



BUILDING C-2

MARCH 22ND, 2019

CARR
PROPERTIES

SMITHGROUP

ZONING COMMISSION
District of Columbia
CASE NO.15-27B
EXHIBIT NO.2E2

BUILDING C-2: ZONING & SITE INFORMATION

MARCH 22ND, 2019



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ZONING TABULATION

3/22/2019

Building C-2

Square: 3587

Lot: 834

Lot Area: 21,280 sq.ft.

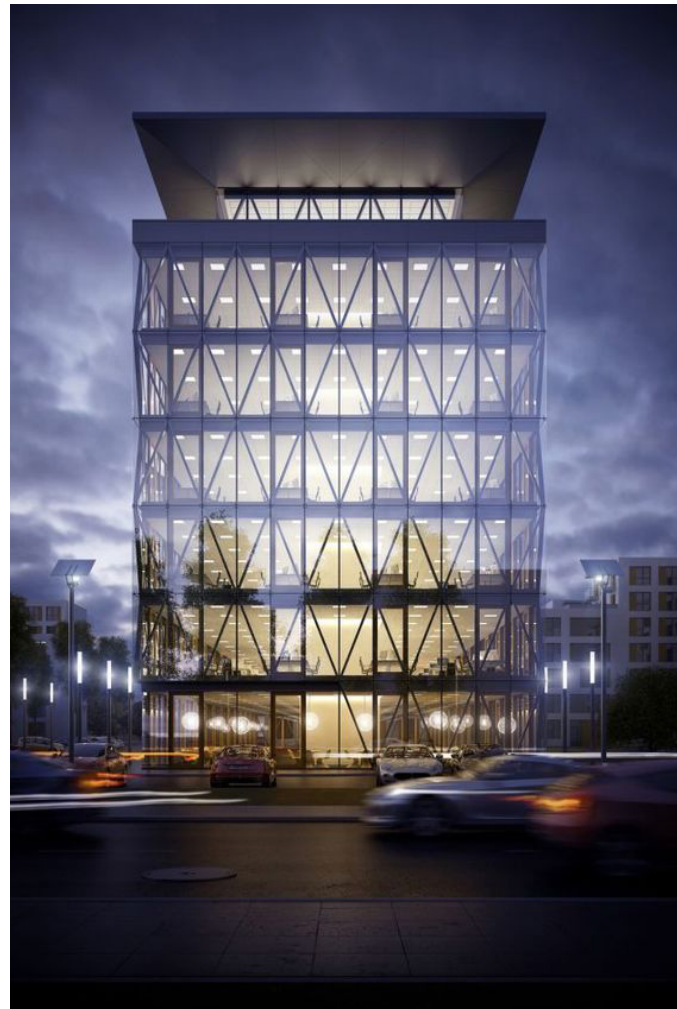
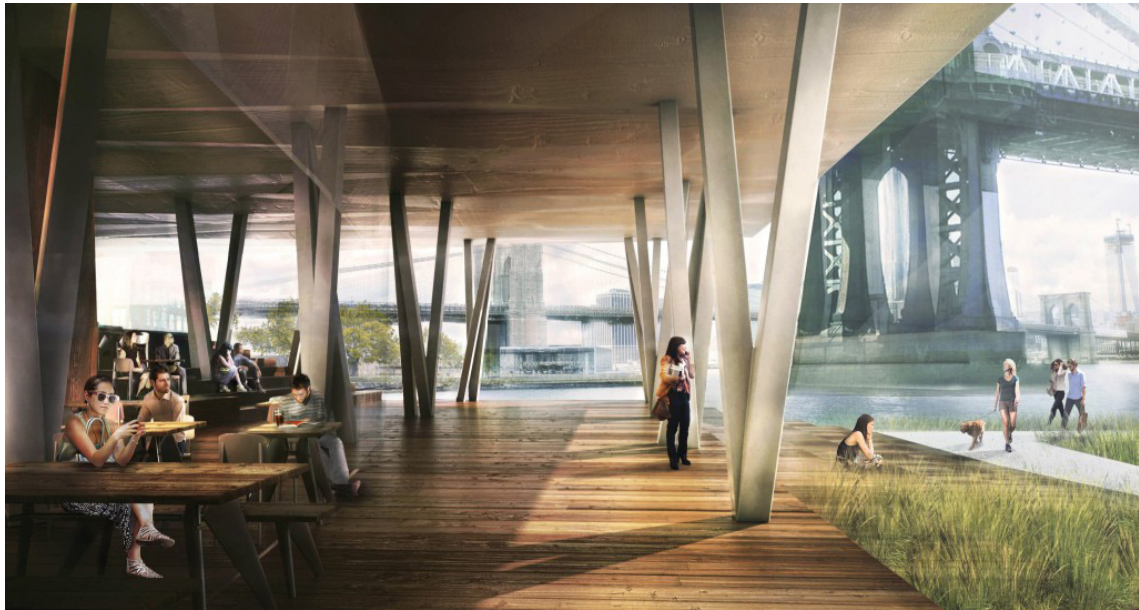
ZONING REGULATION (C-3-C / MU-9 District)	ZONING RESTRICTION	PROPOSED	COMMENTS
ZR16 DCMR11, SUBTITLE X, §303.7 Maximum Building Height	130'	130'	COMPLY
ZR16 DCMR 11, SUBTITLE B, 303 & 304 Total GFA		Office: 226,103 SF Retail: 5,827 SF (includes 1,125 SF of Maker Space) Total: 231,930 SF Plus 7,269 SF Habitable Penthouse (Not included in GFA Calculation)	COMPLY
ZR16 DCMR11, SUBTITLE G, §402.1 & SUBTITLE X, 303.3 Maximum FAR	Matter-Of-Right = 6.5 + 34% PUD Increase = 8.71	231,930 SF = 10.9 (C-2 Only)	COMPLY (BASED ON APPROVED PUD FOR OVERALL DEVELOPMENT)
ZR16 DCMR11, SUBTITLE G, §404.1 Maximum Lot Occupancy	N/A	100%	COMPLY
ZR16 DCMR11, SUBTITLE C, 1500.6 & 1500.7 & 1500.9 Penthouse Enclosure	Up to 3 heights permitted (Enclosing walls of habitable space, enclosing walls of mechanical space, and screen walls around uncovered mech equipment)	Two heights proposed: 15' for habitable spaces and 15' and 20' for covered and uncovered mechanical space	COMPLY
ZR16 DCMR11, SUBTITLE G, §403.3 Penthouse Height	20' Permitted / One story plus mezzanine 2nd story permitted for mechanical use	20' max provided Mezzanine Level provided in mechanical room	COMPLY
ZR16 DCMR11, SUBTITLE C, 1503.1 Penthouse FAR	Penthouse Habitable Space: Up to 0.4 exempt from Base Building FAR Penthouse Mechanical Space: Exempt from Base Building FAR	Habitable Space: 7,269 SF (= .34 FAR) Mechanical Area: 4,890 SF	COMPLY
ZR16 DCMR11, SUBTITLE C, 1500.3 Penthouse Use	Penthouse Habitable Space: Building Amenity/Nightclub, Bar, Cocktail Lounge, Restaurant Use	Area dedicated to this use: 7,269 SF	(SPECIAL EXCEPTION REQUESTED)
ZR16 DCMR11, SUBTITLE C, 1502.1 Penthouse Setback	1:1 Setback required	1:1 Setback provided	COMPLY
ZR16 DCMR11, SUBTITLE G, 407.3 Green Area Ratio	0.2	0.2	COMPLY
ZR16 DCMR11, SUBTITLE C, 702.1 Exemptions from Minimum Parking Requirements	(Project site is within 0.5 mi of the NOMA Metro Station) Total parking requirement can be reduced by 50%	See Below See Below See Below	COMPLY
ZR16 DCMR11, SUBTITLE C, 701.5 Minimum Parking Requirements	Office: .5 per 1,000 SF in excess of *2,836 SF = 112 (x50% = 56 req'd) Retail: 1.33 per 1,000 SF in excess of *73 SF = 8 (x50% = 4 req'd) Eating & Drinking Establishments: 1.33 per 1,000 SF in excess of *91 sf = 10 (x 50% = 5 req'd)	115 Zoning Compliant, 9 Tandem 9 Zoning Compliant 8 Zoning Compliant	*Exempt Floor Area Prorated by Use Total Parking Provided = 132 Zoning Compliant Spaces & 9 Tandem COMPLY
ZR16, DCMR11, SUBTITLE C, 802 Bicycle Parking	Long term: Office: 1 per 2,500sf up to 50 spaces = 50 1 per 5,000 sf for remainder = 20 Retail: 1 per 10,000sf = 1 Eating and Drinking Establishment (PH): 1 per 10,000sf = 1 Total Long Term Bike Spaces Required = 72	72 Long term spaces provided on B1 level	COMPLY
	Short term: Office: 1 per 40,000sf = 6 Retail: 1 per 3,500 sf = 2 , Eating and Drinking Establishment (PH): 1 per 3,500sf = 2 Total Short Term Bike Spaces Required = 10	6 Short term spaces provided along sidewalk, within 120' of main entrance to office building, 4 provided on B1 level. Total Provided = 10	
ZR16, DCMR11, SUBTITLE C, 901 Minimum Loading Berth and Service/Delivery Spaces	*Office: 3 loading berth @ 30' deep and 1 service / delivery space @20' deep *Retail: 1 loading berth (5,000 to 20,000 GFA) *Food & Alcohol Services (PH Use): 1 loading berth (5,000 to 20,000 GFA)	*1 berth @ 30' deep provided and 1 service / delivery space @20' deep *Loading Shared between all uses and with Building C-1	*Per C-901.8 and C-902.2, two or more uses may share loading and the building is only required to provide enough berths to meet the requirements for the use category with the highest requirement. Buildings C-1 and C-2 are one building for zoning purposes. Together, C-1 and C-2 provide the required loading facilities as a single building (3 total loading berths and 1 service delivery bay for more than 200,000 SF of office use.)
ZR16 DCMR11, SUBTITLE C, 905 Minimum Loading Platform	*Office: 3 loading platform @ 100 s.f. *Retail: 1 loading platform @ 100 s.f. *Food & Alcohol Services (PH Use): 1 loading platform @ 100 s.f.	*1 platform at 100 s.f. provided *1 platform at 100 s.f. provided *Loading Shared between all uses and with Building C-1	*See note above for minimum loading facilities
ZR16 DCMR11, SUBTITLE G, 405.3 Minimum Rear Yard	2-1/2" per foot of height and 12' minimum = 27'-1"	24' Provided	(RELIEF PROVIDED IN APPROVED PUD)
ZR16 DCMR11, SUBTITLE G, 202.1 Minimum Court Width	Not required, but if provided, 2.5" per foot of height and 6' minimum	NONE	N/A
ZR16 DCMR11, SUBTITLE G, 202.1 Minimum Closed Court Area	Twice the square of the width of the court and 250 Sq.ft. minimum	NONE	N/A

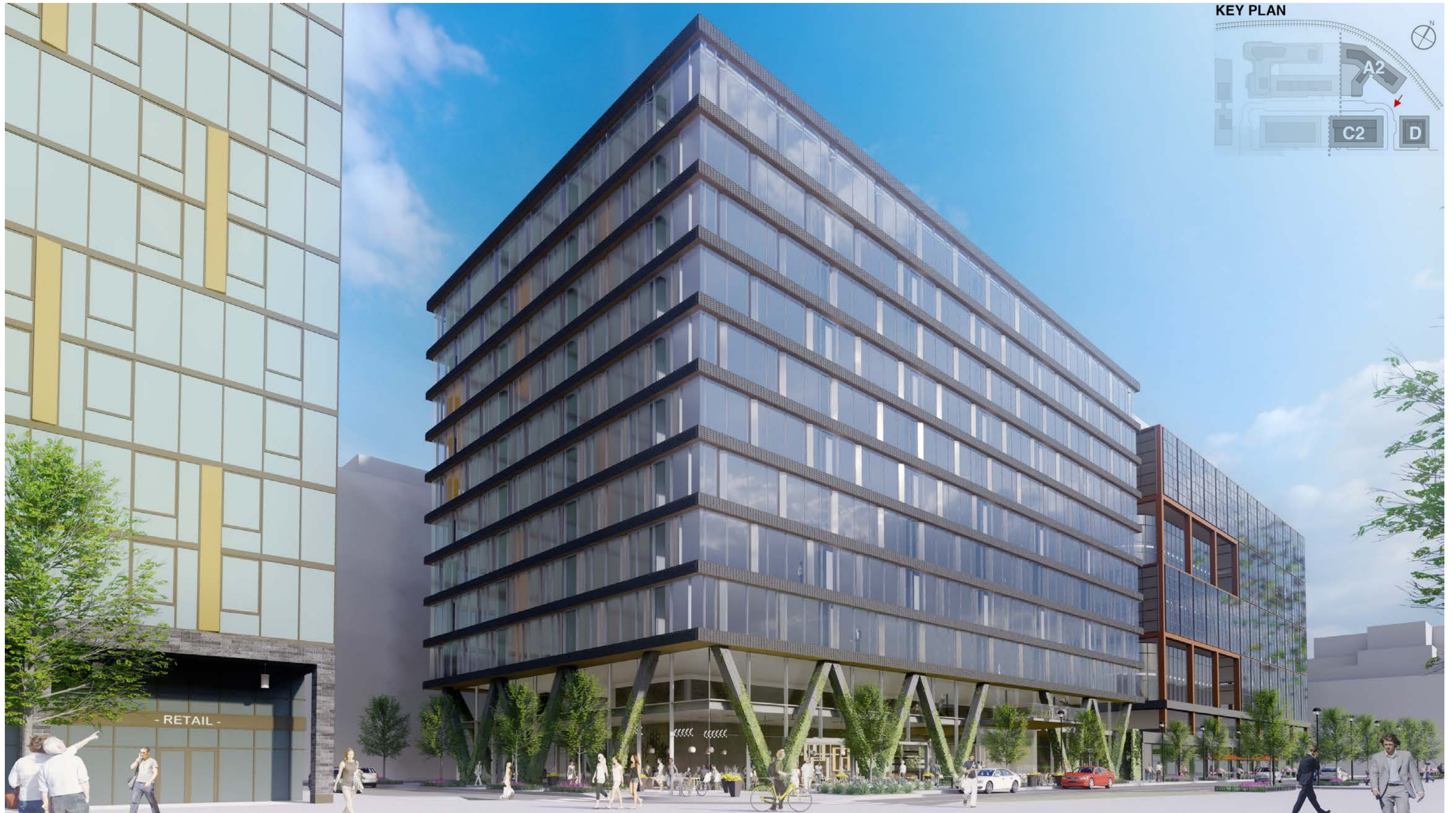
BUILDING C-2: ARCHITECTURAL PRECEDENTS & RENDERINGS

MARCH 22ND, 2019



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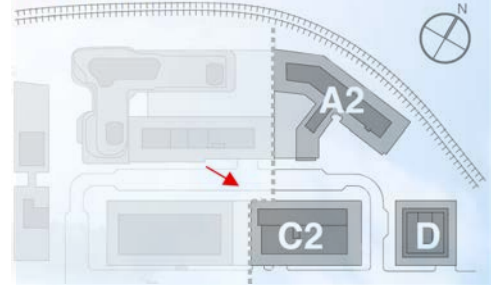
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BUILDING C-2 VIEW FROM NEAL PLACE PARK

C-2_202

KEY PLAN



BUILDING C-2 VIEW FROM SOUTH WEST

C-2_203

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BUILDING C-2 VIEW OF ENTRANCE AND RETAIL CANOPY

C-2_204



BUILDING C-2 VIEW FROM NEAL PLACE AND 3RD STREET

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C-2_205

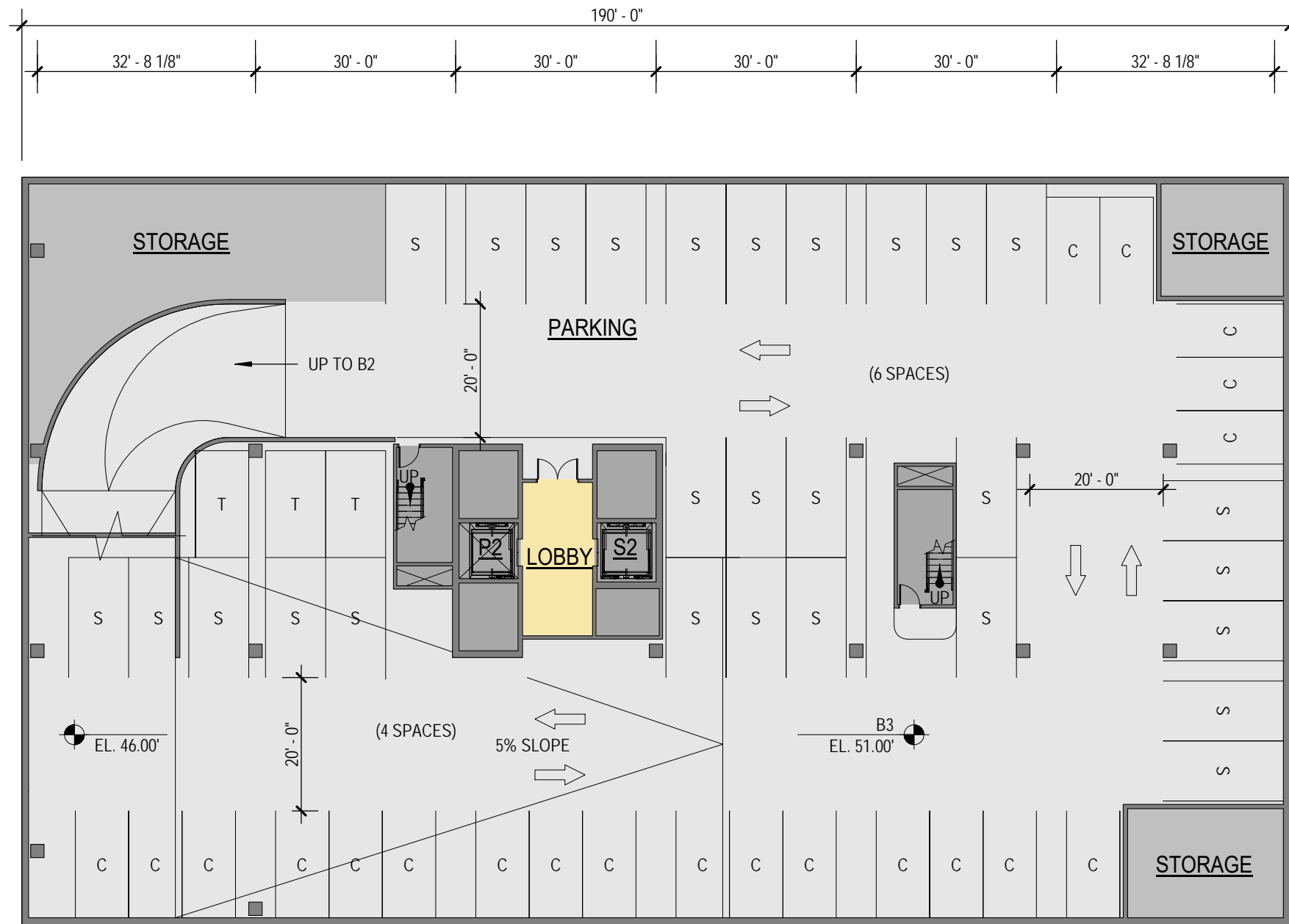


BUILDING C-2:
ARCHITECTURAL PLANS, SECTIONS & ELEVATIONS

MARCH 22ND, 2019

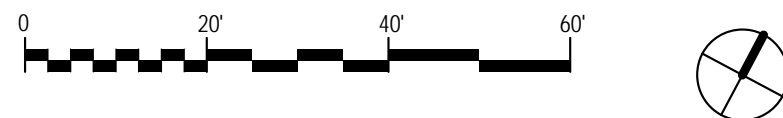
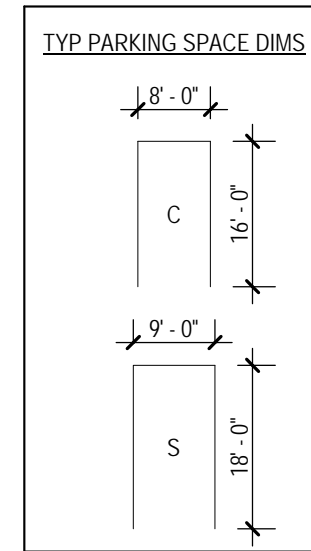


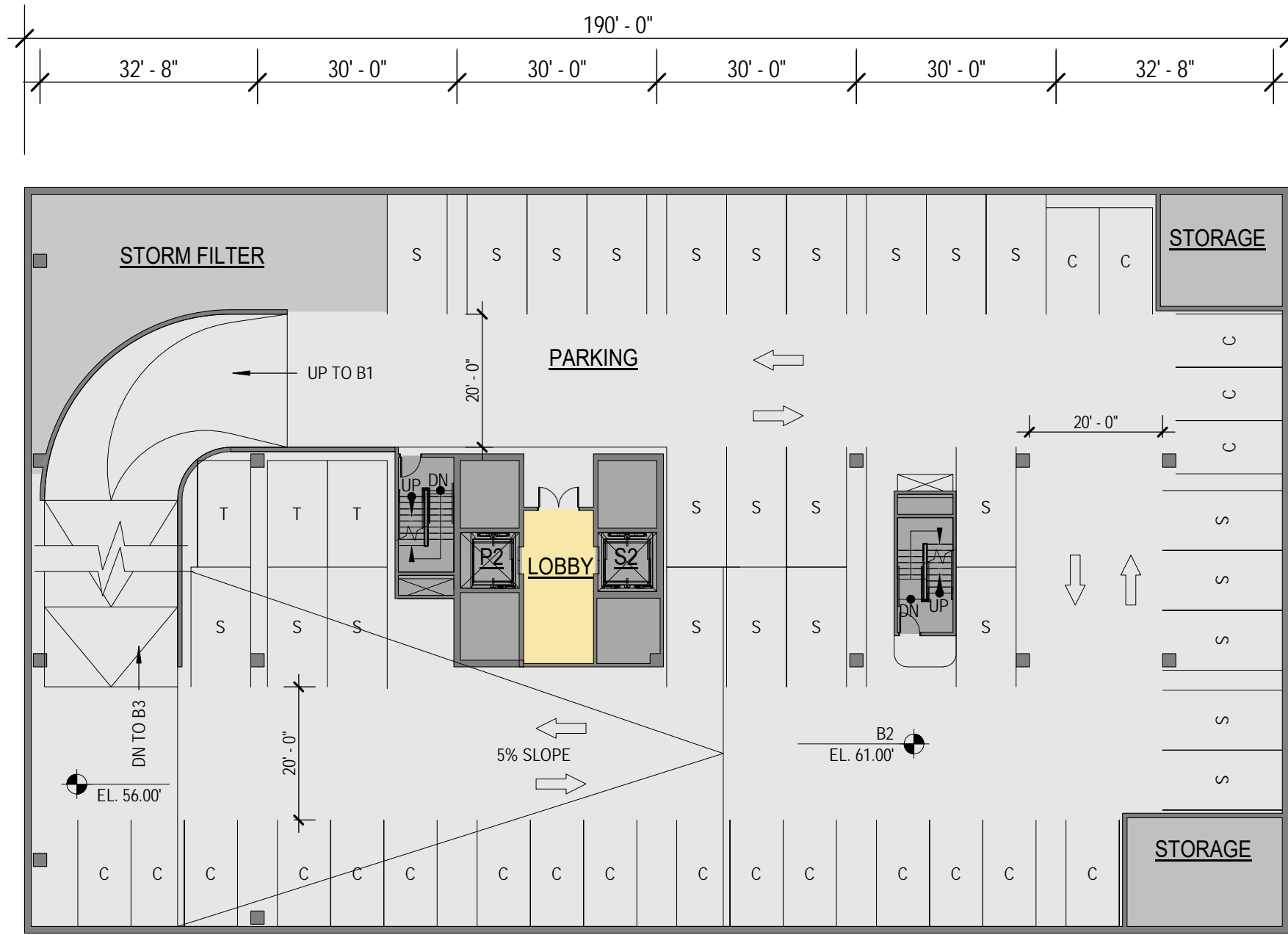
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Area Legend

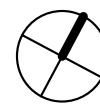
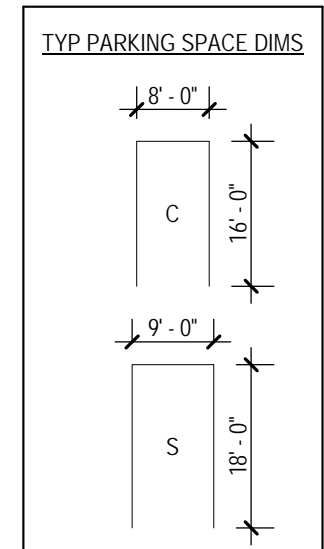
- Lobby
- Major Vertical Penetration
- Parking
- Storage





Area Legend

- Building Service Area
- Lobby
- Major Vertical Penetration
- Parking
- Storage



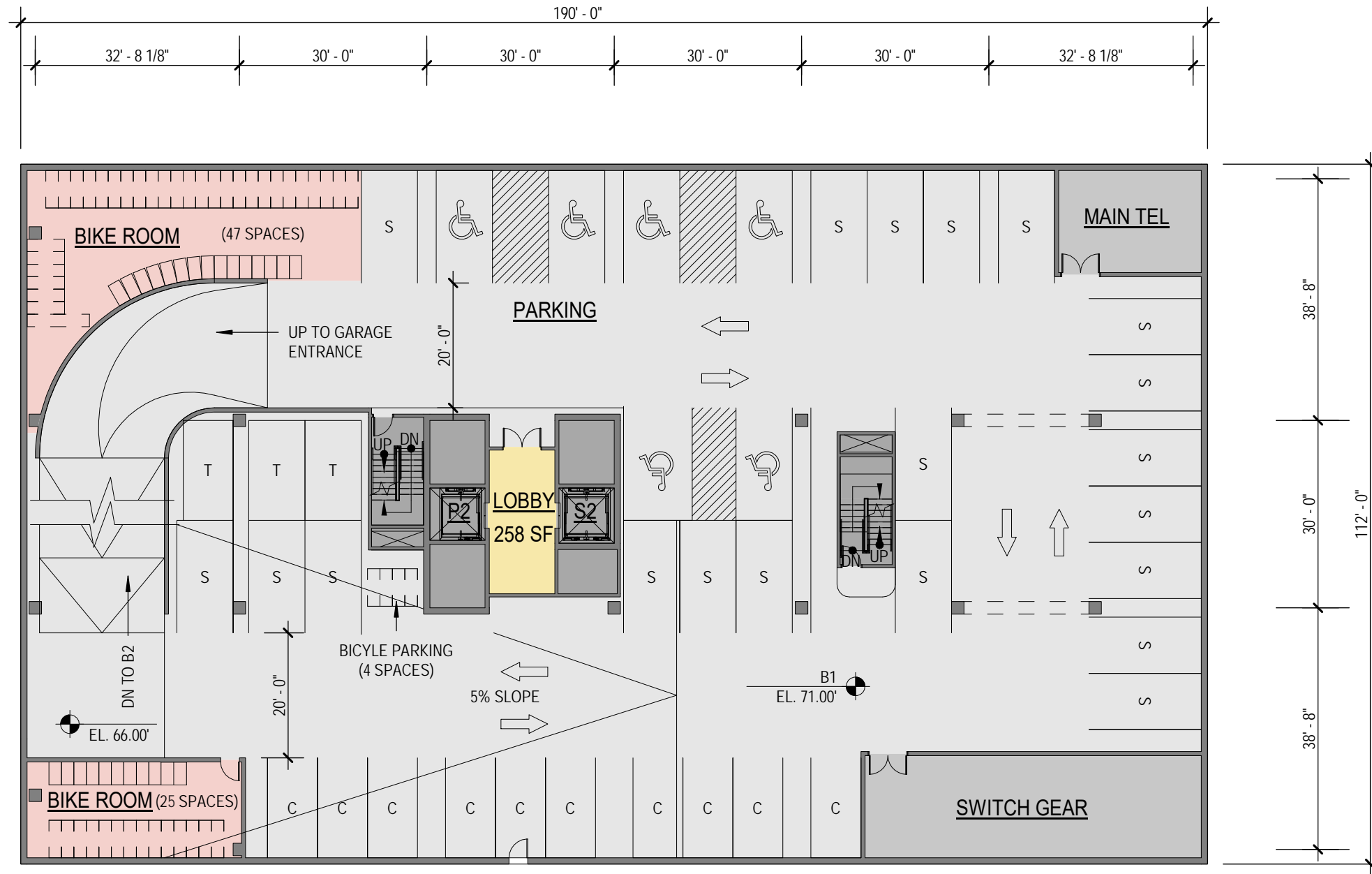
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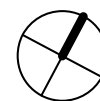
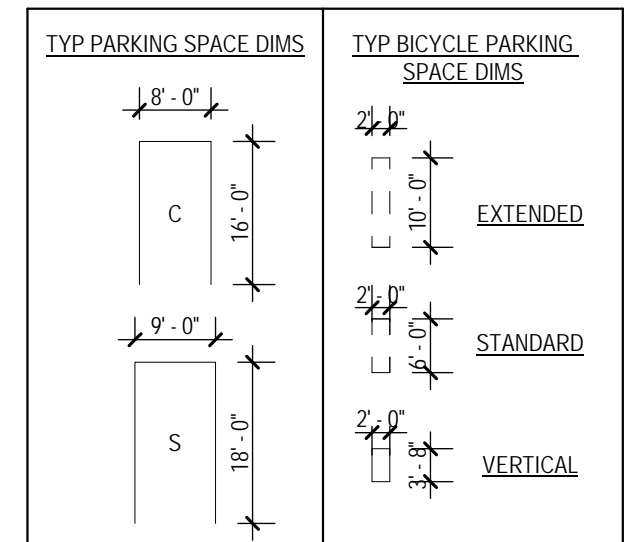
BUILDING C-2 FLOOR PLAN B2

C-2_302



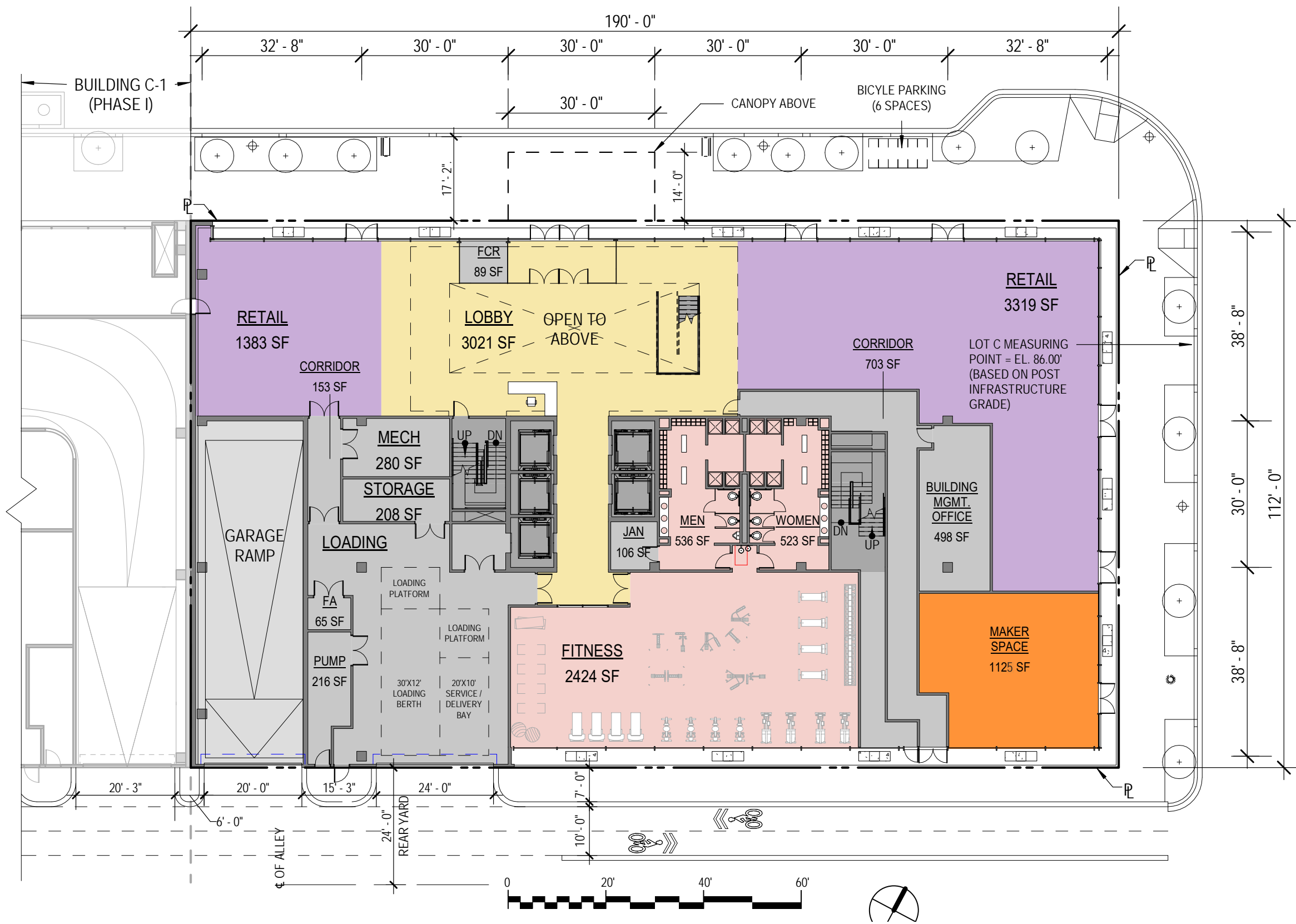
Area Legend

- Building Amenity
- Building Service Area
- Lobby
- Major Vertical Penetration
- Parking



BICYCLE PARKING:

Long Term Spaces Required: 72 spaces on Ground Floor or B1 level
 Long Term Spaces Provided: 72 spaces on B1 level - COMPLY
 Short Term Spaces Required: 10 spaces on Ground Floor or B1 level
 Short Term Spaces Provided: 6 spaces on Ground Floor, 4 spaces on B1 level - COMPLY

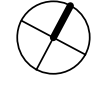
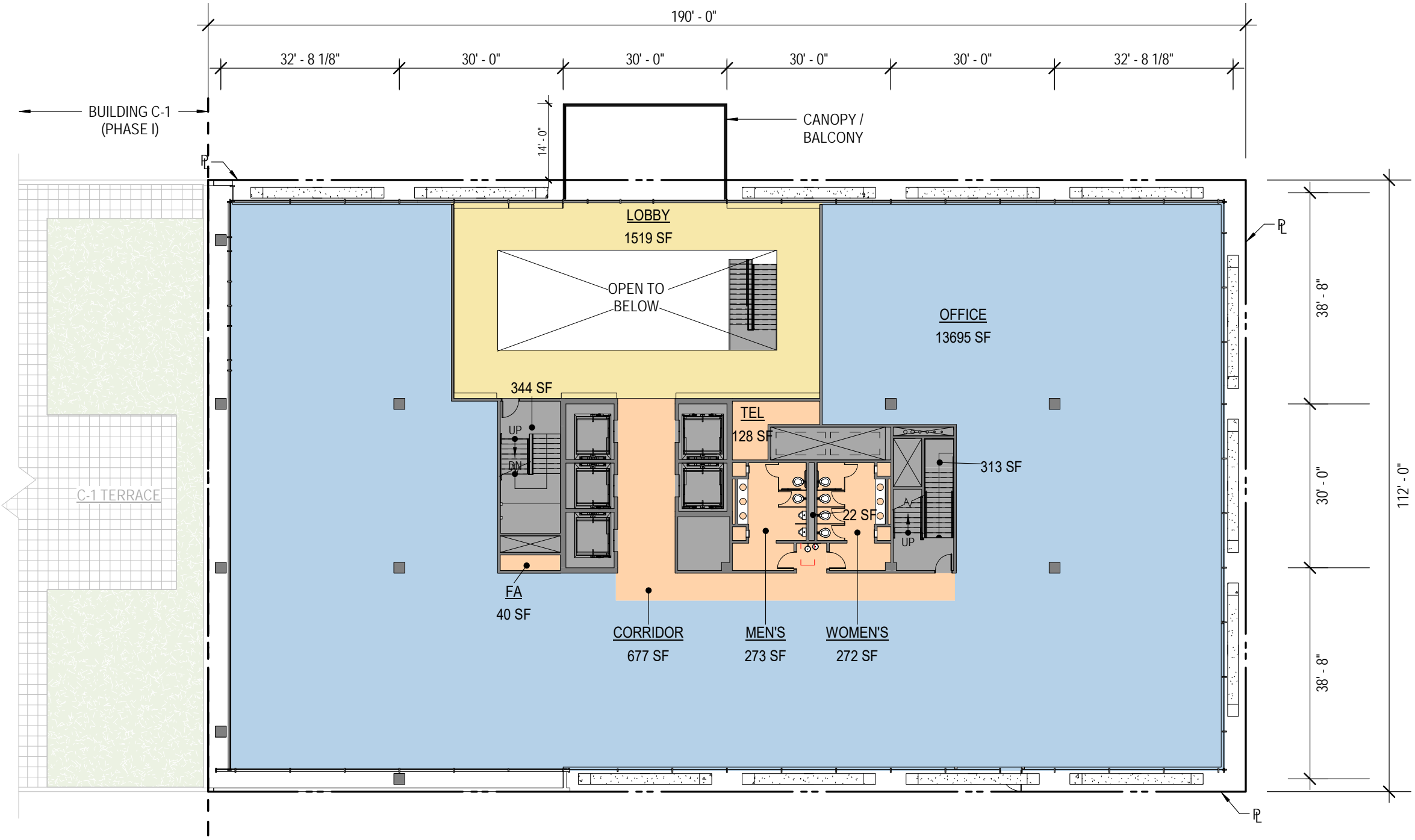


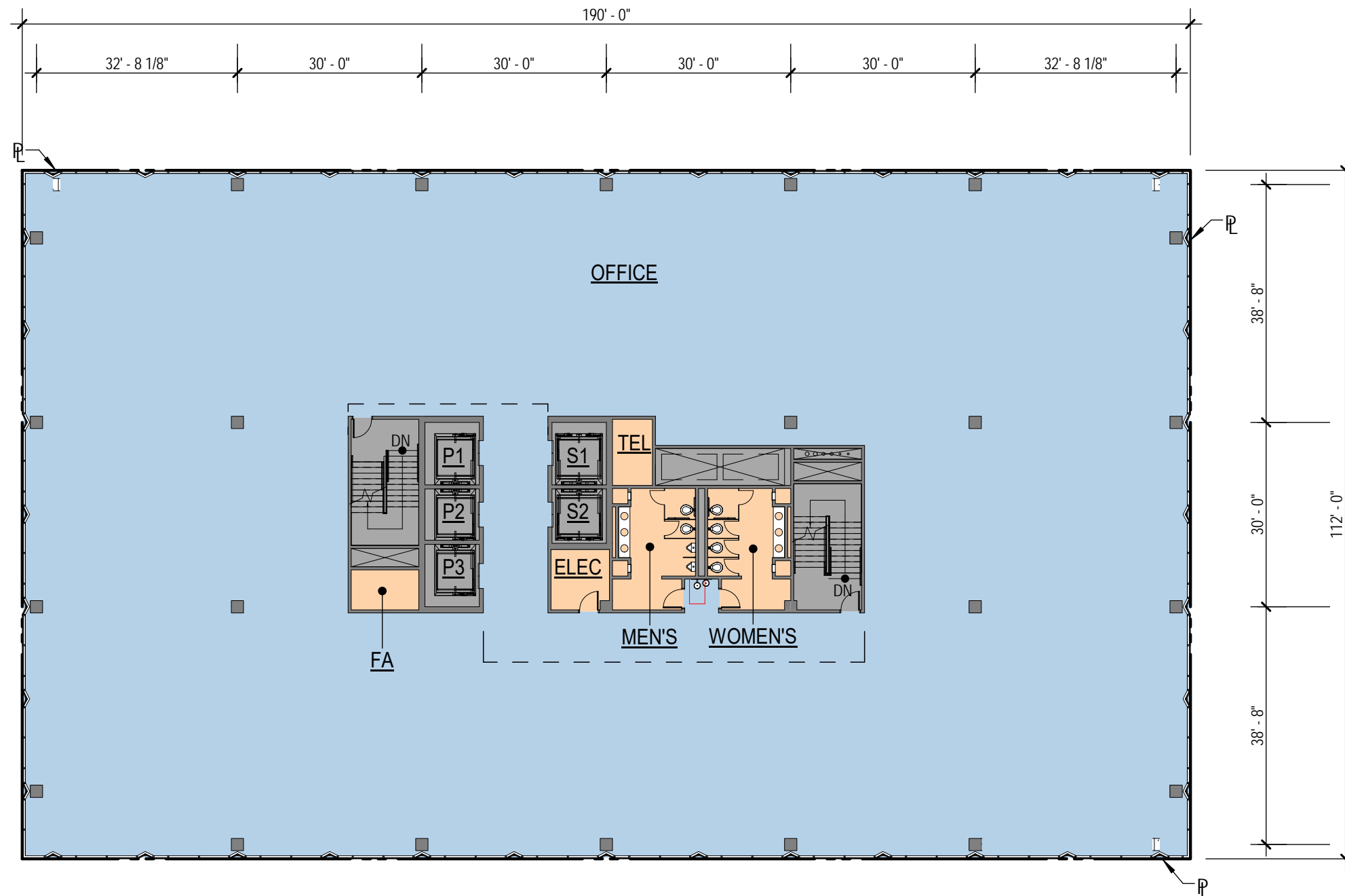
Area Legend

- Building Amenity
- Building Common Area
- Lobby
- Major Vertical Penetration
- Maker Space
- Store Area

Area Legend

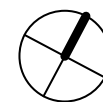
- Floor Common Area
- Lobby
- Major Vertical Penetration
- Office Area

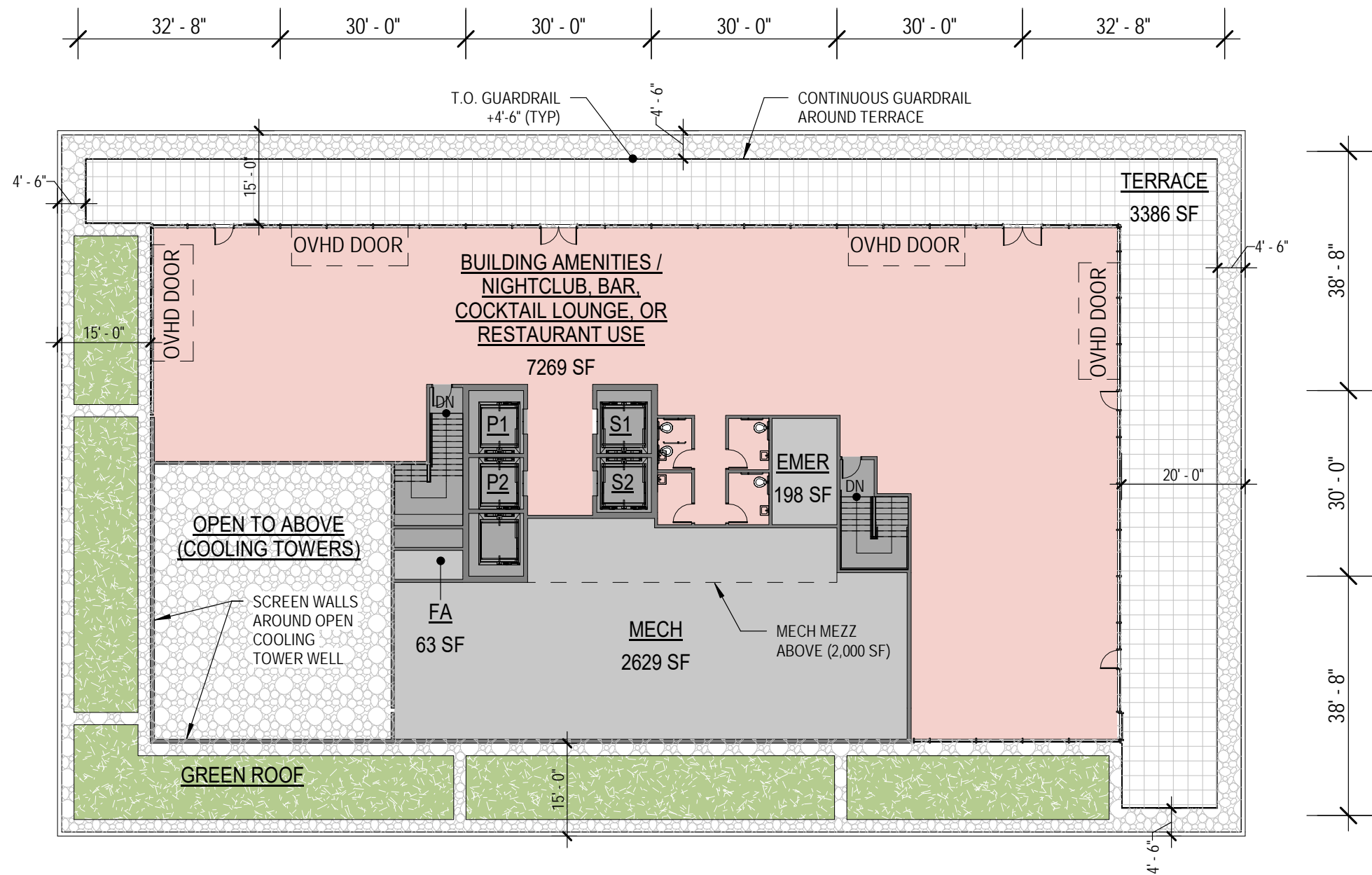




Area Legend

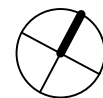
- Floor Service Area
- Major Vertical Penetration
- Office Area

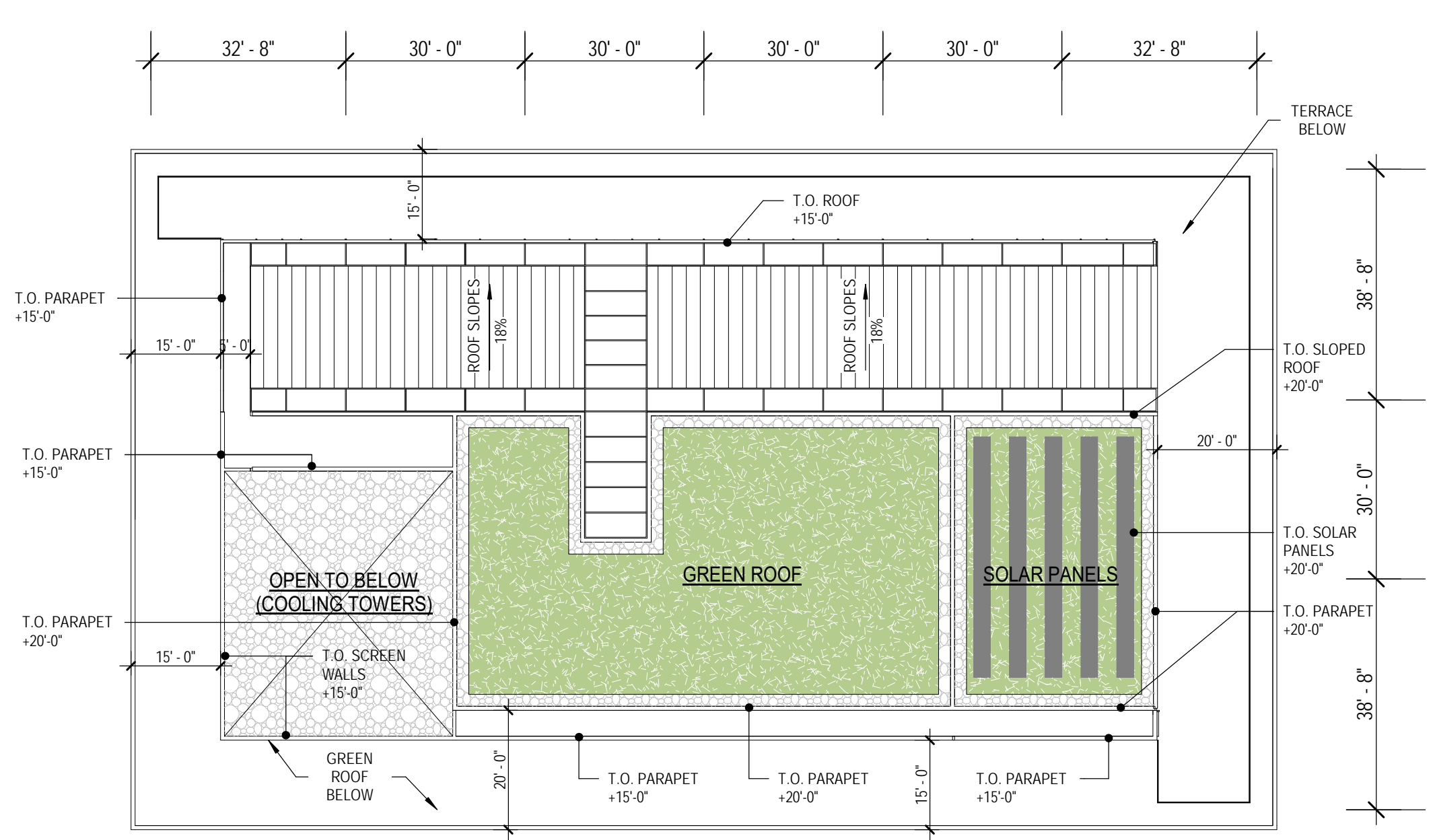




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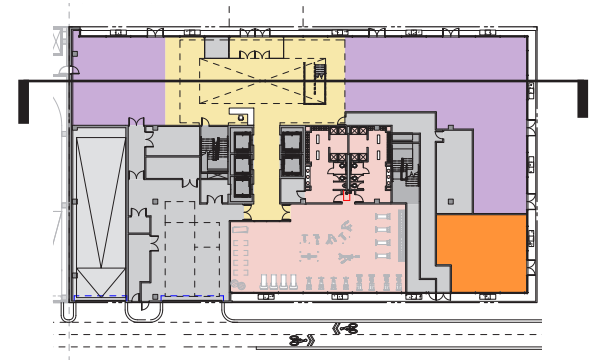
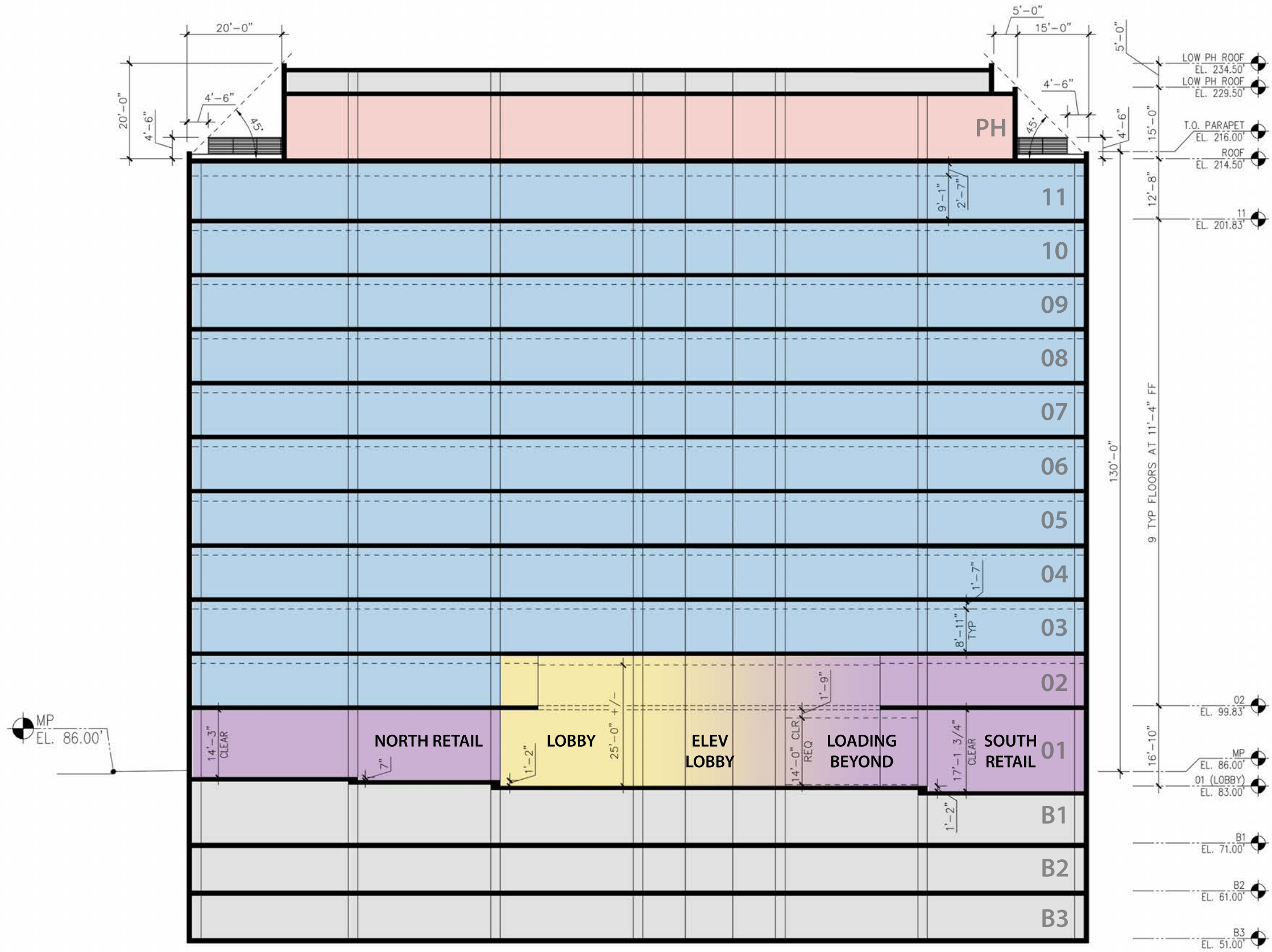
- Building Amenity & Bar / Restaurant Use
- Building Service Area
- Green Roof
- Major Vertical Penetration
- Roof
- Terrace





Area Legend

- Green Roof
- Roof



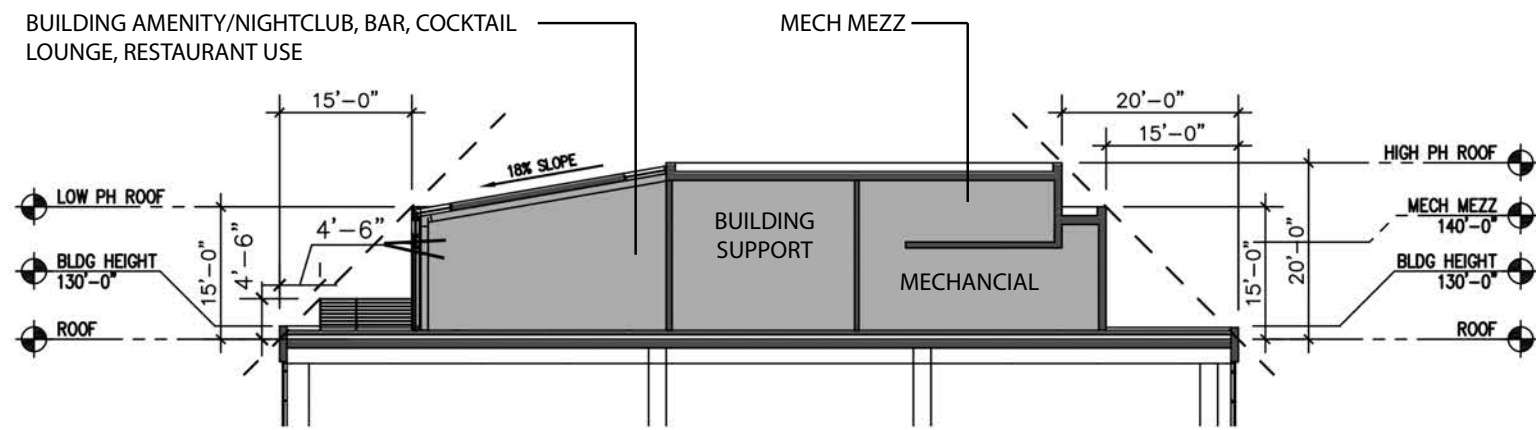
KEY PLAN - GROUND FLOOR

BUILDING C-2 LONGITUDINAL SECTION

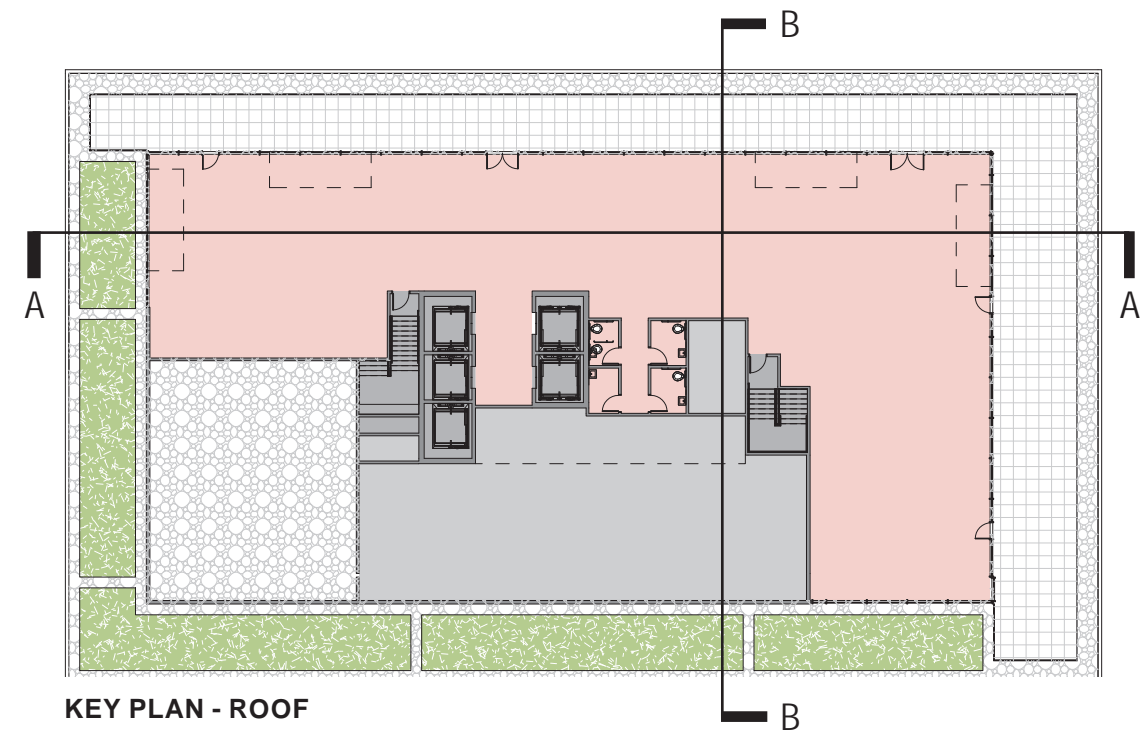
C-2_309

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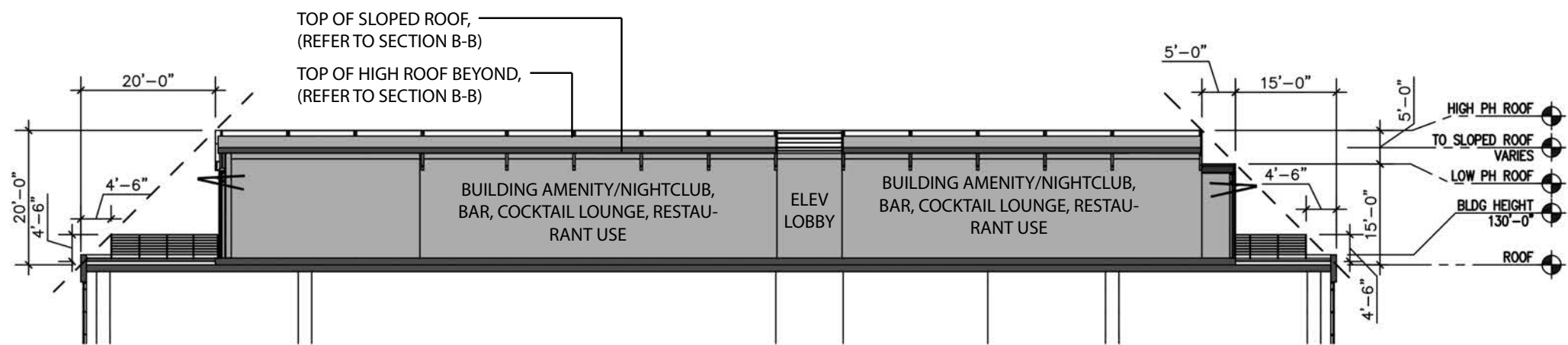




TRANSVERSE PH SECTION B-B



KEY PLAN - ROOF



LONGITUDINAL SECTION A-A

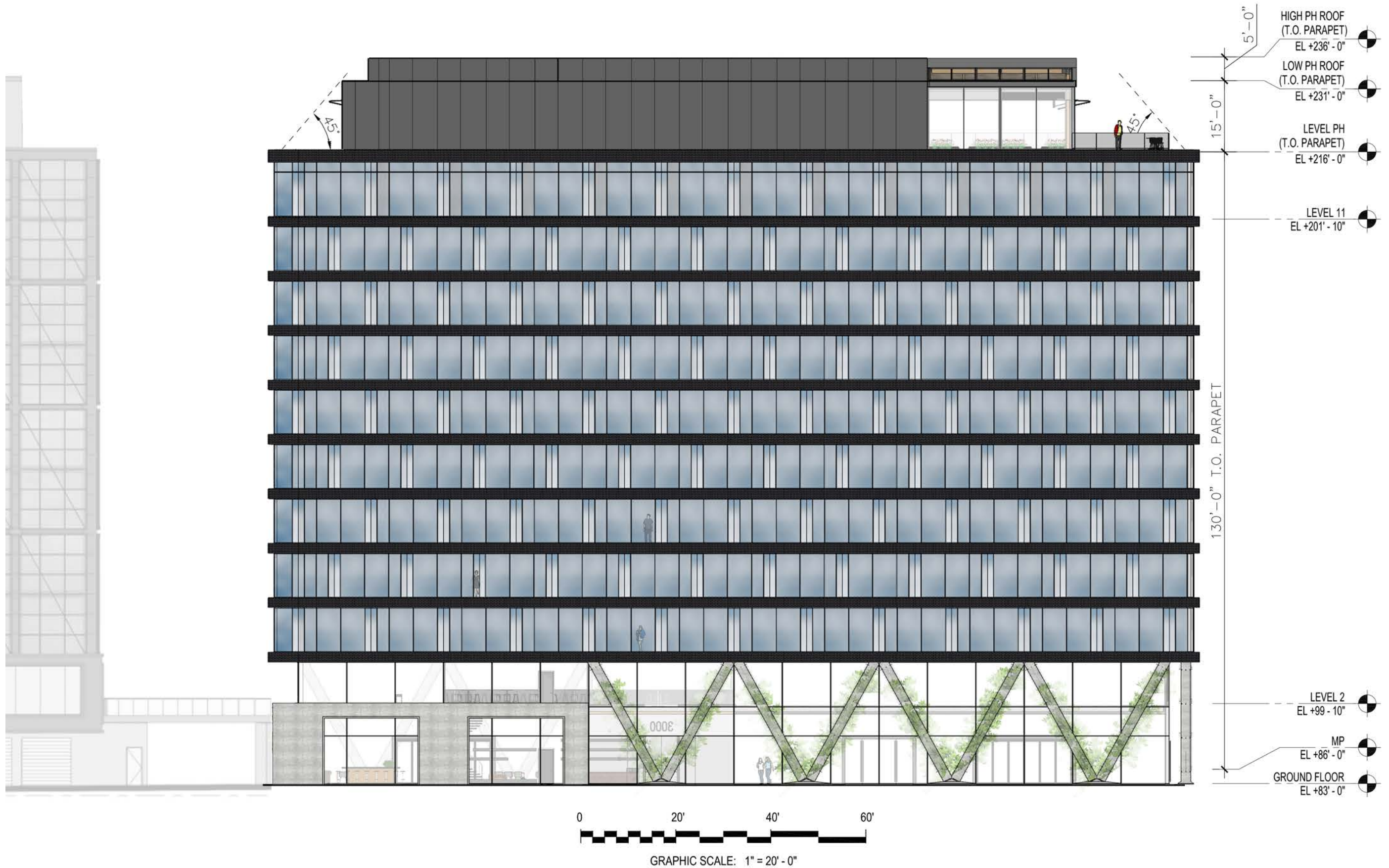
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BUILDING C-2 PENTHOUSE SECTIONS

C-2_310



BUILDING C-2 EAST ELEVATION
 C-2_311

MARCH 22ND, 2019



ALUMINUM STOREFRONT W/
CLEAR, HIGH PERFORMANCE
GLAZING, TYP

FLOOR TO CEILING ALUMINUM
STOREFRONT W/ CLEAR, HIGH
PERFORMANCE GLAZING, TYP

METAL GUARDRAIL W/ CABLE
MESH

FLOOR TO CEILING, ALUMINUM
STOREFRONT W/ HIGH
PERFORMANCE GLAZING, TYP

TYPICAL BAY - ENLARGED
ELEVATION

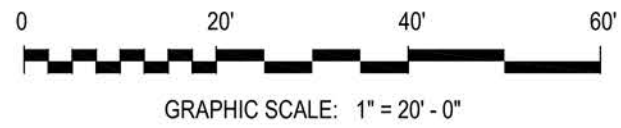
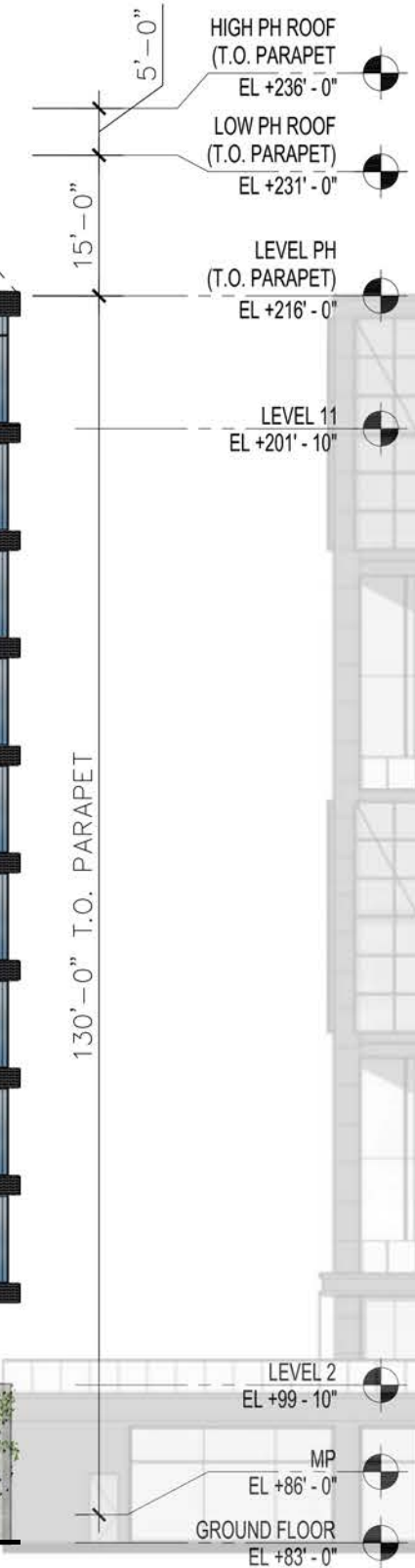
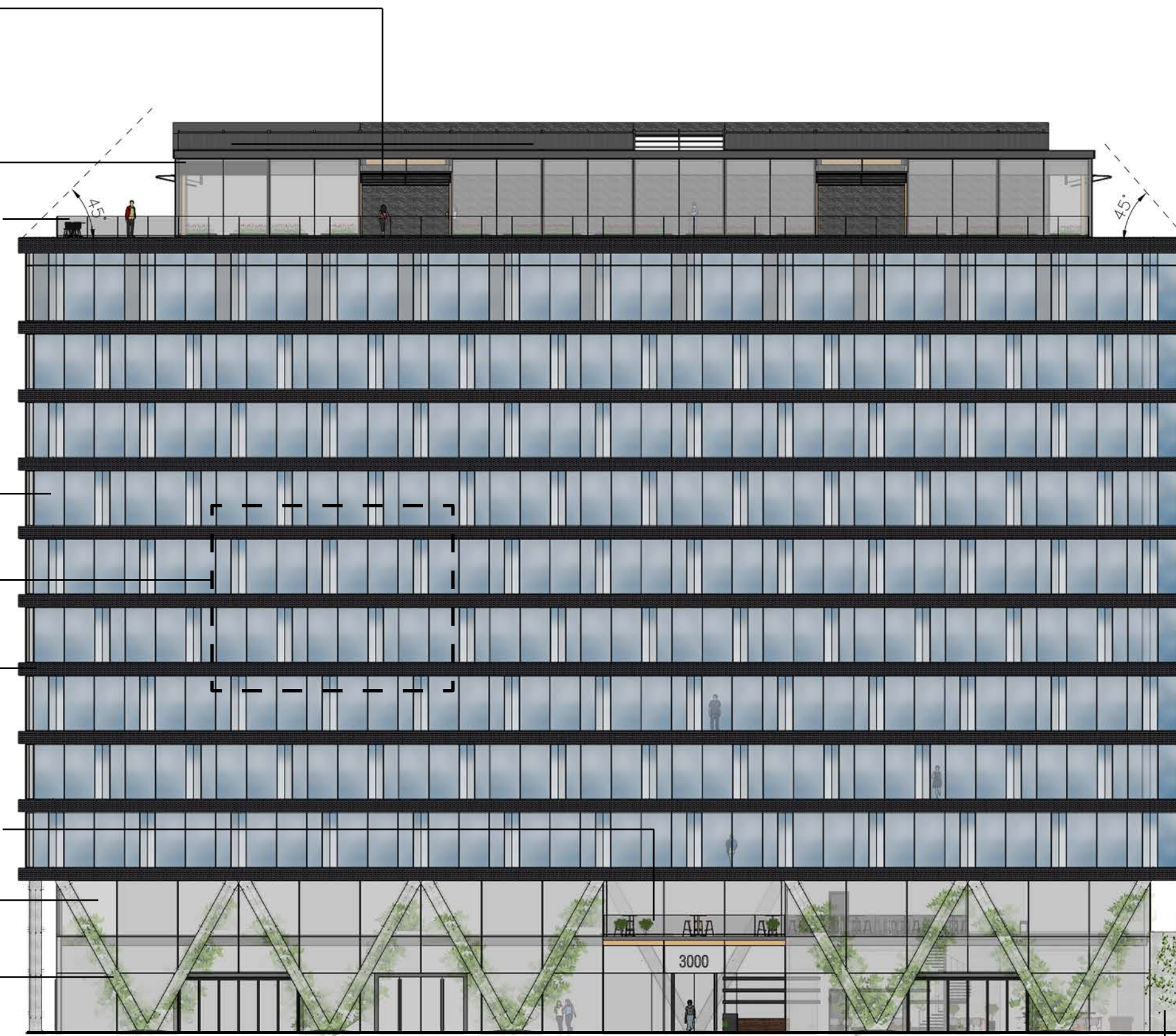
BRICK SPANDREL, TYP

METAL GUARDRAIL W/ CABLE
MESH

ALUMINUM STOREFRONT W/
CLEAR, HIGH PERFORMANCE
GLAZING, TYP

CAST IN PLACE, STRUCTURAL
CONCRETE COLUMNS W/
ARCHITECTURAL FINISH & CABLE
TRELLIS, TYP

REFERENCE SHEET C-2_315 FOR MATERIAL PALLETTE



CAST IN PLACE CONCRETE W/
ARCHITECTURAL FINISH &
CABLE TRELLIS

MARCH 22ND, 2019

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BUILDING C-2 WEST ELEVATION

C-2_312



BUILDING C-2 NORTH AND SOUTH ELEVATIONS

C-2_313

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TYPICAL BAY - ENLARGED ELEVATION

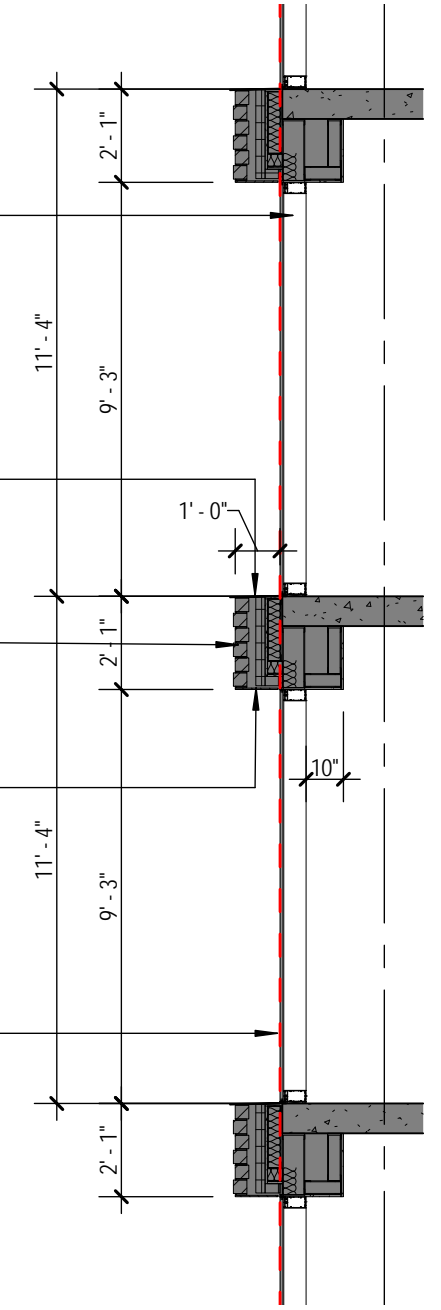
FLOOR TO CEILING ALUMINUM STOREFRONT W/ HIGH PERFORMANCE GLAZING

ALUM SILL, TYP

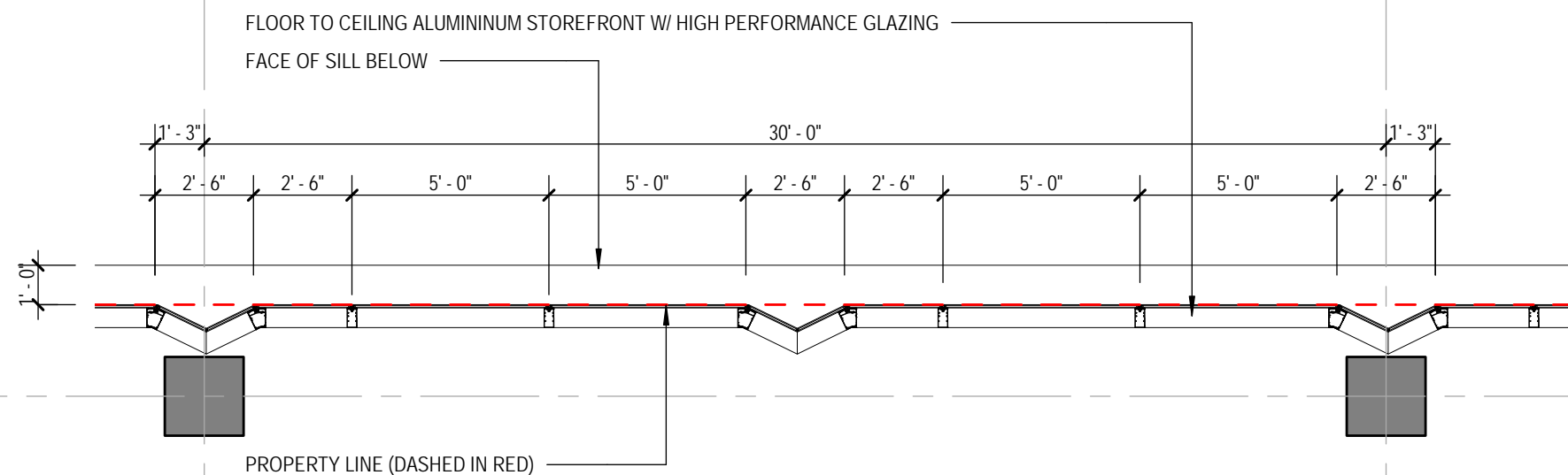
BRICK SPANDREL, TYP

ENGINEERED WOOD SOFFIT, TYP

PROPERTY LINE (DASHED IN RED)



TYPICAL BAY - ENLARGED SECTION



TYPICAL BAY - ENLARGED PLAN

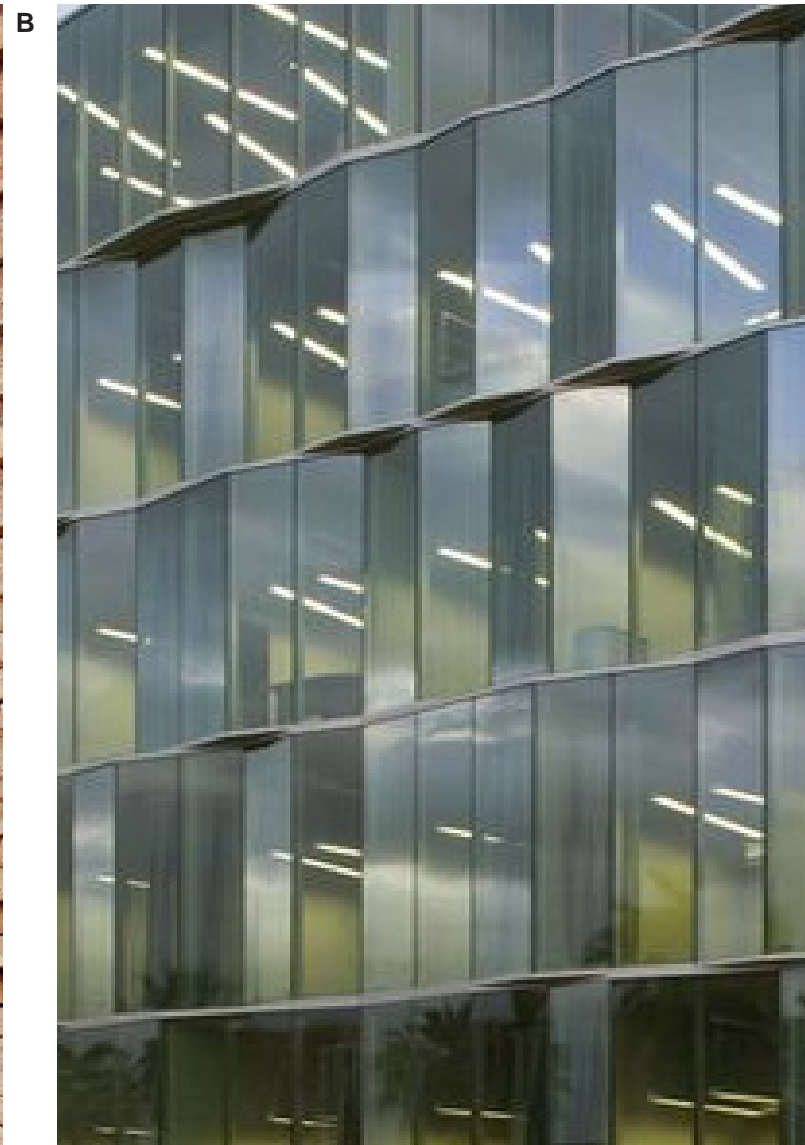
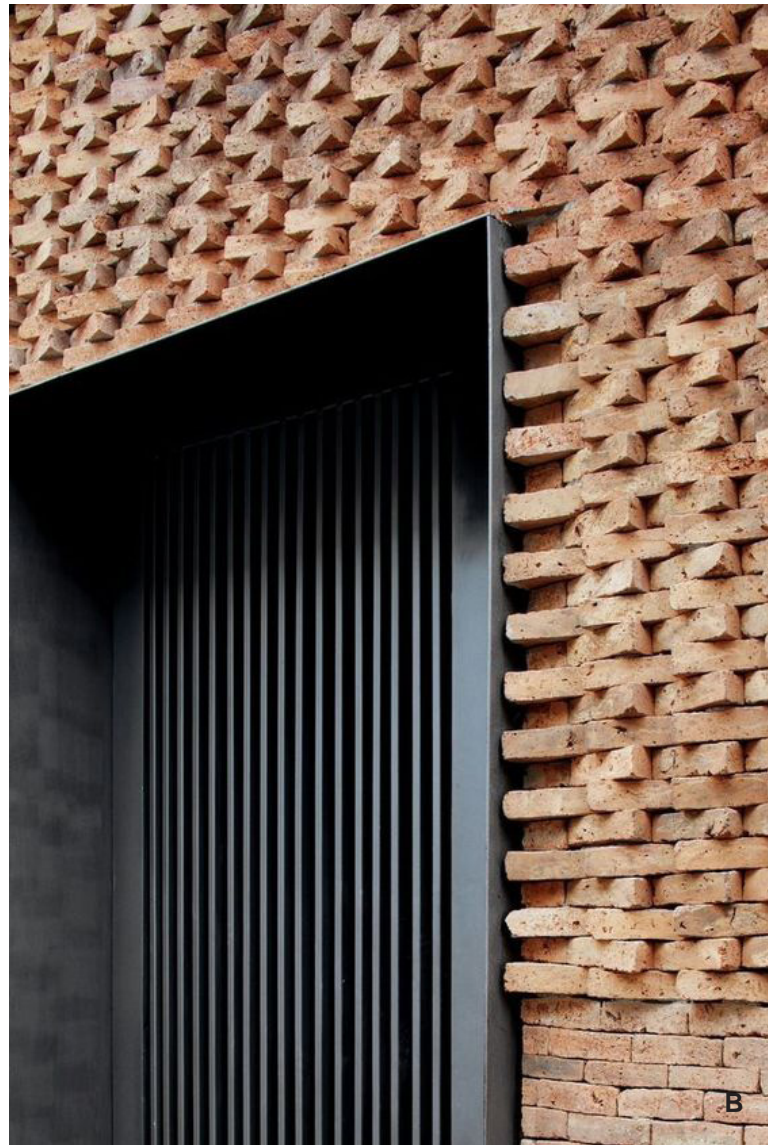
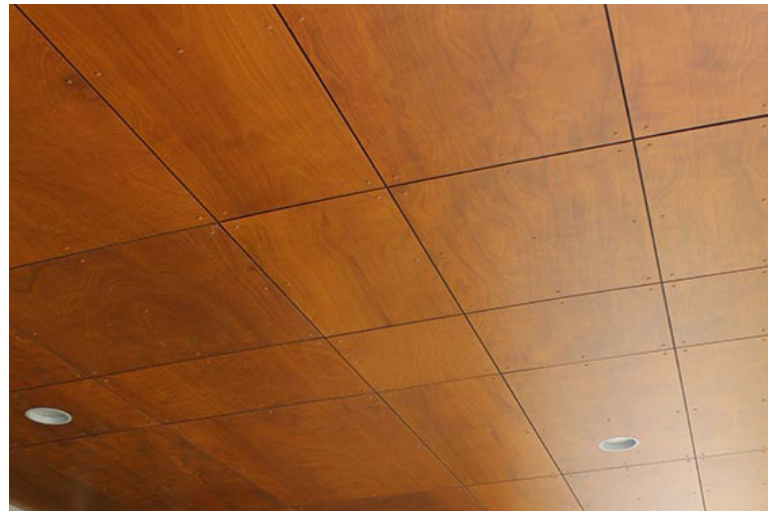
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BUILDING C-2 FACADE DETAILS

C-2_314



MATERIAL LEGEND

A. ENGINEERED WOOD SOFFIT

B. BRICK SPANDREL

(REFER TO RENDERINGS FOR COLOR)

C. CAST IN PLACE ARCHITECTURAL CONCRETE COLUMNS

D. FLOOR TO CEILING ALUMINUM STOREFRONT SYSTEM WITH TRIANGULATED GLASS UNITS.

(REFERENC ELEVATIONS AND PLAN DETAILS)

E. CABLE TRELLIS ON CONCRETE COLUMNS/WALLS (WHERE INDICATED)

F. METAL GUARDRAIL W/ CABLE MESH.