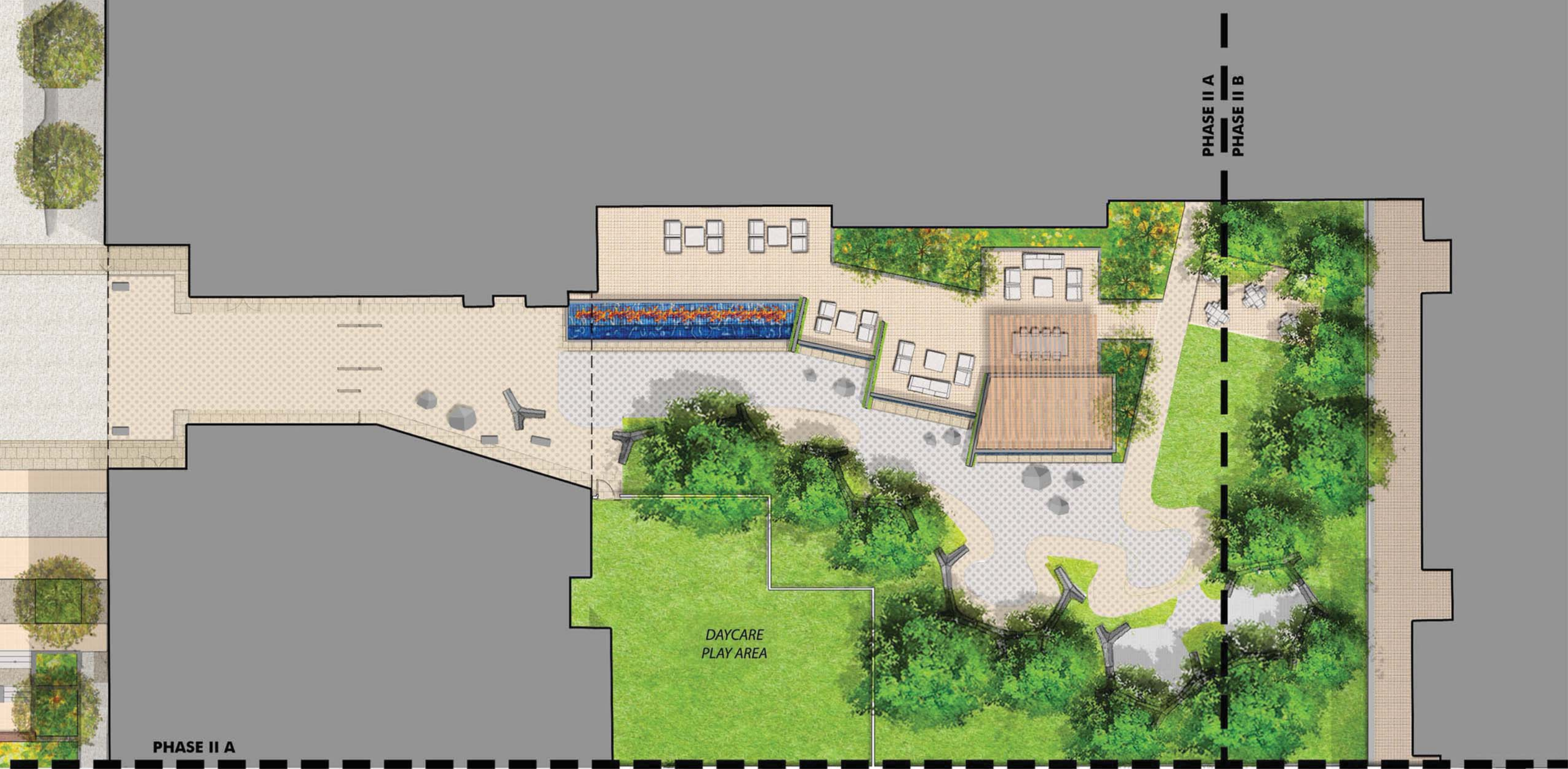
L-2

07/18/2014

dcs
DESIGN
DAVIS
CARTER
SCOTT

ILLUSTRATIVE RENDERING

UNION PLACE – Phase 2A / 2B



Note:
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and municipal authority permit requirements.

