

1. All Work shall be performed in accordance with the IRC 2015, and all other applicable codes, regulations and ordinances as adopted and / or modified by the District of Columbia DCMR 2017.
2. All Electrical Work shall be performed in accordance with the National Electrical Code and the District of Columbia 2017.
3. Dimensions and Notes for a given condition are typical for all similar conditions.
4. Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
5. The Contractor shall be responsible for the removal of any debris encountered on the plans and sections. Elevations show existing elements - windows, doors, etc.
6. General Contractor to keep distances in existing house to a minimum.
7. Protect existing planting during construction with erosion control type fence.
8. The Contractor shall be responsible for the removal of any debris encountered existing driveway from above, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for duration of project.
9. General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition.
10. General Contractor to ensure flush transition from existing work to new installation.
11. All wall surfaces are to be made flush and smooth prior to painting or wallpapering.
12. Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements.
13. Prior to cutting or drilling, specifying structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed.
14. The Contractor shall be responsible for the removal of any debris encountered construction required for installation of new work, including cutting of holes for new work.
15. The Contractor shall be responsible for the removal of any debris encountered as soon as work is installed. Refrain all affected areas to their original condition.
16. Coordinate the unloading and safe storage of Owner delivered material on construction site. The Contractor shall be responsible for the removal of any debris encountered in the base bid (unless noted otherwise).

The applicable building code for this project is the 2017 District of Columbia Residential Code, which includes:

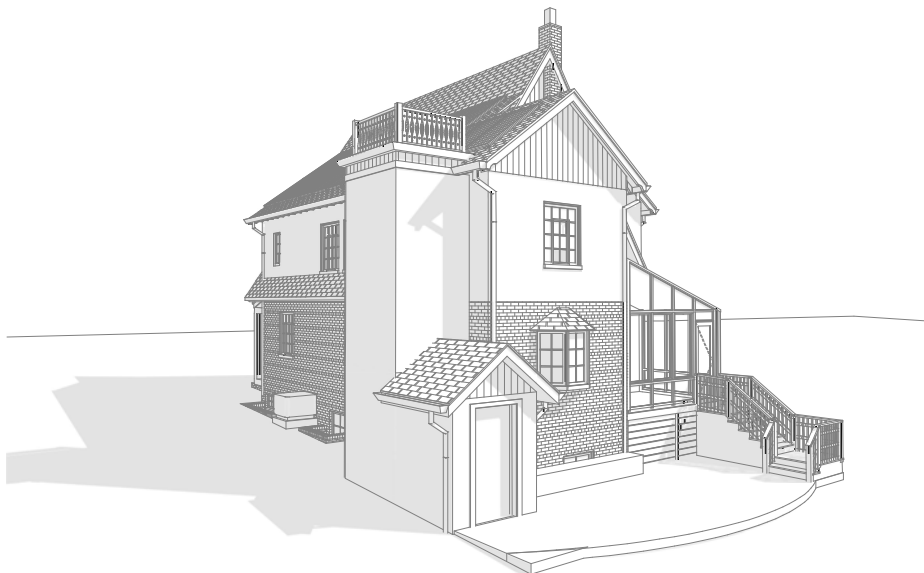
- DEMOLITION NOTES

1. Coordinate removal of personal belongings or furnishings from affected areas with owner.
2. Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage.
3. Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
4. Remove doors, windows, and interior doors and doors as required by the contract drawings. Reuse as directed on drawings.
5. All doors and windows to be salvaged for course of use. Those not reused should be removed by C.O. Architect or Owner. See section on doors and window schedules for those salvaged and relocated.
6. Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including but not limited to nails, boards, wires, door pulls, etc. on first floor.
7. The Contractor shall arrange for the proper disconnection and for relocation of all utilities as required, including sewers, water, gas, electric, television and telephone lines.
8. Existing plumbing hook-ups to be shut off immediately prior to demolition work.
9. Cap off all abandoned waste and supply lines below floor level, patch where necessary.
10. Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, (roofs), and trim from damage.
11. Prior to cutting or drilling affecting structural members not indicated, submit written notes to Architect specifying location and requesting consent to proceed with work. Obtain written approval from Architect or C.O. Architect before construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as work progresses is installed. Retain all affected areas to their original condition.
12. Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the contents of or damage to materials to be demolished.
13. Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris.
14. Verify all measurements and dimensions prior to beginning and throughout progress of work. Contract Architect for resolution of any discrepancy in measurements or dimensions.

OWNER	Sarah Horsey and Alfred Barr 4510 Davenport Street NW Washington, DC 20016	ARCHITECT	Outerbridge Horsey Associates, PLLC 1228 1/2 31st Street, NW Washington, DC 20007	Tel 202.337.7334
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WASHINGTON, DC 20016

LOT DESCRIPTION:	Square 1517 , Lot 0018	ZONING CRITERIA	REQUIRED	PROVIDED
ADDRESS:	4510 DAVENPORT STREET NW WASHINGTON, DC 20016	MIN. LOT WIDTH:	50 ft	44 ft @ FRONT, 39 ft @ REAR NO CHANGE
LOT AREA:	6,236 sqft	MIN. LOT AREA:	5000 sqft	6236 sqft NO CHANGE
ZONING DISTRICT:	R-1B	MAX. OCCUPANCY:	40%	22.2% (EXISTING) 23.4% (PROPOSED)
BUILDING TYPE:	SINGLE FAMILY	MAX. STORES:	3	NO CHANGE
		MAX. HEIGHT:	40 ft	NO CHANGE
		FRONT YARD SETBACK:	No lesser or greater than existing setbacks on same block	NO CHANGE
		SIDE YARD SETBACK (EAST):	8 ft	10 ft (EXISTING)
		SIDE YARD SETBACK (WEST):	8 ft	9 ft (EXISTING)
		REAR YARD SETBACK:	25 ft	79 ft (EXISTING) 79' (PROPOSED)
		PERVIOUS SURFACES:	50%	66.6% (EXISTING) 66.5% (PROPOSED)
		MIN. % PERVIOUS (R-1-A)		
		MIN. % IMPERVIOUS	50%	33.4% (EXISTING) 33.5% (PROPOSED)



VIEW FROM SW

Construct new elevator and vestibule addition on the south west corner of the existing house.
Demolish the existing wood stoop at new elevator location.

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

SHEET	TITLE
0001	COVER
0002	EXISTING AND PROPOSED SITE PLANS
C100	SOIL AND EROSION PLAN
C101	SOIL AND EROSION NOTES
D100	DEMO PLANS
D101	DEMO ELEVATIONS
A100	PROPOSED PLANS
A200	PROPOSED ELEVATIONS
A800	ELEVATOR PLANS
A801	ELEVATOR SECTIONS
E100	ELECTRICAL PLANS
E101	ELECTRICAL NOTES
ELV1	ELEVATOR DETAILS

Board of Zoning Adjustment
District of Columbia
CASE NO. 21516
EXHIBIT NO. 7

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CONSULTANTS:

4510 DAVENPORT ST
WASHINGTON, DC 20016

DRAWING TITLE:

COVER

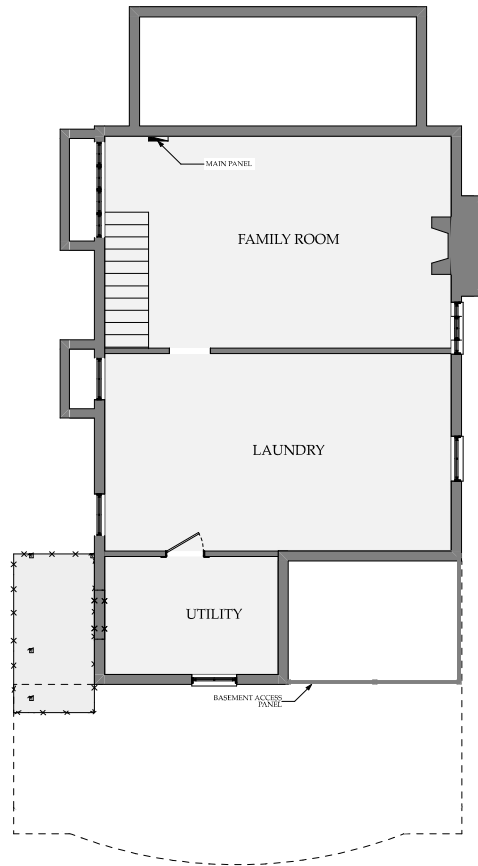
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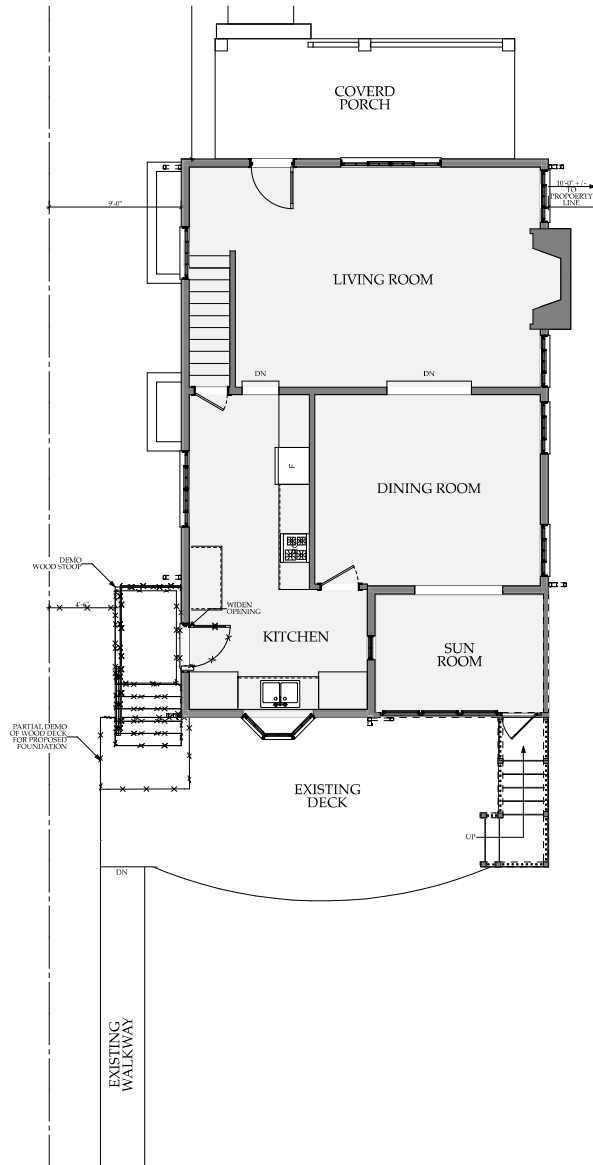
PRINT DATE	6/8/26
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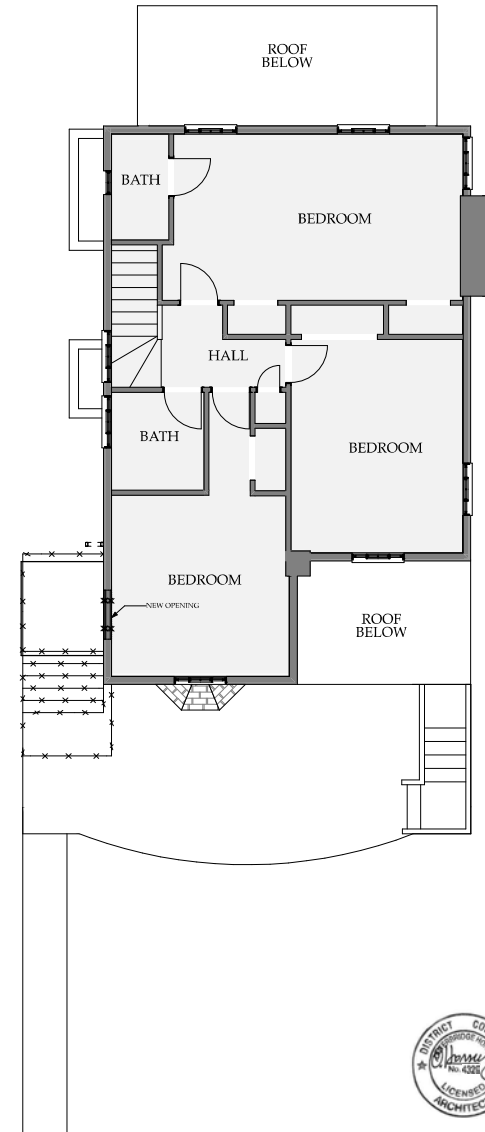
0001



1 EXISTING BASEMENT FLOOR
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR
SCALE: 1/4" = 1'-0"



3 EXISTING SECOND FLOOR
SCALE: 1/4" = 1'-0"



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DRAWING TITLE

DEMO PLANS

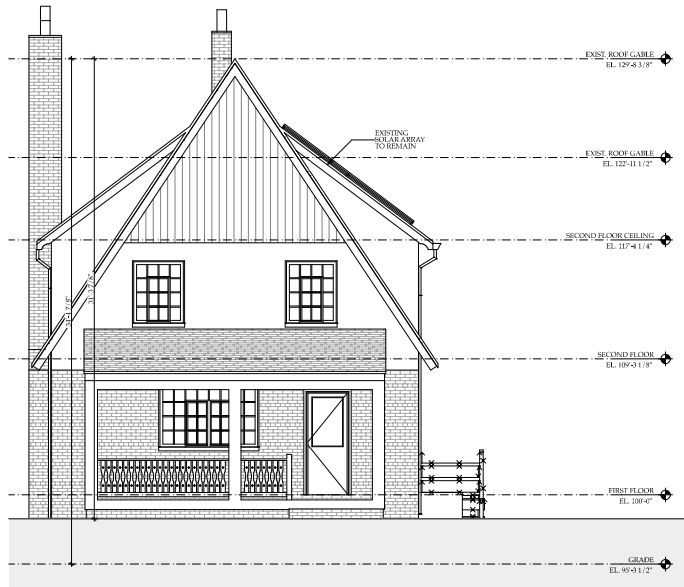
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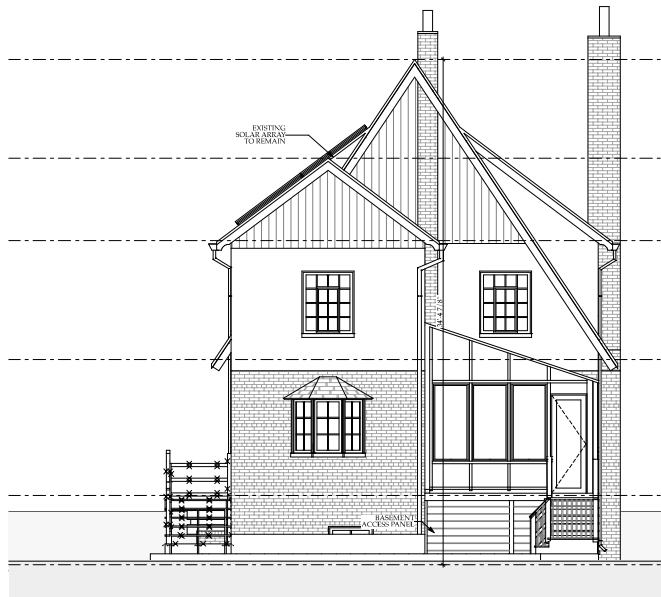
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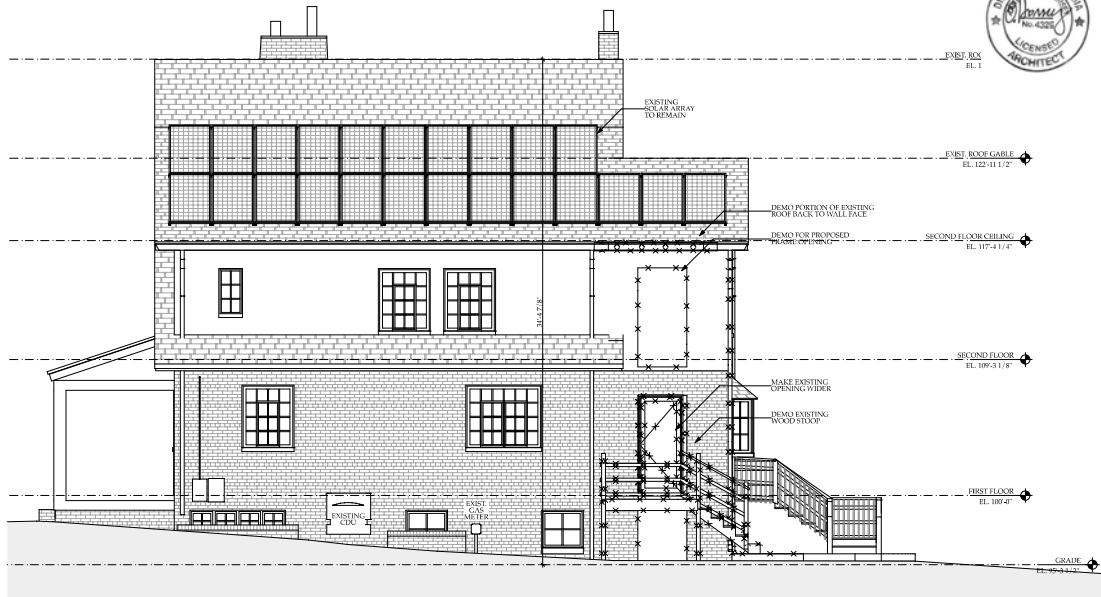
1 EXISTING NORTH ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION - DEMO
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:

DEMO
ELEVATIONS

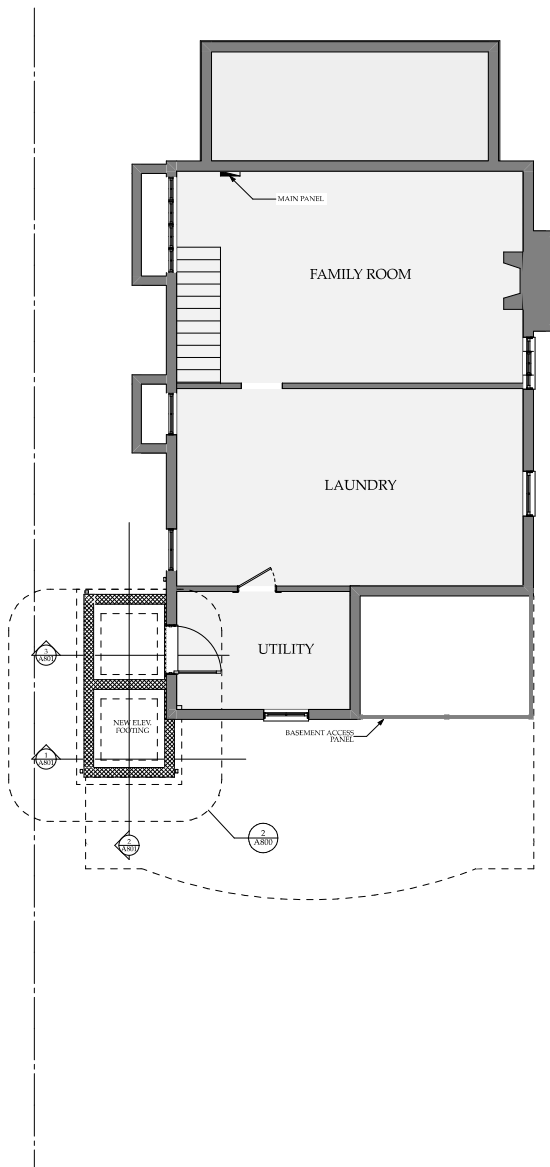
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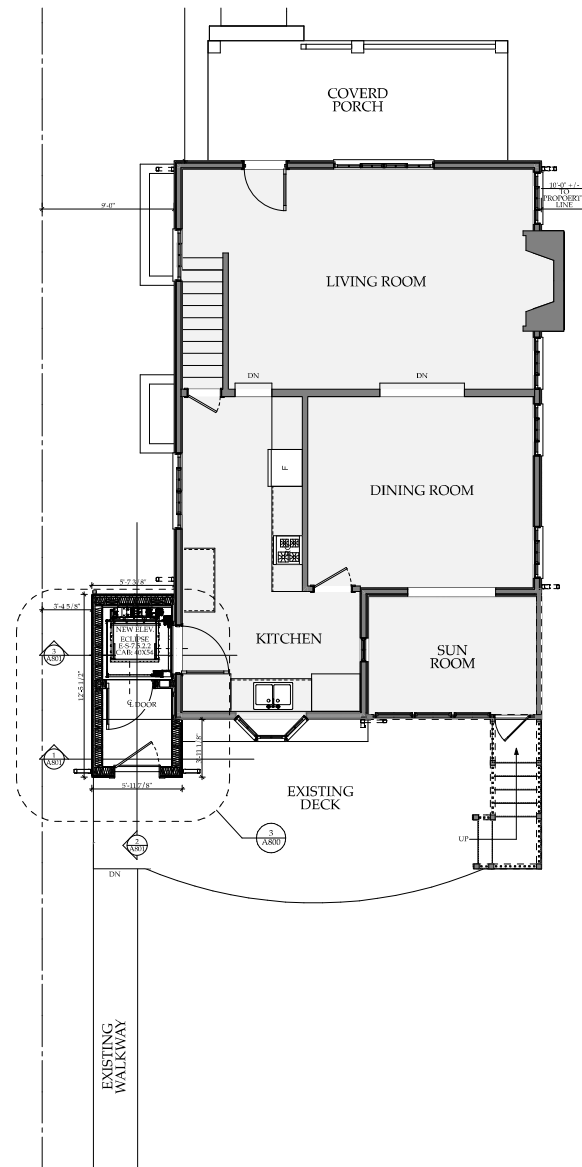
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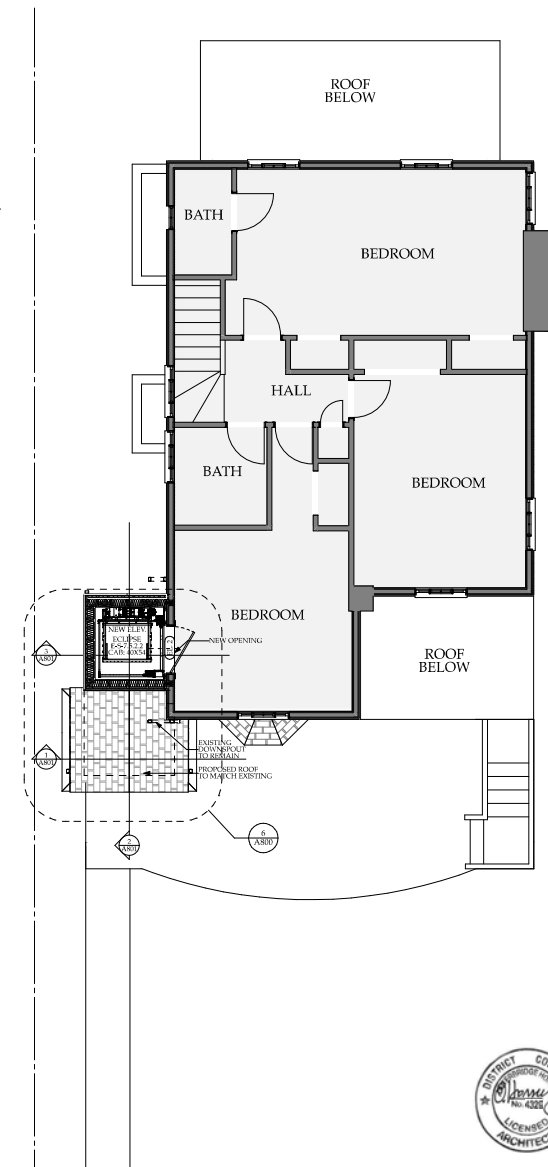
D101



1 PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"



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DRAWING TITLE:

FLOOR PLANS

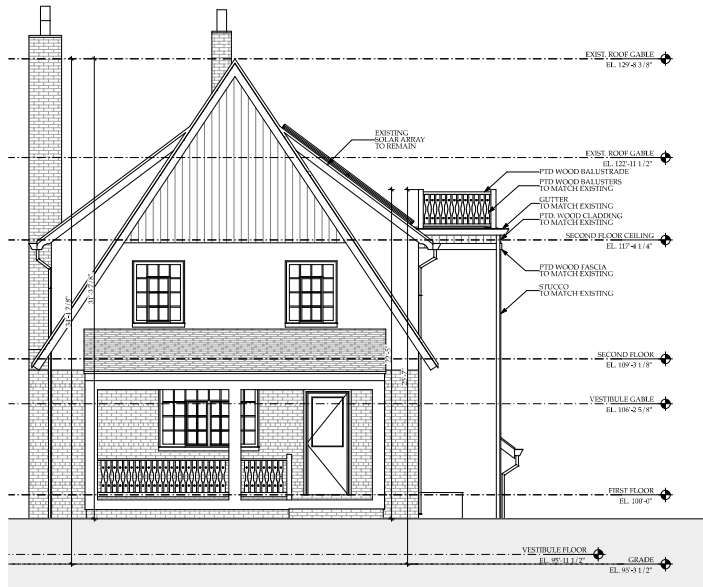
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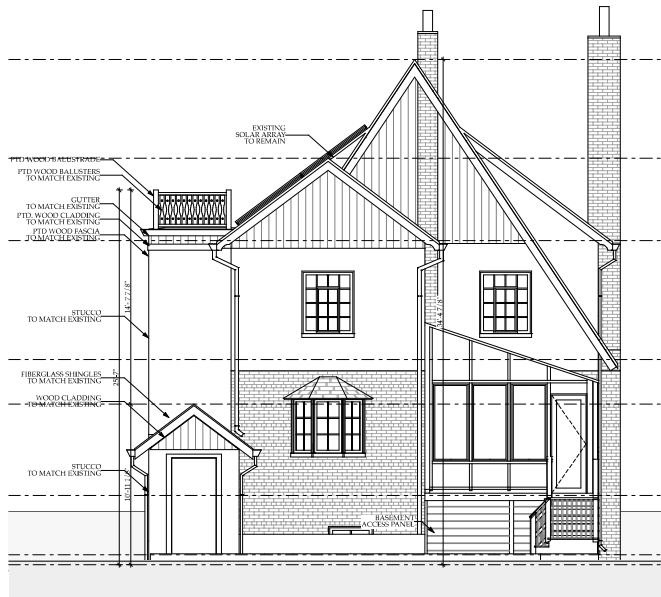
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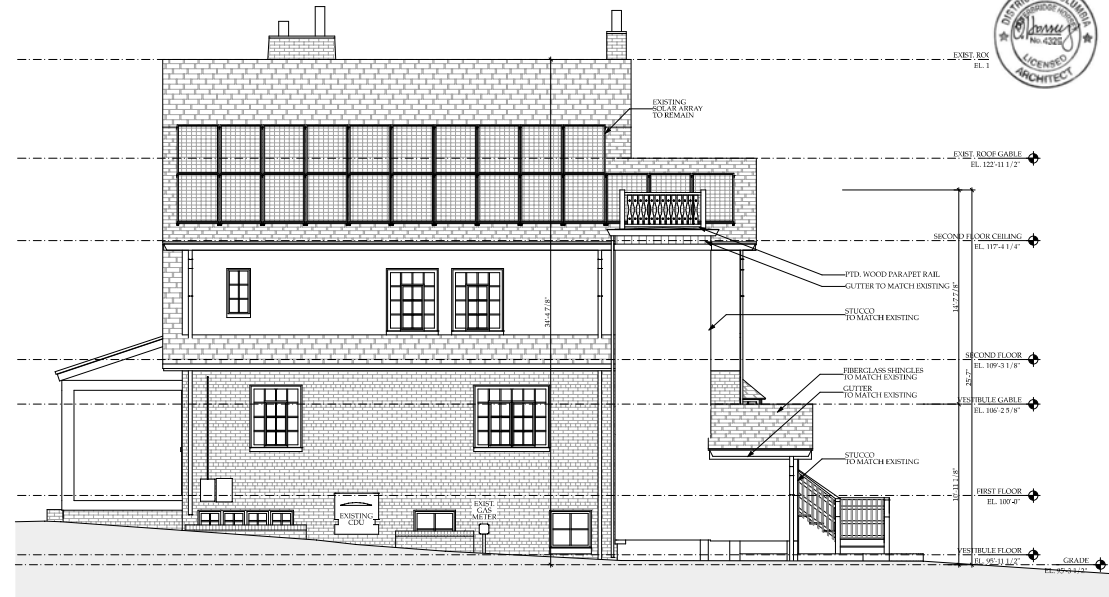
1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS

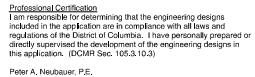
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PRINT DATE 6/11/26

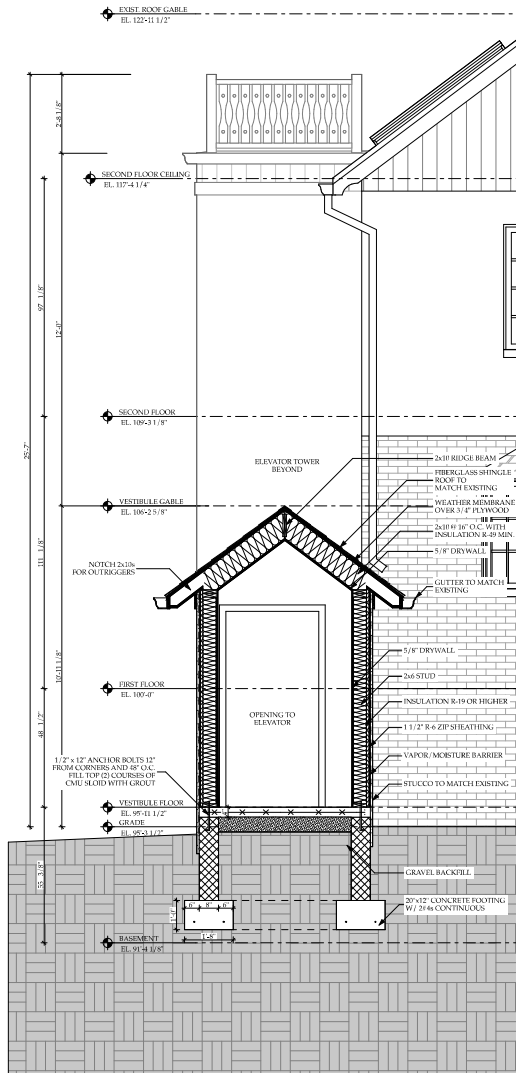
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A200

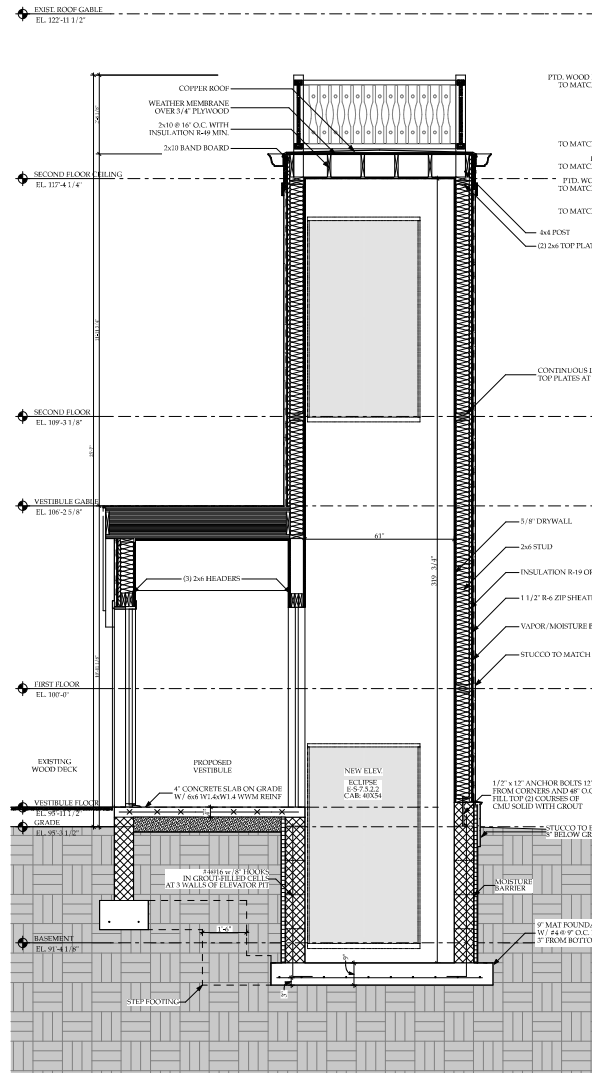


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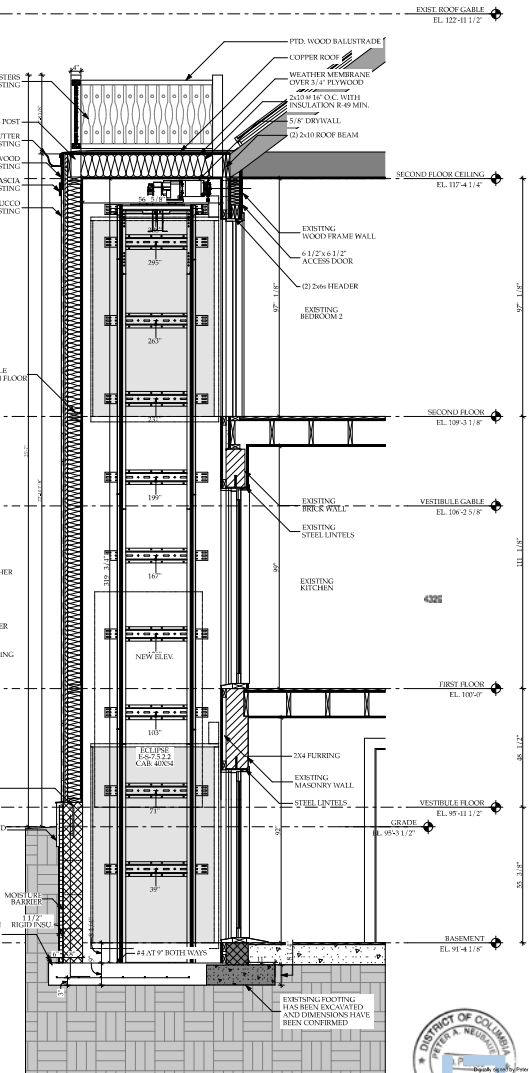
A800



① VEST. SECTION LOOKING NORTH
SCALE: 1/2" = 1'-0"



② ELEVATOR SECTION LOOKING WEST
SCALE: 1/2" = 1'-0"



③ ELEV. SECTION LOOKING NORTH
SCALE: 1/2" = 1'-0"

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DRAWING TITLE

ELEVATOR
SECTIONS

SCALE: AS NOTED

ISSUE DATE

PRINT DATE 6/8/26

SHEET NO.

A801

Professional Certification
I am responsible for determining that the engineering designs
included in the application are in compliance with all laws and
regulations of the District of Columbia. I have personally prepared or
directly supervised the development of the engineering designs in
this application. (OCMH Sec. 105.3.10.3)

Peter A. Neubaum, P.E.

