



FOUR POINTS

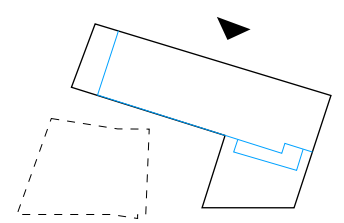
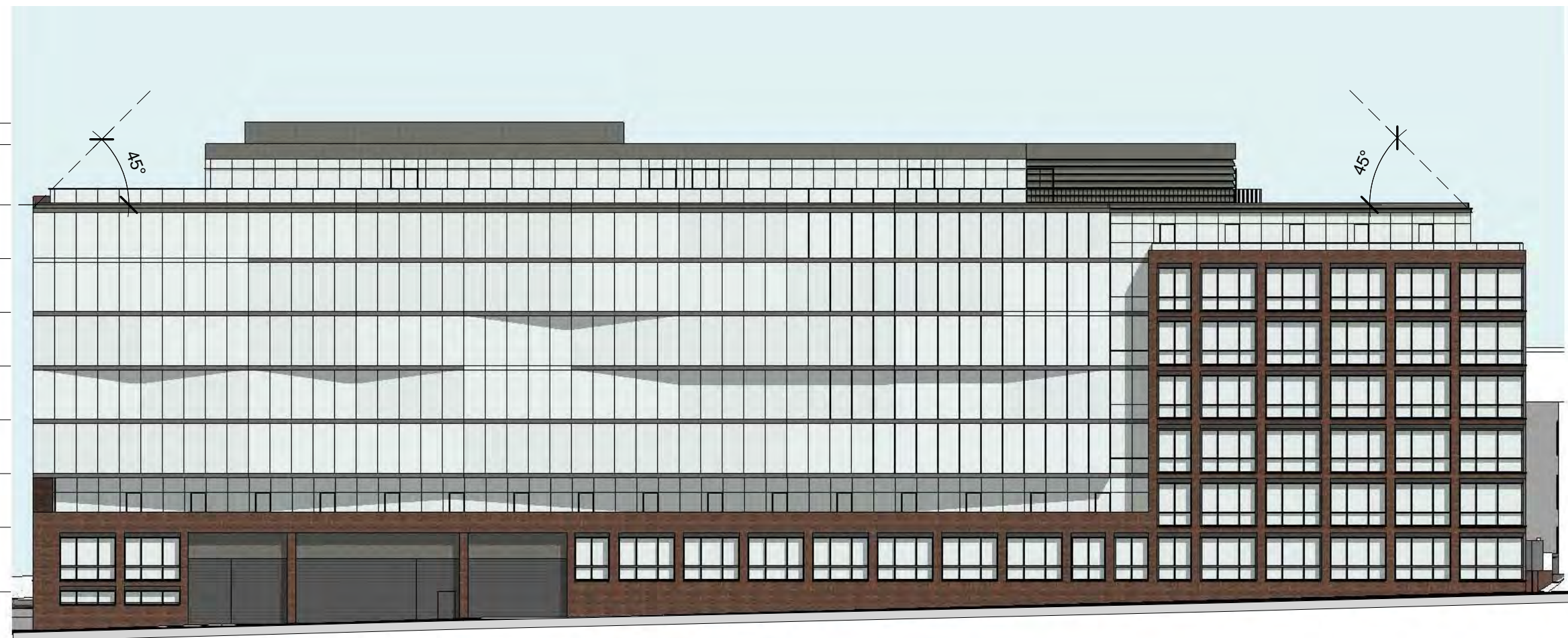
SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020

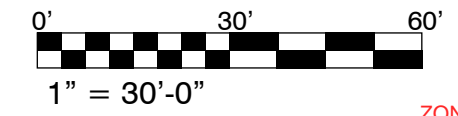


- LEVEL PHR
139'-0"
- LEVEL LOWER PHR
134'-0"
- T.O. PARAPET
121'-9 5/8"
- LEVEL 08 (ROOF)
120'-0"
- LEVEL 07
107'-6"
- LEVEL 06
95'-0"
- LEVEL 05
82'-6"
- LEVEL 04
70'-0"
- LEVEL 03
57'-6"
- LEVEL 02
45'-0"
- MEASURING POINT
31'-9 5/8"
- LEVEL 01
30'-0"

90'-0"



WEST ELEVATION



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
BUILDING
ELEVATION:
WEST

NUMBER:

ZONING COMMISSION
District of Columbia
CASE NO.08-07C
EXHIBIT NO.3F3

A-37

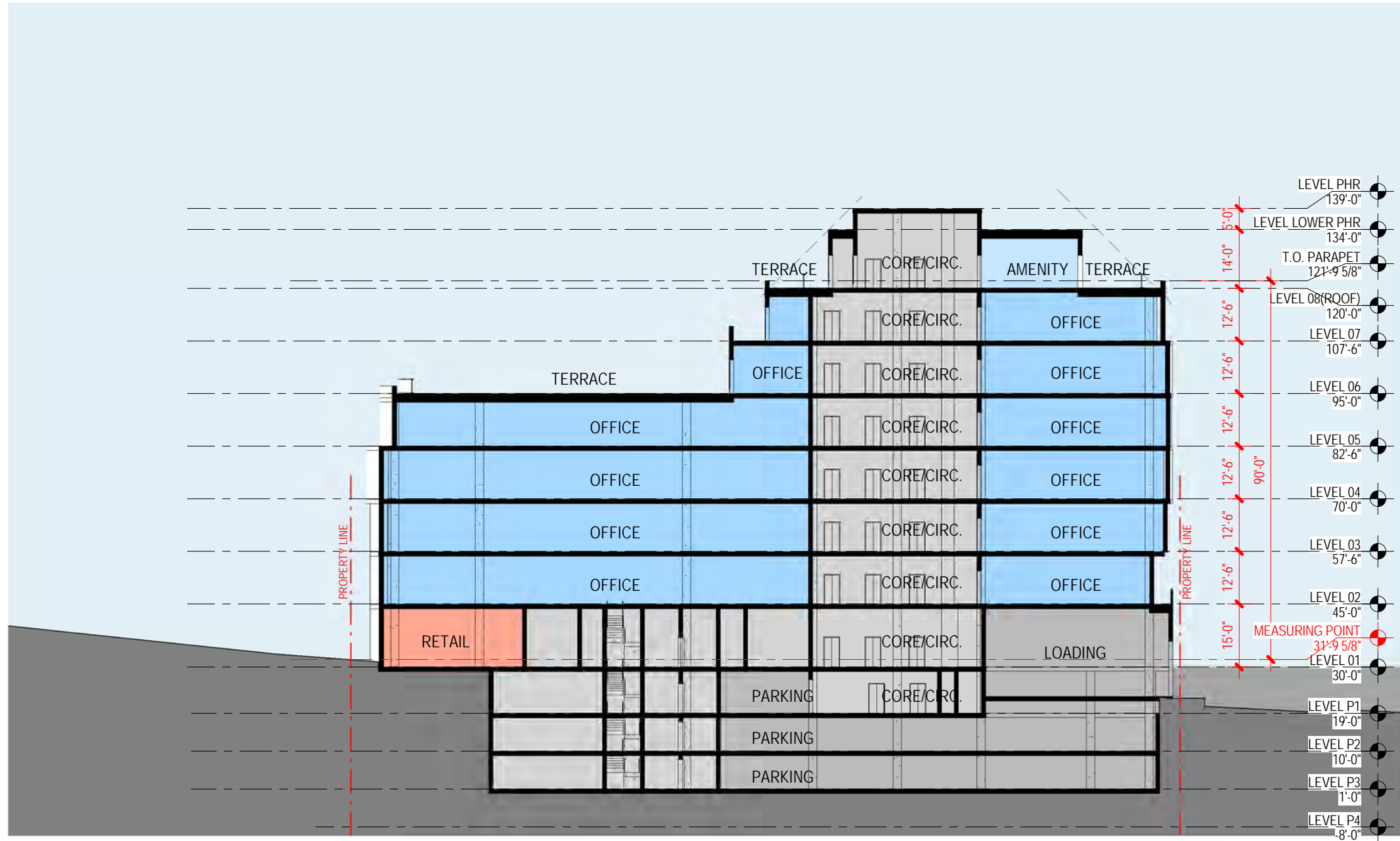


FOUR POINTS

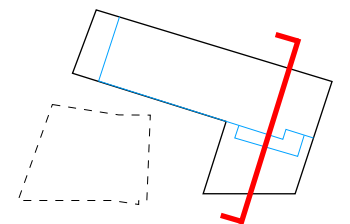
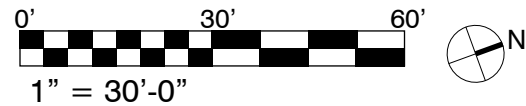
SHANNON PLACE & W ST SE

Square 5784
Washington DC 20020

Hickok Cole



BUILDING SECTION: EAST-WEST



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
BUILDING
SECTION:
EAST-WEST

NUMBER:
A-38

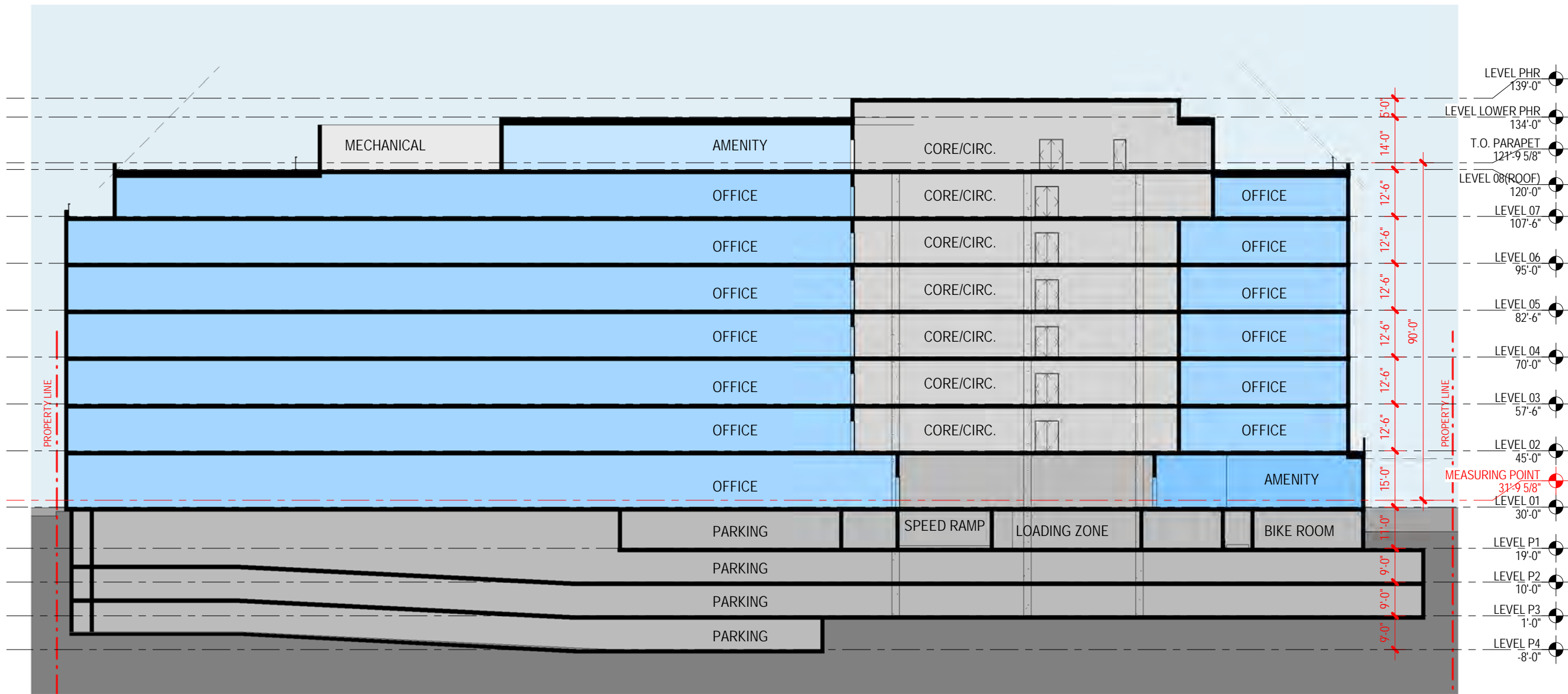


FOUR POINTS

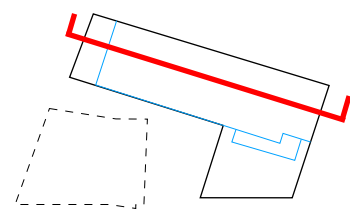
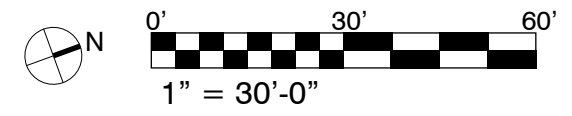
SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020

Hickok Cole



BUILDING SECTION: NORTH-SOUTH



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
BUILDING
SECTION:
NORTH-SOUTH

NUMBER:
A-39



FOUR POINTS

SHANNON PLACE
& W ST SE

Square 5784
Washington DC 20020

Hickok Cole



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:

PARTIAL
ENLARGED
ELEVATIONS

NUMBER:

A-40



BROWN-RED BRICK



COMPOSITE METAL PANEL



VISION GLASS



UNITIZED WINDOWS

BRICK FACADES

GUARDRAIL RECESSED
FROM PARAPET

3' RECESSED FACADE

UNITIZED WINDOW
WALL AT BRICK BAYS

STORE FRONT AT
RETAIL FACADE/
LOBBY FACADE



BRICK FACADE (SHANNON PLACE)

BRICK FACADE (NEIGHBORHOOD)

COMPOSITE METAL PANEL

GUARDRAIL RECESSED
FROM PARAPET

UNITIZED WINDOW
WALL AT BRICK BAYS

UNITIZED WINDOW WALL AT
GROUND FLOOR
(AMENITIES,
OFFICES)

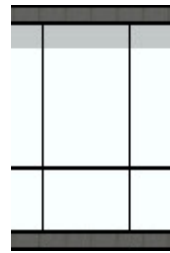


COMPOSITE METAL PANEL



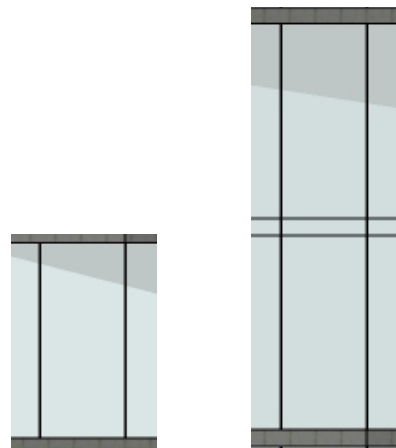
TRANSPARENT GLAZING

C



5' WINDOW-WALL WIDTH

D



5'- 2" TYP. WINDOW-WALL WIDTH AT ANGLED FACADE

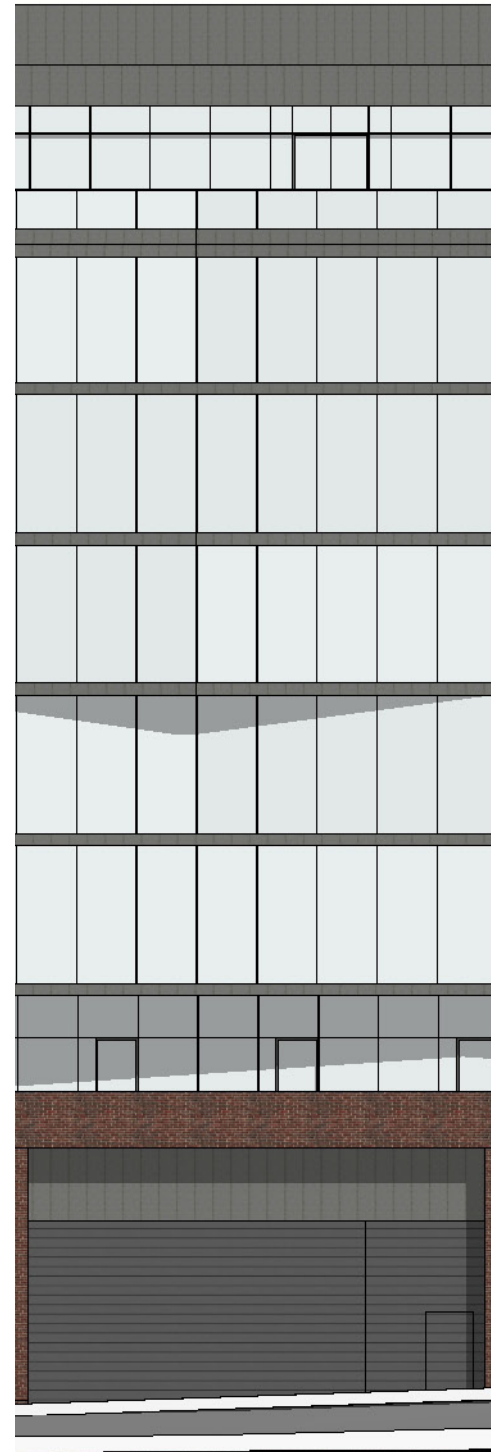
GLASS FACADES

COMPOSITE METAL PANEL
WINDOW WALL AT
PENTHOUSE
GUARDRAIL RECESSED
FROM PARAPET

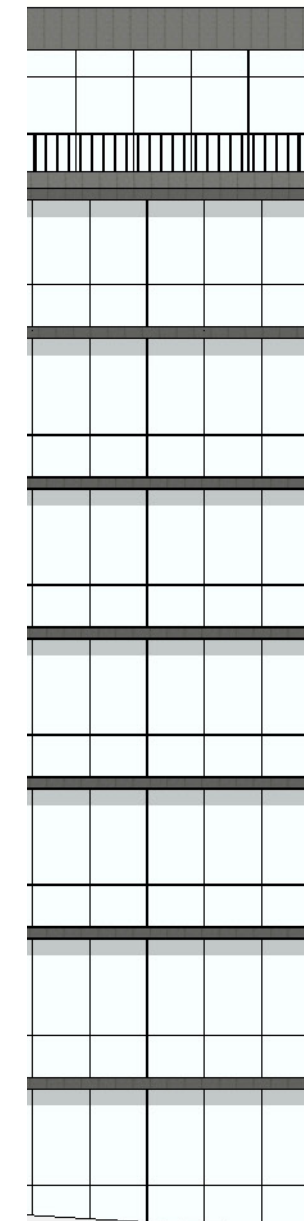
WINDOW WALL
AT ANGLED FACADE

RECESSED GLASS FACADE

GROUND
FLOOR
(LOADING)



C



D

COMPOSITE METAL PANEL
WINDOW WALL AT
PENTHOUSE
GUARDRAIL RECESSED
FROM PARAPET

WINDOW WALL



FOUR POINTS

SHANNON PLACE
& W STREET SE

Square 5784
Washington DC 20020



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
PARTIAL
ENLARGED
ELEVATIONS

NUMBER:
A- 41

INTENTIONALLY LEFT BLANK



LEED v4 for BD+C: Core and Shell Project Checklist

Y ? N

Y	1	Credit	Integrative Process	1
16	4	0	Location and Transportation	20
0		Credit	LEED for Neighborhood Development Location	20
2		Credit	Sensitive Land Protection	2
	3	Credit	High Priority Site	3
5	1	Credit	Surrounding Density and Diverse Uses	6
6		Credit	Access to Quality Transit	6
1		Credit	Bicycle Facilities	1
1		Credit	Reduced Parking Footprint	1
1		Credit	Green Vehicles	1
4	5	2	Sustainable Sites	11
Y		Prereq	Construction Activity Pollution Prevention	Required
1		Credit	Site Assessment	1
		2	Site Development - Protect or Restore Habitat	2
	1	Credit	Open Space	1
3		Credit	Rainwater Management	3
	2	Credit	Heat Island Reduction	2
	1	Credit	Light Pollution Reduction	1
	1	Credit	Tenant Design and Construction Guidelines	1
9	2	0	Water Efficiency	11
Y		Prereq	Outdoor Water Use Reduction	Required
Y		Prereq	Indoor Water Use Reduction	Required
Y		Prereq	Building-Level Water Metering	Required
2		Credit	Outdoor Water Use Reduction	2
4	2	Credit	Indoor Water Use Reduction	6
2		Credit	Cooling Tower Water Use	2
1		Credit	Water Metering	1
15	16	2	Energy and Atmosphere	33
Y		Prereq	Fundamental Commissioning and Verification	Required
Y		Prereq	Minimum Energy Performance	Required
Y		Prereq	Building-Level Energy Metering	Required
Y		Prereq	Fundamental Refrigerant Management	Required
	6	Credit	Enhanced Commissioning	6
10	8	Credit	Optimize Energy Performance	18
1		Credit	Advanced Energy Metering	1
		2	Demand Response	2
1	2	Credit	Renewable Energy Production	3
1		Credit	Enhanced Refrigerant Management	1
2		Credit	Green Power and Carbon Offsets	2

7	4	3	Materials and Resources	14
Y			Prereq Storage and Collection of Recyclables	Required
Y			Prereq Construction and Demolition Waste Management Planning	Required
3		3	Credit Building Life-Cycle Impact Reduction	6
1	1		Credit Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	1		Credit Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
1	1		Credit Building Product Disclosure and Optimization - Material Ingredients	2
1	1		Credit Construction and Demolition Waste Management	2

3	4	3	Indoor Environmental Quality	10
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
1	1		Credit Enhanced Indoor Air Quality Strategies	2
1	1	1	Credit Low-Emitting Materials	3
1			Credit Construction Indoor Air Quality Management Plan	1
	1	2	Credit Daylight	3
	1		Credit Quality Views	1

4	2	0	Innovation	6
3	2		Credit Innovation	5
1			Credit LEED Accredited Professional	1

4	0	0	Regional Priority	4
1			Credit Regional Priority: Specific Credit Surrounding Density-2	1
1			Credit Regional Priority: Specific Credit Access to Transit-1	1
1			Credit Regional Priority: Specific Credit Rainwater management-2	1
1			Credit Regional Priority: Specific Credit Green Vehicles-1	1

62 38 10 TOTALS Possible Points: **110**
 Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784 Washington DC 20020



DATE: MARCH 8, 2018

PUD APPLICATION STAGE II - BLDG #4

TITLE: LEED CHECKLIST

NUMBER: A-43



FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784
Washington DC 20020

Hickok Cole

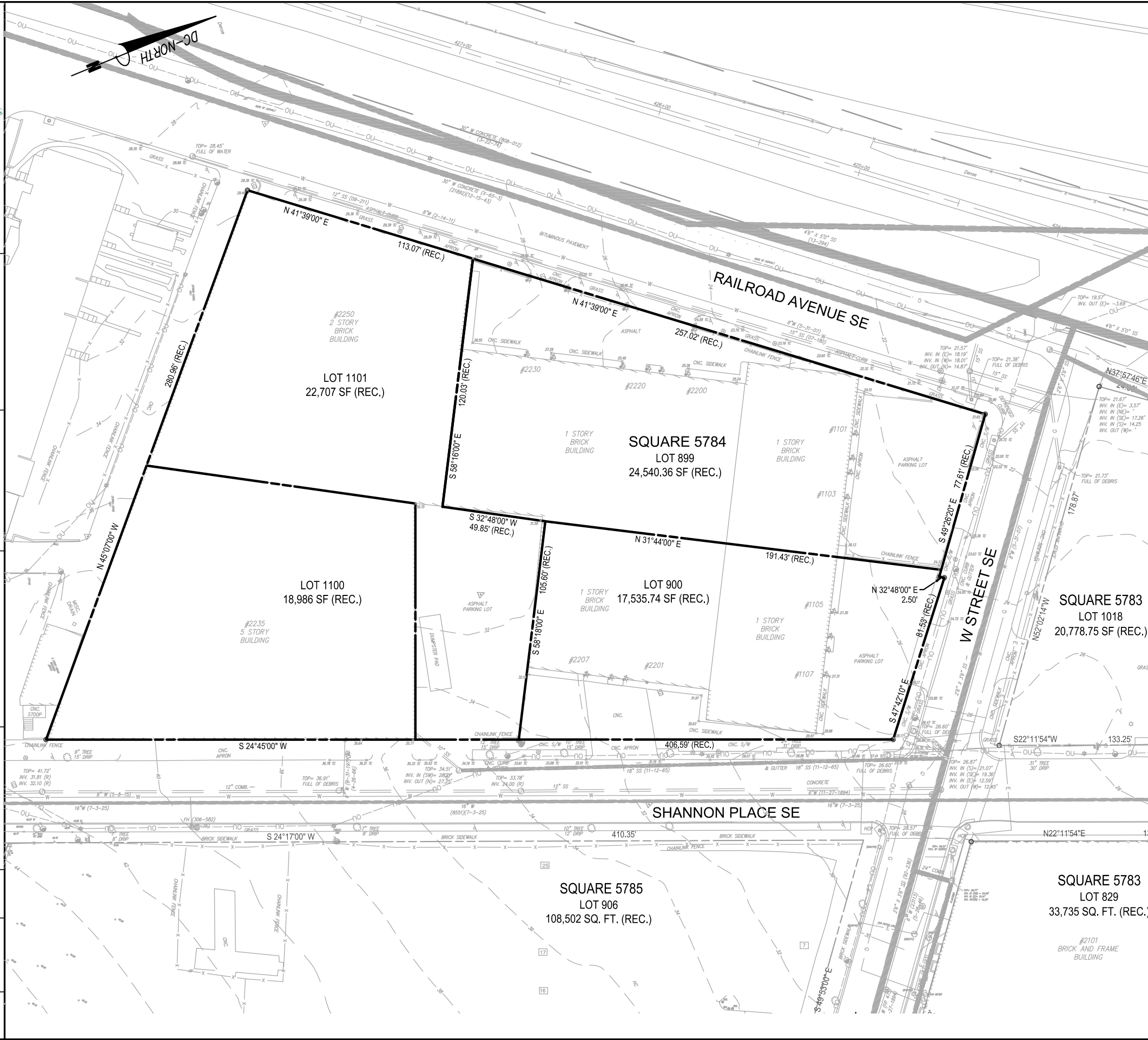


DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

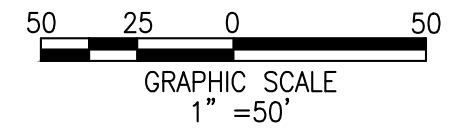
TITLE:
EXISTING
CONDITIONS

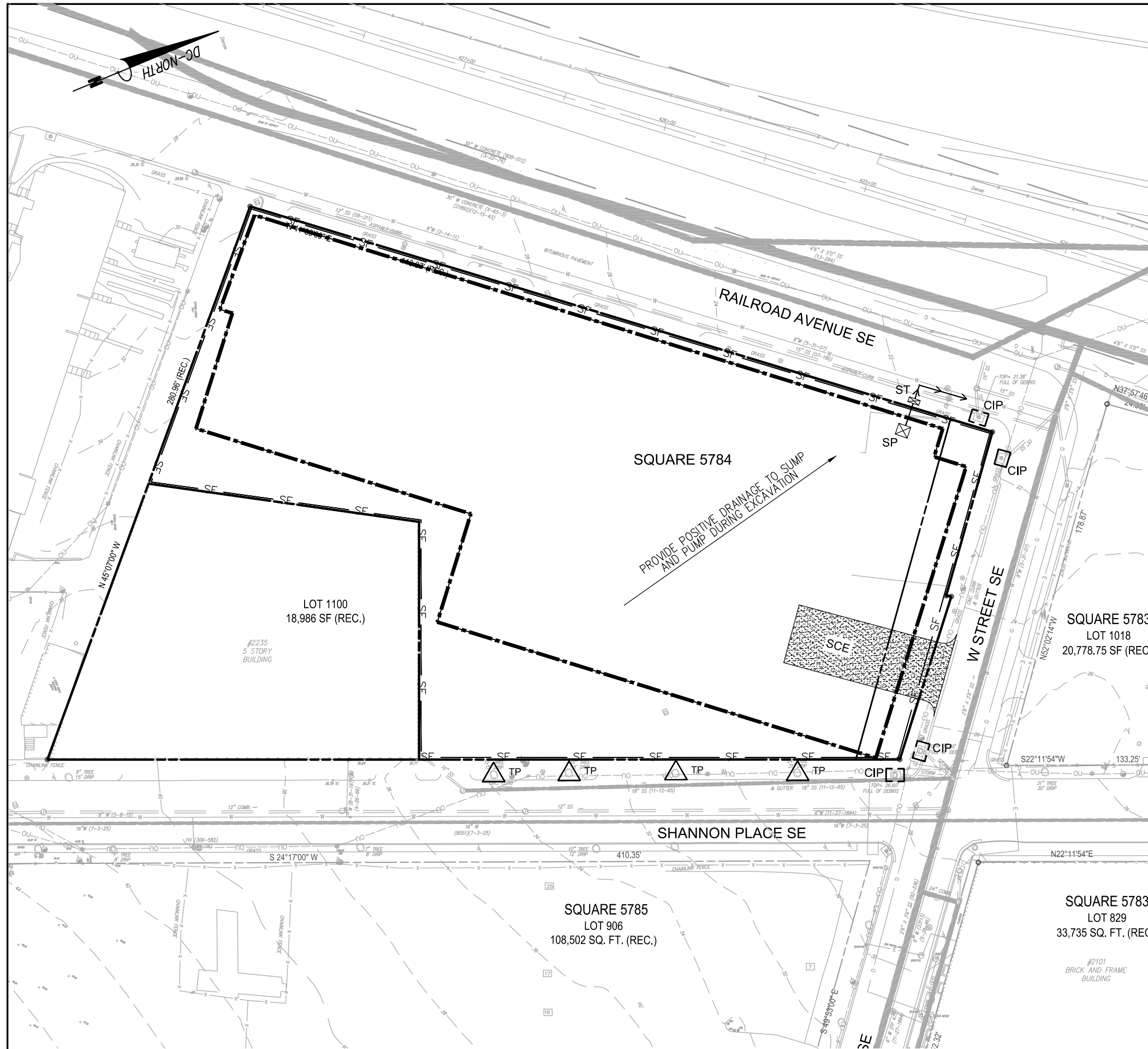
NUMBER:
C-01



EXISTING CONDITIONS:

THE PROJECT SITE CONSISTS OF THREE LOTS - 899, 900, AND 1101 - WITHIN SQUARE 5784, TOTALING A RECORDED SQUARE FOOTAGE OF 64,783.10. THESE LOTS EXIST OF FOUR 1-STORY BRICK BUILDINGS, ONE 2-STORY BRICK BUILDING, AND SEVERAL ASPHALT PARKING LOTS. THE SITE IS BOUND BY RAILROAD AVENUE SE, W STREET SE AND SHANNON PLACE SE.





LEGEND

STABILIZED CONSTRUCTION ENTRANCE		TREE PROTECTION	
INLET PROTECTION		LIMITS OF DISTURBANCE	
SILT FENCE		SUMP PUMP	
SAFETY FENCE (6' CHAIN LINK FENCE)		SEDIMENT TANK	
		LIMITS OF BELOW GRADE EXCAVATION	

DUST CONTROL NOTES:

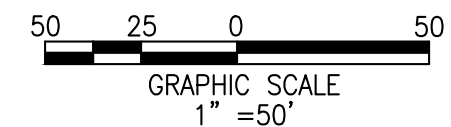
- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

- CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
- THE APPLICANT MUST NOTIFY THE DEPARTMENT OF ENERGY & ENVIRONMENT BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO START OF GRADING ACTIVITY AND WITHIN TWO (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO MAINTAIN ON-SITE STAMPED AND SIGNED, SEDIMENT AND EROSION CONTROL DRAWINGS APPROVED BY THE DEPARTMENT OF ENERGY & ENVIRONMENT, WATERSHED PROTECTION DIVISION.
- NO LATER THAN THE FIRST DAY OF CONSTRUCTION INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
- ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- DURING CONSTRUCTION ACTIVITIES CONTRACTOR SHALL PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS AND SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES IF REQUIRED BY INSPECTOR.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED WITHOUT COMPLETE SITE STABILIZATION AND APPROVAL FROM THE INSPECTOR.



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
SEDIMENT CONTROL

NUMBER:
C-02



FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784
Washington DC 20020

Hickok Cole

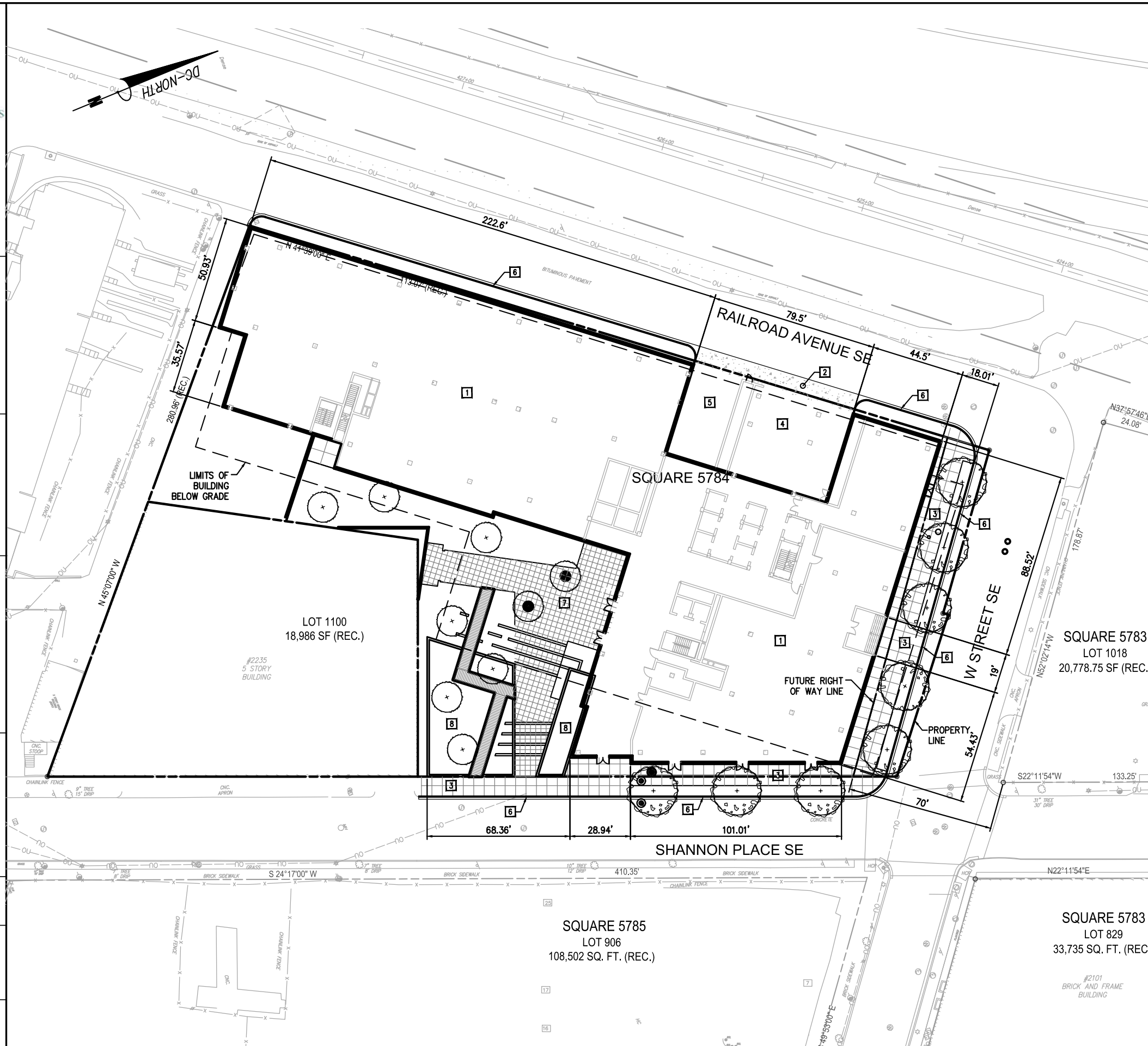


DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
SITE PLAN

NUMBER:
C-03

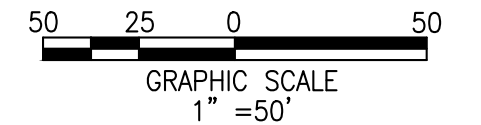


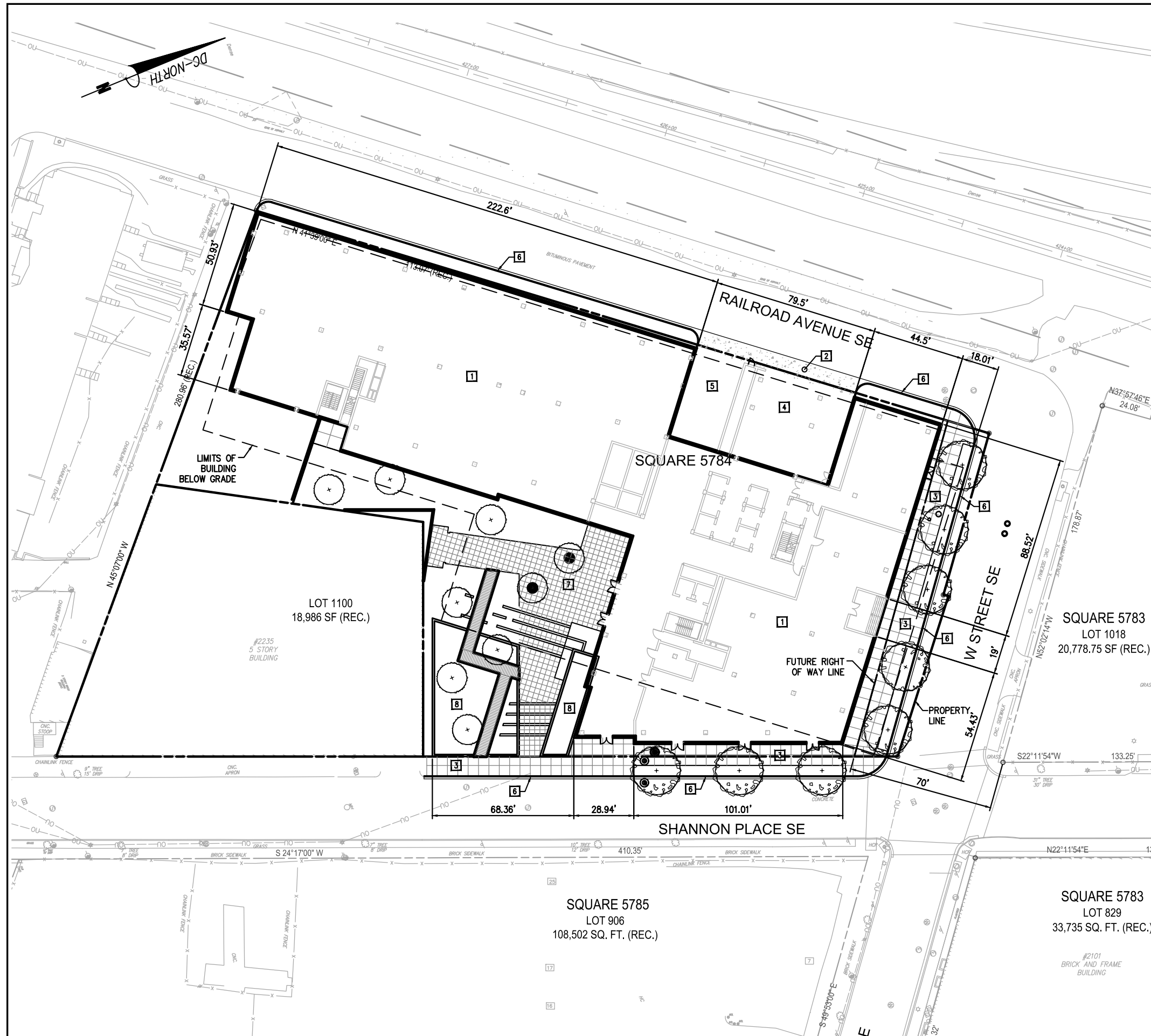
SITE NARRATIVE:

THE PROPOSED REDEVELOPMENT OF THE FUTURE LOT WITHIN SQUARE 5784 WILL BE 61,2912 SF. PROPOSED BUILDING 4 IS A 7-STORY PLUS PENTHOUSE OFFICE BUILDING WITH A 41,897 SF FOOTPRINT. THE REDEVELOPMENT WILL INCLUDE NEW DOMESTIC WATER SERVICE, FIRE PROTECTION SERVICE, SANITARY SEWER SERVICE AND STORM SEWER SERVICE CONNECTIONS TO PUBLIC INFRASTRUCTURE. STORMWATER MANAGEMENT FOR THE SITE WILL MEET THE CURRENT REQUIREMENTS FOR THE DISTRICT OF COLUMBIA AND WILL BE ADDRESSED THROUGH A VARIETY OF BEST MANAGEMENT PRACTICES.

SITE KEYNOTES

- 1 NEW BUILDING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 2 NEW DRIVEWAY ENTRANCE.
- 3 NEW CONCRETE SIDEWALK.
- 4 NEW LOADING AREA.
- 5 NEW RAMP DOWN TO PARKING GARAGE.
- 6 NEW CONCRETE CURB AND GUTTER.
- 7 NEW COURTYARD AREA.
- 8 NEW BIORETENTION PLANTING AREA.





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THE PROPOSED REDEVELOPMENT OF THE FUTURE LOT WITHIN SQUARE 5784 WILL BE 61,2912 SF. PROPOSED BUILDING 4 IS A 7-STORY PLUS PENTHOUSE OFFICE BUILDING WITH A 41,897 SF FOOTPRINT. THE REDEVELOPMENT WILL INCLUDE NEW DOMESTIC WATER SERVICE, FIRE PROTECTION SERVICE, SANITARY SEWER SERVICE AND STORM SEWER SERVICE CONNECTIONS TO PUBLIC INFRASTRUCTURE. STORMWATER MANAGEMENT FOR THE SITE WILL MEET THE CURRENT REQUIREMENTS FOR THE DISTRICT OF COLUMBIA AND WILL BE ADDRESSED THROUGH A VARIETY OF BEST MANAGEMENT PRACTICES.

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FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020

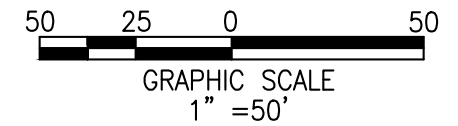


DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
UTILITIES

NUMBER:
C-04





FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784
Washington DC 20020

Hickok Cole

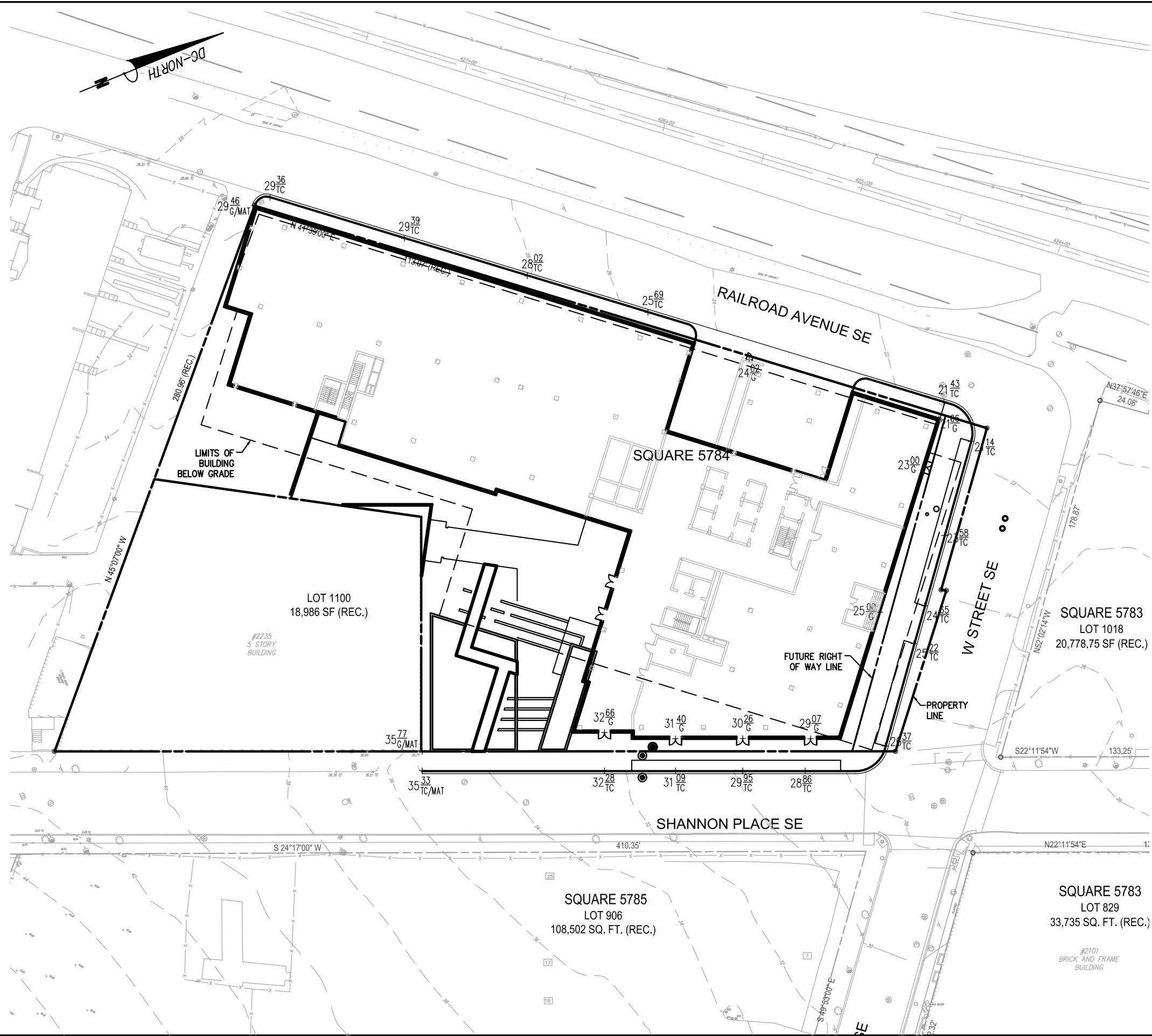


DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

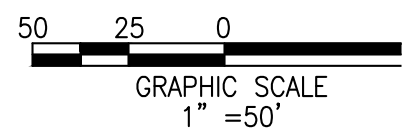
TITLE:
GRADING PLAN

NUMBER:
C-05



SPOT SHOT LEGEND:

- XX^{FF}/_{FF}x FINISHED FLOOR SPOT
- XX^G/_Gx GROUND SPOT
- XX^{TC}/_{TC}x TOP OF CURB SPOT
- XX^{BC}/_{BC}x BOTTOM OF CURB SPOT
- XX^{TW}/_{TW}x TOP OF WALL SPOT
- XX^{BW}/_{BW}x BOTTOM OF WALL SPOT
- XX^{TS}/_{TS}x TOP OF STEPS SPOT
- XX^{BS}/_{BS}x BOTTOM OF STEPS SPOT
- XX^{MAT}/_{MAT}x MATCH EXISTING SPOT



Site Information	
Is Site an "AWDZ Site"?	No
Is Site Located in the MS4?	No
AWDZ only - Regulatory Rain Event for WQTV (inches)	NA

Cover Type	Indicate Post-Development Land Cover	
	Disturbed Public Right of Way Area (square feet)	Major Land Disturbing Area (square feet)
Natural Cover		0
Compacted Cover		0
Impervious Cover	6,800	61,300
BMP		0
Site Total	6,800	61,300
Retention Standard for SWRV (inches)	1.2	1.2

	SWRV and WQTV Summary	
	Disturbed Public Right of Way	Site Development
Stormwater Retention Volume, SWRV (cubic feet)	646	5,824
Stormwater Retention Volume, SWRV (gallons)	4,832	43,560
Water Quality Treatment Volume, WQTV (cubic feet)	NA	NA
Water Quality Treatment Volume, WQTV (gallons)	NA	NA

STORMWATER MANAGEMENT NARRATIVE:

CONCEPTUAL STORMWATER MANAGEMENT PROVIDED FOR PUD REVIEW ONLY. DURING FURTHER DEVELOPMENT OF THE PUD AND FORTHCOMING DEVELOPMENT OF THE FINAL SITE PLAN, STORMWATER MANAGEMENT DESIGN WILL BE ADVANCED TO REFLECT ADDITIONAL DETAILS. THE DESIGN CRITERIA FOR THE PROJECT INCLUDE:

- STORMWATER MANAGEMENT DESIGN WILL MEET OR EXCEED THE CURRENT STANDARDS OF THE DISTRICT OF COLUMBIA IN PLACE AT THE TIME OF PUD APPROVAL.
- THE STORMWATER RUNOFF WILL BE TREATED USING LOW IMPACT DEVELOPMENT BMP MEASURES.
- THE STORMWATER RUNOFF WILL BE TREATED USING A COMBINATION OF ON-SITE BMPs SUCH AS GREEN ROOF, INFILTRATION TRENCH AND/OR CISTERN FOR WATER REUSE.

NOTE:
AT THE CONCEPT LEVEL, SIZE AND LOCATION OF SWM FACILITIES ARE NOT YET DETERMINED. ACTUAL DESIGN OF THE FACILITIES WILL BE PROVIDED DURING FINAL SITE PLAN.


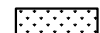
SWM REQUIREMENTS:

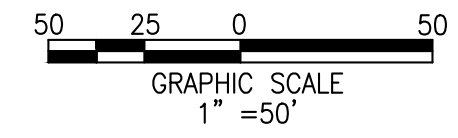
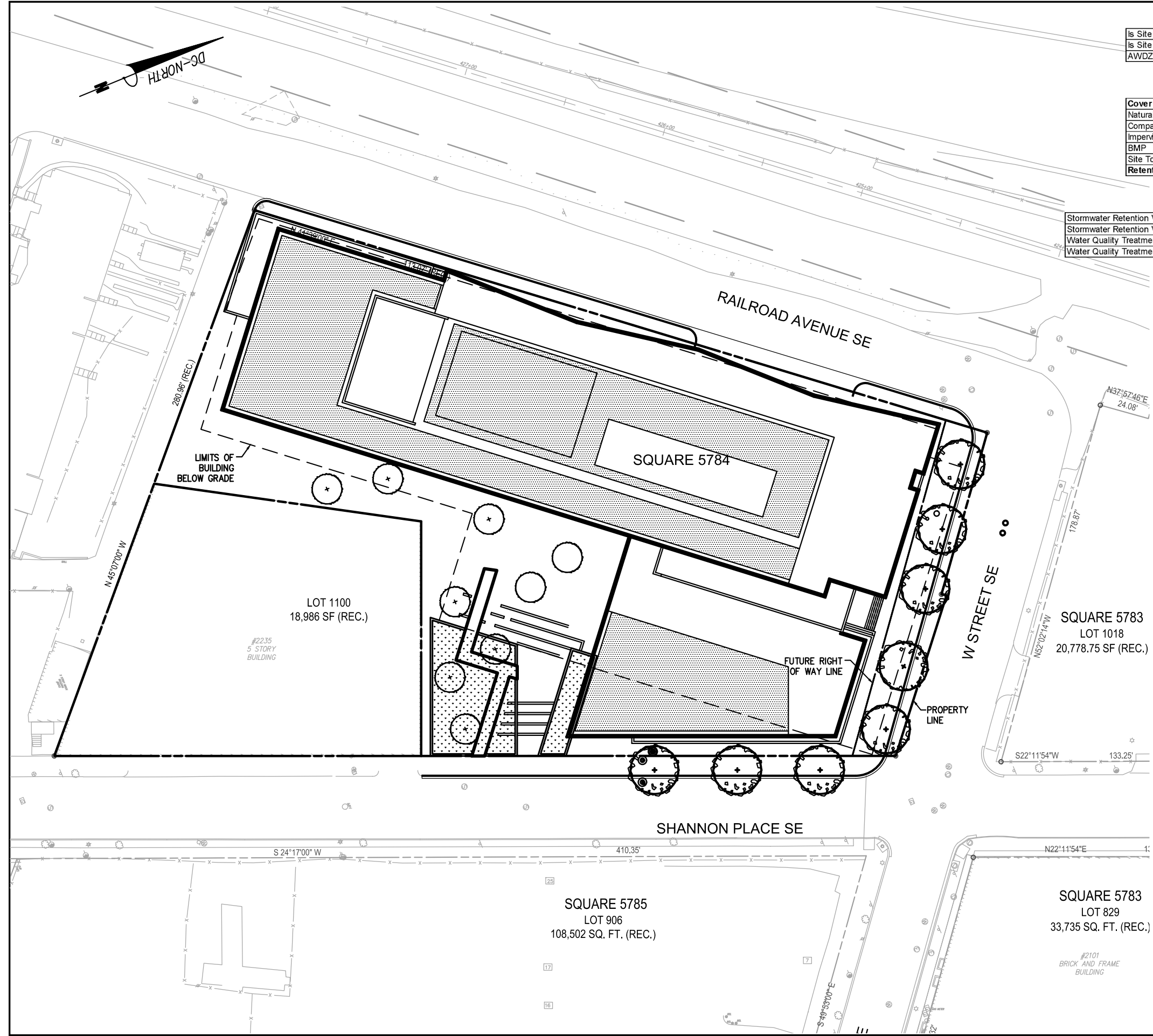
THIS PROJECT FALLS WITHIN THE GUIDELINES OF A 'MAJOR LAND DISTURBANCE' THUS REQUIRING A STORMWATER RETENTION VOLUME (SWRV) BASED ON THE 1.2" STORM, PER THE 2013 SWM GUIDEBOOK FOR THE DISTRICT. IN ADDITION TO THE REQUIRED VOLUME RETENTION ON-SITE, THE DESIGNED SWM FACILITIES WILL PROVIDE 2-YR AND 15-YR STORM CONTROL FOR PEAK DISCHARGE TO THE PRE-DEVELOPMENT AND PRE-PROJECT RATE, RESPECTIVELY.

THE ADJACENT EXISTING BUILDING (2235 SHANNON PL SE) SHALL ALSO BE INCLUDED IN STORMWATER RETENTION VOLUME REQUIREMENTS. FURTHER ANALYSIS OF THESE REQUIREMENTS WILL BE CALCULATED DURING DESIGN DEVELOPMENT.

- TOTAL ON SITE DISTURBANCE = 61,300 sf
- SWRV REQUIRED = 5,824 cf

SWM LEGEND:

-  GREEN ROOF
-  BIORETENTION PLANTER



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784 Washington DC 20020



DATE: MARCH 8, 2018

PUD APPLICATION STAGE II - BLDG #4

TITLE: STORMWATER MANAGEMENT PLAN

NUMBER: C-06



FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784 Washington DC 20020

Hickok Cole



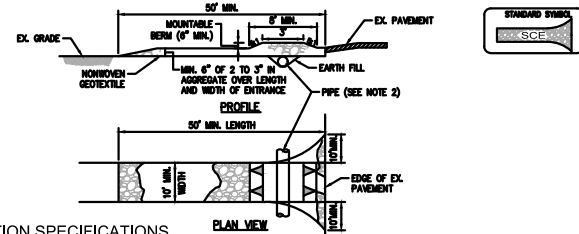
DATE: MARCH 8, 2018

PUD APPLICATION STAGE II - BLDG #4

TITLE: TYPICAL SITE DETAILS

NUMBER:

C-07

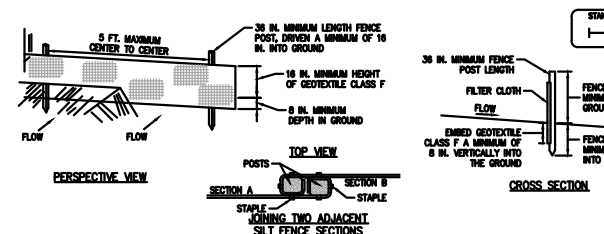


CONSTRUCTION SPECIFICATIONS

- 1. PLACE THE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE A MINIMUM LENGTH OF 50 FEET (400 FEET FOR SINGLE-FAMILY RESIDENCE LOT) AND A MINIMUM WIDTH OF 10 FEET. PLACE THE SCE AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PROVIDE PIPE INSTALLED THROUGH THE SCE WITH VERTICAL BENT WITH 60 DEGREE AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BEAM IS REQUIRED WHEN THE SCE IS NOT LOCATED AT A HIGH SPOT.
2. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE.
3. PLACE CHAIN LINK FENCING (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
4. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, AND STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MAINTAIN BEAM AND SPOURED ENDINGS IN PLACE AND REPAIRS AS NECESSARY. STONE AND SPOURED ENDINGS SHOULD BE TRACED INTO ADJACENT ROADWAY BY WINDING, SCOURING, AND/OR SLEEPING ROADWAY TO REMAIN TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL FACILITY.

STABILIZED CONSTRUCTION ENTRANCE

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 201.1

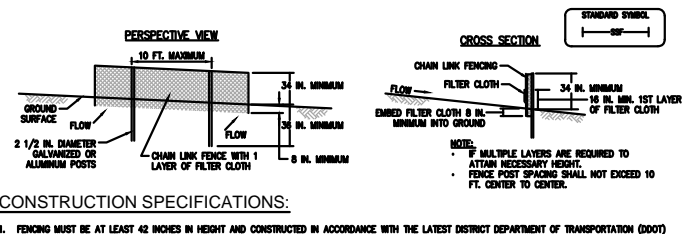


CONSTRUCTION SPECIFICATIONS

- 1. FENCE POSTS MUST BE A MINIMUM OF 30 IN. LONG DRIVEN 18 IN. MINIMUM INTO THE GROUND. WOOD POSTS MUST BE OF SOUND QUALITY UNPAVED WITH 1-1/2 IN. MINIMUM WIDTH WITH SQUARE CUT, OR 1-1/2 IN. MINIMUM DIAMETER WITH ROUND. STEEL POSTS MUST BE STANDARD 1 OR 2 SECTION WELDING NOT LESS THAN 1.50 POUND PER LINEAL FOOT.
2. FASTEN GEOTEXTILE REGULARLY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND MUST MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F (FROM TABLE 3.3 - SEE BELOW):
PROPERTY VALUE TEST METHOD
TENSILE STRENGTH 50 LBS./IN. (MIN.) ASTM D-4895
TENSILE MODULUS 20 LBS./IN. (MIN.) ASTM D-4895
FLOW RATE 0.3 GAL./FT. MINUTE (MAX.) ASTM D-5341
FILTERING EFFICIENCY 75% (MIN.) ASTM D-5341
3. WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, OVERLAP, FOLD, AND STAPLE THEM TO PREVENT SEDIMENT BYPASS. INSPECT SILT FENCE AFTER EACH RAINFALL EVENT, AT LEAST DAILY DURING SUSTAINED RAINFALL EVENTS, AND MAINTAIN WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES TOP OF THE FENCING HEIGHT.

SILT FENCE-1

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 301.1

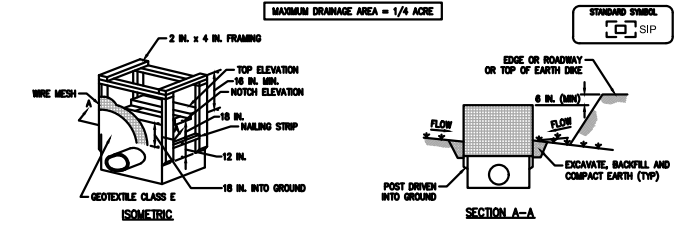


CONSTRUCTION SPECIFICATIONS:

- 1. FENCING MUST BE AT LEAST 42 INCHES IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST DISTRICT DEPARTMENT OF TRANSPORTATION (DDOT) DETAILS FOR CHAIN LINK FENCING. THE DDOT SPECIFICATION FOR A 5-FOOT FENCE MUST BE USED, SUBSTITUTING MINIMUM 42-INCH FABRIC AND 6-FOOT LENGTH POSTS. POSTS DO NOT NEED TO BE SET IN CONCRETE.
2. SECURELY FASTEN CHAIN LINK FENCE TO THE FENCE POSTS WITH WIRE TIES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
3. SECURELY FASTEN GEOTEXTILE TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID-SECTION.
4. ENDED GEOTEXTILE A MINIMUM OF 6 INCHES INTO THE GROUND.
5. WHEN TWO SECTIONS OF GEOTEXTILE FABRIC ADJOIN EACH OTHER, FOLD AND OVERLAP BY 6 INCHES.
6. GEOTEXTILE MUST MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F (FROM TABLE 3.3-BELOW):
PROPERTY VALUE TEST METHOD
TENSILE STRENGTH 50 LBS./IN. (MIN.) ASTM D-4895
TENSILE MODULUS 20 LBS./IN. (MIN.) ASTM D-4895
FLOW RATE 0.3 GAL./FT. MINUTE (MAX.) ASTM D-5341
FILTERING EFFICIENCY 75% (MIN.) ASTM D-5341
7. INSPECT SUPER SILT FENCE AFTER EACH RAINFALL EVENT, AT LEAST DAILY DURING SUSTAINED RAINFALL EVENTS, AND MAINTAIN WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES TOP OF THE FENCING HEIGHT.

SUPER SILT FENCE-1

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 302.1

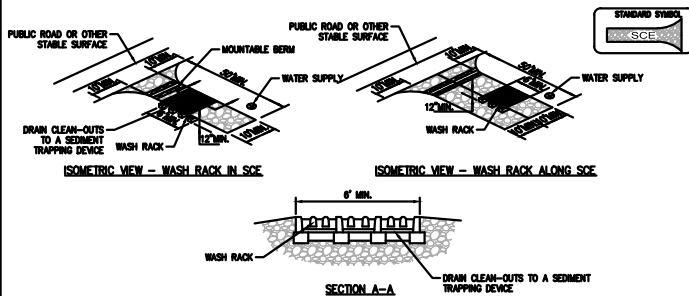


CONSTRUCTION SPECIFICATIONS

- 1. EXCAVATE EQUIPMENT ACCESS TO THE INLET TO A DEPTH OF 12 INCHES BELOW THE NOTCH ELEVATION.
2. DRINK 2-INCH x 4-INCH CONSTRUCTION GRADE LAMINATE PORTS 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE MAIL STRIPS BETWEEN THE PORTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2-INCH x 4-INCH FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL 307.1. THE TOP OF THE FRAME (NEED) MUST BE 8 INCHES BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE.
3. STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
4. STRETCH 1/2-INCH x 1/2-INCH WIRE TIES TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
5. STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE TIES WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 10 INCHES BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST OR OVERLAP AND FOLD, THEN FASTENED DOWN.
6. BACKFILL AROUND THE INLET BY COMPACTING 4-INCH LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE SIDE AND TOP ELEVATION OF THE SEED.
7. IF THE INLET IS NOT IN A SWAY, CONSTRUCT A COMPACTED EARTH DIRT ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIRT SHOULD BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.
8. THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN. THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

STANDARD INLET PROTECTION STORM DRAIN INLET PROTECTION

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 307.1



CONSTRUCTION SPECIFICATIONS

- 1. USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PRE-FABRICATED WASH RACKS SUCH AS CASTLE GUARDS ARE ACCEPTABLE. USE MINIMUM DIMENSION OF 8 FEET x 10 FEET. ORIENT DIRECTION OF FLOW AS SHOWN ON THE DETAIL. APPROACHES TO THE WASH RACK SHOULD BE A MINIMUM OF 5 FEET ON BOTH SIDES.
2. INSTALL FROM TO, ALONG SIDE OF, OR AS PART OF THE SCE.
3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.
4. KEEP AREA UNDER WASH RACK FREE OF ACCUMULATED SEDIMENT IF DAMAGED, REPAIR OR REPLACE WASH RACK.

STABILIZED CONSTRUCTION ENTRANCE WITH WASH RACK

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 202.1

Table 3.3: SILT FENCE SLOPE LENGTH AND FENCE LENGTH CONSTRAINTS. Columns: SLOPE STEEPNESS, SLOPE LENGTH (MAXIMUM FEET), SILT FENCE LENGTH (MAXIMUM FEET). Rows: FLATTER THAN 0:1 (2:5), > 0:1 TO 1:1 (2:1 TO 1:1), > 1:1 TO 1:1 (1:1 TO 2:1), > 1:1 TO 3:1 (2:1 TO 3:1), > 3:1 TO 3:1 (3:1 TO 3:1), > 3:1 (> 3:1).

SILT FENCE DESIGN CRITERIA

- NOTE:
- IN AREAS OF LESS THAN 2% AND SAND AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SOIL FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.
- TO AVOID CIRCUMVENTION, THE ENDS OF THE SILT FENCE SHALL BE EXTENDED UPSLOPE TO PREVENT WATER AND SEDIMENT FROM FLOWING AROUND THE ENDS OF THE FENCE.

SILT FENCE-2

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 301.2

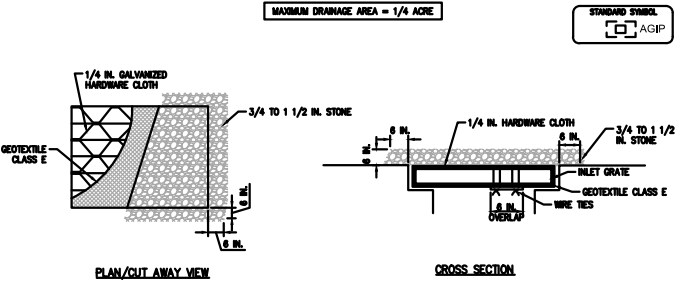
Table 3.3: SUPER SILT FENCE SLOPE LENGTH AND FENCE LENGTH CONSTRAINTS. Columns: SLOPE, SLOPE STEEPNESS, SLOPE LENGTH (MAXIMUM FEET), SUPER SILT FENCE LENGTH (MAXIMUM FEET). Rows: 0 - 10%, 10 - 20%, 20 - 33%, 33 - 50%, > 50%.

SUPER SILT FENCE DESIGN CRITERIA

- NOTE:
- TO AVOID CIRCUMVENTION, THE ENDS OF THE SILT FENCE SHALL BE EXTENDED 5 HORIZONTAL FEET UP SLOPE AT A 45-DEGREE RELATIVE TO THE MAIN FENCE ALIGNMENT TO PREVENT SEDIMENT ACCUMULATION.

SUPER SILT FENCE-2

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 302.2

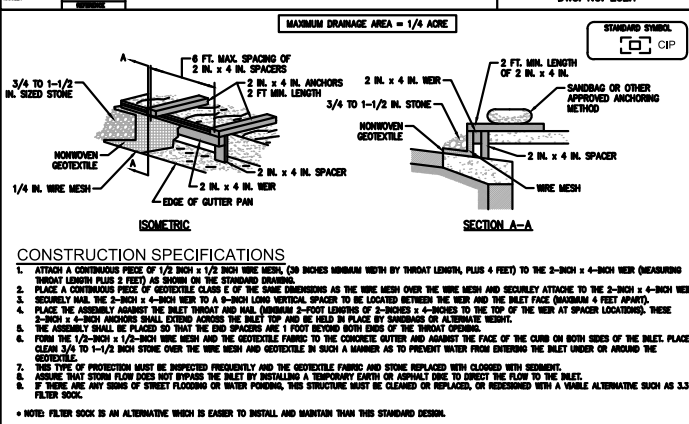


CONSTRUCTION SPECIFICATIONS

- 1. LIFT GRATE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS, SECURE WITH WIRE TIES, THEN SET GRATE BACK IN PLACE.
2. PLACE CLEAN 3/4 TO 1-1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 4 TO 6 INCHES THICK ON THE GRAZE, TO SECURE THE FRAME.
3. IF THERE ARE ANY SIGNS OF STREET FLOODING OR WATER PONDING, THIS STRUCTURE MUST BE CLEANED OR REPLACED WITH A MAJOR ALTERNATIVE.

AT GRADE INLET PROTECTION STORM DRAIN INLET PROTECTION

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 307.2

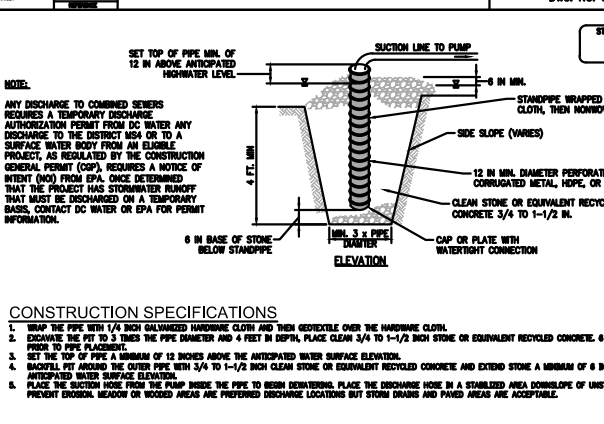


CONSTRUCTION SPECIFICATIONS

- 1. ATTACH A CONTINUOUS STRIP OF 1/2 INCH x 1/2 INCH WIRE MESH, OR INCHES MINIMUM WIDTH BY THROAT LENGTH, PLUS 4 FEET) TO THE 2-INCH x 4-INCH WIRE (MEASUREMENT LENGTH PLUS 2 FEET) AS SHOWN ON THE STANDARD SYMBOL.
2. PLACE A CONTINUOUS STRIP OF GEOTEXTILE CLASS E OF THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH TO THE 2-INCH x 4-INCH WIRE.
3. SECURELY HOLD THE 2-INCH x 4-INCH WIRE TO A 3-INCH LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WIRE AND THE INLET FACE (MINIMUM 4 FEET APART).
4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND WALL. (MINIMUM 2-FOOT LENGTH OF 2-INCHES x 4-INCHES TO THE TOP OF THE WIRE AT SPACER LOCATIONS. THESE 2-INCH x 4-INCH ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAR OR ALTERNATE METHOD.
5. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE 1 FOOT BEYOND BOTH SIDES OF THE THROAT OPENING.
6. FORM THE 1/2-INCH x 1/2-INCH WIRE MESH AND GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND ADJACENT THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4 TO 1-1/2 INCH STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
7. THIS TYPE OF PROTECTION MUST BE INSPECTED PERIODICALLY AND THE GEOTEXTILE FABRIC AND STONE REPLACED WITH CLOUSED WITH SEDIMENT.
8. ASSURE THAT STONE FLOW DOES NOT EXCEED THE INLET BY INSTALLING A TEMPORARY EARTH OR APPROVAL DIRT TO PROTECT THE EDGE OF THE INLET.
9. IF THERE ARE ANY SIGNS OF STREET FLOODING OR WATER PONDING, THIS STRUCTURE MUST BE CLEANED OR REPLACED, OR REDESIGNED WITH A MAJOR ALTERNATIVE SUCH AS 3.3 FILTER ROCK.
- NOTE: FILTER ROCK IS AN ALTERNATIVE WHICH IS EASIER TO INSTALL AND MAINTAIN THAN THIS STANDARD DESIGN.

CURB INLET PROTECTION STORM DRAIN INLET PROTECTION

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 307.3

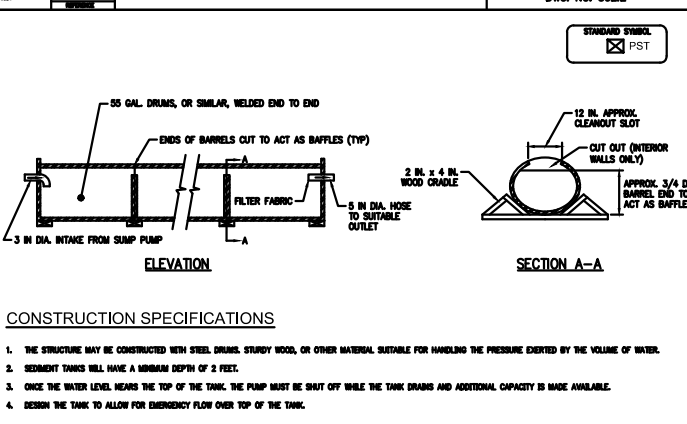


CONSTRUCTION SPECIFICATIONS

- 1. WRAP THE PIPE WITH 1/4 INCH GALVANIZED HARDWARE CLOTH AND THEN GEOTEXTILE OVER THE HARDWARE CLOTH.
2. EXCAVATE THE PIT TO 3 TIMES THE PIPE DIAMETER AND 4 FEET IN DEPTH. PLACE CLEAN 3/4 TO 1-1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH FROM TO PIPE PLACEMENT.
3. SET THE TOP OF PIPE A MINIMUM OF 12 INCHES ABOVE THE ANTICIPATED WATER SURFACE ELEVATION.
4. BACKFILL FILL AROUND THE OUTER PIPE WITH 3/4 TO 1-1/2 INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
5. PLACE THE SUCTION HOSE FROM THE PUMP INSIDE THE PIPE TO BEHIND DOWNSTREAM. PLACE THE DISCHARGE HOSE IN A STABILIZED AREA DOWNSTREAM OF UNSTABILIZED AREAS TO PREVENT EROSION, REDDION OR WOODS AREAS ARE PREFERRED DISCHARGE LOCATIONS BUT STONE DRAINS AND PAVED AREAS ARE ACCEPTABLE.

SUMP PIT

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 702.1

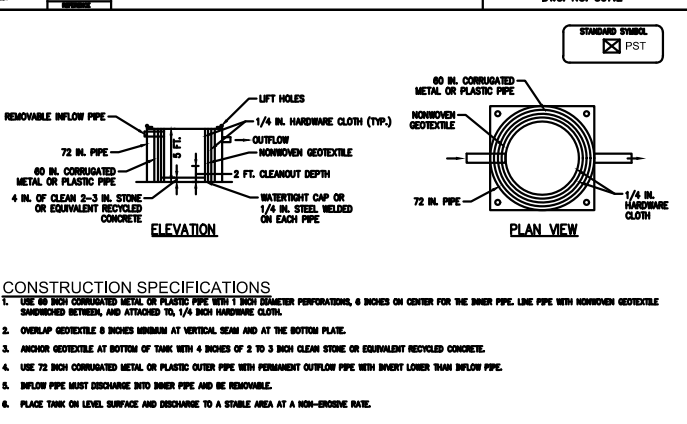


CONSTRUCTION SPECIFICATIONS

- 1. THE STRUCTURE MAY BE CONSTRUCTED WITH STEEL DRUMS, STURDY WOOD, OR OTHER MATERIAL SUITABLE FOR HANDLING THE PRESSURE EXERTED BY THE VOLUME OF WATER.
2. SEDIMENT TANKS WILL HAVE A MINIMUM DEPTH OF 2 FEET.
3. ONCE THE WATER LEVEL REARS THE TOP OF THE TANK, THE PUMP MUST BE SHUT OFF WHILE THE TANK DRAINS AND ADDITIONAL CAPACITY IS MADE AVAILABLE.
4. DESIGN THE TANK TO ALLOW FOR EMERGENCY FLOW OVER TOP OF THE TANK.

PORTABLE SEDIMENT TANK - 1 (HORIZONTAL)

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 703.1

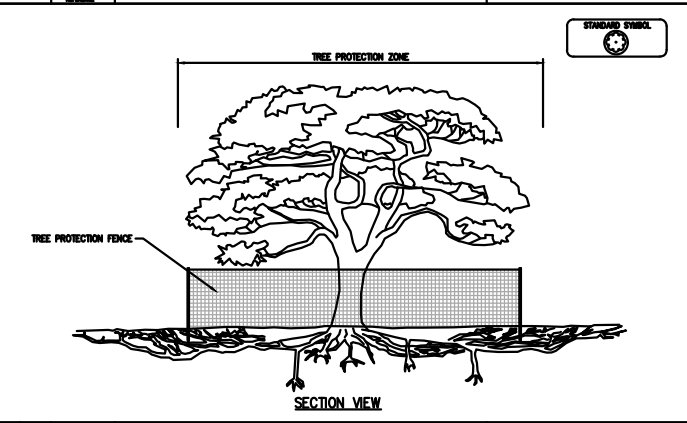


CONSTRUCTION SPECIFICATIONS

- 1. USE 60 INCH CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS, 6 INCHES ON CENTER FOR THE INNER PIPE. LINE PIPE WITH NONWOVEN GEOTEXTILE SANDWICHED BETWEEN, AND ATTACHED TO, 1/4 INCH HARDWARE CLOTH.
2. OVERLAP GEOTEXTILE 8 INCHES MINIMUM AT VERTICAL SEAMS AND AT THE BOTTOM FLANGE.
3. ANCHOR GEOTEXTILE AT BOTTOM OF TANK WITH 4 INCHES OF 2 TO 3 INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE.
4. USE 72 INCH CORRUGATED METAL OR PLASTIC OUTER PIPE WITH PERMANENT OUTFLOW PIPE WITH SHARPER LOWER THAN INFLOW PIPE.
5. INFLOW PIPE MUST DISCHARGE INTO INNER PIPE AND BE REMOVABLE.
6. PLACE TANK ON LEVEL SURFACE AND DISCHARGE TO A STABLE AREA AT A NON-EROSIVE RATE.

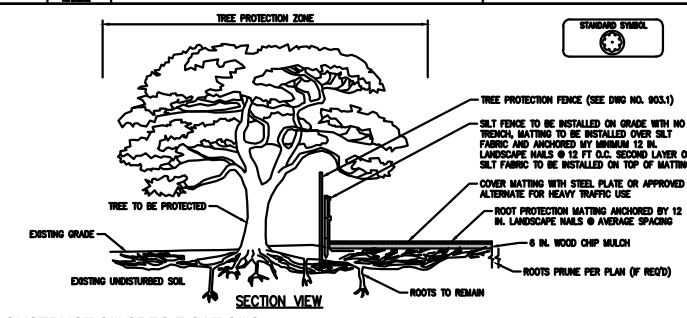
PORTABLE SEDIMENT TANK - 1 (VERTICAL)

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 703.2



TREE PROTECTION

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 903.1



CONSTRUCTION SPECIFICATIONS

- 1. MATING MATERIAL SHALL BE DOUBLE SIZED GEODESIC, GEOMET CODE WITH NON-ROTTEN COVERING (SUCH AS TENSAR ROADRAM ROT) OR APPROVED EQUIVALENT.
2. ROOF PROTECTION MATING SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
3. TO BE USED FOR DESIGNATED TEMPORARY CONSTRUCTION ACCESS AND STOCKPILE AREAS.
4. MATING SHALL BE PLACED ON 6 IN. WOOD CHIP MULCH UNLESS OTHERWISE SPECIFIED.
5. FOR HEAVY TRAFFIC AREAS, MATING SHALL BE COVERED WITH STEEL PLATES.

TREE PROTECTION

DISTRICT OF COLUMBIA DEPARTMENT OF ENERGY & ENVIRONMENT DWG. NO. 903.1