

TAB C

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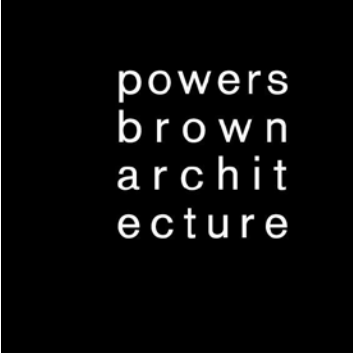
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ZONING
COMMISSION

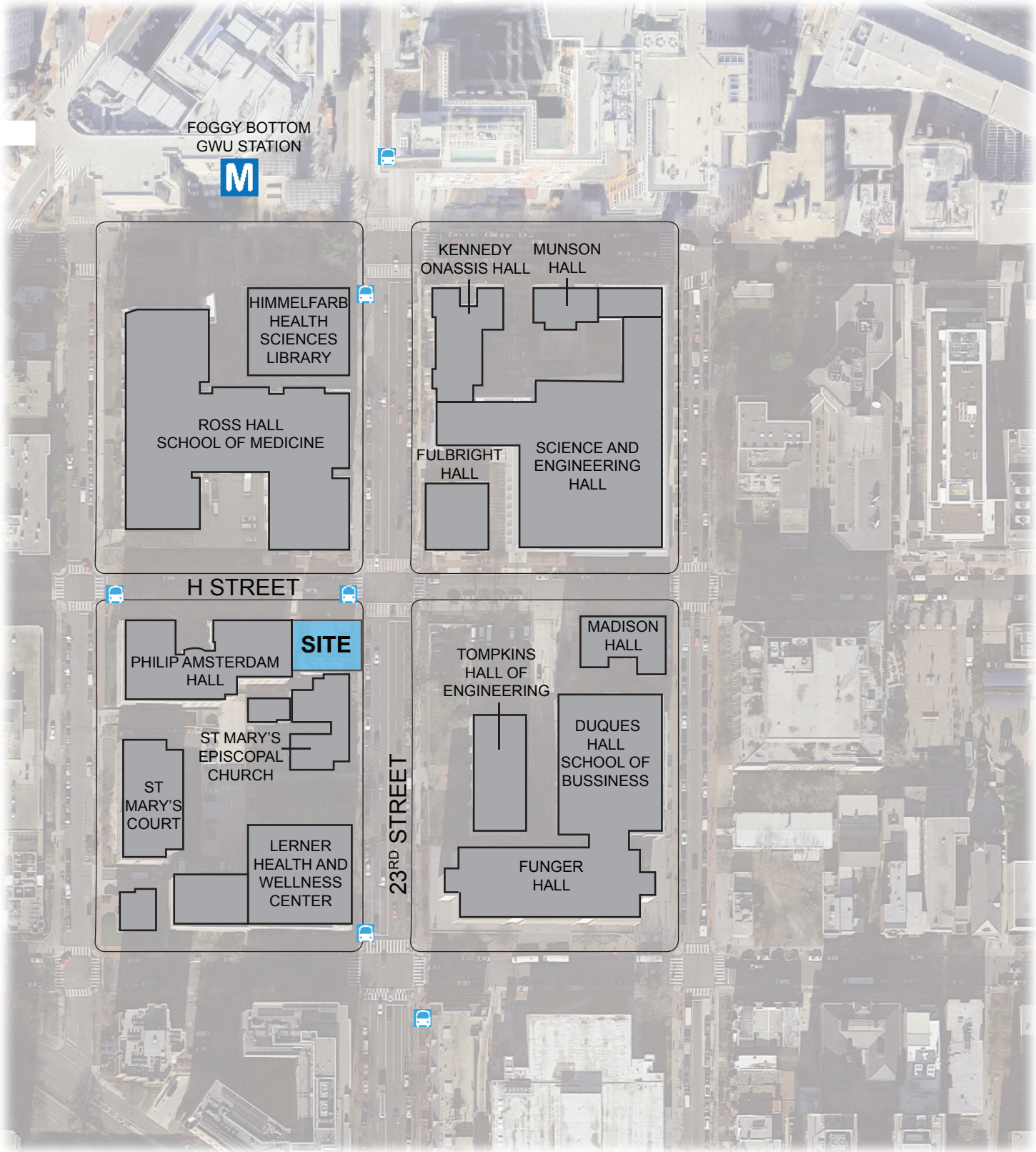
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2300 H STREET, NW DC.

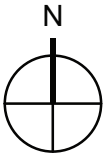
A PROJECT FOR THE HILLEL AT GEORGE WASHINGTON UNIVERSITY



OVERALL SITE PLAN



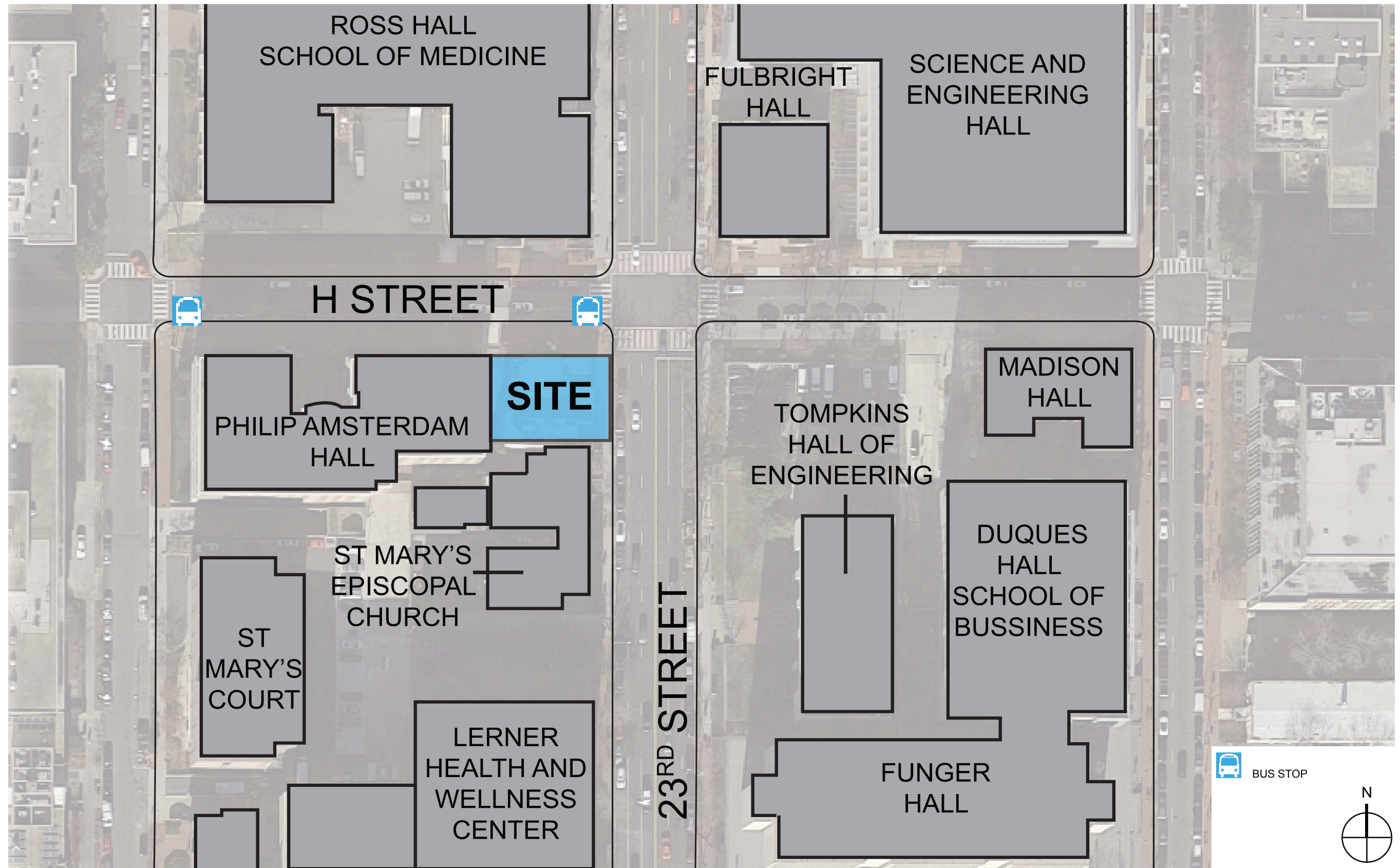
M METRO STOP
BUS STOP



A-01

REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTO REALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND AS SUCH SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES.

IMMEDIATE SITE PLAN



A-02

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2300 H STREET

a project for

GW HILLEL

WASHINGTON

04/04/18

DC

172014

powers
brown
archi-
tecture

	Zoning Requirements	Proposed Building
LOT AREA	N/A	4,575 SF
HEIGHT	90 ft./no limit on stories max	46 ft. 0 in. 4 stories (+1 below-grade story and penthouse)
FAR	3.5 max	Building FAR: 2.95 FAR Penthouse FAR: 0.21 FAR Total FAR 3.16 FAR
GROSS FLOOR AREA	16,012.5 SF Max 3.5 FAR = <u>16,012.5</u> 4,575 SF lot area	First Floor Gross Area: 3,375 SF Second Floor Gross Area: 3,375 SF Third Floor Gross Area: 3,375 SF Fourth Floor Gross Area: 3,375 SF Total Building Gross Area: 13,500 SF Penthouse Gross Area: 954 SF Total Gross Area: 14,454 SF
LOT OCCUPANCY	75% max	73.8% (3,375 SF)
PENTHOUSE HEIGHT	20 ft. max 1 story plus mezzanine; Second story permitted for penthouse mechanical space	18 ft.
PENTHOUSE SETBACK	Required: <u>FRONT (North from H Street)</u> : distance equal to its height from the front building wall <u>REAR (South adjacent to St. Mary's property)</u> : distance equal to its height from the rear building wall <u>SIDE (West - adjacent to the University's Amsterdam Hall)</u> : None <u>FRONT (East – adjacent to 23rd Street)</u> : distance equal to its height from the building wall.	FRONT: 4 ft. 8 in. and 10 ft. REAR: NONE SIDE (West): NONE FRONT (East): 30 ft. 2 in.
REAR YARD	Required: a distance equal to 4 ft. per 1 ft. of principal building height but not less than 15 ft.	15 ft. 4 in.
SIDE YARD	NONE REQUIRED	NONE
PARKING	19 parking spaces are required 1 for each 10 seats of occupancy capacity in the main sanctuary; provided, that where the seats are not fixed, each 7 SF of usable for seating or each 18 in. of bench is benches are provided shall be considered 1 seat.	NONE
BICYCLE PARKING	Any non-residential uses with 4,000 sq. ft. or more of gfa shall provide bicycle spaces as follows: Long Term Spaces: 1 space for 7,500SF Short Term Spaces: 1 space for 2,500 SF but not less than 8 spaces.	Long Term Spaces: 3 (located on the cellar floor) Short Term Spaces: 8 (located on public space within 20 feet of the lot and will need to obtain public space approval)
LOADING	NONE REQUIRED	NONE
GAR	0.3	0.3
GW LEASED AREA	N/A	Top 2 Floors (3rd and 4th floors) Approx. 6,500 SF

A-03

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EXISTING SITE PHOTOS

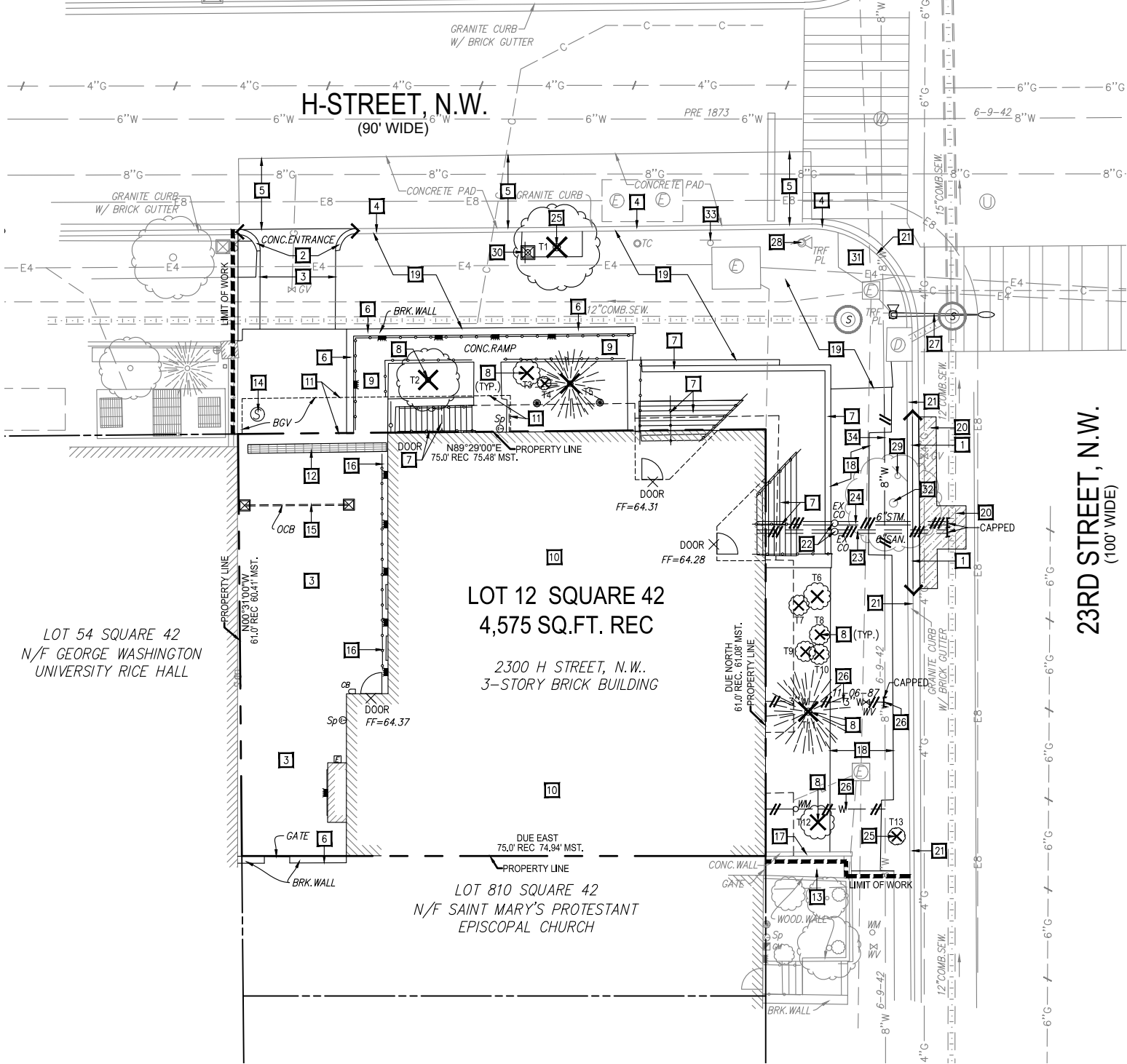


A-04

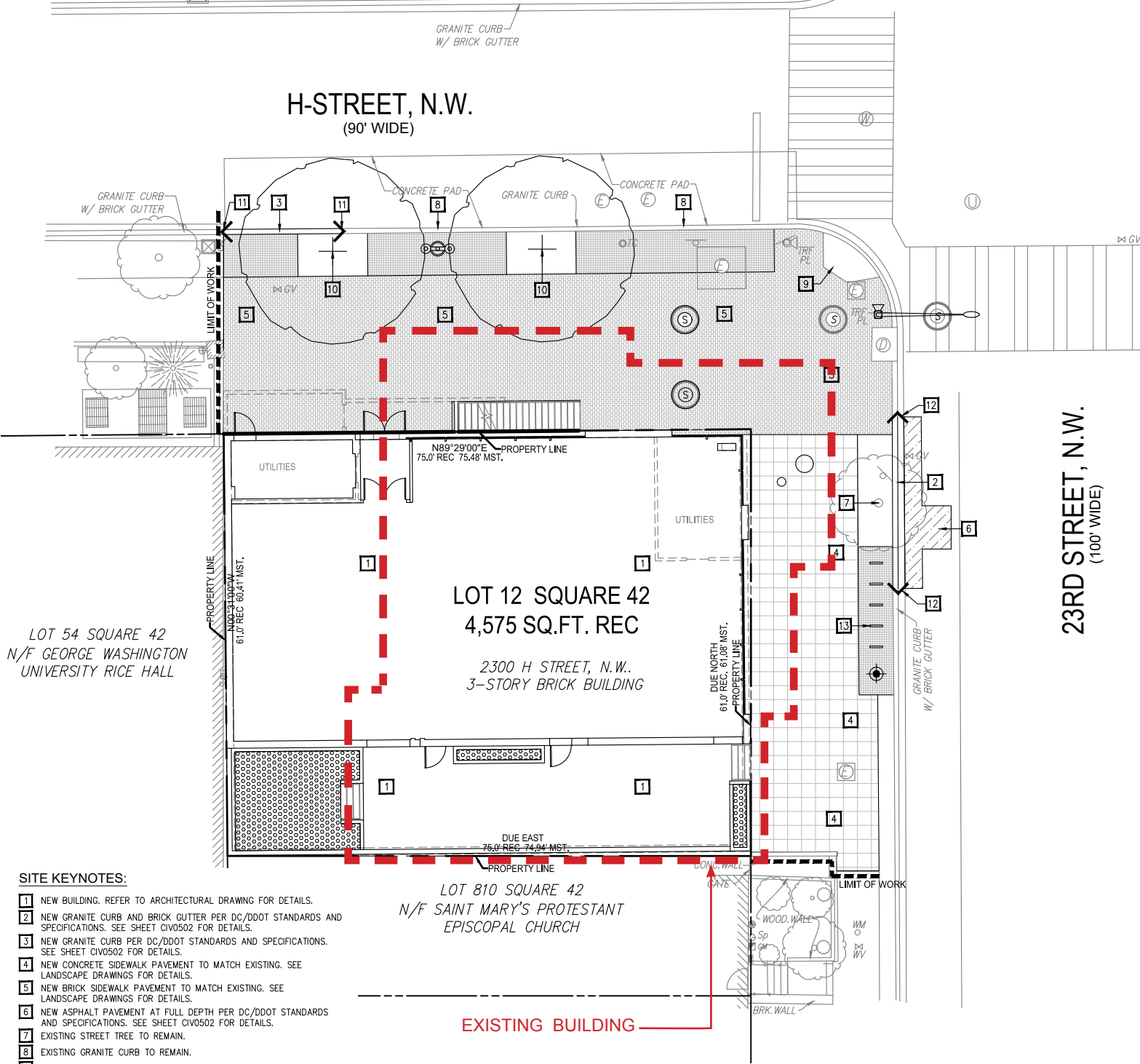
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SITE PLANS

SITE COMPARISON



EXISTING CONDITIONS



PROPOSED DESIGN

SITE KEYNOTES:

- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
- 2 NEW GRANITE CURB AND BRICK GUTTER PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET CIV0502 FOR DETAILS.
- 3 NEW GRANITE CURB PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET CIV0502 FOR DETAILS.
- 4 NEW CONCRETE SIDEWALK PAVEMENT TO MATCH EXISTING. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- 5 NEW BRICK SIDEWALK PAVEMENT TO MATCH EXISTING. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- 6 NEW ASPHALT PAVEMENT AT FULL DEPTH PER DC/DDOT STANDARDS AND SPECIFICATIONS. SEE SHEET CIV0502 FOR DETAILS.
- 7 EXISTING STREET TREE TO REMAIN.
- 8 EXISTING GRANITE CURB TO REMAIN.
- 9 EXISTING HANDICAP RAMP TO REMAIN.
- 10 NEW STREET TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- 11 LIMIT OF NEW GRANITE CURB.
- 12 LIMIT OF NEW GRANITE CURB AND BRICK GUTTER. REFER TO SHEET CIV0502 FOR DETAILS.
- 13 NEW BICYCLE RACK PER DDOT STANDARDS AND SPECIFICATIONS.

NOTE:

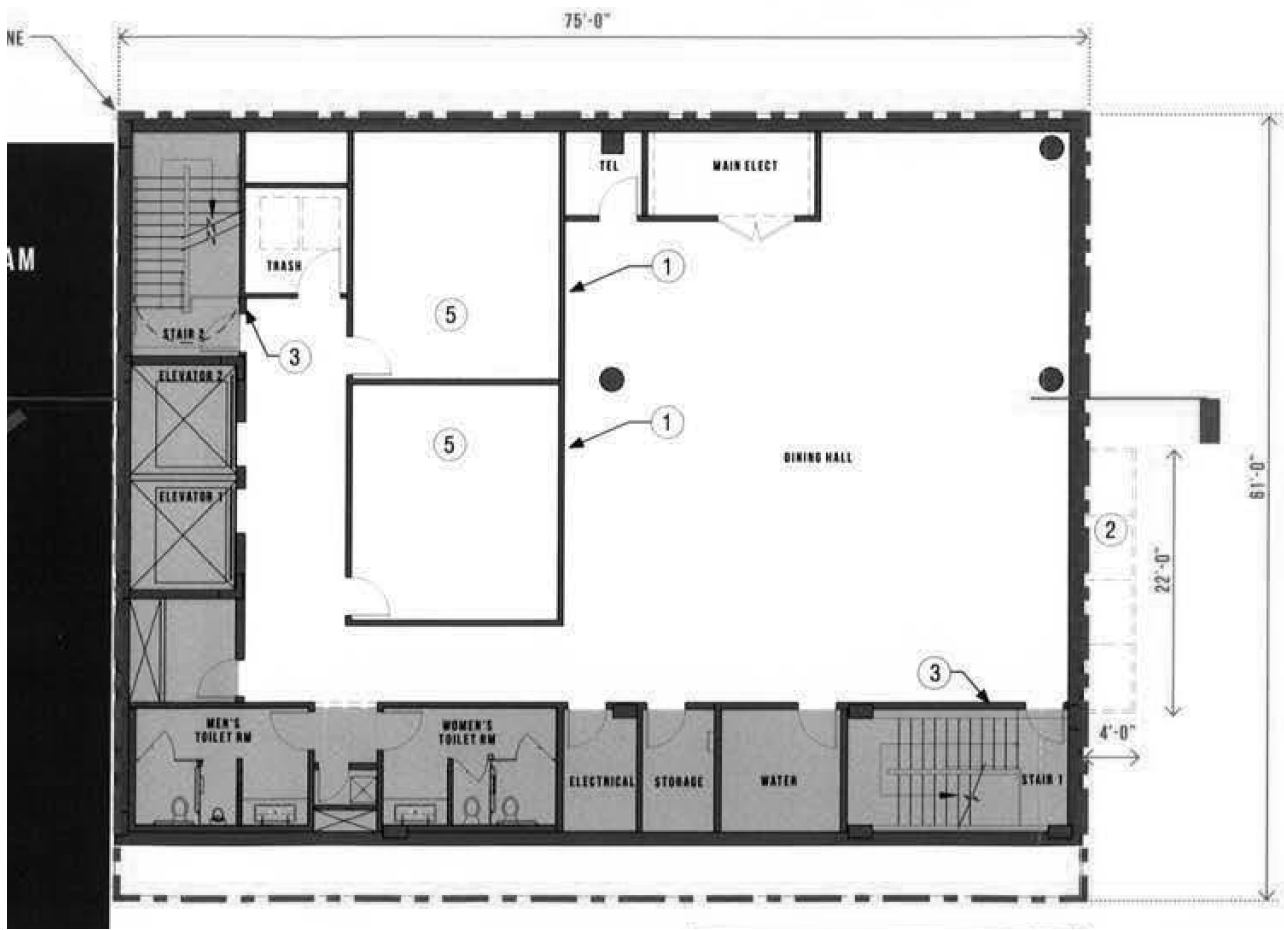
1. EXISTING MANHOLE AND VAULT TOP (SEWER/ WATER/ GAS/ TELEPHONE/ ELECTRIC) TO BE ADJUSTED (IF REQUIRED) TO MATCH PROPOSED GRADE.

A-05

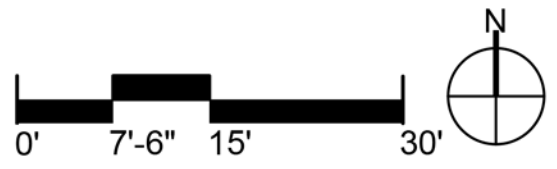
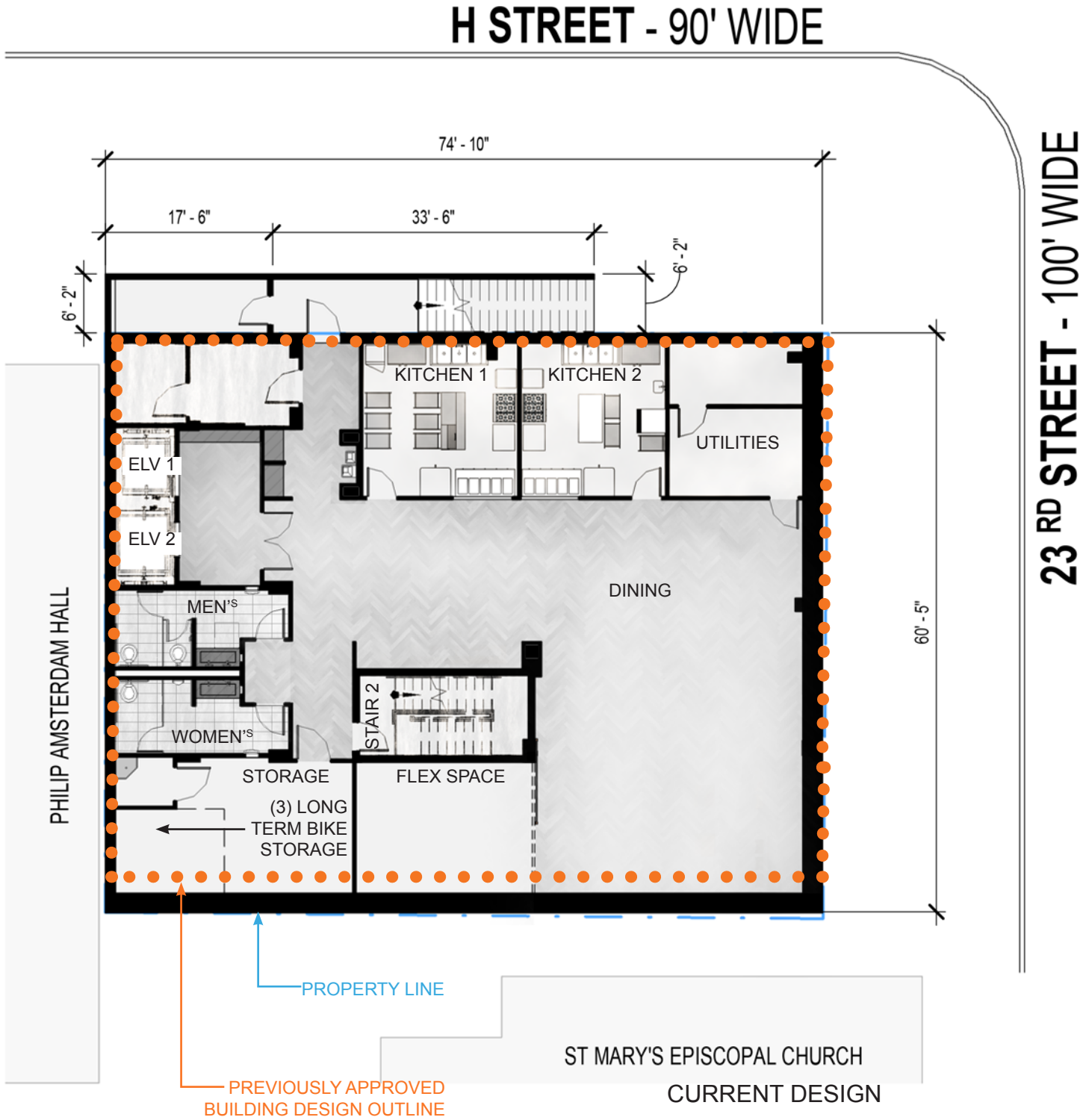
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PLAN - CELLAR FLOOR

DESIGN COMPARISON



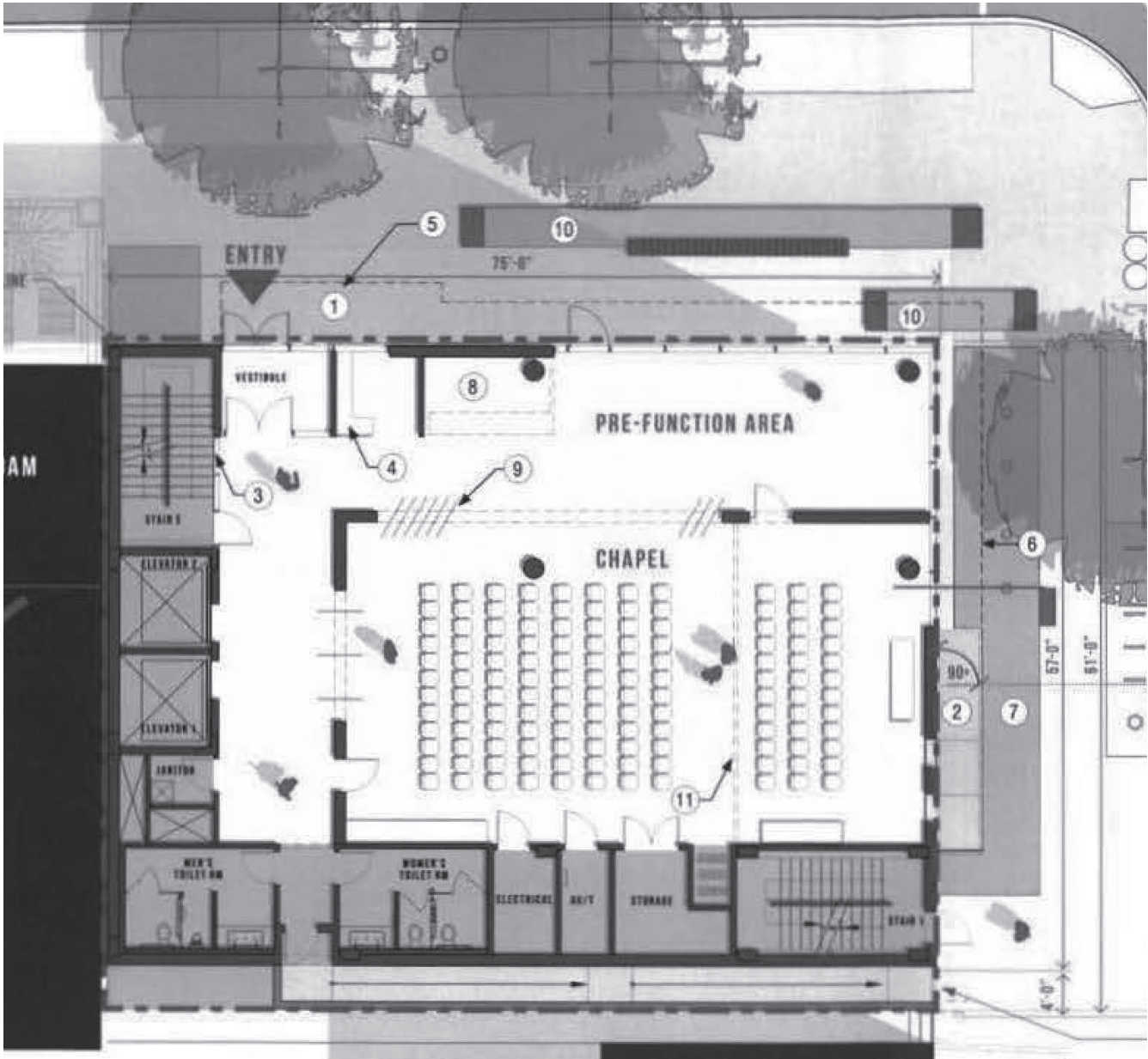
PREVIOUS DESIGN



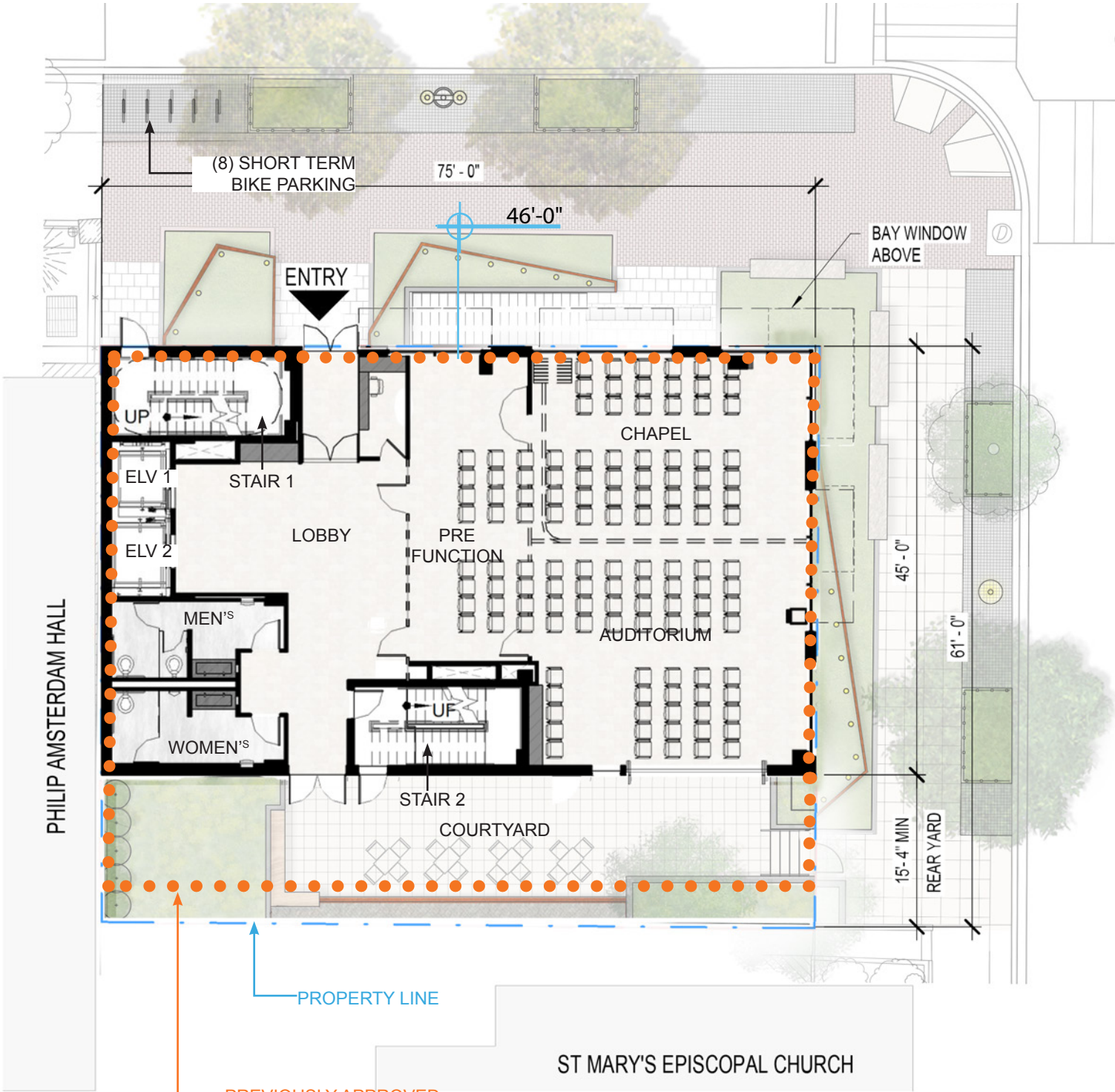
A-06
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PLAN - 1ST FLOOR

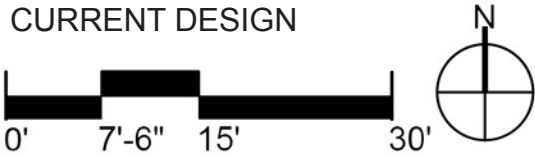
DESIGN COMPARISON



PREVIOUS DESIGN



CURRENT DESIGN



A-07
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