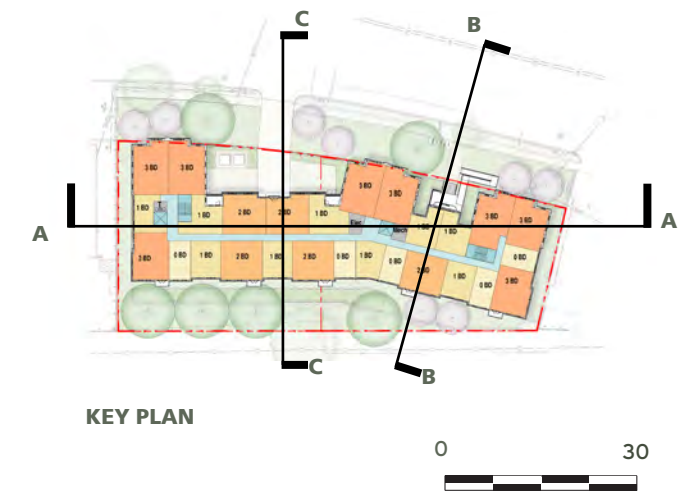




EAST / WEST SECTION B-B



EAST / WEST SECTION C-C





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KAYE STERN PROPERTIES

Architectural Precedents
3836 - 3848 SOUTH CAPITOL STREET, SE



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KAYE STERN PROPERTIES

Architectural Precedents
3836 - 3848 SOUTH CAPITOL STREET, SE



A - West Elevation



B - North Elevation



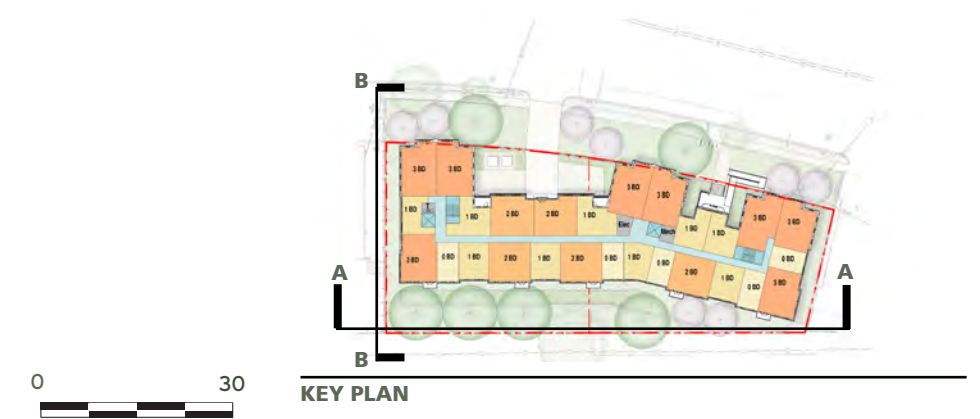
KEY PLAN



A - East Elevation



B - South Elevation





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KAYE STERN PROPERTIES

Perspective Rendering - Main Entrance
 3836 - 3848 SOUTH CAPITOL STREET, SE



VIEW



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KAYE STERN PROPERTIES

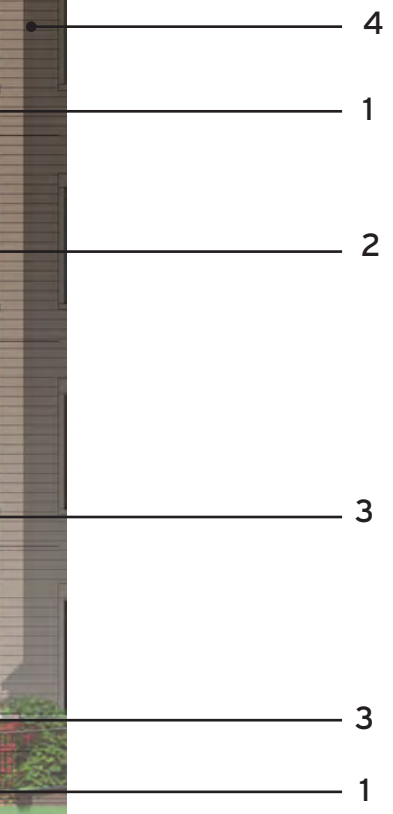
Perspective Rendering - View North along South Capitol Street, SE
3836 - 3848 SOUTH CAPITOL STREET, SE



KEY PLAN

MATERIAL LEGEND

- 1 BRICK
- 2 WINDOWS, DOORS, BALCONY AND RAILINGS
- 3 CAST STONE
- 4 FIBER CEMENT SIDING COLOR #1
- 5 FIBER CEMENT SIDING COLOR #2



West Elevation - Perspective View

Enlarged West Elevation



West Elevation - Perspective View



Enlarged West Elevation



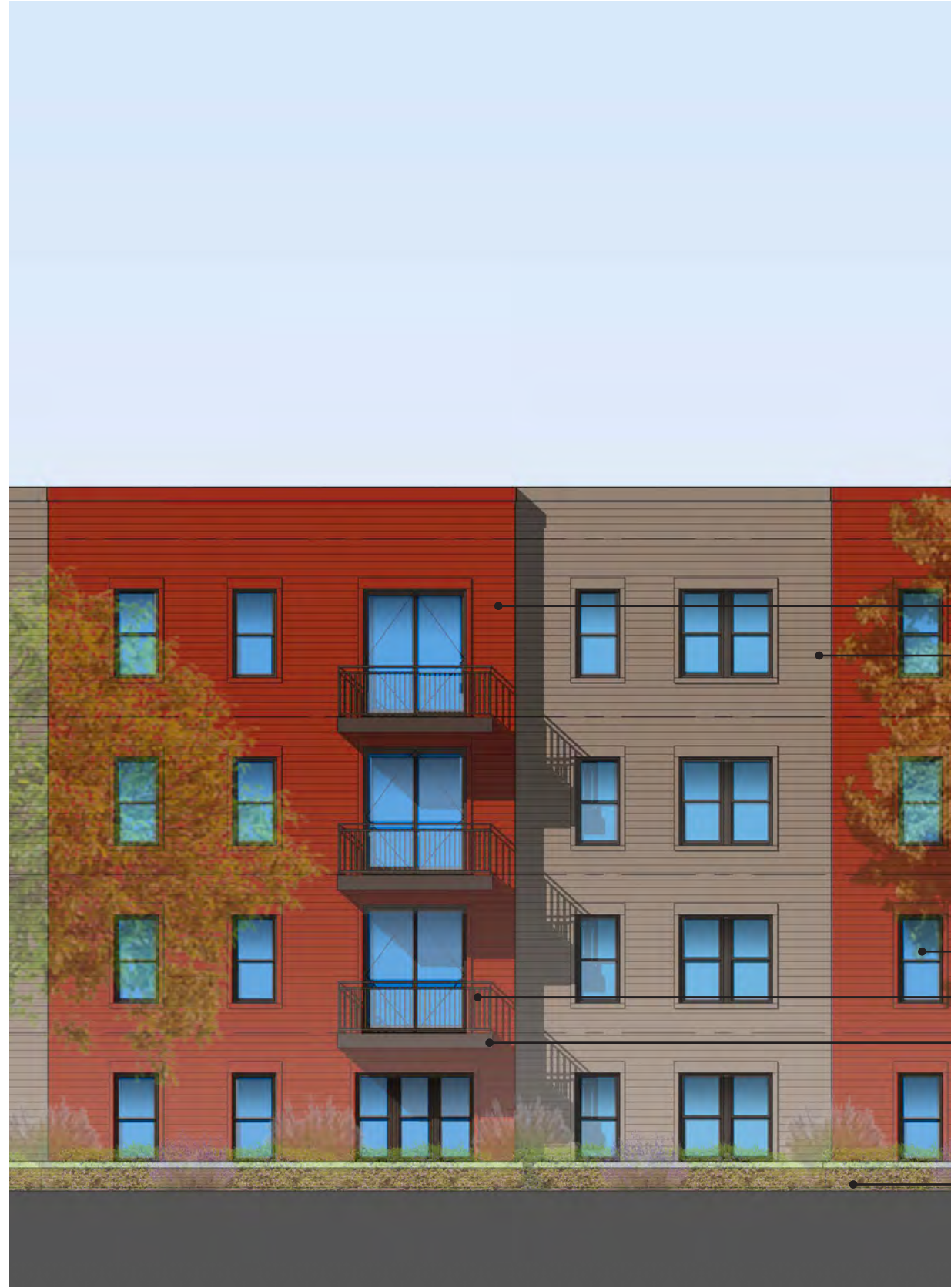
KEY PLAN

MATERIAL LEGEND

- 1 BRICK
- 2 WINDOWS, DOORS, BALCONY AND RAILINGS
- 3 CAST STONE
- 4 FIBER CEMENT SIDING COLOR #1
- 5 FIBER CEMENT SIDING COLOR #2



East Elevation - Perspective View



Enlarged East Elevation

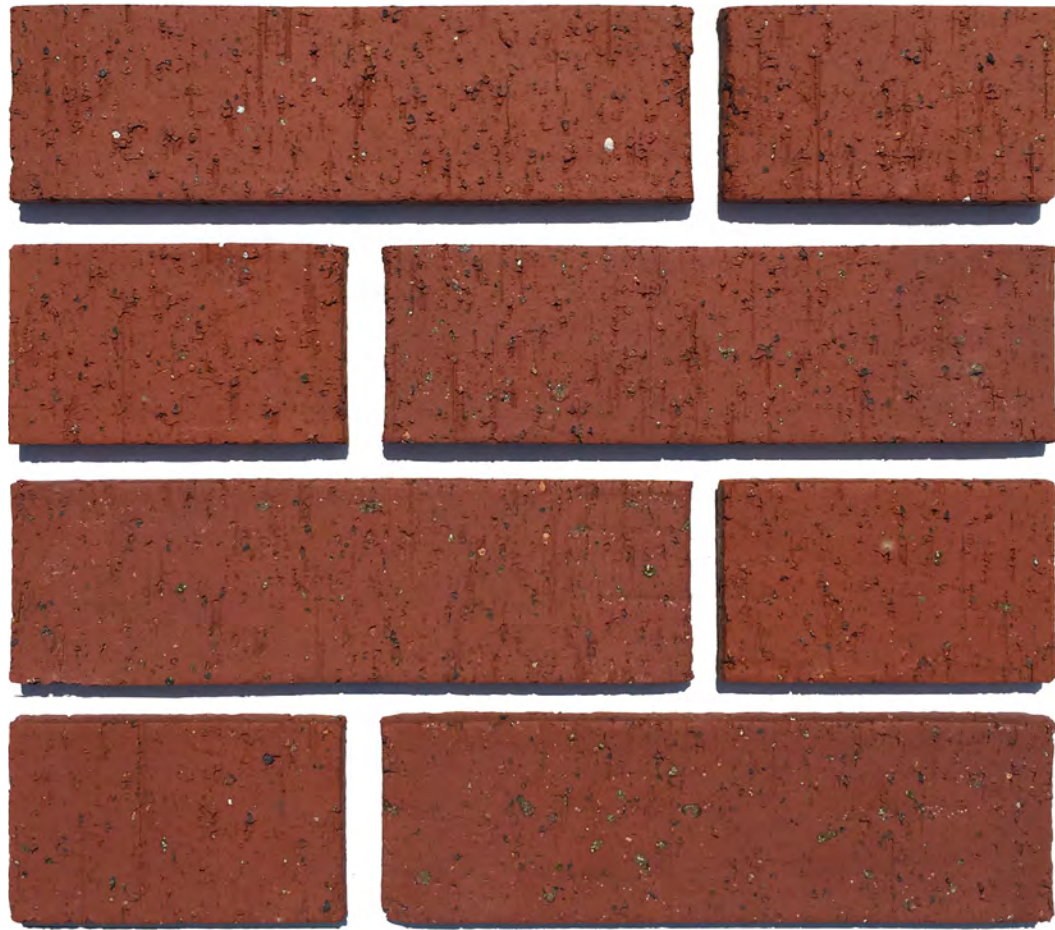


KEY PLAN

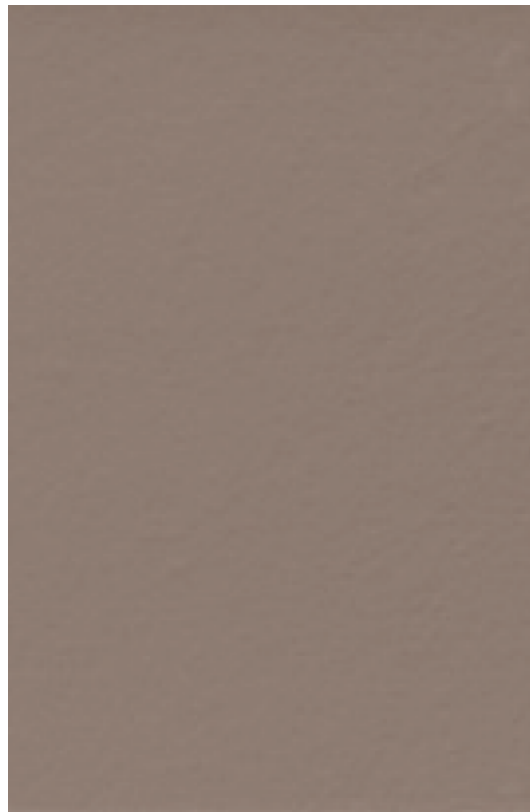
MATERIAL LEGEND

- 1 BRICK
- 2 WINDOWS, DOORS, BALCONY AND RAILINGS
- 3 CAST STONE
- 4 FIBER CEMENT SIDING COLOR #1
- 5 FIBER CEMENT SIDING COLOR #2

- 5
- 4
- 2
- 2
- 2
- 1



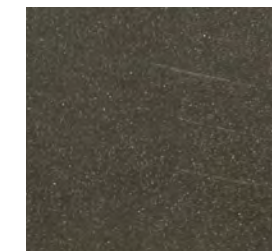
Brick Masonry



Fiber Cement Siding Color #1



Fiber Cement Siding Color #2



Windows, Doors,
Storefronts & Canopies



Cast Stone



BUILDING ENTRANCE SIGNAGE ZONE -
2'-0" HEIGHT X 10'-0" LENGTH MAXIMUM
ALUMNIMUM, COLOR TBD

TYPE A - BUILDING ENTRANCE SIGNAGE



GARAGE SIGNAGE ZONE -
1'-6" HEIGHT X 18'-0" LENGTH MAXIMUM
ALUMNIMUM, COLOR TBD

TYPE B - GARAGE ENTRANCE SIGNAGE



ENTRANCE WALL SIGNAGE ZONE -
4'-0" HEIGHT X 10'-0" LENGTH MAXIMUM
ALUMNIMUM, COLOR TBD

TYPE C - ENTRANCE WALL SIGNAGE



KEY PLAN

Civil Drawings

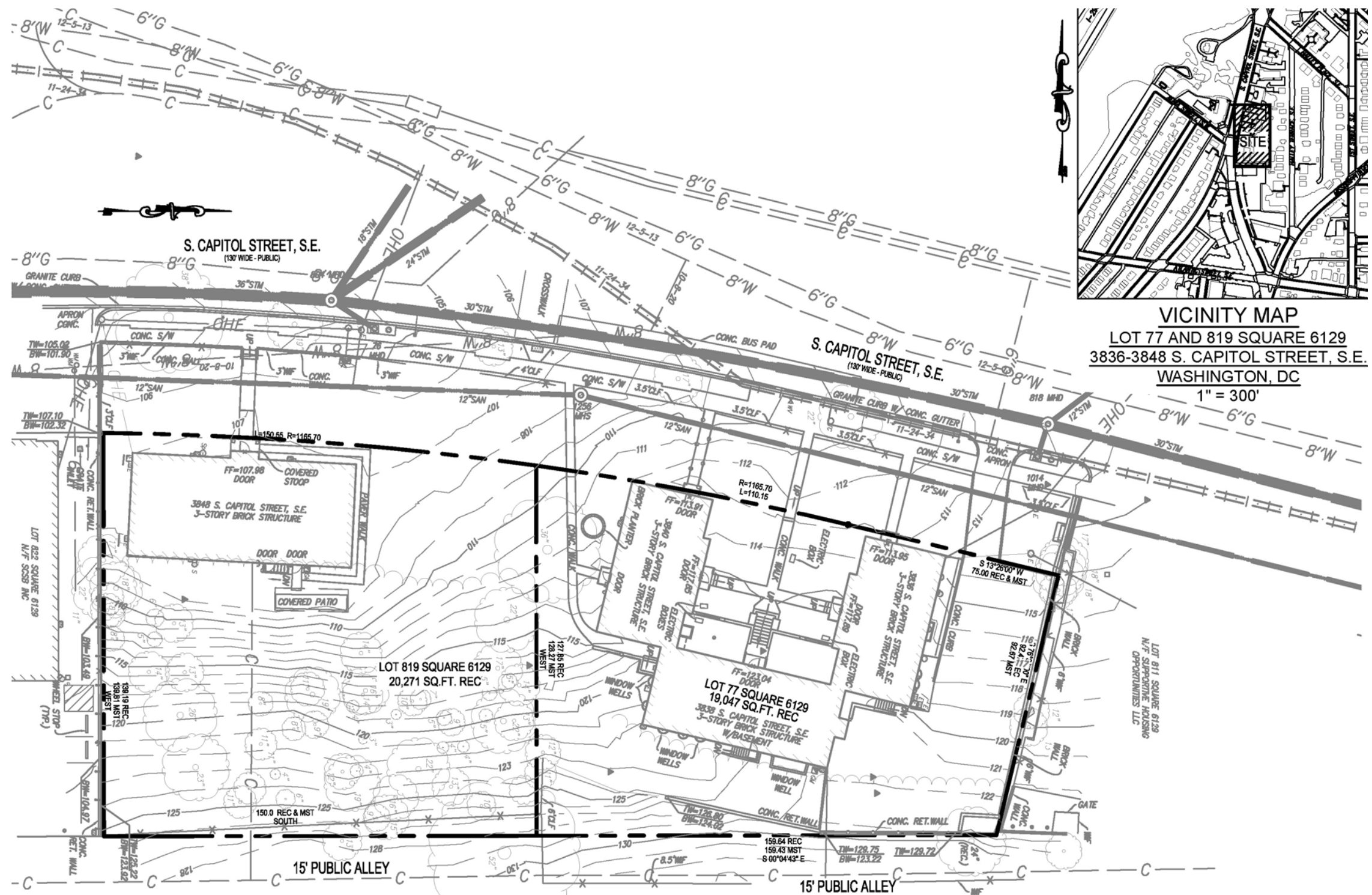
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LEGEND	
BR	BRICK
CO	CONCRETE
FG	FIBERGLASS
GR	GRAND
GRV	GRAVEL
GRS	GRASS
PA	PANERS
VEG	VEGETATION
SHR	SHRUB
DT	DECIDUOUS TREE
BRK	BRIE RACKS
TRC	TRASH CAN
DS	DOWNSPOUT
CD	CLOSED DOWNSPOUT
SP	STEEL POST
VN	VENT
EB	ELECTRIC BOX
RD	ROUND DRAIN
FR	FIRE HYDRANT
ML	WALL LIGHT
DM	DRAINAGE MANHOLE
SM	SEWER MANHOLE
WM	WATER MANHOLE
GM	GAS METER
CLP	COBRA LIGHT POLE
EP	ELECTRIC POLE
WSP	WATER SPOUT
WV	WATER VALVE
GW	GUY WIRE
CLN	CLEANOUT
DR	DOOR
OE	OVERHEAD ELECTRIC
UC	UNDERGROUND COMMUNICATION
UE	UNDERGROUND ELECTRIC
UG	UNDERGROUND GAS
UI	UNDERGROUND WATER
US	UNDERGROUND STORM/SEWER
FL	FENCE LINE
HR	HAND RAIL
PL	PROPERTY LINE
TC	TOP OF CURB
BC	BOTTOM OF CURB
FL	FLOORLINE
TW	TOP OF WALL
BW	BOTTOM OF WALL
S/W	SIDEWALK
N/F	NOW AND/OR FORMERLY
FF	FINISHED FLOOR
HC	HANDICAP
C&G	C&G CURB AND GUTTER
CONC.	CONCRETE
TYP.	TYPICAL
SAW	SAW SANITARY SEWER
STM	STORM SEWER
CLF	CHAIN LINK FENCE
WIF	WROUGHT IRON FENCE
REC	RECORD
MST	MEASUREMENT

UNDERGROUND UTILITY RECORDS SHOWN:

UTILITY	SOURCE	DATE:
SEWER: WASA PANEL:	OS AB 19-20 SE	9-29-59
WATER: WASA PANEL:	OW AB 19-20 SE	11-21-55
ELECTRIC: PEPCO:	NOT LABELED	5-9-2018
GAS: WASHINGTON GAS:	NONE RECEIVED AS OF	8-04-2018
OCTO DUCT FIBER:	REPORTED NONE	5-9-2018
COMMUNICATION: VERIZON:	MAP #16, GRID D-13	3-9-68
	CONDUIT S.E. 63	
	SW32(10F4),SE10(20F2)	
COMMUNICATION: MCI:	REPORTED NONE	5-10-2018
COMMUNICATION: COMCAST:	NOT LABELED	5-9-2018

- GENERAL NOTES:**
1. THE INFORMATION SHOWN RESULTS FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY MAY 29, 2018.
 2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
 3. BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
 4. ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 16-28 & 16-31), MERIDIAN REFERENCED TO DCSO NORTH.
 5. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-82 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN, UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
 6. PROPERTY IS IDENTIFIED AS ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010000C, EFFECTIVE DATE SEPTEMBER 27, 2018.
 7. AS OF MAY 31, 2018, THE PROPERTY IS ZONED RA-1 AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (<http://maps.dcoz.dc.gov/zr16>); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.



DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.
7. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
8. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
9. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

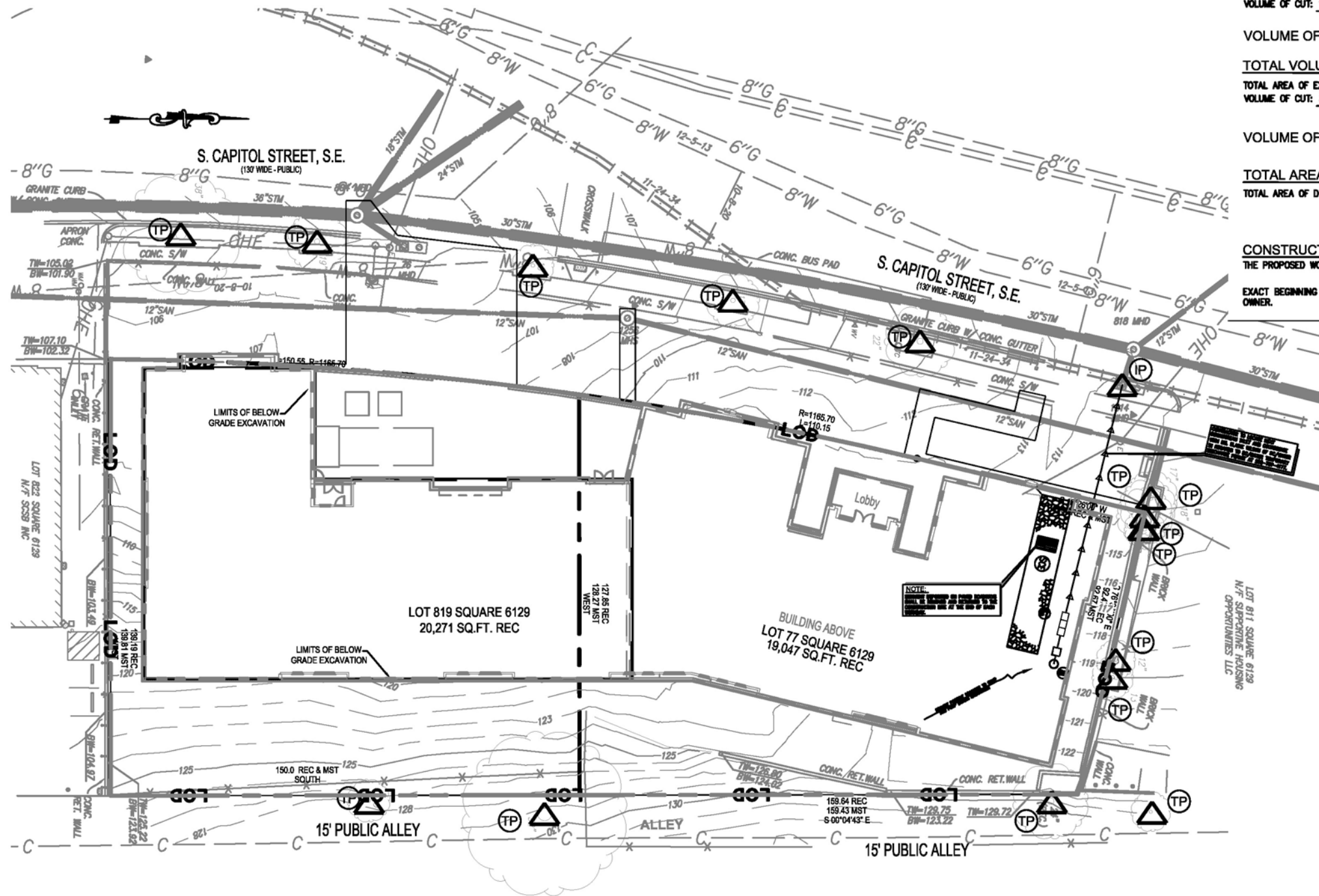
EROSION AND SEDIMENT CONTROL NOTE:

1. THE APPLICANT MUST NOTIFY THE DISTRICT DEPARTMENT OF ENVIRONMENT BY PHONE (202-535-2977) AT LEAST 72 HOURS PRIOR TO THE START OF LAND DISTURBING ACTIVITY AND WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DISTRICT DEPARTMENT OF ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.
2. REMOVAL OF ANY EROSION AND SEDIMENT CONTROL MEASURES REQUIRES APPROVAL FROM DDOE INSPECTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
4. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
5. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION.
6. PROVIDE A CHAIN LINK FENCE AT PERIMETER OF SITE
7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURES REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAY.
8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF DDOE INSPECTOR.
9. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DE-STABILIZATION AREAS.
10. STRAW BALE DIKES WILL BE REPLACED EVERY THREE (3) MONTHS UNTIL COMMENCEMENT OF CONSTRUCTION.

CONSTRUCTION AND STABILIZATION SEQUENCE:

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STRAW BALE DIKES, INLET PROTECTION, SUMP PIT, PORTABLE SEDIMENT TANK, STABILIZED TREE PROTECTION, AND SILT FENCE AS INDICATED ON SHEET C-2. SEE SHEET C-5 FOR EROSION AND SEDIMENT CONTROL DETAILS.
2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
3. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
4. INSTALL PROPOSED UTILITIES AS INDICATED ON SHEET C-4.
5. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
6. CONSTRUCT BMPs AS INDICATED ON SHEET C-3.
7. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

**THIS SHEET IS TO BE USED FOR
SEDIMENTATION AND EROSION CONTROL
PURPOSES ONLY**



TOTAL SITE AREA:
TOTAL SITE AREA: 39,318 SF / 0.90 AC

TOTAL VOLUME OF CUT OF SITE WORK:
TOTAL AREA OF EXCAVATION: 11,781 SF / 0.27 AC
VOLUME OF CUT: 11,781 SQ.FT. (AREA) X 19 FEET (DEPTH)
27

VOLUME OF CUT: 4,363 cy +/-

TOTAL VOLUME OF CUT /FILL FOR UTILITIES:

TOTAL AREA OF EXCAVATION: 3,649 SF / 0.084 AC
VOLUME OF CUT: 3,649 SQ.FT. (AREA) X 7 FEET (DEPTH)
27

VOLUME OF CUT /FILL: 946 cy +/-

TOTAL AREA OF DISTURBANCE:

TOTAL AREA OF DISTURBANCE: 39,318 SQUARE FEET OR 0.90 AC

CONSTRUCTION DATES:

THE PROPOSED WORK IS ANTICIPATED TO TAKE APPROXIMATELY 24 MONTHS.

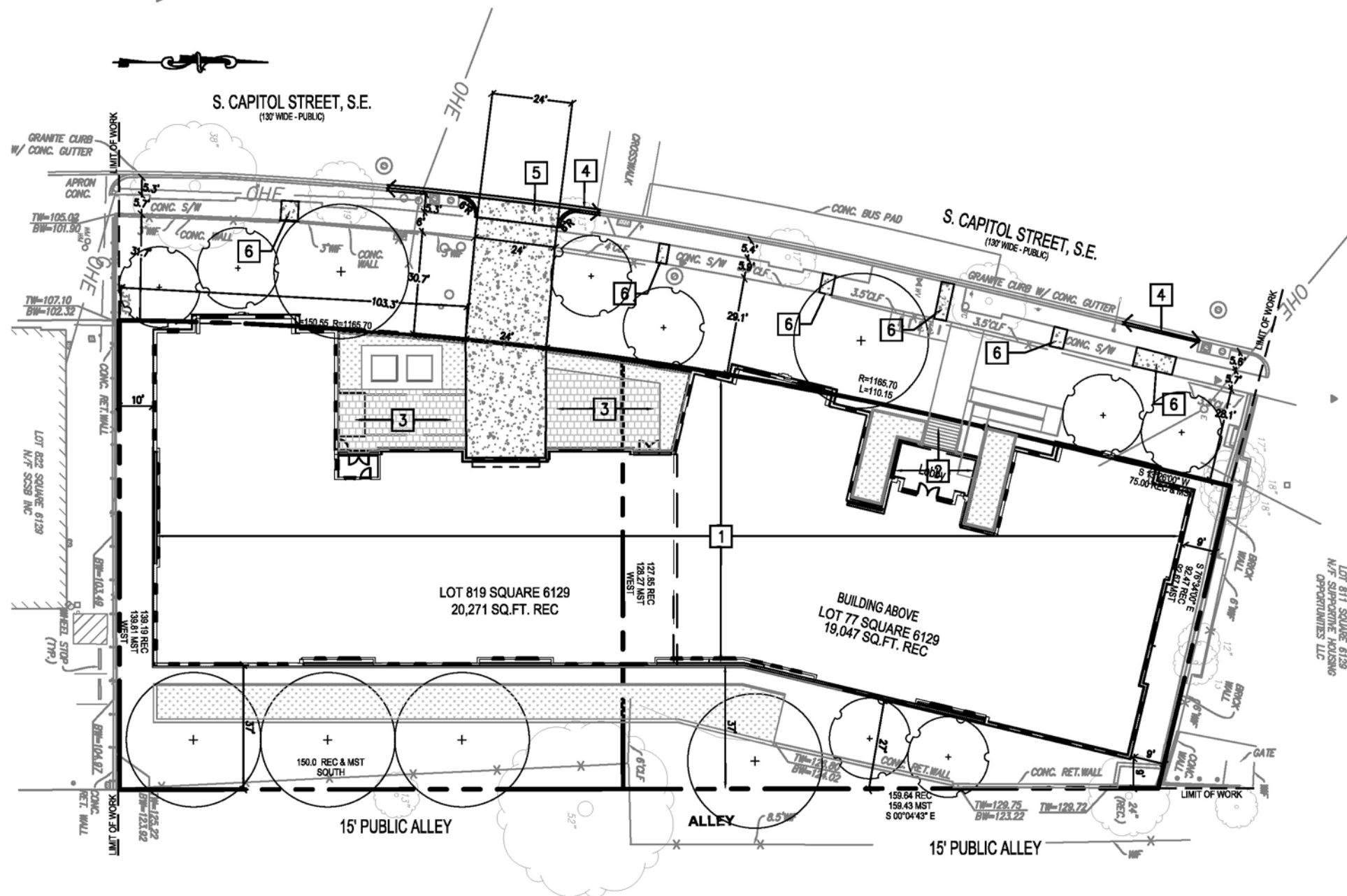
EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

LEGEND	PROPOSED
STABILIZED CONSTRUCTION ENTRANCE	
WASH RACK	
INLET PROTECTION	
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION	
APPROXIMATE LIMIT OF DISTURBANCE	
TREE PROTECTION	

SITE KEYNOTES:

- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- 2 NEW HARDSCAPE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 3 NEW PAVERS. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 4 NEW GRANITE CURB WITH CONCRETE GUTTER PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV0106 FOR DETAILS.
- 5 NEW CONCRETE APRON AND DRIVEWAY PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO SHEET CIV0106 FOR DETAILS.
- 6 NEW CONCRETE SIDEWALK PER DDOT STANDARDS AND SPECIFICATIONS.

PAVEMENT LEGEND:	
NEW HARD SCAPE	
NEW CONCRETE PAVEMENT	
SITE KEY-NOTE	1



NOTES:

1. STREETSCAPE DETAILS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. THE FINAL DETAILS OF THE STREETSCAPE IMPROVEMENTS WILL BE SELECTED DURING DETAILED DESIGN PHASES OF WORK AND CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS.
2. PLANT SPECIES SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN INTENT ONLY. THE PURPOSE IS TO GENERALLY DEFINE PLANT SIZE, CHARACTER, AND LOCATIONS. REFINEMENTS TO THE PLANTING DESIGN AND FINAL SELECTION OF ALL PLANT MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.
3. INTERIOR LAYOUTS ARE ILLUSTRATIVE ONLY AND SUBJECT TO CHANGE ON FINAL PLAN.
4. DC/DDOT MAY REQUIRE NEW ASPHALT SURFACE COURSE TO CENTERLINE OF THE STREET PER DC/DDOT INSPECTOR RECOMMENDATIONS. CONTRACTOR TO COORDINATE LIMITS OF NEW ASPHALT SURFACE COURSE WITH INSPECTOR.
5. ALL NEW DEVELOPMENT AND CONSTRUCTION ON ADJACENT PROPERTIES TO BE COMPLETED BY OTHERS AND IS NOT CONSIDERED PART OF THE PROJECT.

