

PROJECT GENERAL NOTES	
A.	ARCHITECTURAL CONTENTS ARE BASED UPON DOCUMENTS FROM: ARCHITECT'S FIELD MEASURE - 2025-12-17 - NO DEMOLITION WAS PERFORMED TO GATHER INFORMATION, WHOSE TASKS AND NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.
B.	GENERAL CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMISSION OF BID AND/OR BEGINNING OF ANY WORK TO EXAMINE AND COMPARE THE DRAWINGS TO THE VISIBLE EXISTING CONDITIONS AND BE KNOWLEDGEABLE OF WORK TO BE PERFORMED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND RELATING TO DIMENSIONS AND/OR EXISTING CONDITIONS. NO WORK OR ORDERING OF MATERIALS SHALL BEGIN UNTIL ANY ISSUES HAVE BEEN RESOLVED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR ANY DIFFERENCES BETWEEN VISIBLE EXISTING CONDITIONS AND WHAT MAY BE FOUND ON THE DRAWINGS. THE CONTRACTOR SHALL ASSUME FULL, AND UNDIVIDED RESPONSIBILITY FOR THE ACCURACY, FIT, AND STABILITY OF ALL PARTS OF THE WORK.
C.	IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, THE LATEST EDITION OF AIA DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY.
D.	WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES, LAWS, AND REQUIREMENTS.
E.	WORK, WHEN COMPLETED, SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND LOCAL ACCESSIBILITY REQUIREMENTS.
F.	THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. COORDINATE PORTIONS OF WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
G.	THE CONSTRUCTION DOCUMENTS, AS LISTED IN THE SHEET INDEX, ARE NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY ANY PARTY. IF THE CONTRACTOR SHOWS DISCREPANCIES, IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO DESCRIBE A COMPLETE AND FINISHED PROJECT, OTHER THAN ITEMS NOTED "NIC" (NOT IN CONTRACT), ERRORS, OMISSIONS, AND INCONSISTENCIES THAT MAY OCCUR BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR EXISTING CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITING INSTRUCTIONS SHALL BE OBTAINED PRIOR TO PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES AND/OR OMISSIONS WHICH THE GENERAL CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.
I.	GENERAL CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. GENERAL CONTRACTOR SHALL PERFORM WORK NECESSARY FOR PRODUCTION OF A COMPLETE, HABITABLE PROJECT AS DEFINED BY THE SCOPE OF WORK.
J.	DO NOT SCALE DRAWINGS. BIDDER (CONTRACTOR) SHALL VERIFY CONDITIONS AND DIMENSIONS ON JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, WHETHER BUILT OR NOT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE COMMENCING WORK.
K.	THE STATED DIMENSIONS SHOWN ON THE CONSTRUCTION DOCUMENTS, IF THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES, DO NOT SCALE DRAWINGS.
L.	NOTE THAT ERRORS IN THE TRANSMISSION OR REPRODUCTION OF THESE CONSTRUCTION DOCUMENTS COULD RESULT IN ALTERATIONS TO LINE TYPES, THICKNESSES, TONAL COLORS, HATCH PATTERNS, AND SCALE. ARCHITECT IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING FROM THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED WITHIN.
M.	IF THE CONSTRUCTION DOCUMENTS APPEAR TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, AND IN THE EVENT THAT THE CONTRACTOR, OR SUBCONTRACTOR DETERMINES CLARIFICATION OR INTERPRETATION BY THE ARCHITECT IS REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION IN WRITING TO THE ARCHITECT PRIOR TO START OF THE WORK.
	a. REQUESTS FOR INFORMATION MAY ONLY BE MADE BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT CLEARLY AND CONCISELY SET FORTH THE ISSUE FOR WHICH CLARIFICATION IS SOUGHT AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT AND/OR CONSULTANTS. IN THE REQUEST FOR INFORMATION, THE CONTRACTOR SHALL SET FORTH AN UNDERSTANDING OF THE REQUIREMENT, ALONG WITH A REASON WHY SUCH AN UNDERSTANDING WAS CHALLENGED.
	b. THE ARCHITECT WILL REVIEW THE REQUEST FOR INFORMATION TO DETERMINE IF IT IS WITHIN THE MEANING OF THIS TERM. IF THE ARCHITECT DETERMINES THAT IT IS NOT A REQUEST FOR INFORMATION, IT WILL BE RETURNED TO THE CONTRACTOR UNREVIEWED AS TO CONTENT OR FOR RE-SUBMITTAL IN THE PROPER FORM AND MANNER.
	c. RESPONSES TO REQUESTS FOR INFORMATION SHALL BE ISSUED UPON RECEIPT, BUT NO LATER THAN FIVE WORKING DAYS OF RECEIPT. UNLESS IT IS DETERMINED THAT A LONGER PERIOD OF TIME IS NEEDED IN ORDER TO PROVIDE AN ADEQUATE RESPONSE, IF A LONGER PERIOD OF TIME IS NECESSARY, THE ARCHITECT WILL, WITHIN FIVE WORKING DAYS OF THE RECEIPT OF THE REQUEST FOR INFORMATION, NOTIFY THE GENERAL CONTRACTOR OF THE ANTICIPATED RESPONSE TIME.
	d. IF THE REQUEST FOR INFORMATION IS SUBMITTED WITH FIVE WORKING DAYS OR LESS OF THE PROJECT COMMENCEMENT DATE, THE ARCHITECT WILL NOT BE ENTITLED TO ANY TIME EXTENSION DUE TO THE TIME REQUIRED TO REVIEW AND RESPOND, PROVIDED A RESPONSE IS GIVEN WITHIN THE FIVE WORKING DAYS AS SET FORTH ABOVE.
	e. RESPONSES FROM THE ARCHITECT ARE NOT INTENDED TO CHANGE ANY OF THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS. IN THE EVENT THAT THE CONTRACTOR BELIEVES A RESPONSE WILL CAUSE A CHANGE TO THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY GIVE WRITTEN NOTICE TO THE ARCHITECT AND CLIENT STATING THAT THEY CONSIDER THE RESPONSE TO BE A REQUEST FOR INFORMATION. IF SUCH WRITTEN NOTICE IMMEDIATELY SHALL WAIVE THE CONTRACTORS' RIGHT TO SEEK ADDITIONAL TIME AND/OR COST.
N.	ANY DIMENSIONS, DETAILS, NOTES AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, UNLESS NOTED OTHERWISE.
O.	FOR THE PURPOSE OF THESE DOCUMENTS, THE TERM "SHALL MEAN TO PROVIDE FASTENERS, MISCELLANEOUS HARDWARE, BOLT, NUTS, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND ANY OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS NOTED OTHERWISE.
P.	FOR THE PURPOSE OF THESE DOCUMENTS, "BY GC" WILL REFER TO ITEMS PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR, THEIR SUBCONTRACTORS AND/OR AGENTS. THE TERM "BY CLIENT" WILL REFER TO ITEMS PROVIDED BY THE CLIENT AND INSTALLED BY THE GENERAL CONTRACTOR.
Q.	PRODUCTS THAT HAVE BEEN USED IN PREPARING THESE DOCUMENTS, ARE TO ESTABLISH MINIMUM QUALITIES. PROPOSED SUBSTITUTIONS MUST MEET THESE QUALITIES, OR BETTER, TO BE CONSIDERED ACCEPTABLE. THE BURDEN OF PROOF OF EQUALITY RESTS WITH THE GENERAL CONTRACTOR. ADEQUATE SUPPORTING DOCUMENTATION MUST ACCOMPANY SUBSTITUTION REQUEST SUBMITTALS, WHICH MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO BIDDING.
R.	NOTIFY ALL PARTIES IF HAZARDOUS MATERIALS ARE SUSPECTED OR FOUND TO BE PRESENT.
S.	NOTIFY THE ARCHITECT IMMEDIATELY OF EXISTING CONDITIONS THAT ARE EXPOSED DURING CONSTRUCTION THAT MAY IMPACT ANY PROPOSED NEW WORK.
T.	DO NOT ATTEMPT REMOVAL OF ANY STRUCTURE OR ELEMENT SUSPECTED OF BEING STRUCTURAL IN NATURE. STRUCTURAL MODIFICATIONS TO THE BUILDING OR STRUCTURAL SYSTEMS (OF ANY TYPE) REQUIRE APPROVAL FROM THE BUILDING OWNER AND AN APPROVED STRUCTURAL ENGINEER.
U.	GENERAL CONTRACTOR TO PROVIDE TEMPORARY BARRIERS, WINDOW BLACKOUTS, AND DUST CONTROL AS REQUIRED BY CLIENT, LANDLORD OR AUTHORITY HAVING JURISDICTION FOR THE DURATION OF CONSTRUCTION.
V.	VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
W.	THROUGHOUT THE PROJECT, THE GENERAL CONTRACTOR SHALL CLOSELY SUPERVISE THE WORK OF SUBCONTRACTORS AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS AND TECHNIQUES, INCLUDING SAFETY PROCEDURES AND FOR COORDINATING/SEQUENCING TRADES.
X.	GENERAL CONTRACTOR SHALL TAKE OUT ANY NECESSARY TRADE-LEVEL PERMITS, INSURANCE, LICENSES, BONDS AND CERTIFICATES AND PAY ALL FEES CONNECTED TO THE WORK DESCRIBED HEREIN.
Y.	ALL CONTRACTORS FOR THE WORK ARE REQUIRED TO HAVE INSURANCE OF ALL TYPES AND LIMITS, AS REQUIRED FOR THIS PROJECT.
Z.	REFER TO ENGINEERED CONSTRUCTION DOCUMENTS BY OTHERS FOR ADDITIONAL PERTINENT INFORMATION.
AA.	ABBREVIATIONS ARE PER THE UNITED STATES NATIONAL CAD STANDARD - FOUND IN MODULE 5 - TERMS AND ABBREVIATIONS.
BB.	REFER TO INDIVIDUAL DRAWINGS WITHIN THIS SET OF CONSTRUCTION DOCUMENTS FOR ADDITIONAL GENERAL NOTES.
CC.	GENERAL CONTRACTOR IS RESPONSIBLE TO CONTACT LANDLORD TO VERIFY, COORDINATE AND COMPLY, DURING THE BIDDING PHASE, WITH REQUIREMENTS INCLUDING, BUT NOT LIMITED TO BARRICADES, STAGING, CONSTRUCTION PROCEDURES, USE OF MANDATED SUBCONTRACTORS, DEBRIS REMOVAL, RESTRICTED HOURS OF CONSTRUCTION, SECURITY, UTILITIES, ETC.
DD.	GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ITEMS WHICH ARE OBVIOUS AND NECESSARY TO ENSURE QUALITY WORKMANSHIP AND INSTALLATION, EVEN IF NOT SPECIFICALLY MENTIONED IN THE DRAWINGS, INCLUDING BUT NOT LIMITED TO BLOCKING AND BRACING.
EE.	ANY DEVIATION FROM THESE CONSTRUCTION DOCUMENTS ON THE PART OF THE GENERAL CONTRACTOR, ANY SUBCONTRACTOR, VENDOR AND/OR SUPPLIER, OR USE OF THESE CONSTRUCTION DOCUMENTS AT ANY LOCATION OTHER THAN THAT FOR WHICH THEY WERE INTENDED, SHALL RELEASE THE ARCHITECT, AND ITS SUBSIDIARIES, AND THEIR OFFICERS, DIRECTORS, SHAREHOLDERS, AGENTS, EMPLOYEES, REPRESENTATIVES, SUCCESSORS AND ASSIGNEES, FROM ANY AND ALL LIABILITY INCURRED IN LITIGATION OR OTHERWISE WITH RESPECT TO THE CONSTRUCTION OF THIS PROJECT.
FF.	GENERAL CONTRACTOR IS RESPONSIBLE FOR THE WORK AND THAT OF THEIR SUBCONTRACTORS FOR THE LOSSES AND DAMAGES TO EQUIPMENT, EXISTING CONSTRUCTION, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK, FOR THE ACTS OF THEIR EMPLOYEES AND SUBCONTRACT WORKERS.
GG.	GENERAL CONTRACTOR SHALL ADHERE AND COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS REGARDING JOB SAFETY.
HH.	GENERAL CONTRACTOR IS RESPONSIBLE TO CARRY WORKER'S COMPENSATION AS REQUIRED BY LAW AND/OR GOVERNING AUTHORITY.
II.	GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. GENERAL CONTRACTOR TO RESTORE ANY DAMAGED PROPERTY/AREAS TO A LIKE NEW CONDITION.
JJ.	GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE CLIENT UPON COMPLETION OF THE PROJECT.
KK.	THE APPROVED PLANS (FOR CONSTRUCTION SET) SHALL BE KEPT ON SITE AT ALL TIMES, INCLUDING ALL APPENDS, SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDERS, COPIES OF APPROVED SUBMITTALS, ETC.
LL.	IF REQUIRED, THE GENERAL CONTRACTOR SHALL PROVIDE SCHEDULING AND/OR COORDINATION WITH THE APPROPRIATE REPRESENTATIVE FOR THE FOLLOWING INSTALLATIONS OR PROCEDURES:
	a. INSTALLATION OF CONDUIT AND PIPING IN OR BELOW THE FLOOR SLAB.
	b. CONNECTIONS TO DOMESTIC WATER, SANITARY AND GREASE WASTE, SANITARY VENT AND SMOKE/FIRE ALARMS.
	c. INSTALLATION OF PRIMARY DUCTWORK, VAV BOXES AND CONTROLS.
	d. PROTECTION OF EXISTING ELECTRICAL CONTROL BOXES AND SENSORS.
	e. ANY WORK REQUIRED AT THE BUILDING SWITCHGEAR.
	f. HARDWARE AND SOFTWARE MODIFICATIONS TO COMPLETE THE INTERFACE WITH BASE BUILDING LIFE SAFETY SYSTEM.
	g. UPON SUBSTANTIAL COMPLETION OF WORK IN THE PREMISES, CLIENT AND/OR ARCHITECT SHALL CONDUCT A FINAL INSPECTION AND PREPARE A PUNCHLIST WHICH ENUMERATES ANY AREAS OF CONSTRUCTION, FIXTURING, LIGHTING OR LAMPING, MERCHANDISING, ETC., THAT ARE NOT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY STOREFRONT BARRICADE MAY NOT BE REMOVED UNTIL INSPECTION AND REQUIRED CORRECTIONS HAVE BEEN COMPLETED.
	h. PROVIDE REQUIRED PROOF OF BUILDERS RISK INSURANCE AND DAMAGE DEPOSIT PRIOR TO BEGINNING OF ANY SELECTIVE DEMOLITION OR CONSTRUCTION PROCEDURES.
MM.	GENERAL CONTRACTOR TO VERIFY REQUIREMENTS TO MAINTAIN ROOF WARRANTY. ANY ROOF PATCHING SHALL RETURN THE AFFECTED AREA TO A "LIKE NEW" CONDITION.
NN.	GENERAL CONTRACTOR ASSUMES COMPLETE RESPONSIBILITY WHEN CLIENT FURNISHED ITEMS ARE ACCEPTED AND RECEIVED BY THE GENERAL CONTRACTOR OR THEIR AGENTS.
OO.	PROVIDE PROTECTION FOR EXISTING OR NEWLY INSTALLED SYSTEMS AND FINISHES FOR THE DURATION OF CONSTRUCTION.
PP.	GENERAL CONTRACTOR TO INSTALL DUST PROOFING AND/OR RIGID BARRIERS AS APPROPRIATE TO DEFINE VARIOUS SEGMENTS. BARRIERS TO MAINTAIN EXISTING, MECHANICAL, AND FIRE/LIFE SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
QQ.	GENERAL CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF PORTIONS OF WORK ALREADY PERFORMED TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.
RR.	MOLD AND MOISTURE MITIGATION - GENERAL CONTRACTOR TO COORDINATE AND ENSURE THAT ANY AREA OF THE BUILDING, MATERIAL, OR ASSEMBLY WITHIN THE BUILDING ENVELOPE IS THOROUGHLY CLEANED AND DRY BEFORE BEING COVERED BY CONSTRUCTION. ANY MOLD, MILDEW OR OTHER MOISTURE CONDITION DEVELOPED WITHIN THE SCOPE OF WORK OF THIS CONTRACT (DEMOLITION OR NEW CONSTRUCTION) SHALL BE CORRECTED AND/OR MITIGATED BY THE



7800 ALASKA AVENUE NW
WASHINGTON, DC 20012

SITE MAP

PROJECT LOCATION

SOUTH 14th AVE

KARLIS BLVD

N

LOCATION MAP

The map is an aerial photograph of a residential neighborhood. A black arrow points to a specific location labeled "PROJECT LOCATION". The location is situated at the intersection of Belmont Ave and Elmwood Ave. The map shows a grid of streets, including Belmont Ave, Elmwood Ave, and others. The area is densely populated with houses and some commercial buildings. A large green area, likely a park, is visible in the upper right corner. A north arrow is located in the bottom right corner of the map.

DEFERRED SUBMITTALS	
<u>SIGNAGE</u>	TENANT EXTERIOR SIGNAGE, SEPARATE PERMIT.

SCOPE OF WORK

TENANT IMPROVEMENT OF AN EXISTING BUILDING TO SUPPORT NEW OCCUPANCY. THE WORK INCLUDES DEMOLITION AS REQUIRED, CONSTRUCTION OF NEW INTERIOR PARTITIONS; NEW WALL, FLOOR, AND CEILING FINISHES; NEW EQUIPMENT; NEW LIGHTING AND ELECTRICAL SYSTEMS; NEW MECHANICAL SYSTEMS, INCLUDING A TYPE 1 KITCHEN HOOD; AND NEW PLUMBING SYSTEMS INCLUDING GREASE INTERCEPTOR.

ALL WORK TO COMPLY WITH APPLICABLE BUILDING, MECHANICAL, ELECTRICAL, AND PLUMBING CODES.

PROJECT TEAM

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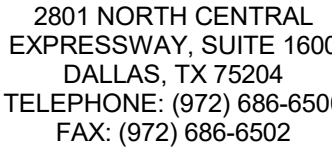
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Grand total: 47		

The logo for Wilkus Architects, featuring the word "WILKUS" in a large, bold, sans-serif font, with "ARCHITECTS" in a smaller, all-caps, sans-serif font below it. The text is white against a dark background.

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SUBJECT INFORMATION

7800 ALASKA AVENUE NW
WASHINGTON, DC 20012

12360
REGISTERED
ARCHITECT
MATTHEW M. WILKUS
STATE OF WASHINGTON
Matthew M Wilkus

MATTHEW M. WILKUS
LICENSE #12360
(EXPIRES 06/16/2025)

ISSUE	DATE
DESIGN INTENT REVIEW	2026/05/07
PERMIT & BID SET	2026/05/27

[illegible]

TITLE

SHEET NUMBER

G0.0
Board of Zoning Adjustment
District of Columbia
CASE NO. 21503
EXHIBIT NO. 5

A. LIFE SAFETY SYSTEMS SHALL BE DESIGNED PER APPLICABLE FIRE PREVENTION CODE, ORDINANCE OR LAW.

B. POST "NO PARKING - FIRE LANE" SIGNS ALONG APPROVED VEHICULAR ACCESS ROADS. COORDINATE LOCATIONS WITH LOCAL AUTHORITY HAVING JURISDICTION.

C. AN ALL WEATHER FIRE ACCESS ROAD SHALL BE IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON SITE. COORDINATE WITH LOCAL AUTHORITY HAVING JURISDICTION.

D. FIRE APPARATUS ACCESS ROADS SHALL BE UNOBSTRUCTED. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH O.S.H.A. GUIDELINES.

E. BUILDING ADDRESS NUMBERS SHALL BE PROVIDED AT THE FRONT OF BUILDING AND SHALL BE VISIBLE AND ACCESSIBLE FROM THE PUBLIC RIGHT-OF-WAY AND A MINIMUM OF 6" HIGH. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.

F. THE SUITE ADDRESS SHALL BE POSTED ON THE BUILDING WHERE IT IS CLEARLY VISIBLE FROM THE FIRE LANE. THE SUITE ADDRESS MUST BE POSTED IN NUMBERS THAT ARE A MINIMUM OF 4" TALL, ARE OF CONTRASTING COLOR WITH THE BACKGROUND ON WHICH THEY ARE MOUNTED AND WILL BE LOCATED SUCH THAT THEY ARE READILY VISIBLE DURING THE NIGHTTIME HOURS.

G. THE ADDRESS SHALL BE POSTED PROMINENTLY POSTED ON UTILITY SERVICE DISCONNECTS IN NUMBERS A MINIMUM OF 7" TALL AND ON THE SERVICE DOOR IN NUMBERS A MINIMUM OF 4" TALL.

H. A KNOX BOX IS TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. VERIFY WITH THE LOCAL AUTHORITY THIS REQUIREMENT AND COORDINATE LOCATION AS REQUIRED.

I. REQUIRED EGRESS DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.

J. EXITS SHALL BE MAINTAINED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHTS HAVING AN INTENSITY OF AN AVERAGE OF 11.0 LUX AT FLOOR LEVEL, OR AS DIRECTED BY LOCAL CODE.

K. EXIT SIGNS TO BE PROVIDED AND INSTALLED AS REQUIRED BY APPLICABLE CODE, ORDINANCES AND LAWS.

L. PROVIDE APPROVED EXITING ILLUMINATION AND ILLUMINATED EXIT SIGNS WHICH ARE POWERED FROM SEPARATE CIRCUITS AND COMPLY WITH THE BUILDING CODE.

M. OCCUPANT LOAD SIGN WITH MINIMUM 1" LETTERS AND NUMBERS SHALL BE POSTED NEAR MAIN EXIT.

N. EXIT LIGHTING AND SIGNS SHALL HAVE 6" HIGH LETTERING IN ACCORDANCE WITH LOCAL CODES. PROVIDE LOW LEVEL EXIT SIGNS PER CODE REQUIREMENTS.

O. FIRE DEPARTMENT FINAL INSPECTION REQUIRED.

P. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOWE CABINETS AND FIRE EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.

Q. FIRE EXTINGUISHER NOTES

a. PROVIDE AND INSTALL FIRE EXTINGUISHERS AS DIRECTED BY AUTHORITY HAVING JURISDICTION. EXTINGUISHERS IN BACK OF HOUSE AREAS MAY BE IN BRACKETS, PUBLIC AREAS ARE TO BE ENCLOSED IN RECESSED CABINETS, PAINTED TO MATCH ADJACENT WALL FINISH.

b. PROVIDE "K" TYPE FIRE EXTINGUISHERS IN KITCHEN AREAS, WITHIN 30'-0" OF TRAVEL FROM ANY POINT WITHIN THE KITCHEN OR FOOD PREPARATION AREAS. VERIFY INSTALLATION LOCATIONS WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION.

c. 5 LB. ABC FIRE EXTINGUISHERS ARE REQUIRED WITHIN 75'-0" OF TRAVEL FROM ANY POINT IN PUBLIC AREAS. THEY MUST BE MOUNTED CONSPICUOUSLY, PREFERABLE ALONG NORMAL TRAVEL PATHS AND EXIT WAYS. VERIFY INSTALLATION LOCATIONS WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION.

R. REFER TO DOOR AND HARDWARE SCHEDULE FOR ADDITIONAL ACCESSIBILITY AND EGRESS REQUIREMENTS.

S. CONTINUATION OF ACCESSIBLE AND EGRESS ROUTE OF TRAVEL BEYOND THE AREA OF WORK BY OTHERS.

	EXISTING CONSTRUCTION AND STRUCTURAL ELEMENTS TO REMAIN, PROTECT IN PLACE
	NEW CONSTRUCTION
	DEMOLITION
	EXISTING DOOR AND FRAME TO REMAIN, PROTECT IN PLACE
	NEW DOOR AND FRAME
	AREA OUTSIDE SCOPE OF WORK / BY OTHERS

FUNCTION OF SPACE

KITCHEN, COMMERCIAL

ASSEMBLY, UNCONCENTRATED (TABLES & CHAIRS)

RESTROOMS

ACCESSORY STORAGE

VOID

INTERVENING OCCUPANT LOAD

00

0.0"

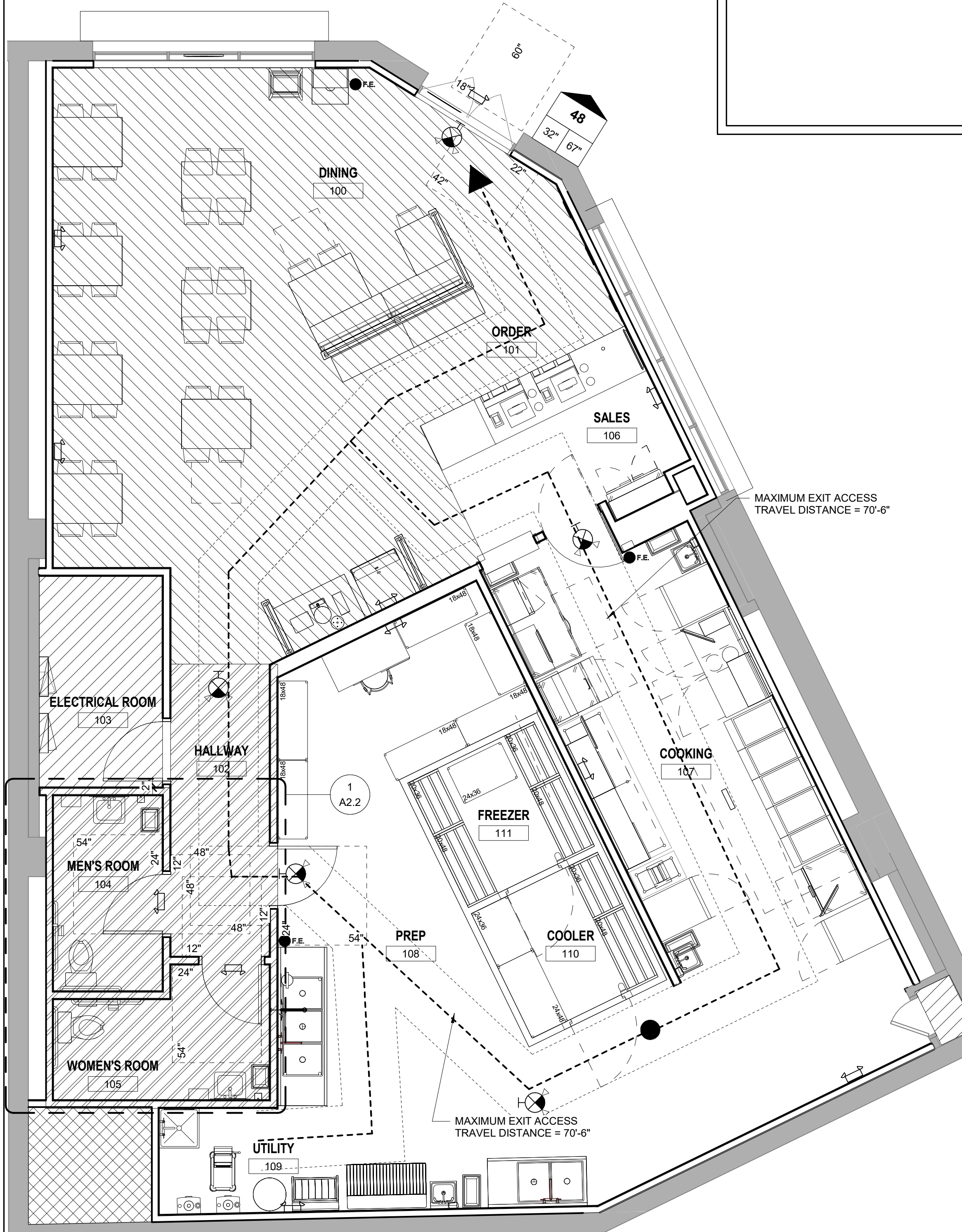
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0.0"

EGRESS AT DOORS

EGRESS BREAKDOWN:
OCCUPANTS SERVED
EXIT WIDTH REQUIRED
EXIT WIDTH PROVIDED

PLUMBING FIXTURE REQUIREMENTS - BASED ON OCCUPANT LOAD =						48 OCC.
USE GROUP		REQ'D WC	PROPOSED WC	PROPOSED URINALS	REQ'D LAVS	PROPOSED LAVS
B	MALE	1	1	0	1	1
	FEMALE	1	1	-	1	1
		REQUIRED FIXTURES			PROPOSED FIXTURES	
	DRINKING FOUNTAINS *		0		0	
	SERVICE SINK		1		1	
* 2017 WDCPC 410.4 - WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED.						



SCALE: 1/4" = 1'-0"

G1.0

EXISTING CONDITIONS GENERAL NOTES

A.

ALL DIMENSIONS SHOWN ON THE EXISTING CONDITIONS PLAN TO BE VERIFIED BY THE GENERAL CONTRACTOR IMMEDIATELY SUBMIT DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.

B.

SHOWN OR NOT, ANY ELEMENTS THAT CANNOT BE REMOVED FROM THE SPACE THAT INTERFERES WITH CONSTRUCTION AS SHOWN ON THESE PLANS ARE TO BE IDENTIFIED, DIMENSIONED, AND INDICATED ON THE PLAN AND SUBMITTED TO THE ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.

C.

GENERAL CONTRACTOR SHALL TAKE DIGITAL PHOTOS OF THE INTERIOR OF THE DEMISED SPACE IMMEDIATELY AFTER DEMOLITION, PRIOR TO THE START OF CONSTRUCTION, AND SEND TO THE ARCHITECT FOR REVIEW AND RECORD. ANY STRUCTURE, PIPING, CONDUIT, ETC. THAT MAY NEGATIVELY IMPACT THE PROPOSED CONSTRUCTION, OR BE UNSIGHTLY IF EXPOSED IS OF PARTICULAR INTEREST.

D.

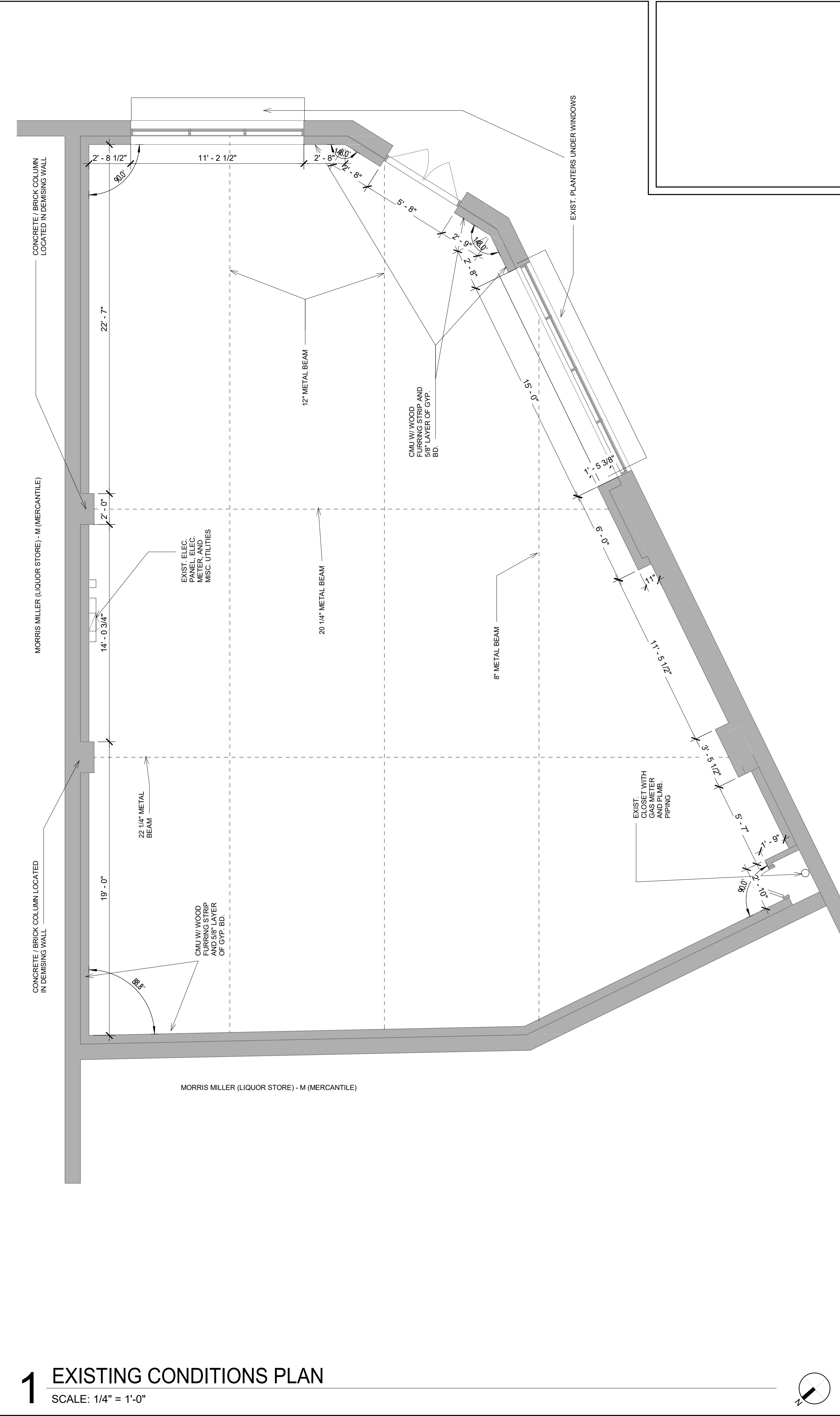
GENERAL CONTRACTOR TO FIELD VERIFY THAT EXTERIOR ENVELOPE CONSTRUCTION IS INSTALLED WITH CONSTRUCTION, INCLUDING INSULATION, TO MEET LOCAL STANDARDS.

E.

ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO THE EXPOSED FACE OF EXISTING SHEATHING OR FINISH, UNLESS NOTED OTHERWISE.

F.

NO EXPLORATORY DEMOLITION WAS PERFORMED TO CREATE THIS EXHIBIT. UNKNOWN OR UNFORESEEN ITEMS MIGHT EXIST WITHIN THE SPACE.



1

EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"

CONSULTANT

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PROJECT INFORMATION

WINGSTOP (GL#AC215)

7800 ALASKA AVENUE NW
WASHINGTON, DC 20012

SEAL

12360 REGISTERED ARCHITECT

MATTHEW M. WILKUS
STATE OF WASHINGTON

May 28, 2026

MATTHEW M. WILKUS
LICENSE #12360
(EXPIRES 06/16/2025)

PROJECT NO. 2025-0468

DRAWN BY RET

CHECKED BY JAK

ISSUE DATE

DESIGN INTENT REVIEW 2026/05/07

PERMIT & BID SET 2026/05/27

REVISION DATE

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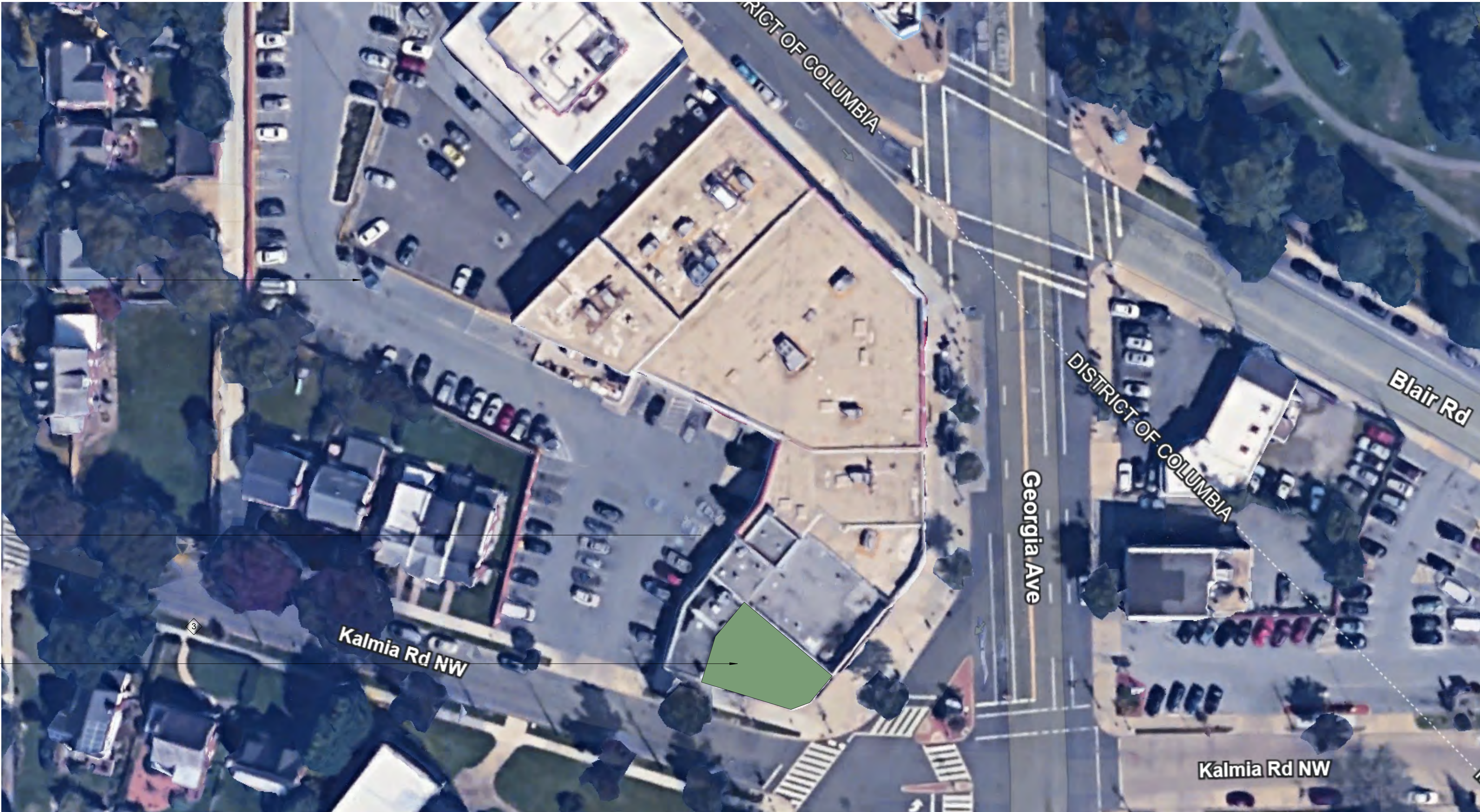
EXISTING CONDITIONS PLAN

SHEET NUMBER

A0.0

SITE GENERAL NOTES	
A.	VERIFY ALL PAVED SURFACES ADJACENT TO BUILDING SLOPE AWAY FROM THE BUILDING TO PROVIDE POSITIVE DRAINAGE. NOTIFY CLIENT AND ARCHITECT IF EXISTING GRADE SLOPES TOWARDS THE EXISTING BUILDING FOOTPRINT.
B.	CONTRACTOR SHALL PROTECT ADJACENT LANDS AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
C.	NECESSARY PERMITS FOR SITE WORK AND CONSTRUCTION SHALL BE OBTAINED BY THE GENERAL CONTRACTOR PRIOR TO BEGINNING OF WORK.
D.	NECESSARY BARRICADES, SUFFICIENT LIGHTING, SIGNS AND OTHER TRAFFIC CONTROL METHODS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE CONSTRUCTION.
E.	GENERAL CONTRACTOR SHALL COORDINATE UTILITIES, ALL NEW LOCATIONS AND RELOCATIONS WITH THE LOCAL UTILITY COMPANIES.
F.	ANY UTILITY INFORMATION IS FOR REFERENCE PURPOSES ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND LOCATE UTILITIES.
G.	COORDINATE WITH THE LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO ANY CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.
H.	NO DEMOLITION MATERIALS SHALL BE DISPOSED ON ON-SITE. ALL DEBRIS SHALL BE HAULED OFF-SITE TO A RECYCLING AREA APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE HANDLING OF DEMOLITION DEBRIS.
I.	EXTERIOR LANDINGS, EXISTING AND NEW, TO BE FLUSH WITH INTERIOR FINISHED FLOOR AND SLOPE AWAY FROM THE FACE OF THE BUILDING AS REQUIRED BY CODE TO PROVIDE POSITIVE DRAINAGE.
J.	ANY SITE WORK AND/OR LANDSCAPE DESIGN IS BIDDER-DESIGNED AND IS NOT THE RESPONSIBILITY OF THE CLIENT.
K.	GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LOCATION OF THE EXTERIOR GREASE INTERCEPTOR AND FIELD VERIFY EXISTING SITE CONDITIONS THAT COULD IMPACT THE LOCATION DURING THE BIDDING PHASE OF THE PROJECT AND ASSIGN THE APPLICABLE COSTS. THE LOCATION SHALL NOT INTERFERE WITH ANY EXISTING SETBACKS, EASEMENTS, UNDERGROUND UTILITIES OR OTHER SITE FEATURE.
L.	THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, ETC.) OR TO THE LOCATION OF THE CONNECTION. THE CONSTRUCTION SHALL NOT BE WITHIN TEN-FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.

KEYNOTE LEGEND	
1	WINGSTOP TENANT AREA
2	EXISTING ACCESSIBLE PARKING BY LANDLORD TO REMAIN, TYPICAL
3	EXISTING TRASH ENCLOSURE TO REMAIN - PROTECT



1 SITE PLAN

SCALE: 1" = 50'-0"

CONSULTANT



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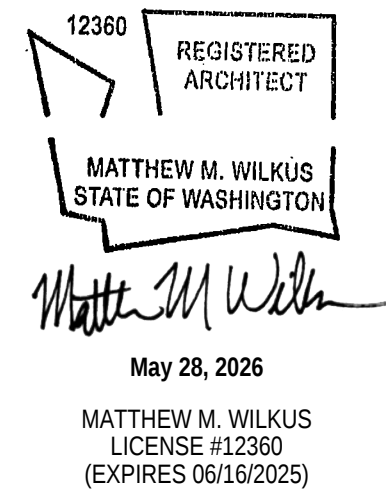
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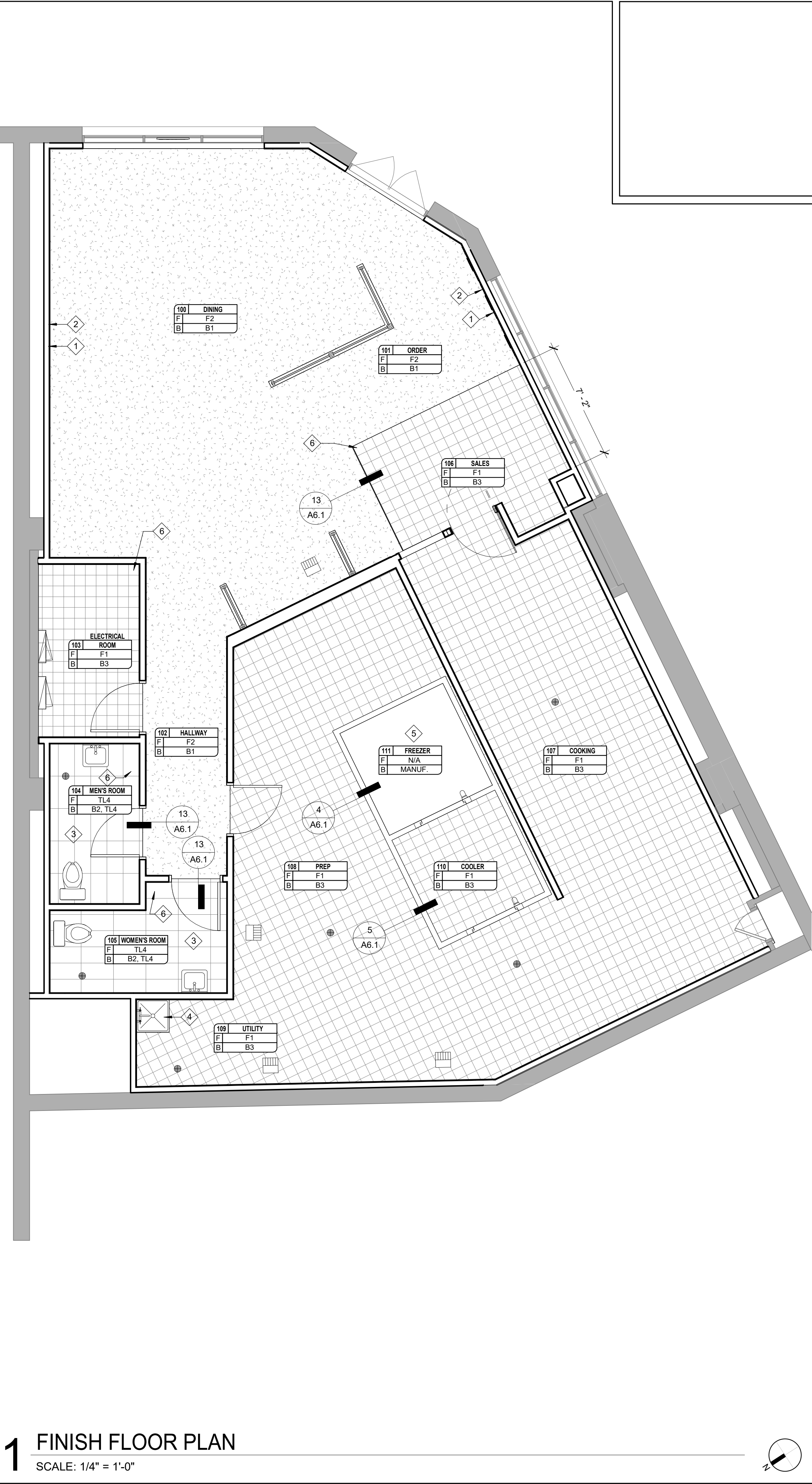
SHEET NUMBER

A1.0

FINISH GENERAL NOTES	
A.	INTERIOR FINISHES TO HAVE FLAME SPREAD RATING AND SMOKE DEVELOPED INDEX TO MEET APPLICABLE CODES. REFER TO CODE INFORMATION FOR ADDITIONAL INFORMATION.
B.	REFER TO INTERIOR ELEVATIONS, REFLECTED CEILING PLANS, AND DETAILS FOR ADDITIONAL INFORMATION.
C.	REMOVAL OF EXCESS GROUT WILL BE DONE WITH WATER. THE USE OF SULFURIC OR MURIATIC ACID IS PROHIBITED.
D.	PROVIDE CEMENT BOARD SHEATHING AS REQUIRED AT WALL TILE LOCATIONS AND EXTENTS. VERIFY AND COORDINATE ACCEPTABLE SHEATHING MATERIAL WITH SUPPLIER/MANUFACTURER OF TILE PRIOR TO INSTALLATION.
E.	IT IS THE INTENT OF THE DRAWINGS THAT EXPOSED SURFACES TO RECEIVE FINISHES AS INDICATED ON THE DRAWINGS, UNLESS NOTED OTHERWISE. ANY SURFACE WHICH DOES NOT HAVE A FINISH NOTED SHALL BE BROUGHT IMMEDIATELY TO THE ARCHITECTS ATTENTION FOR CLARIFICATION.
F.	ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
G.	NO SUBSTITUTIONS ARE ALLOWED WITHOUT ARCHITECT AND CLIENT'S WRITTEN APPROVAL.
H.	ALL MATERIALS SPECIFIED ARE AVAILABLE AS OF ORIGINAL DATE ON PLAN. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY MATERIALS ORDERED AFTER THIS DATE THAT ARE DISCONTINUED OR UNAVAILABLE. ANY SUBSTITUTIONS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT AND CLIENT.
I.	GYPSUM BOARD TO BE FINISHED TO A CLASS 4 FINISH.
J.	KITCHEN SPACES SHALL HAVE A WASHABLE ACOUSTICAL CEILING TILE SURFACE (WHITE).
K.	ALL K WOOD TRIM AS NOTED SHALL BE OF A CLEAR, MODIFY STAIN GRADE PINE.
FLOOR COVERING NOTES	
A.	GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A CLEAN CLEAR FLOOR FREE OF HOLES AND/OR DEPRESSIONS AND ACCEPTABLE FOR INSTALLATION OF FLOOR COVERINGS AND UNDER-LAYMENTS. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND OWNER.
B.	INSTALLER SHALL BE RESPONSIBLE FOR QUANTITY TAKE-OFF, SUPPLYING, RECEIVING, WAREHOUSING AND INSPECTING OF FLOOR COVERINGS AND UNDER-LAYMENTS PRIOR TO FABRICATION AND/OR INSTALLATION. DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE GENERAL CONTRACTOR.
C.	PRIOR TO INSTALLATION OF ANY FLOOR FINISH, CHECK SURFACE MATERIAL TO ENSURE STRUCTURAL INTEGRITY, ABSOLUTE DRYNESS AND THOROUGHLY CLEAN. REMOVE TRACES OF DIRT, DUST, LOOSE FIBERS, OIL, GREASE, ETC. TILE TO BE INSTALLED PER TILE COUNCIL OF NORTH AMERICA STANDARDS.
D.	WALL TILE AND THRESHOLD GROUT JOINTS TO ALIGN WITH FLOOR GROUT JOINTS.
F.	FLOOR MATERIAL CHANGES TO OCCUR AT DOOR CENTERLINES UNLESS NOTED OTHERWISE.
PAINT NOTES	
A.	SURFACES RECEIVING PAINT TO BE PROPERLY PREPARED AND READY TO RECEIVE PAINT IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. WALL TO BE FINISHED (MINIMUM 3 COATS, SANDED AND PRIMED). SURFACES SHALL BE CLEAN, FREE OF DUST, GREASE, OILS AND FOREIGN SUBSTANCES THAT WILL INTERFERE WITH PAINT.
B.	HOLES, CRACKS AND OTHER IMPERFECTIONS SHALL BE SUITABLY PATCHED AND FILLED WITH A COMPOUND RECOMMENDED BY THE MANUFACTURER OF THE PAINT AND THEN PRIMED. SURFACES SHALL BE BROUGHT TO TRUE, EVEN SURFACES PRIOR TO PAINTING.
C.	ADEQUATE NUMBER OF PRIMER AND FINISH COATS TO BE APPLIED TO COMPLETE COVERAGE.
D.	APPLY PAINT IN ACCORDANCE WITH MANUFACTURERS DIRECTION. USE APPLICATIONS AND TECHNIQUES BEST SUITED FOR THE TYPE OF MATERIAL BEING APPLIED. APPLY EACH MATERIAL AT NOT LESS THAN THE MANUFACTURERS RECOMMENDED SPREADING RATE.
E.	METAL DOOR JAMBS TO THE PAINTED SEMI-GLOSS.
F.	NEW PAINT/STAINED WOOD SURFACES TO BE CLEANED OF DIRT, OIL AND OTHER FOREIGN SUBSTANCES WITH SCRAPPERS, MINERAL SPIRITS AND SANDPAPER AS REQUIRED. SANDPAPER SMOOTH THOSE FINISHED SURFACES EXPOSED TO VIEW, AND DUST OFF, SCRAPE AND CLEAN KNOTS AND APPLY THIN COATS OF CLEAR SHELLAC BEFORE APPLICATION OF PRIME COAT. AFTER PRIMING, FILL WITH PUTTY OR PLASTIC WOOD FILLER AND SANDPAPER SMOOTH WHEN DRY.
G.	REMOVE MISAPPLIED PAINT FROM ADJACENT SURFACES. DISPOSE OF EXCESS MATERIALS OFF JOB SITE.
H.	PAINT SUBSTITUTIONS ARE NOT ALLOWED.
I.	ADDITIONAL PAINT SHALL BE PROVIDED FOR FUTURE OWNER USE - THREE (3) GALLONS MINIMUM OF EACH MATERIAL.
J.	PAINT METAL ACCESS DOORS AND PANELS TO MATCH ADJACENT WALL OR CEILING FINISH. GRAPHICS ON DOORS OR PANELS, IF ANY, ARE TO BE APPLIED AFTER ADJACENT SURFACES HAVE BEEN FINISHED.
K.	FINISHES TO MEET N.F.P.A. 101, LIFE SAFETY CODE SECTION 263.3 - INTERIOR FINISHES.
L.	GENERAL CONTRACTOR SHALL EXAMINE AREAS OF CONSTRUCTION AFTER COMPLETE WORK BY TRADES AND INDICATE NECESSARY "TOUCH UP" PAINTING AND/OR PATCHING LOCATIONS.
M.	BEFORE PAINTING OR FINISHING WORK IS TO BEGIN, ARRANGEMENTS SHALL BE MADE FOR PROPER VENTILATION AND LIGHTING IN AREAS IMPACTED.
N.	WOOD DOORS AND TRIM TO BE FILLED, STAINED SEALED AND SHOP FINISHED. WORK TO BE PERFORMED IN A DUST FREE ENVIRONMENT.

KEYNOTE LEGEND	
1	REFER TO DETAIL FOR WAINSCOT CONSTRUCTION
2	REFER TO INTERIOR ELEVATIONS FOR WALL COVERING SIZE AND POSITIONING
3	REFER TO INTERIOR ELEVATIONS FOR TOILET ROOM WALL FINISH APPLICATION
4	10" HIGH MOLDED STONE BASIN AROUND MOP SINK - REFER TO DETAIL
5	NO FLOORING BELOW FREEZER - COORDINATE EXACT LOCATION WITH WALK-IN MANUFACTURERS SHOP DRAWINGS
6	FULL TILE STARTING POINT

FINISH SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER	STYLE / COLOR	PATTERN / NOTES
PAINT				
PT1	WALL PAINT	SHERWIN WILLIAMS	#SW7065 ARGOS	PROMAR 200 ZERO VOC, SEMI-GLOSS FINISH
PT2	WALL PAINT	SHERWIN WILLIAMS	#SW6258 TRICORN BLACK	PROMAR 200 ZERO VOC, SEMI-GLOSS FINISH
PT3	WALL PAINT	SHERWIN WILLIAMS	#SW6203 SPARE WHITE	PROMAR 200 ZERO VOC, SEMI-GLOSS FINISH
PT4	WALL PAINT	SHERWIN WILLIAMS	CUSTOM COLOR #2016 WINGSTOP GREEN	PROMAR 200 ZERO VOC, SEMI-GLOSS FINISH
SOLID SURFACE				
SS1	1/2" SOLID SURFACING	AVONITE	#7842 NEW CONCRETE	-
PLASTIC LAMINATE				
PL1	PLASTIC LAMINATE	FORMICA	#ASHWOOD BEIGE 5785-NG	STANDARD FINISH
PL2	PLASTIC LAMINATE	FORMICA	#BLACKENED LEGNO 8848-58	STANDARD FINISH
TILE				
TL1	4" X 16" GLAZED CERAMIC TILE	CREATIVE MATERIALS	AGELESS #GREY 04 GLOSSY	VERTICAL STACKED BOND INSTALLATION, MAPEI #27 SILVER GROUT (1/16" GROUT LINES)
TL2	4" X 16" GLAZED CERAMIC TILE	CREATIVE MATERIALS	CUSTOM GREEN	STACKED BOND INSTALLATION, MAPEI #27 SILVER GROUT (1/16" GROUT LINES)
TL3	8" X 48" PORCELAIN TILE	CREATIVE MATERIALS	PRESERVE #PINE MATTE	1/3 OFFSET INSTALLATION, MAPEI #04 BAHAMA BEIGE GROUT (1/8" GROUT LINES)
TL4	12" X 24" PORCELAIN TILE	CREATIVE MATERIALS	CONTEMPO #BLACK MATTE	STACKED BOND INSTALLATION, MAPEI #47 CHARCOAL (1/8" GROUT LINES) - CUT TILE IN HALF LENGTHWISE FOR 6" BASE
WALL CLADDING				
WP1	WALL CLADDING	AM-CLAD	CUSTOM DIAGONAL BLACK	WITH BLACK ANODIZED TRIM - SILICONE MOLDINGS/TRIMS TO WALL PANEL WITH COLORED SILICONE TO MATCH PANELS
WP2	WALL CLADDING (FRP)	AM-CLAD	CUSTOM WHITE TILE-LOOK	WITH ANODIZED TRIM - SILICONE MOLDINGS/TRIMS TO WALL PANEL WITH COLORED SILICONE TO MATCH PANELS
WP3	WALL CLADDING (FRP)	AM-CLAD	2.5 MM WHITE SMOOTH SATIN FINISH	WITH ANODIZED TRIM
M1	STAINLESS STEEL PANELING	KITCHEN EQUIPMENT VENDOR	20 GAUGE 430 STAINLESS STEEL, SMOOTH SURFACE	INSTALLED BY G.C., ADDITIONAL PANELS AT SINKS PROVIDED BY G.C.
BASE / WALL / WAINSCOT TRIM				
TR1	WAINSCOT TRIM WITH LED LIGHTING	MILLWORK VENDOR	3/4" X 4" BLACK PVC	-
TR2	METAL TRIM	SCHLUTER SYSTEMS	SCHIENE PROFILE #SATIN ANODIZED ALUMINUM	FOR USE AT OUTSIDE TILE EDGES
B1	6" VINYL WALL BASE	CREATIVE MATERIALS	SIMPLICITY #BLACK	WITH 45 DEGREE MITERED CORNERS
B2	3/8" METAL COVE WALL BASE	SCHLUTER SYSTEMS	DILEX-AHK PROFILE #SATIN ANODIZED ALUMINUM	TO BE USED IN TOILET ROOMS
B3	COVED TILE BASE	CREATIVE MATERIALS	NIMBLE OBIDOS DIAMOND ANTISLIP	-
KITCHEN FLOORING				
F1	8" x 8" PORCELAIN TILE WITH MATCHING 4" x 8" SIT IN COVE BASE	CREATIVE MATERIALS	NIMBLE OBIDOS DIAMOND ANTISLIP	STACKED BOND INSTALLATION, MAPEI #47 CHARCOAL (1/8" GROUT LINES)
F2	SEALED CONCRETE	-	-	-
CEILING				
C1	24" X 24" LAY-IN CEILING TILES	PRELUDE PLUS GRID SYSTEM	FINE FISSURED #1728, COLOR: BLACK W/ BLACK GRID	-
C2	24" X 48" LAY-IN CEILING TILES	PRELUDE PLUS GRID SYSTEM	CLEAN ROOM VL #870, COLOR: WHITE	-
C3	GYPSUM BOARD	-	PAINT PT3	-
C4	OPEN CEILING	-	PAINT PT2	-
CONTACTS LISTED BELOW ARE FOR WINGSTOP RESTAURANTS, INC. NATIONAL ACCOUNTS. GENERAL CONTRACTOR IS RESPONSIBLE TO ORDER USING RESPECTIVE ORDER FORMS IN ORDER TO RECEIVE WRI NEGOTIATED PRICING.				
CREATIVE MATERIALS CORPORATION WINGSTOP@CREATIVEMATERIALSCORP.COM (800) 207-2967 EXT. STOP (7867)				
AM-CLAD WRI@AM-CLAD.COM				



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FINISH PLAN

SHEET NUMBER

A2.3



VIEW FROM FRONT DOOR



VIEW FROM SALES COUNTER



VIEW OF BEVERAGE COUNTER



VIEW OF FLAVOR WALL

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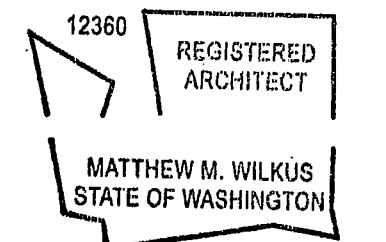
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A7.0



VIEW OF HALLWAY



VIEW FROM WALK-IN



VIEW OF COOKLINE



VIEW OF DISH ROOM