

PROJECT TEAM

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ABOVE GREEN
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 PO BOX 886
 MIDDLEBURG, VA 20117

DRAWING LIST

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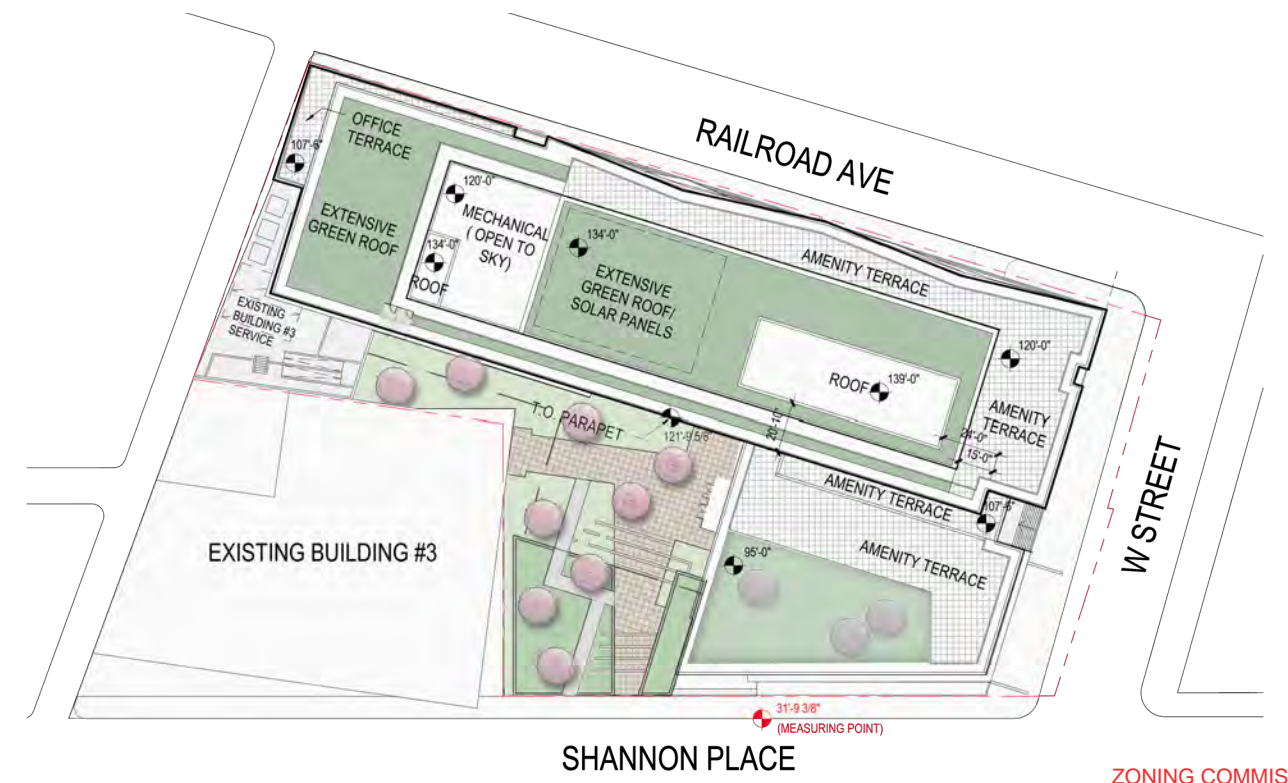


REUNION SQUARE - OFFICE [BLDG #4]

SQUARE 5784, LOT 1101 + 899 + 900
 WASHINGTON, DC 20020

PLANNED UNIT DEVELOPMENT APPLICATION - STAGE II

MARCH 8, 2018



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Shannon Place - View to NE



W Street - View to SE



Railroad Ave - View to NE



Shannon Place - View to SW

DEVELOPMENT CONCEPT

SITUATED ON NEARLY EIGHT ACRES IN THE ANACOSTIA AREA OF WASHINGTON DC, THE SITE WILL TAKE ON A ROLE OF NEIGHBORHOOD REVITALIZATION THROUGH THE DEVELOPMENT OF 1.5 MILLION SQ FT OF MIXED USE BUILDINGS.

IN THE INTEREST OF IMPROVED CIRCULATION AND MORE ACCOMMODATING BUILDING TYPOLOGIES, THE EXISTING CIRCULATION FRAMEWORK HAS BEEN AMELIORATED, FOR BOTH PEDESTRIANS AND AUTOMOBILES.

STREETScape AND LANDSCAPING IMPROVEMENTS WILL CONTRIBUTE TO THE ENHANCED ENVIRONMENT, FURTHER AFFIRMING THE LIVELY SIDEWALK ETHOS FOR WHICH MANY DESIRABLE WASHINGTON NEIGHBORHOODS (CAPITOL HILL AT EASTERN MARKET, "THE NEW U" STREET CORRIDOR, WOODLEY PARK, ETC.) ARE KNOWN.

THE INTERSECTION OF MARTIN LUTHER KING JR AVE SE AND "W" ST, A FUTURE EPICENTER OF URBAN VITALITY IN ANACOSTIA, WILL BECOME A TRANSFORMED PLACE. A PLAZA AREA WILL PROVIDE A PEDESTRIAN MEETING SPACE AS WELL AS A MORE LAUDABLE LOCATION FOR THE WORLD'S LARGEST CHAIR. THANKS TO WIDER RIGHT-OF-WAYS, LOCAL MERCHANTS' WARES AND CAFES WILL LINE BOTH SIDES OF W STREET AND CONTINUE AROUND ON MLK AVE.

A PRINCIPAL DRIVING FORCE BEHIND THE DESIGN OF THE REUNION SQUARE DEVELOPMENT IS THE EXPRESSION OF VARIOUS USES AND ACKNOWLEDGMENT OF CONTEXTS ON THE SITE THROUGH MULTIPLE BUILDINGS. THE BUILDINGS WILL BE OF VARYING HEIGHTS ACROSS THE SITE, TAKING CUES FROM THE RESIDENTIAL NEIGHBORHOOD TO THE SOUTH, THE STREET FRONT OF MARTIN LUTHER KING AVE AND THE HISTORIC ANACOSTIA OVERLAY DISTRICT.



Building #3



VICINITY MAP



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
OVERALL SITE
VICINITY MAP

NUMBER:

A-01



FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784 Washington DC 20020

Hickok Cole



ZONING AND SQUARE FOOTAGE TABULATIONS - STAGE 1 PUD, DATED JUNE 2013

| BLDG # | PARCEL/SQ | LOT SIZE | SITE FOOTPRINT | COVERAGE | BUILDING HEIGHTS | | RESIDENTIAL | | RETAIL | OFFICE | TOTAL | PARKING LOT# | PARKING SPACES | | LOADING | | | | |
|--------|-----------|----------|----------------|----------|------------------|------------|-------------|---------|--------|---------|----------|--------------|----------------|----------|---------------|----------|---------------|-------------------|----------|
| | | SF | SF | % | ALLOWABLE | PROPOSED | GSF | UNITS * | SF | SF | ALL USES | | REQUIRED | PROVIDED | BERTHS REQ. | PROPOSED | PLATFORM AREA | Del. Spaces req'd | Proposed |
| 1 | 5785 A | 25,300 | 10,850 | 43% | 65' | 60' | 65,000 | 65 | 0 | 0 | 65,000 | P01 | 33 | 33 | 1 @ 55' | 1 @ 30' | 200 SF | 1@20' | 0 |
| 2 | 5785 B | 87,200 | 71,500 | 82% | 90' | 90' | 0 | 0 | 40,000 | 415,000 | 455,000 | P02 | 811 | 525 | 1@55' + 4@30' | 4@30' | 400 SF | 2@20' | 0 |
| 3 | 5784 C | 19,000 | 18,900 | 99% | 70' | 50' | 0 | 0 | 0 | 78,500 | 78,500 | | 127 | - | 2@30' | 2@30' | 200 SF | 1@20' | 0 |
| 4 | 5784 B | 69,300 | 45,000 | 65% | 90' | 90' | 0 | 0 | 8,000 | 269,500 | 277,500 | P04 | 461 | 347 | 4@30' | 3@30' | 400 SF | 1@20' | 0 |
| 5 | 5783 | 20,800 | 19,100 | 92% | 90' | 90' | 132,000 | 132 | 8,000 | 0 | 140,000 | P05 | 83 | 75 | 1@55' + 1@30' | 1 @ 30' | 200 SF | 1@20' | 0 |
| 6 | 5772 A | 34,000 | 32,200 | 95% | 90' | 90' | 0 | 0 | 20,000 | 182,000 | 202,000 | P06 | 357 | 110 | 4@30' | 1 @ 30' | 200 SF | 2@20' | 0 |
| 7 | 5772 C | 45,100 | 45,100 | 100% | 80' | 80' | 136,000 | 136 | 50,000 | 0 | 186,000 | P07 | 225 | 257 | 2@55' + 1@30' | | 500 SF | 2@20' | 0 |
| 8 | 5772 D | 47,200 | 44,900 | 95% | 70' | 70' | 145,000 | 145 | 15,000 | 0 | 160,000 | P08 | 115 | 124 | 1@55' + 1@30' | 1 @ 30' | 300 SF | 1@20' | 1@55' |
| 9 | 5772 B | 900 | 900 | 100% | 65' | EXIST. 45' | 3,000 | 3 | 3,000 | 0 | 6,000 | | - | - | 0 | 0 | 0 | 0 | 0 |

* = APPROX.

UNDER 1958 ZONING CODE DISTRICT: C-3-A

| | | | | | | | | | | | | | | | | | | | |
|---------------|----------------|----------------|------------|--|--|----------------|---------------------|----------------|----------------|------------------|--|--------------|--------------|--|--|--|--|--|--|
| TOTALS | 348,800 | 288,450 | 83% | | | 481,000 | 481 (APPROX) | 144,000 | 945,000 | 1,570,000 | | 2,212 | 1,471 | | | | | | |
| | | | | | | 31% | - | 9% | 60% | 100% | | | | | | | | | |

TOTAL FAR 4.50

ZONING AND SQUARE FOOTAGE TABULATIONS - STAGE 2 PUD, BUILDING #4, DATED MARCH 2018

| BLDG # | PARCEL/SQ | LOT SIZE | SITE FOOTPRINT | COVERAGE | BUILDING HEIGHTS | | RESIDENTIAL | | RETAIL | OFFICE | TOTAL | PARKING LOT# | PARKING SPACES | | LOADING | | | | |
|--------|-----------|----------|----------------|----------|------------------|------------|-------------|---------|--------|---------|------------|--------------|----------------|----------|---------------|----------|---------------|-------------------|----------|
| | | SF | SF | % | ALLOWABLE | PROPOSED | GSF | UNITS * | SF | SF | ALL USES | | REQUIRED | PROVIDED | BERTHS REQ. | PROPOSED | PLATFORM AREA | Del. Spaces req'd | Proposed |
| 1 | 5785 A | 25,300 | 10,850 | 43% | 65' | 65' | 68,263 | 71 | 0 | 0 | 68,263 | P01 | 33 | 33 | 1 @ 55' | 1 @ 30' | 200 SF | 1@20' | 0 |
| 2 | 5785 B | 87,200 | 71,000 | 81% | 90' | 90' | 0 | 0 | 40,000 | 401,351 | 441,351 | P02 | 811 | 525 | 1@55' + 4@30' | 4@30' | 400 SF | 2@20' | 0 |
| 3 | 5784 C | 19,000 | 18,900 | 99% | 70' | 50' | 0 | 0 | 0 | 78,500 | 78,500 | | 127 | - | 2@30' | 2@30' | 200 SF | 1@20' | 0 |
| 4 | 5784 B | 64,788 | 44,135 | 68% | 90' | 90' | 0 | 0 | 6,644 | 281,242 | 287,886 ** | P04 | 488 | 324 *** | 4@30' | 3@30' | 400 SF | 1@20' | 0 |
| 5 | 5783 | 20,800 | 19,100 | 92% | 90' | 90' | 132,000 | 132 | 8,000 | 0 | 140,000 | P05 | 83 | 75 | 1@55' + 1@30' | 1 @ 30' | 200 SF | 1@20' | 0 |
| 6 | 5772 A | 34,000 | 32,200 | 95% | 90' | 90' | 0 | 0 | 20,000 | 182,000 | 202,000 | P06 | 357 | 110 | 4@30' | 1 @ 30' | 200 SF | 2@20' | 0 |
| 7 | 5772 C | 45,100 | 45,100 | 100% | 80' | 80' | 136,000 | 136 | 50,000 | 0 | 186,000 | P07 | 225 | 257 | 2@55' + 1@30' | | 500 SF | 2@20' | 0 |
| 8 | 5772 D | 47,200 | 44,900 | 95% | 70' | 70' | 145,000 | 145 | 15,000 | 0 | 160,000 | P08 | 115 | 124 | 1@55' + 1@30' | 1 @ 30' | 300 SF | 1@20' | 1@55' |
| 9 | 5772 B | 900 | 900 | 100% | 65' | EXIST. 45' | 3,000 | 3 | 3,000 | 0 | 6,000 | | - | - | 0 | 0 | 0 | 0 | 0 |

UNDER 1958 ZONING CODE DISTRICT: C-3-A

| | | | | | | | | | | | | | | | | | | | |
|---------------|----------------|----------------|------------|--|--|----------------|---------------------|----------------|----------------|------------------|--|--------------|--------------|--|--|--|--|--|--|
| TOTALS | 344,288 | 287,085 | 83% | | | 484,263 | 481 (APPROX) | 142,644 | 943,093 | 1,570,000 | | 2,239 | 1,448 | | | | | | |
| | | | | | | 31% | - | 9% | 60% | 100% | | | | | | | | | |

TOTAL FAR 4.50

* = APPROX.

** = 13,115 sf of area has been included in this number due to the zoning regulations as related to the definition of a cellar. This area was not included in the Stage 1 PUD numbers. It should be noted that the area calculations for space above the parking level remains consistent with the stage 1 PUD.

*** = this number does not include up to 136 tandem spaces which are provided to reach the total of up to 460 spaces

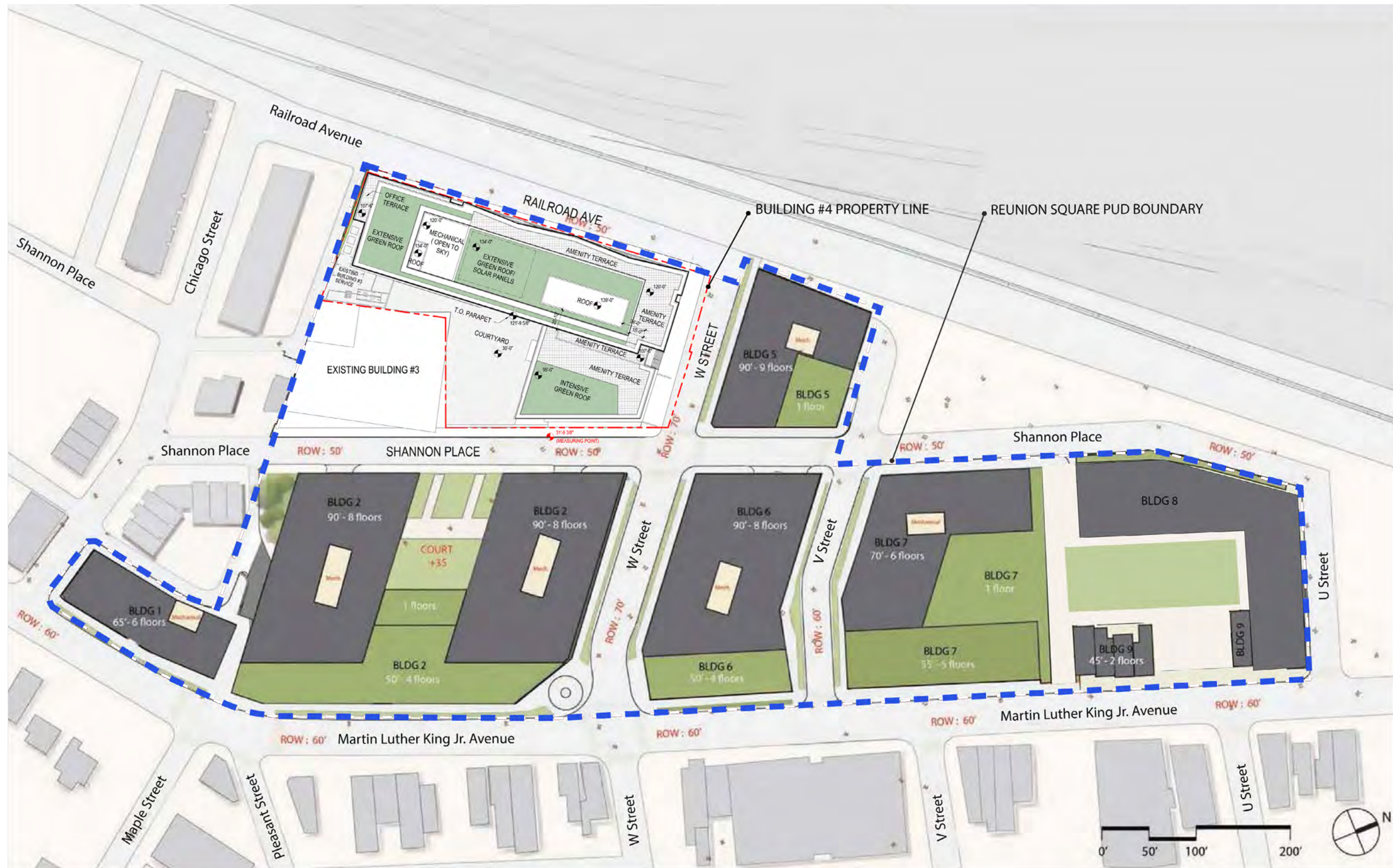
DATE: MARCH 8, 2018

PUD APPLICATION STAGE II - BLDG #4

TITLE: OVERALL SITE ANALYSIS

NUMBER:

A-02



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
OVERALL SITE
PLAN

NUMBER:
A-03



FOUR POINTS

SHANNON PLACE
& W ST SE

Square 5784
Washington DC 20020

Hickok Cole



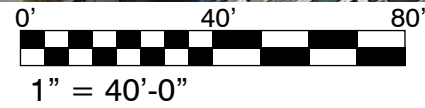
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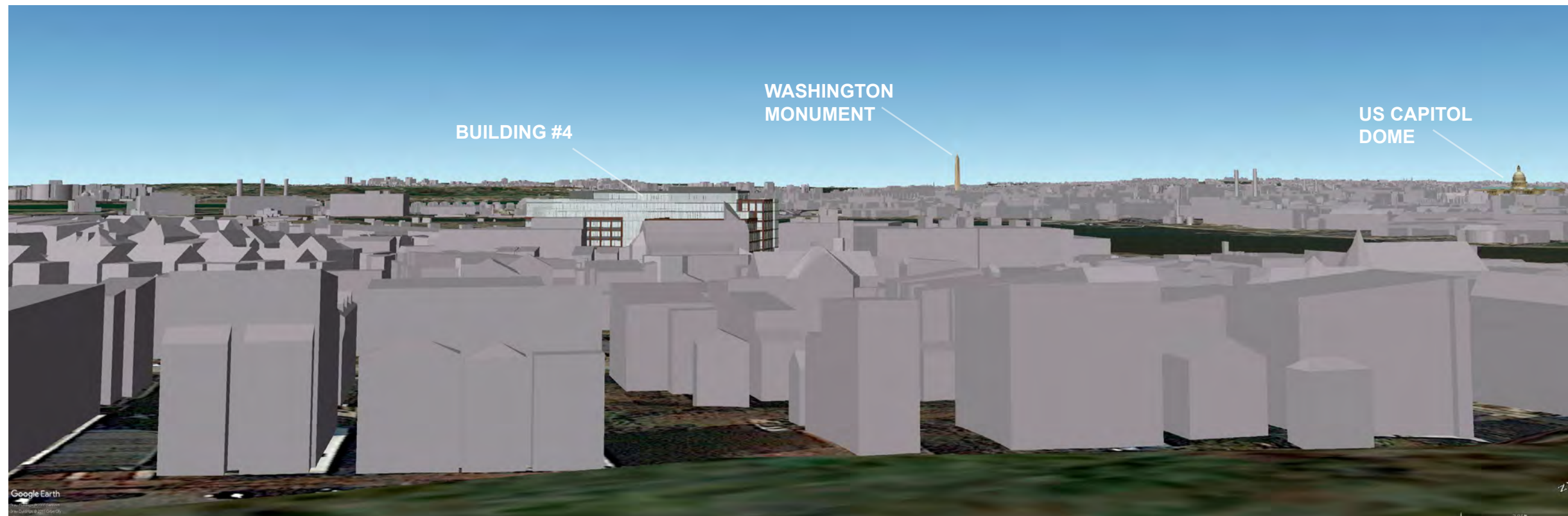
PUD APPLICATION
STAGE II - BLDG #4

TITLE:
OVERALL PUD
SITE AERIAL
PHOTO

NUMBER:

A-04





VIEW FROM WEST DOOR OF FREDERICK DOUGLASS HOME



FOUR POINTS

**SHANNON PLACE
& W STREET SE**

Small square 5784
Washington DC 20020

Hickok Cole



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
VIEW ANALYSIS

NUMBER:

A-05

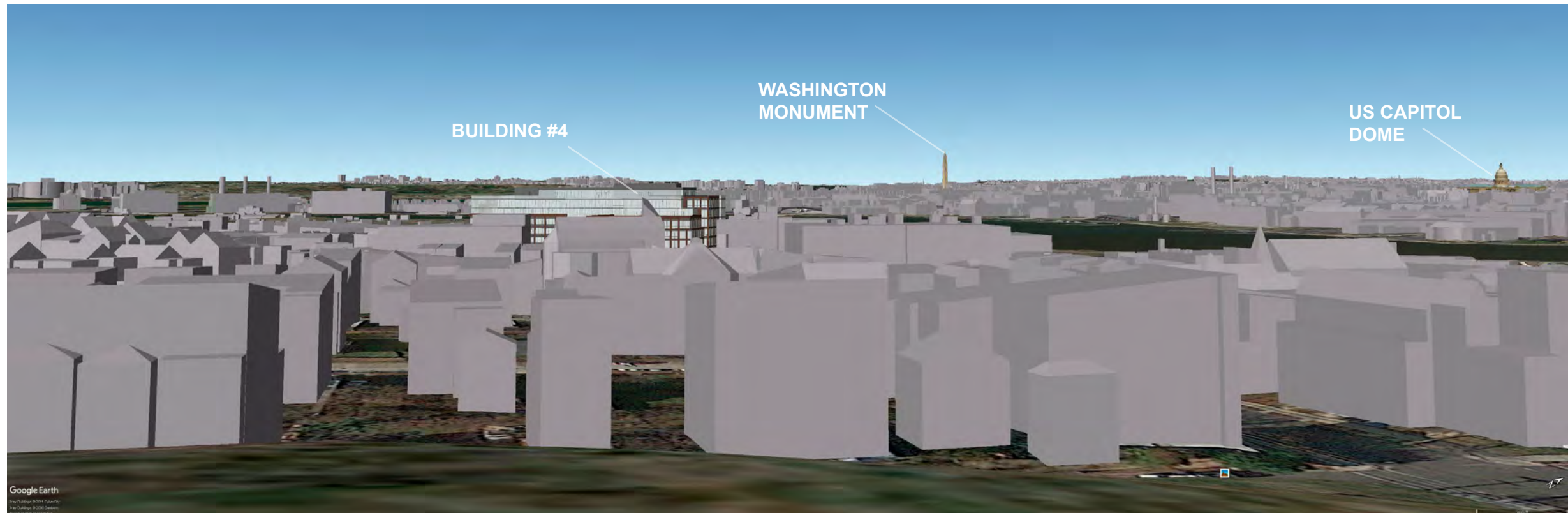
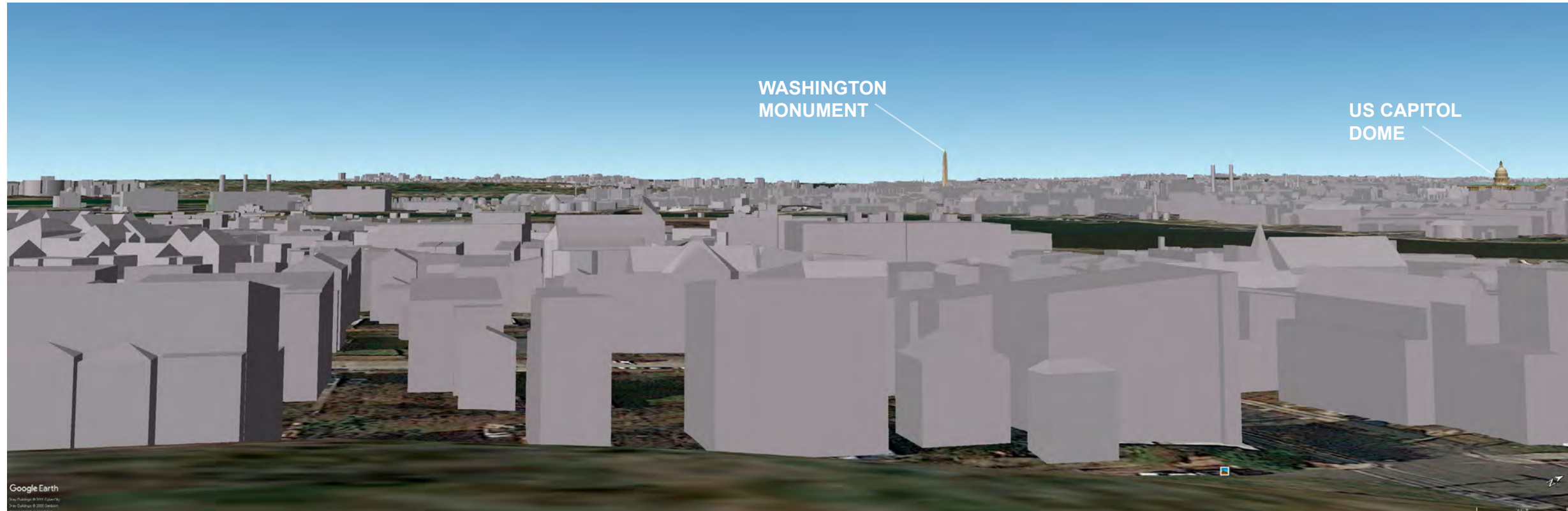


FOUR POINTS

SHANNON PLACE
& W ST SE

Square 5784
Washington DC 20020

Hickok Cole



VIEW FROM FRONT DOOR OF FREDERICK DOUGLASS HOME

DATE:
MARCH 8, 2016

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
VIEW ANALYSIS

NUMBER:
A-06

REUNION SQUARE - OFFICE [BLDG #4]



FOUR POINTS

SHANNON PLACE
& W STREET SE

Square 5784
Washington DC 20020



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
BUILDING #4
AERIAL VIEWS

NUMBER:
A-07



FOUR POINTS

SHANNON PLACE & W ST SE

Square 5784 Washington DC 20020

Hickok Cole



BUILDING DATA

PROJECT LOCATION: PARCEL 5784B
PARCEL SIZE: 64,788 SF

ZONING ANALYSIS

ZONE
CURRENT: C-3-A
PROPOSED: C-3-A (STAGE 1 PUD, CASE NO. 08-07)

GROSS FLOOR AREA

| LEVEL | AREA |
|----------|-------------|
| LEVEL P1 | 13,115 GSF |
| LEVEL 01 | 39,133 GSF |
| LEVEL 02 | 42,270 GSF |
| LEVEL 03 | 43,060 GSF |
| LEVEL 04 | 43,107 GSF |
| LEVEL 05 | 42,708 GSF |
| LEVEL 06 | 33,373 GSF |
| LEVEL 07 | 31,120 GSF |
| TOTAL: | 287,886 GSF |

FLOOR AREA RATIO

11 DCMR 2405.2
ALLOWED FAR (MATTER OF RIGHT):
RESIDENTIAL : 4.0 MAXIMUM
RESI W/ IZ: 4.8 MAXIMUM
NON-RESIDENTIAL: 2.5 MAXIMUM

11 DCMR 2405.2
ALLOWED FAR (PUD):
TOTAL: 4.5 MAXIMUM
RESI W/ IZ: 4.5 MAXIMUM
NON-RESIDENTIAL: 3.0 MAXIMUM

PROPOSED FAR (PUD):
TOTAL: 4.44
RESI W/ IZ: N/A
NON-RESIDENTIAL: 4.44

RELIEF GRANTED IN CASE NO. 08-07 TO EXCEED NON-RESIDENTIAL FAR.

BUILDING HEIGHT

11 DCMR 2409.1
ALLOWED HEIGHT (PUD): 90 FEET
PROPOSED HEIGHT: 90 FEET

LOT OCCUPANCY

11 DCMR 772.1
TOTAL LOT AREA: 64,788 SF
GFA AT GROUND FLOOR LEVEL : 44,200 SF
ALLOWED: 100%
PROPOSED: 68%

REAR YARD

11 DCMR 774.1 & 774.11
REQUIRED: 19'-9 1/2" MIN
PROVIDED: 24'-0"

A rear yard shall be provided for each structure located in a Commercial District, the minimum depth of which shall be as prescribed in the following: 2-1/2 inches per foot of vertical distance from the mean finished grade at the middle of the rear of the structure to the highest point of the main roof or parapet wall, but not less than 12 feet

In the case of a through lot or a corner lot abutting three (3) or more streets, the depth of rear yard may be measured from the center line of the street abutting the lot at the rear of the building or other structure

SIDE YARD

11 DCMR 775.5
REQUIRED: 15'-0" MIN
PROVIDED: 27'-7" & 24'-0"

No side yard shall be required for any other building or structure; but if a side yard is provided, it shall be at least two inches (2 in.) wide for each foot of height of building, but not less than six feet (6 ft.).

COURTS

11 DCMR 776.1 & 776.2
REQUIRED: 22'-11 1/4"; 21'-8 1/2"
PROVIDED: 83'-0" & 36'-0"

Where a court is provided for a building or portion of a building devoted to nonresidential uses, at any elevation in the court, the width of court shall be a minimum of three inches per foot (3 in./ft.) of height, measured from the lowest level of the court to that elevation; provided, that in no case shall the width of court be less than twelve feet (12 ft.).

In the case of a closed court for a building or portion of a building devoted to nonresidential uses, the minimum area shall be at least twice the square of the width of court based upon the height of court, but not less than two hundred fifty square feet (250 ft.²).

PENTHOUSE HEIGHT

11 DCMR 2405.1
ALLOWED: 20'-0" MAXIMUM
PROVIDED: 15'-0" & 20'-0"

PENTHOUSE SETBACK

11 DCMR 2405.1
REQUIRED: 20'-0" (1:1 MAXIMUM)
PROVIDED: 20'-0"

VEHICLE PARKING

11 DCMR 2101.1
REQUIRED: 488 TOTAL
OFFICE : 465 SPACES MINIMUM
RETAIL : 23 SPACES MINIMUM
PROVIDED: 324 TOTAL
OFFICE: 301 SPACES
RETAIL: 23 SPACES

NOTE: UP TO ADDITIONAL 136 TANDEM SPACES ARE PROVIDE TO REACH THE TOTAL OF UP TO 460 SPACES

BICYCLE PARKING

11 DCMR 2119.1 & 2119.2
REQUIRED: 26 TOTAL
OFFICE: 24 SPACES
(1 PER 20 PARKING SPACES)
RETAIL: 2 SPACES
(1 PER 20 PARKING SPACES)

PROVIDED: 26 TOTAL
OFFICE: 24 SPACES
RETAIL: 2 SPACES

LOADING

11 DCMR 2201.1
REQUIRED:
OFFICE: 4 - 30' BERTHS
4 - 100 SF PLATFORMS
1 - 20' SERVICE/ DELIVERY
RETAIL: 1 - 30' BERTH
1 - 100 SF PLATFORM
PROVIDED:
OFFICE + RETAIL: 3 - 30'-0" BERTHS
400 SF PLATFORM

NOTE: LOADING PROVIDED ACCORDING TO APPROVED STAGE 1 PUD (Z. C. ORDER NO. 08-07)

GREEN AREA RATIO (GAR)

11 DCMR 3401.2
REQUIRED: 0.25 MINIMUM
PROVIDED: 0.25

DATE: MARCH 8, 2018

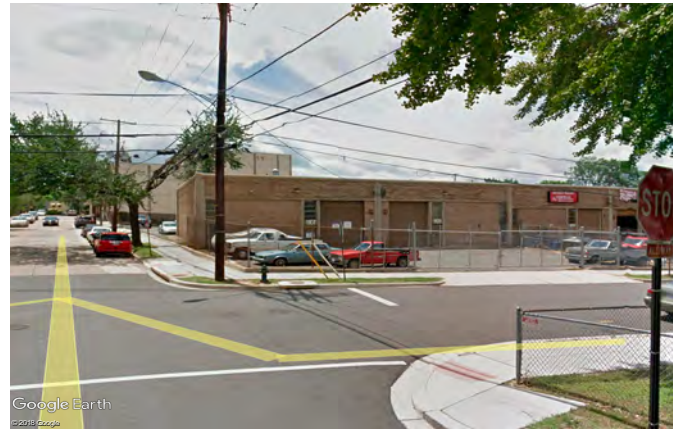
PUD APPLICATION STAGE II - BLDG #4

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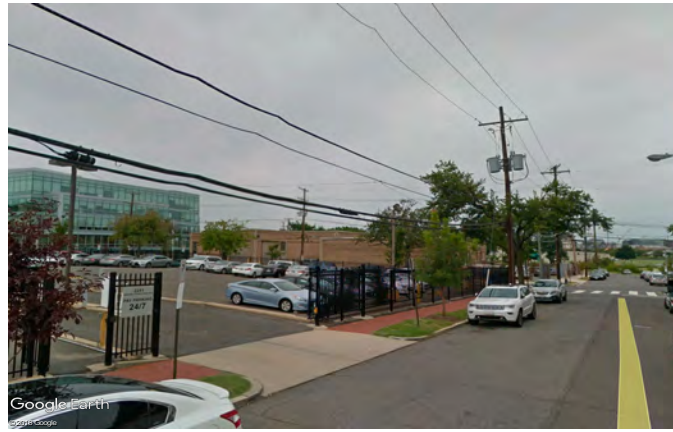
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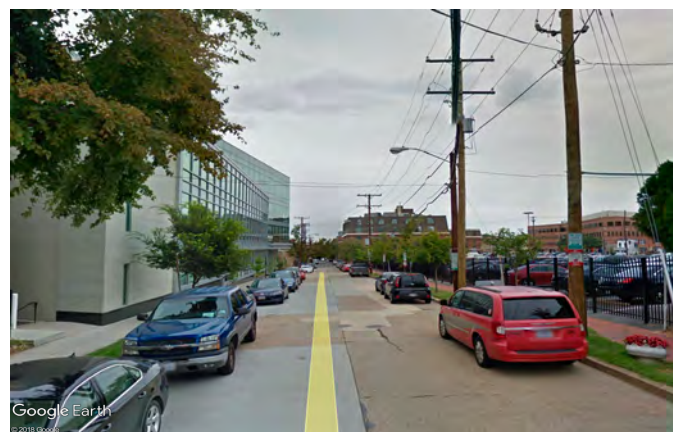
① LOOKING SOUTH FROM RAILROAD AVE AND W ST.



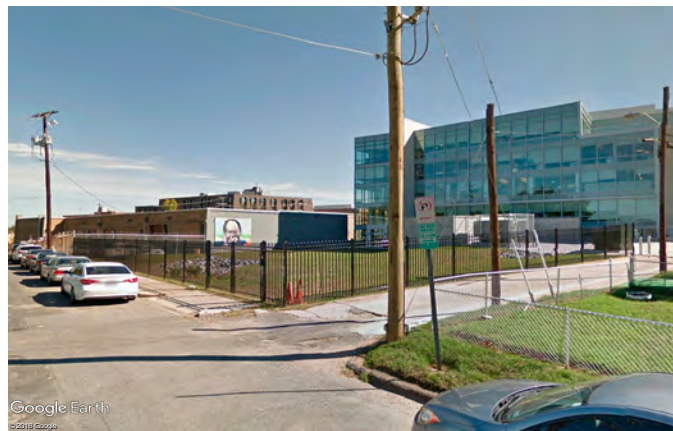
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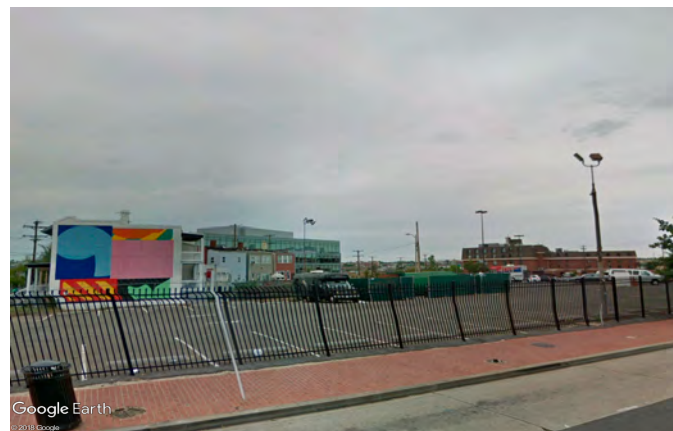
③ LOOKING WEST FROM W ST.



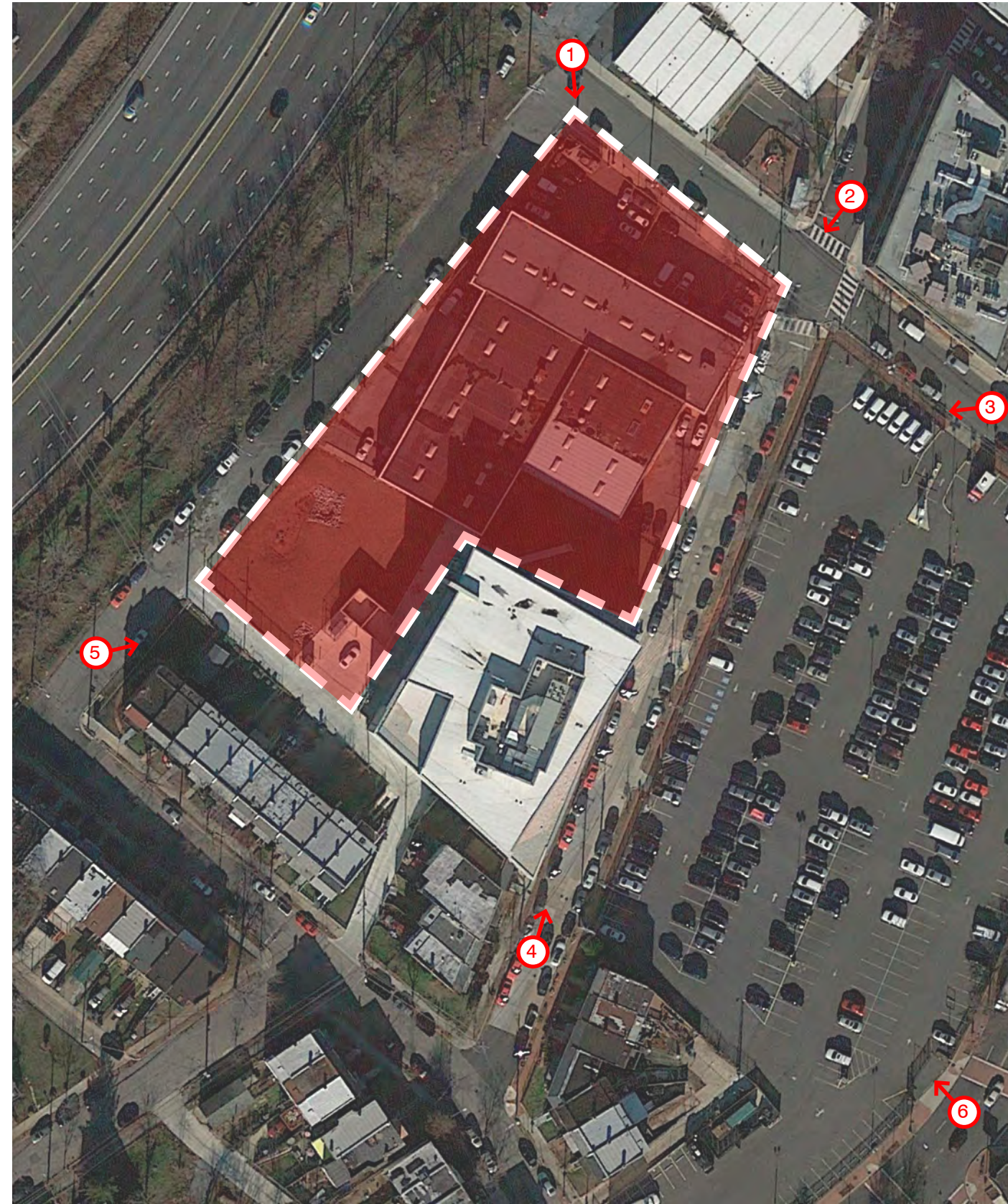
④ LOOKING NORTH FROM SHANNON PL SE



⑤ LOOKING EAST FROM RAILROAD AVE SE



⑥ LOOKING WEST FROM MARTIN LUTER KING JR AVE SE



KEY PLAN



FOUR POINTS

SHANNON PLACE
& W STREET SE

Square 5784
Washington DC 20020

Hickok Cole



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
SITE & CONTEXT
PHOTOS

NUMBER:

A-09

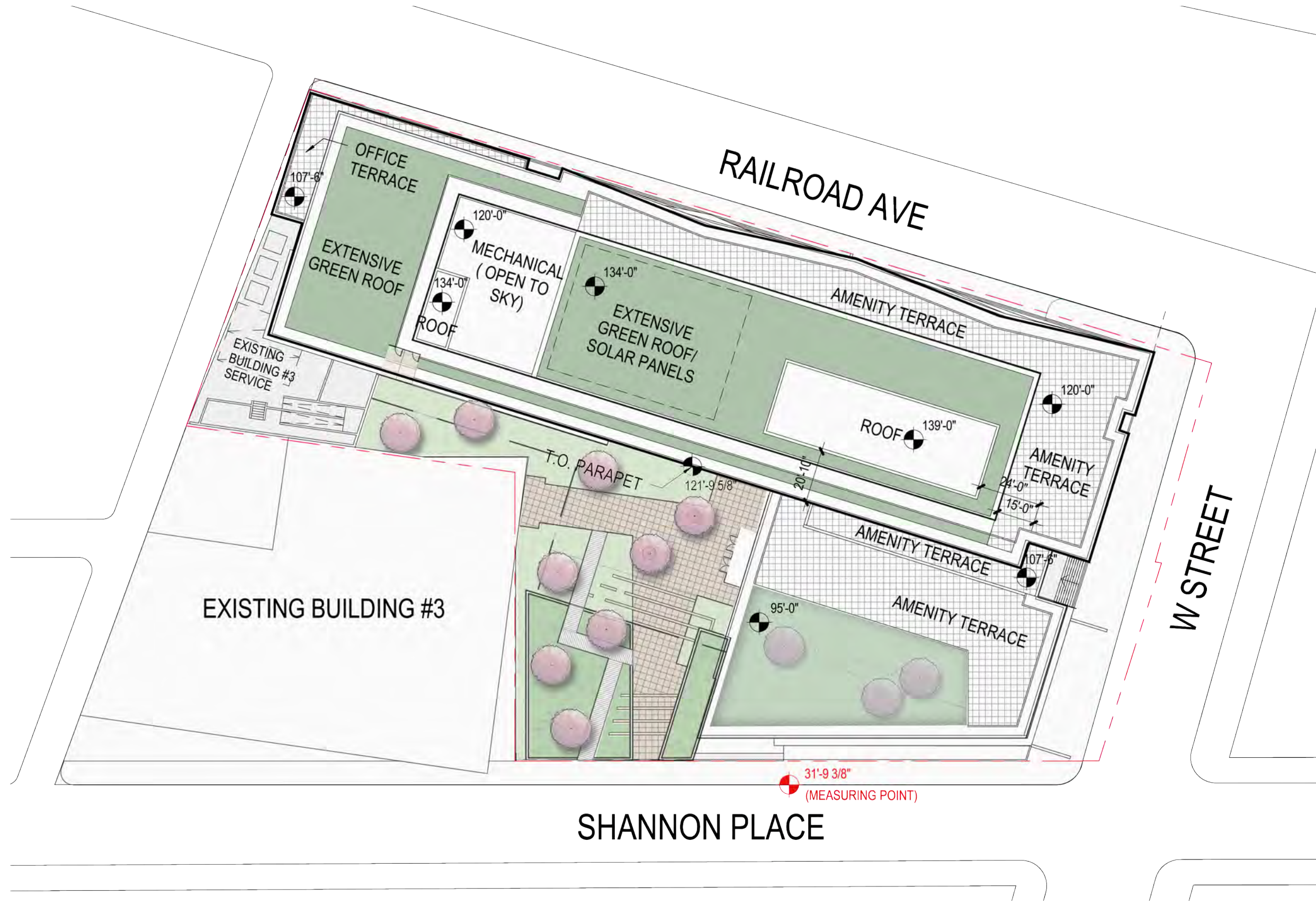


FOUR POINTS

SHANNON PLACE
& W ST SE

Square 5724
Washington DC 20020

Hickok Cole



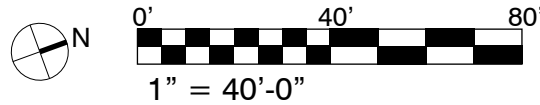
EXISTING BUILDING #3

SHANNON PLACE

RAILROAD AVE

W STREET

31'-9 3/8"
(MEASURING POINT)



DATE:
MARCH 8, 2016

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
PROPOSED
DEVELOPMENT
PLAN

NUMBER:
A-10



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020

Hickok Cole



DATE:
MARCH 8, 2018






PUD APPLICATION
STAGE II - BLDG #4

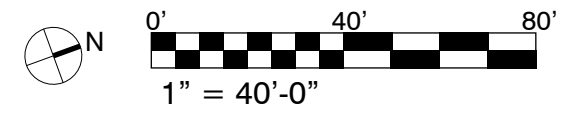
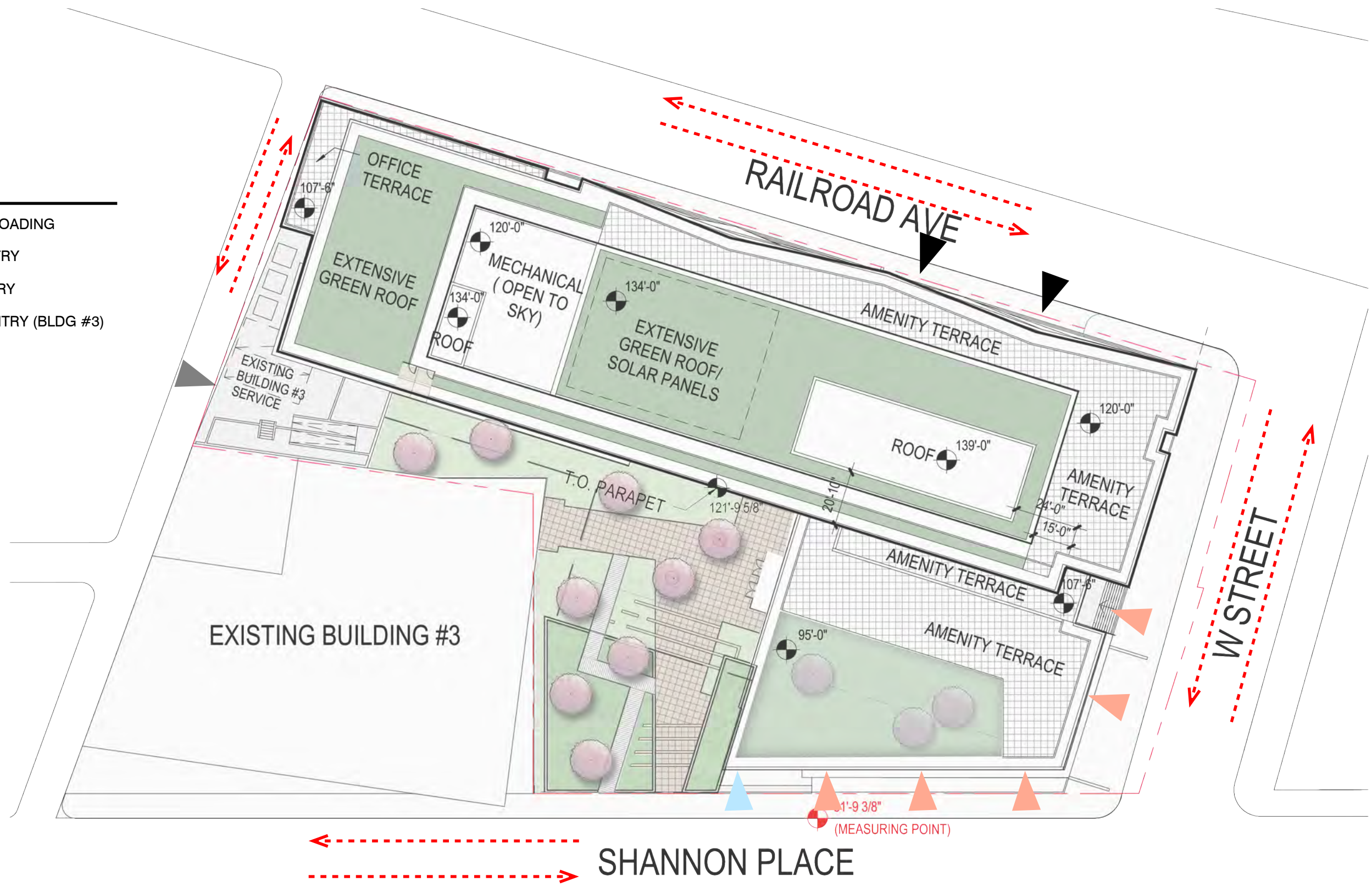
TITLE:
ARCHITECTURAL
BLOCK &
CIRCULATION PLAN:

NUMBER:

A-11

KEY

-  PARKING / LOADING
-  OFFICE ENTRY
-  RETAIL ENTRY
-  SERVICE ENTRY (BLDG #3)
-  WAY



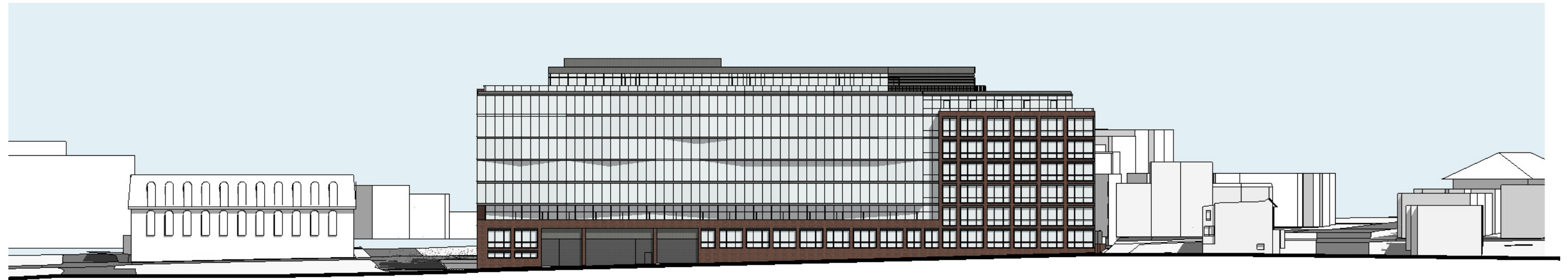


FOUR POINTS

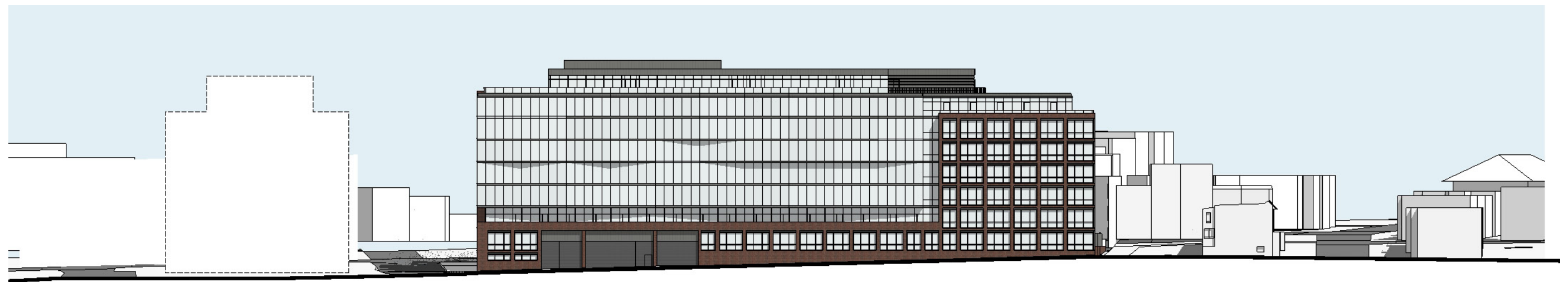
SHANNON PLACE
& W ST SE

Square 5784
Washington DC 20020

Hickok Cole



WEST SITE ELEVATION



WEST SITE ELEVATION
(WITH FUTURE BUILDINGS)

DATE:

MARCH 8, 2018

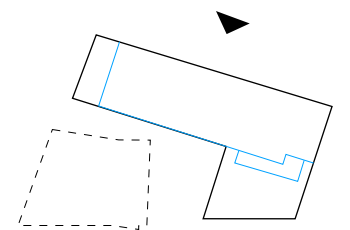
PUD APPLICATION
STAGE II - BLDG #4

TITLE:

SITE ELEVATION

NUMBER:

A-12



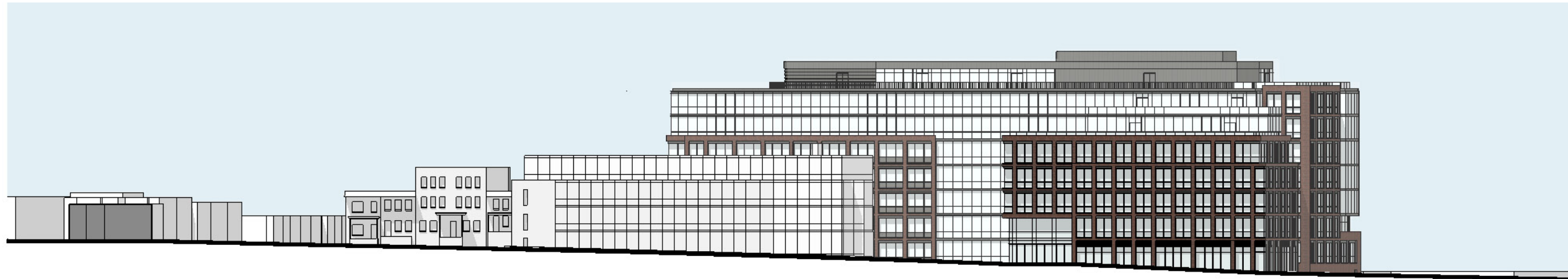


FOUR POINTS

SHANNON PLACE
& W STREET SE

Square 5784
Washington DC 20020

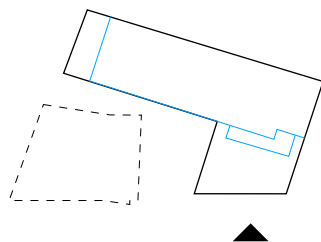
Hickok Cole



EAST SITE ELEVATION



**EAST SITE ELEVATION
(WITH FUTURE BUILDINGS)**



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
SITE SECTIONS

NUMBER:

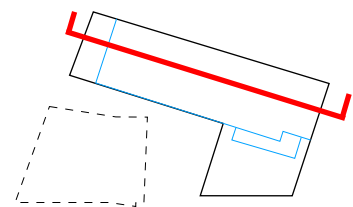
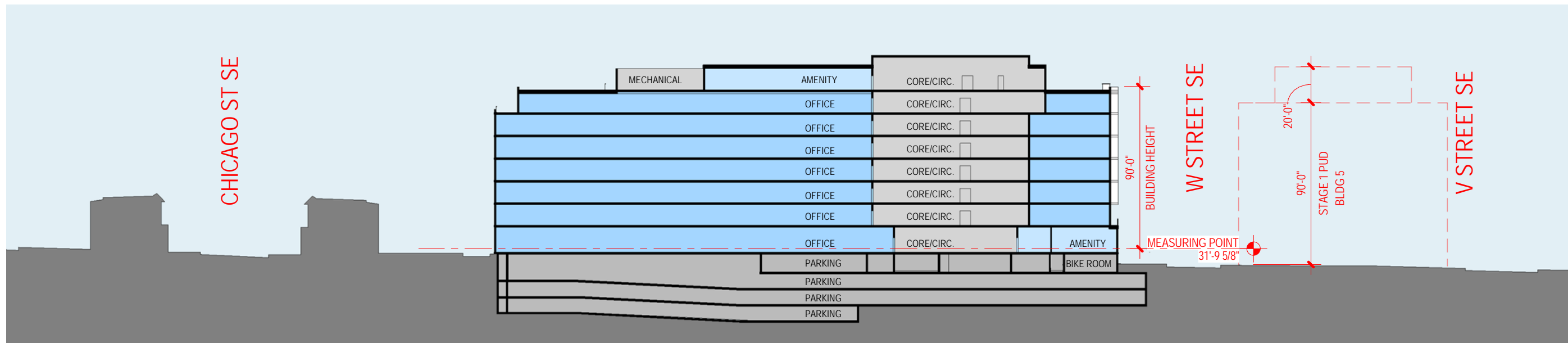
A-13



FOUR POINTS

SHANNON PLACE & W STREET SE

Square 5784
Washington DC 20020



NORTH-SOUTH
SITE SECTION



DATE:
MARCH 8, 2018

PUD APPLICATION
STAGE II - BLDG #4

TITLE:
SITE SECTION:
NORTH-SOUTH

NUMBER:

A-15