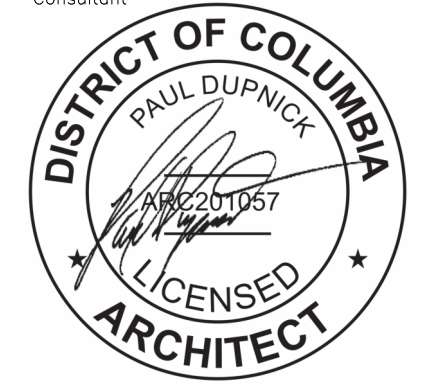




**RESIDENTIAL
RENOVATIONS**

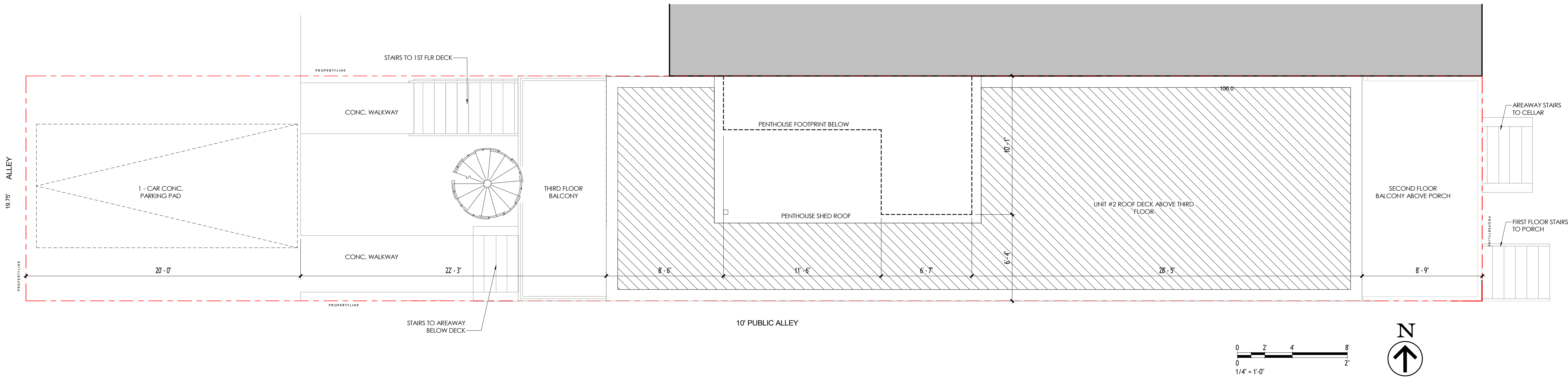
800 10th Street NE
Washington, DC 20002

Sheet Description

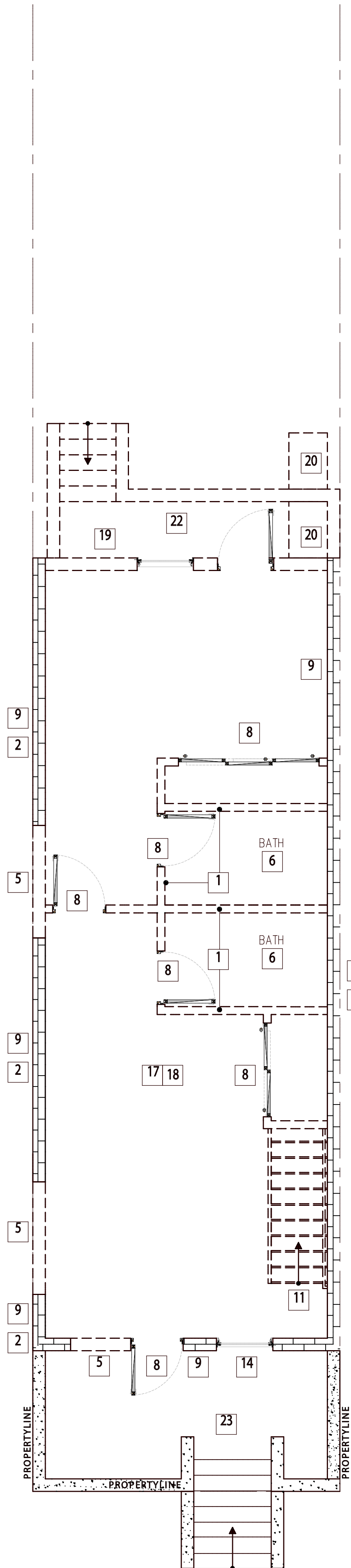
SITEPLAN

Project #: 2025-029
File:
Drawn by: P.J.L.
Date(s):
5/26/2026

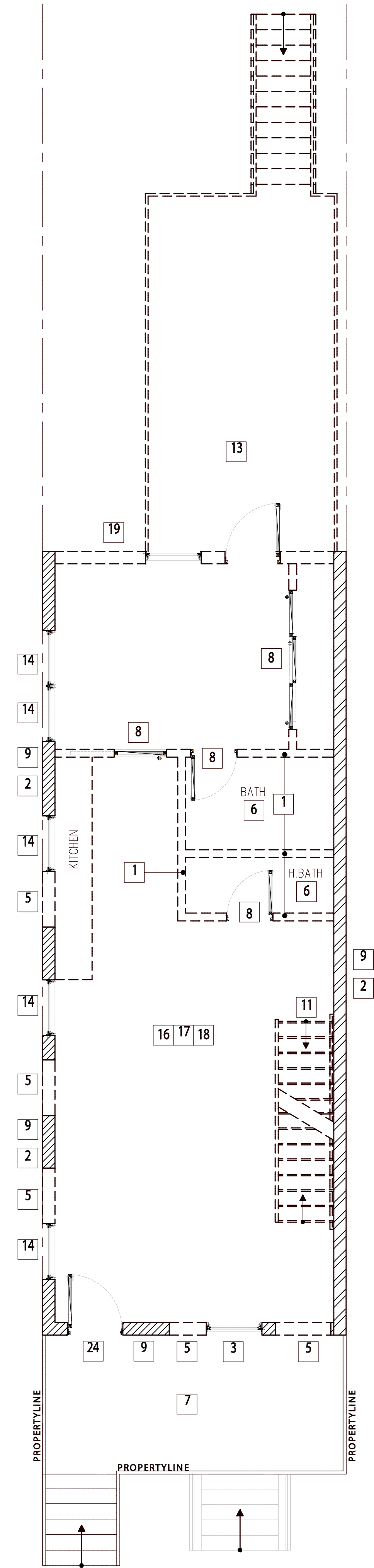
VICINITY MAP



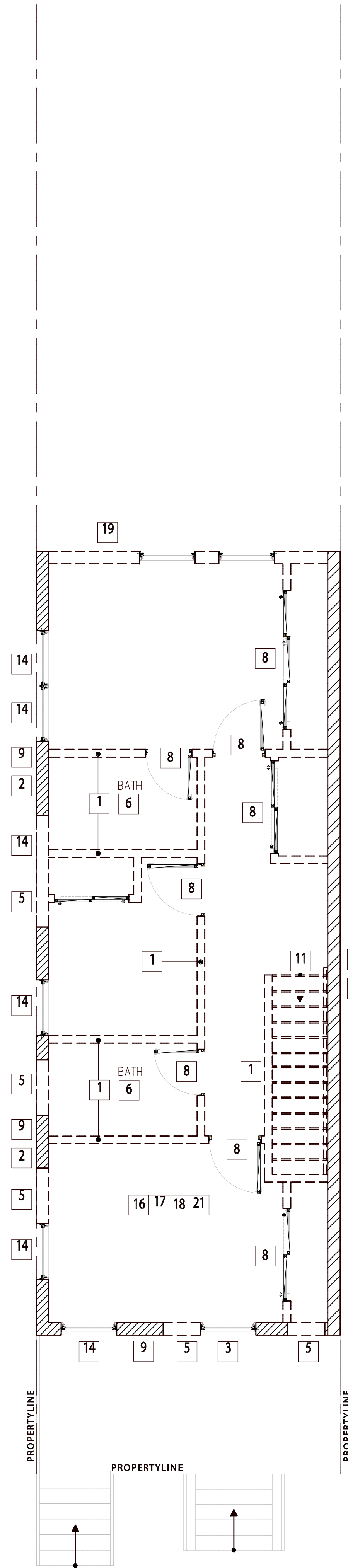
① SITE PLAN
1/4" = 1'-0"



1 CELLAR DEMO PLAN
1/4" = 1' - 0"



2 FIRST FLOOR PLAN
1/4" = 1' - 0"



3 SECOND FLOOR PLAN
1/4" = 1' - 0"

--- DEMOLITION
EXISTING STRUCTURE
DEMO
DEMO NOT ETAG

- 1 REMOVE EXISTING DR WALL AND STUD PARTITIONS
- 2 EXISTING WALLS TO REMAIN
- 3 DEMO EXISTING WINDOW
- 4 EXISTING PARTY WALL TO REMAIN UNDISTURBED
- 5 PARTIAL DEMO EXISTING WALL FOR NEW DOOR WINDOW OPENING
- 6 DEMO/REPLACE ALL PLUMBING FIXTURES
- 7 FRONT PORCH AND STEPS TO REMAIN
- 8 DEMOLISH EXISTING DOORS & FRAMES
- 9 STRUCTURAL BEARING WALLS TO BE UNDISTURBED
- 10 REPAIR/PATCH AREAS WHERE NEW WORK MEETS EXISTING
- 11 DEMO EXISTING STAIRS AND ADJUST FLOOR OPENINGS PER NEW FRAMING LAYOUTS
- 12 DEMO EXISTING STRUCTURAL BEARING WALLS
- 13 DEMO EXISTING REAR DECK AND STAIRS ACCESSING FIRST
- 14 DEMO EXISTING WINDOWS AND REPLACE WITH NEW OR NEW DOOR
- 15 EXISTING DOOR TO BE REPLACED, ROUGH OPENING TO REMAIN AND RECEIVE NEW ENTRY DOOR
- 16 DEMO EXISTING FLOOR JOISTS AND REPLACE WITH NEW SEE STRUC PLANS
- 17 DEMO ALL EXISTING PLUMBING FIXTURES, KITCHEN APPLIANCES, CABINETS AND COUNTERTOPS
- 18 DEMO ALL EXISTING FLOORING AND CEILING DR WALL
- 19 DEMO REAR WALL
- 20 DEMO SERVICE SINK
- 21 DEMO EXISTING ROOF FINISH ENTIRETY
- 22 DEMO EXISTING AREA WAY AND CONCRETE STEPS
- 23 EXISTING AREA WAY AND CONCRETE STEPS TO REMAIN
- 24 DEMO EXISTING ENTRY DOOR AND REPLACED WITH WINDOW

DEMOLITION NOTES:

1. CONTRACTOR SHALL REFER TO GENERAL NOTES ON THIS SHEET. THESE NOTES ARE FOR GENERAL REFERENCE OF THE WORK TO BE REMOVED BY THE CONTRACTOR.

2. DEMOLITION INCLUDES REMOVAL OF EXISTING FIXTURES, MILL WORK, ETC. AS SHOWN ON THESE PLANS, INCLUDING INTERIOR PARTITIONS.

3. THE CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE LANDLORDS REPRESENTATIVE AND THE OWNER IN SCHEDULING THEIR WORK IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO TENANT, ETC. THE CONTRACTOR MUST INSURE THE QUIET ENJOYMENT OF THE OTHER TENANTS WITHIN THE NEIGHBORHOOD. NO WORK MAY HAPPEN DURING NIGHT TIMES.

4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND CAPPING OF ALL EXISTING MISCELLANEOUS PLUMBING FIXTURES AND LINES TO BE ABANDONED IF ANY. SEE PLUMBING DRAWINGS FOR INFORMATION UNLESS OTHERWISE NOTED.

5. THE EXISTING ELECTRICAL DISTRIBUTION IS TO REMAIN AND BE REUSED WITH MODIFICATIONS AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING THE POWER SOURCE. ALL ELECTRICAL DEVICES ARE TO BE REMOVED PRIOR TO DEMOLITION. REFER TO ELECTRICAL DRAWINGS FOR NEW YORK.

6. THE EXISTING HVAC SYSTEM TO REMAIN DISTRIBUTION, DUCTS, GRILLES, DIFFUSERS, ETC. SHALL BE SUPPLIED FOR THE NEW ROOMS. SEE ENGINEERING DRAWINGS FOR SUPPLEMENTAL WORK INFORMATION AND DETAILS.

7. THE OPENINGS AS INDICATED SHALL BE CUT AND/OR NECESSARY EDGES OF THE OPENING TO ADJACENT AREAS REPAIRED. ALL APPLICABLE SURFACES TO BE TAPED, SPACKLED, AND READY FOR FINISH. THE CONTRACTOR IS TO REMOVE THE EXISTING FIXTURES AND FIXTURE WALLS WHERE INDICATED. REMOVE ALL EXTRANEOUS ITEMS, BRACKETS, BRACING, ETC. EXCEPT WHERE INDICATED TO BE COVERED.

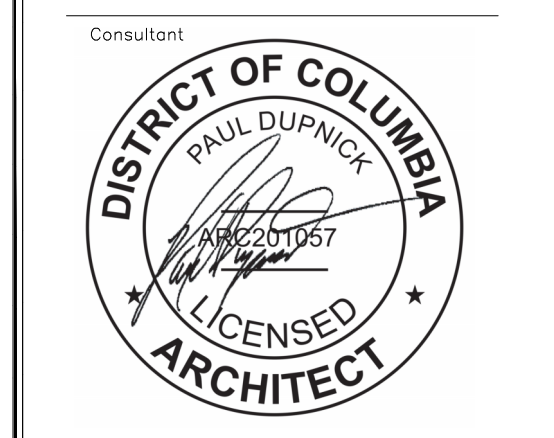
8. NOT USED

9. SEE MECHANICAL ENGINEERING DRAWINGS FOR ALL MECHANICAL DEMOLITION INFORMATION AND DETAILS.

10. SEE PLUMBING ENGINEERING DRAWINGS FOR ALL MECHANICAL DEMOLITION INFORMATION AND DETAILS.

11. SEE ELECTRICAL ENGINEERING DRAWINGS FOR ALL ELECTRICAL DEMOLITION INFORMATION AND DETAILS.

12. ALL FINISHES, MATERIAL SYSTEMS, ETC. WHICH ARE TO REMAIN, MUST BE RESTORED TO A "LIKE-NEW" CONDITION.



Sheet Description
**DEMOLITION
PLANS**



**RESIDENTIAL
RENOVATIONS**

800 10th Street NE
Washington, DC 20002

Sheet Description

FLOOR PLANS

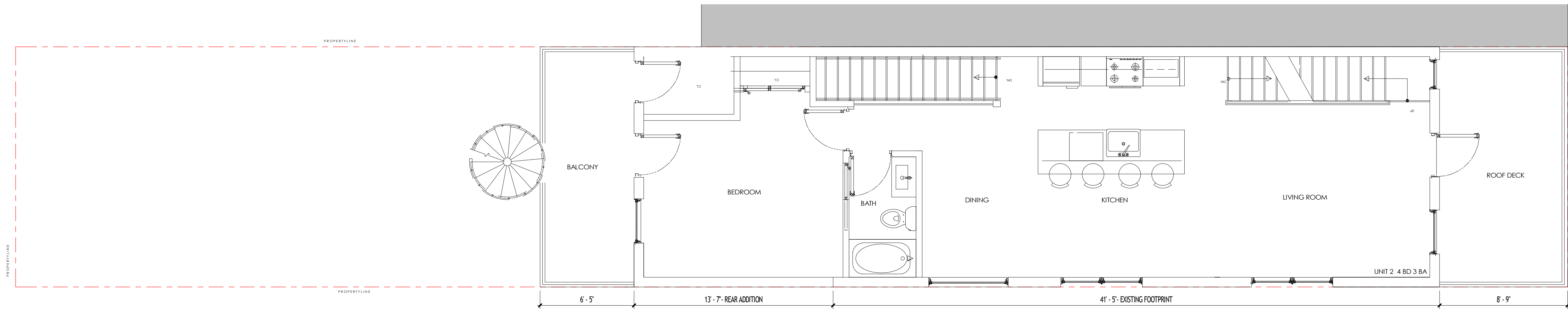
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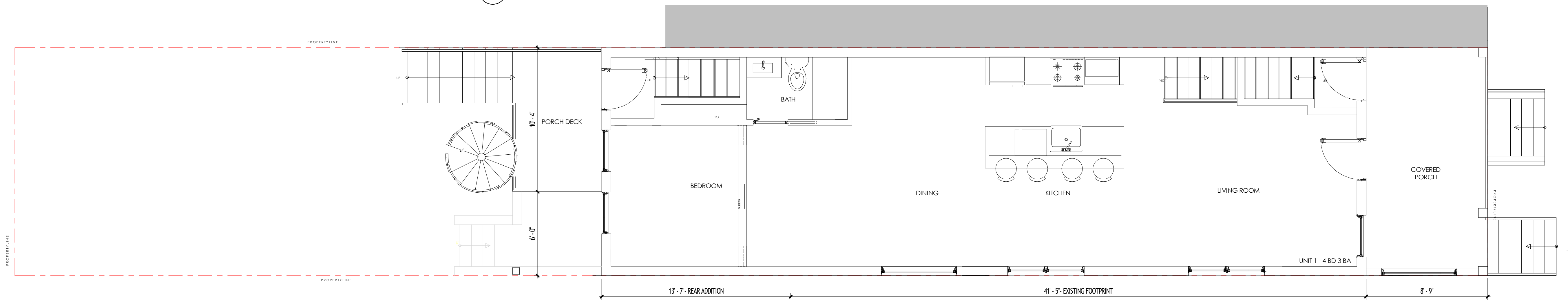
Drawn by: P.J.L.

Date(s):

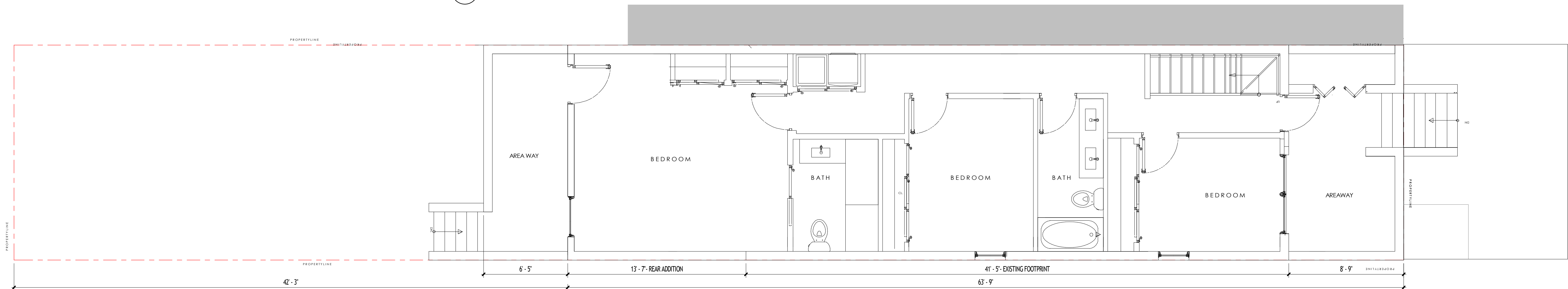
5/26/2026



3 SECOND FLOOR PLAN
1/4" = 1' - 0"



2 FIRST FLOOR PLAN
1/4" = 1' - 0"



1 CELLAR LEVEL
1/4" = 1' - 0"

