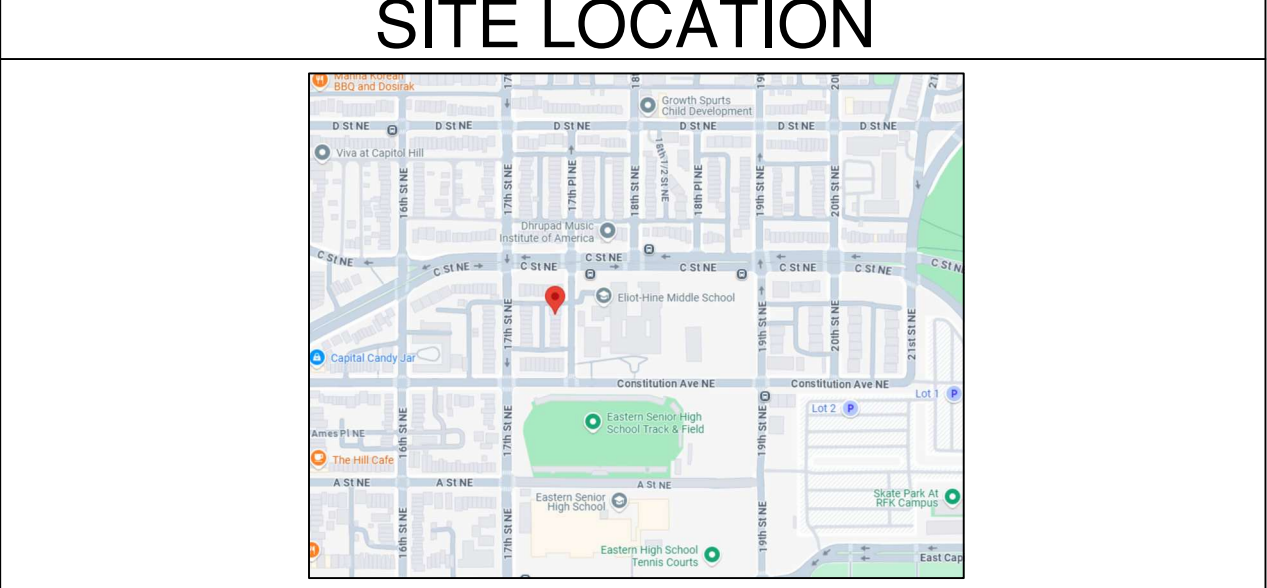


| SHEET LIST |                                      |        |                                         |
|------------|--------------------------------------|--------|-----------------------------------------|
| A-000      | COVER SHEET                          | S001   | SPECS ON SHEET                          |
| A-001      | DEMOLITION PLANS & SECTION           | S-100  | FIRST FLOOR FRAMING AND FOUNDATION PLAN |
| A-002      | PROPOSED PLANS                       | S-200  | SECOND FLOOR AND ROOF FRAMING PLAN      |
| A-003      | PROPOSED PLANS, ELEVATION, & SECTION | S-300  | FOUNDATION SECTIONS & DETAILS           |
| A-004      | INTERIOR DETAILS                     | S-400  | FRAMING SECTIONS & DETAILS              |
| A-005      | EXTERIOR DETAILS                     | S-500A | VERTICAL SUPPORTS SCH. AND NOTES        |
| A-006      | ELECTRICAL PLANS                     | S-500B | VERTICAL SUPPORTS SCH. AND NOTES        |
| E0006      | PANEL SCHEDULE LOAD CALCS            | S-500C | VERTICAL SUPPORTS SCH. AND NOTES        |
| M0001      | MECHANICAL COVER SHEET               | S-600  | BRACING SECTIONS AND DETAILS            |
| M0002      | MECHANICAL PLAN                      | S-600A | BRACING SECTIONS AND DETAILS            |
| M0003      | MECHANICAL DETAILS                   | S-600B | BRACING SECTIONS AND DETAILS            |
| P-001      | PLUMBING PLANS & RISER DIAGRAMS      | S-600C | BRACING SECTIONS AND DETAILS            |
| ESC-01     | EROSION AND SEDIMENT CONTROL PLAN    |        |                                         |
| ESC-02     | EROSION AND SEDIMENT CONTROL DETAILS |        |                                         |

| PROJECT NARRATIVE                                                                                                                                                                              |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SCOPE OF WORK IS THE RECONFIGURATION OF SECOND FLOOR AND ADDITION AT SECOND FLOOR. NEW BASEMENT SLAB, BASEMENT REAR ADDITION, NEW FRONT BASEMENT STAIRS TO GRADE, RECONFIGURATION OF BASEMENT. |

| PIVS DATA & APPLICABLE CODES                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS: 222 17TH PLACE NE, WASHINGTON, DC 20002<br>SSL 1093 0070<br>CLUSTER 25<br>WARD 7<br>ANC<br>SMD 700B<br>ZONE RF-1 | 2015 IBC Codes<br>Title 12 DCMR, DC Construction Codes Supplement (2017)<br>DCMR 12A DC Construction Code Supplement (2017)<br>2017 District of Columbia Building Code<br>2017 District of Columbia Fire Code<br>2017 District of Columbia Mechanical Code<br>2017 District of Columbia Plumbing Code<br>2017 District of Columbia Property Maintenance Code<br>2017 District of Columbia Green Construction Code<br>2017 District of Columbia Energy Conservation Code<br>2014 National Electric Code<br>2015 Energy Conservation Code amended by DCMR 12A 2017 |

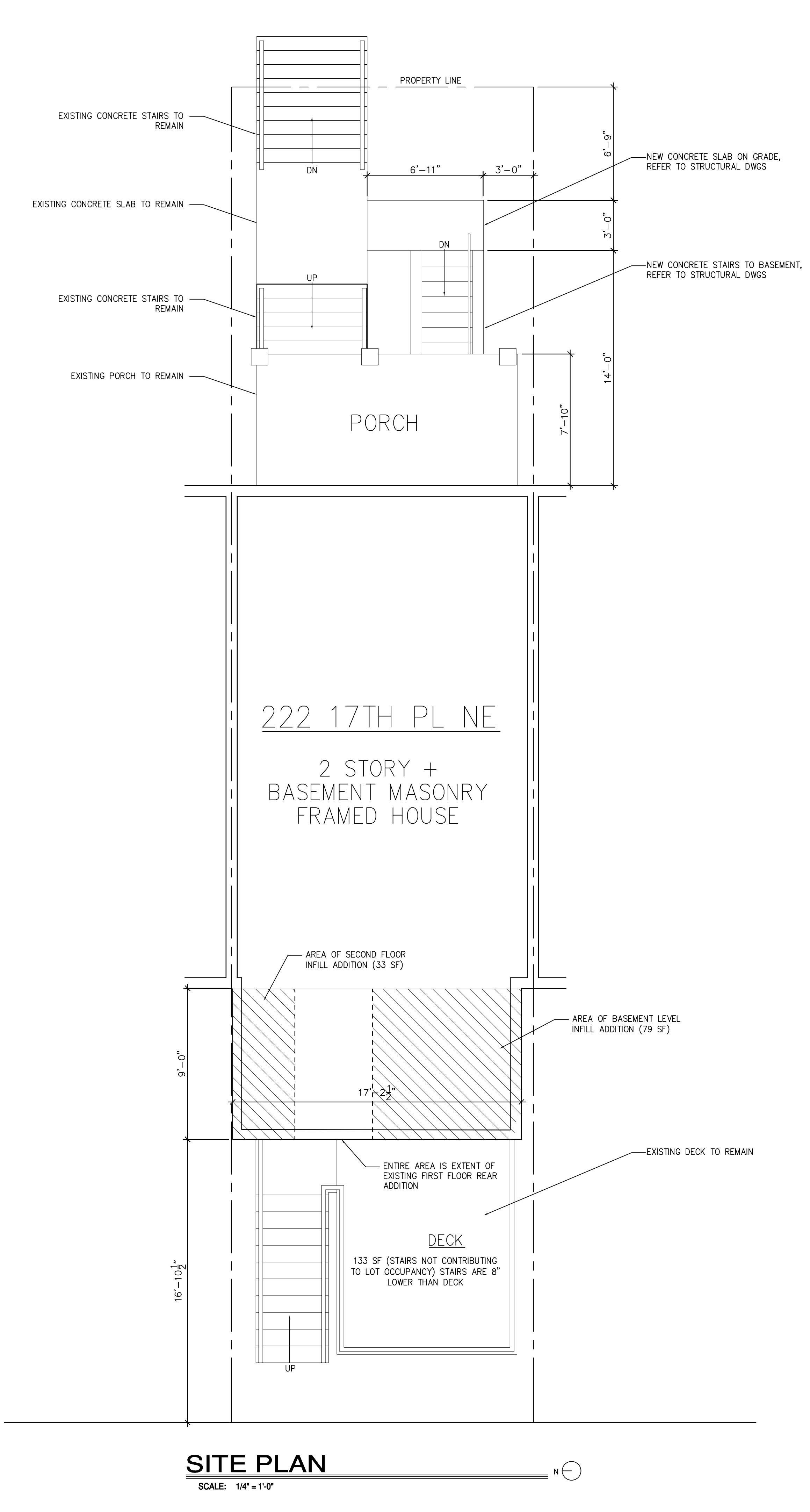
| ZONING ANALYSIS - RF-1 |                                                                    |                |
|------------------------|--------------------------------------------------------------------|----------------|
| CATEGORY               | MAXIMUM/EXISTING                                                   | PROVIDED       |
| MAX HEIGHT:            | 35'-0"/27'-2 1/2"                                                  | 27'-2 1/2"     |
| LOT OCCUPANCY:         | 1432 SF (60%)/936 SF(65.3%)<br>*DECK IS INCLUDED AT 133 SF(0.92 %) | 954 SF (66.6%) |
| ALLOWABLE STORIES:     | 3/2                                                                | 3              |
| REAR YARD SETBACK:     | 20'-0"/16'-10 1/2" (*DECK IS 4'-1")                                | NO CHANGE      |
| FRONT YARD SETBACK:    | RANGE OF EXISTING STRUCTURE                                        | NO CHANGE      |
| SIDE YARD SETBACK:     | 5'-0" ON FREE STANDING SIDES                                       | COMPLIES       |



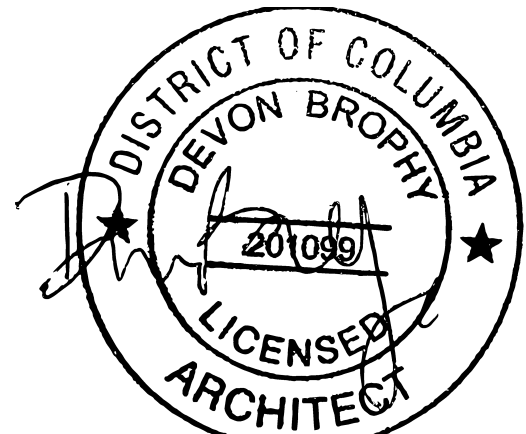
| DC ENERGY CODE NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| a. THIS PROJECT UTILIZES A PRESCRIPTIVE ENERGY COMPLIANCE PATHWAY METHOD.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |
| b. An approved permanent certificate shall be completed by the builder and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. |  |
| c. ALL WINDOWS AND DOORS SHALL HAVE A MINIMUM 0.30 U FACTOR AND SHGC VALUE OF 0.40 PER TABLE R402.1.2. WINDOWS AND SLIDING GLASS DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.3 CFM/SF. SWINGING DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.5 CFM/SF PER 2017 DC ENERGY CONSERVATION CODE SECTION R402.4.3.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |
| d. PER 2017 DC ENERGY CONSERVATION CODE SECTION 402.4.1.2 TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE APPROPRIATE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. APPROVED SAMPLING PROTOCOLS APPROVED BY THE CODE OFFICIAL MAY BE USED. AIR LEAKAGE TEST TO BE PERFORMED SO AS NOT TO EXCEED 3 ACH50.                                                                                                                                     |  |
| e. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |
| f. ALL MECHANICAL DUCTS TO BE INSULATED TO A MINIMUM R-8, PER CODE REQUIREMENTS. ALL DUCTS TO BE SEALED ACCORDING TO THE METHODS PER IRCM1601.4.1.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |
| g. ALL DUCT JOINTS, SEAMS, AND CONNECTIONS TO BE SEALED PER REQUIREMENTS SET FORTH IN SNAQNA CLASS A REGARDLESS OF PRESSURE CLASS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |
| h. AIR HANDLERS TO HAVE A MAXIMUM LEAKAGE RATE OF 2% PER R403.3.2.1.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |
| i. Duct Leakage Testing- Maximum Leakage - The total leakage of the ducts, where measured in accordance with Section R403.3.3, shall be as follows:1. Rough-in test: The total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area where the air handler is installed at the time of the test. Where the air handler is not installed at the time of the test, the total leakage shall be less than or equal to 3 cubic feet per minute (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area. 2. Postconstruction test: Total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area.                                                                                        |  |
| j. PER 2017 DC ENERGY CONSERVATION CODE R403.3.1 AND R403.4 ALL EXTERIOR LINE SET PIPING WILL HAVE ARMAFLEX SHIELD CONTINUOUS COIL PIPE INSULATION INSTALLED FROM THE FACE OF UNIT TO THE EXTERIOR WALL AND POINT OF ENTRY INTO THE INTERIOR. THIS MATERIAL PROVIDES A MINIMUM R VALUE OF R 3.3.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |
| k. PER 2017 DC ENERGY CONSERVATION CODE SECTION R403.5.3 ALL HOT WATER PIPES ARE TO BE INSULATED WITH A MINIMUM R-3 VALUE.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |
| l. ALL EXHAUST VENTS TO BE INSTALLED WITH GRAVITY DAMPERS PER 2017 DC ENERGY CONSERVATION CODE R403.6.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |
| m. PER 2017 DC ENERGY CONSERVATION CODE R302.1 THE INTERIOR DESIGN TEMPERATURE USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE NOT GREATER THAN 72 DEGREES F FOR HEATING AND NOT LESS THAN 75 DEGREES F FOR COOLIN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |
| n. UNDER DCPG 424-5 THE HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO A MAXIMUM TEMP. OF 120 DEGREES FAHRENHEIT BY A WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3, EXCEPT WHERE SUCH PROTECTION IS OTHERWISE PROVIDED BY A COMBINATION TUB/SHOWER VALVE IN ACCORDANCE WITH SECTION 424.3.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |
| o. PER 2017 DC RESIDENTIAL CODE SECTION P2708.4 ALL SHOWER/BATH CONTROLS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE/THERMOSTATIC-MIXING OR COMBINATION PRESSURE WITH A HIGH LIMIT STOP SHALL BE SET TO LIMIT THE WATER TEMPERATURE TO NOT GREATER THAN 120 DEGREES F.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  |

| GENERAL NOTES |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|---------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | THE GENERAL CONTRACTOR SHALL VISIT THE SITE, VERIFY EXISTING CONDITIONS AND DIMENSIONS NEEDED FOR THE PROJECT, PRIOR TO COMMENCING OF CONSTRUCTION AND REPORT ANY DISCREPANCIES OR UNCOVERED CONDITIONS TO THE ARCHITECT. NOTE THAT NO CLAIM FOR ADDITIONAL COSTS SHALL BE CONSIDERED DUE TO THE FAILURE OF EXAMINING EXISTING CONDITIONS WHICH MAY AFFECT NEW WORK.                                                                                    |
| 2.            | EACH CONTRACTOR, SUBCONTRACTOR AND TRADE SHALL BE FAMILIAR WITH THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING AND ANY OTHER SUBSEQUENT DRAWINGS AND ADDENDA.                                                                                                                                                                                                                                                 |
| 3.            | ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED FEDERAL, STATE AND LOCAL BUILDING CODES AND REQUIREMENTS OF ALL REGULATORY AUTHORITIES HAVING JURISDICTION.                                                                                                                                                                                                                                                                           |
| 4.            | INSTALL AND APPLY ITEMS, MATERIALS, EQUIPMENT, FINISHES, ETC., INCLUDING THE PREPARATION OF SURFACES, IN STRICT ACCORDANCE WITH THE MANUFACTURERS PRINTED RECOMMENDATIONS AND INSTALLATION REQUIREMENTS.                                                                                                                                                                                                                                                |
| 5.            | THE GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS FOR ALL RELATED TRADES AND SUBCONTRACTORS, INCLUDING OWNERS' REQUIREMENTS.                                                                                                                                                                                                                                                                                                                         |
| 6.            | ALL WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTIVE TRADES AND ASSOCIATIONS.                                                                                                                                                                                                                                                                                                                                                 |
| 7.            | ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, INSTRUCTIONS AND SPECIFICATIONS, INCLUDING CONNECTIONS TO ADJACENT MATERIALS.                                                                                                                                                                                                                                                                                |
| 8.            | EXISTING AFFECTED WORK SHALL BE PREPARED TO MATCH EXISTING & TO MEET NEW CONDITIONS.                                                                                                                                                                                                                                                                                                                                                                    |
| 9.            | THE CONTRACTOR SHALL PROTECT ALL EXISTING AREAS FROM DAMAGE.                                                                                                                                                                                                                                                                                                                                                                                            |
| 10.           | ALL REMOVED MATERIALS, EXCEPT AS THE OWNER MAY ELECT TO KEEP, SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.                                                                                                                                                                                                                                                                           |
| 11.           | REMOVE ALL RUBBISH AND CONSTRUCTION DEBRIS ON A DAILY BASIS, AND LEAVE THE CONSTRUCTION AREA BROOM CLEAN.                                                                                                                                                                                                                                                                                                                                               |
| 12.           | A COMPLETE SET OF CONSTRUCTION DRAWINGS SHALL BE AT THE PROJECT SITE AT ALL TIMES.                                                                                                                                                                                                                                                                                                                                                                      |
| 13.           | THE GENERAL CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE FOR HIS MATERIALS AND WORKMANSHIP FOR (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.                                                                                                                                                                                                                                                                                                |
| 14.           | BEFORE COMMENCING WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS, SCOPE OF WORK AND VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.                                                                                                                                                                                                                                                  |
| 15.           | ALL WORK DESCRIBED OR INDICATED IN THESE DOCUMENTS AND ALL WORK DEPENDANT UPON OR NECESSARY TO COMPLETE THIS WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER CONSISTENT WITH THE BEST STANDARDS OF THE TRADE INVOLVED AND BE OF ITEMS AND MATERIALS SUITED FOR THE PURPOSE INTENDED.                                                                                                                                                                    |
| 16.           | TRADESMEN, CRAFTSMEN, INSTALLERS, FOREMEN, SUPERVISORS AND SUBCONTRACTORS SHALL BE SKILLED, EXPERIENCED AND LICENSED IF REQUIRED IN THE WORK THEY WILL BE PERFORMING.                                                                                                                                                                                                                                                                                   |
| 17.           | PROJECT CONSTRUCTION ITEMS TO BE NEW, UNLESS NOTED OTHERWISE. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS COMPLETE DESCRIPTIONS OF ITEMS INCLUDING DRAWINGS, TEST DATA, SAMPLES, COST AND SCHEDULE CHANGES ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY ITEM NOTED ON THE DRAWINGS THAT ARE NOT AVAILABLE OR WOULD CAUSE A TIME DELAY SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND THE ARCHITECT NOTIFIED. |
| 18.           | TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE U.N.O. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.                                                                                                                                                  |
| 19.           | DIMENSION LINES ARE TO THE FACE OF FINISH ON EXISTING AND NEW WORK, UNLESS NOTED AS FACE OF STUD OR MASONRY OR CENTERLINE OR OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.                                                                                                                                                                                        |
| 20.           | THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL REVISIONS TO THE DRAWINGS AND CHANGES WITH SCOPE OF WORK OR SCHEDULE REQUIRED BY GOVERNING AGENCIES, FIELD CONDITIONS, REGARDLESS OF EXTENT. ALL REVISIONS TO BE IN WRITING AS CHANGE ORDERS AND APPROVED PRIOR TO STARTING WORK.                                                                                                                                                                      |
| 21.           | THE G.C. SHALL LAYOUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN OR OFF ALIGNED CORNERS.                                                                                                                                                                                                                                                                                                                   |
| 22.           | ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER SPECIFICATION AND AS REQUIRED BY THE CODE. ALL PARTITIONS TO BE FRAMED FROM EXISTING FINISH FLOOR TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE INDICATED ON THE PLANS.                                                                                                                                                                                                                 |
| 23.           | ALL PARTITION DIMENSIONS ARE FROM FINISH FACE OF NEW WALL AND FINISH FACE OF EXISTING WALL OR EXPOSED SURFACE.                                                                                                                                                                                                                                                                                                                                          |
| 24.           | THE CONTRACTOR SHALL USE METAL CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS DRYWALL PARTITIONS.                                                                                                                                                                                                                                                                                                                                                 |
| 25.           | ALL METAL TRIM ON GYPSUM BOARD PARTITIONS SHALL BE TYPE #200 SERIES AS MANUFACTURED BY U.S. GYPSUM OR EQUAL.                                                                                                                                                                                                                                                                                                                                            |
| 26.           | ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY OR AS STATED IN A PARTICULAR FIRE RATED ASSEMBLY PER THAT DETAIL.                                                                                                                                                                                                                                                                                                                                        |
| 27.           | GYPSUM BOARD AT TOILETS, SINKS, LAVATORIES OR KITCHENS SHOULD BE OF WATER RESISTANT TYPE.                                                                                                                                                                                                                                                                                                                                                               |
| 28.           | THE G.C. SHALL BE RESPONSIBLE FOR ALL TAPING AND SPACKLING OF NEW GYPSUM BOARD, AS WELL AS, ALL PATCHING AND REPAIRING OF EXISTING WALLS, CEILING, AND COLUMNS OR ANY SURFACED DAMAGED DURING DEMOLITION.                                                                                                                                                                                                                                               |
| 29.           | G.C. IS RESPONSIBLE FOR CAPPING ALL EXISTING EXPOSED PIPING NOT BEING USED BEYOND THE FINISH SURFACE.                                                                                                                                                                                                                                                                                                                                                   |
| 30.           | PROVIDE ALL NECESSARY ACCESS DOORS (AS REQUIRED BY ME TRADES) FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATIONS TO BE APPROVED BY THE ARCHITECT.                                                                                                                                                                                                                                                                    |
| 31.           | G.C. SHALL FURNISH AND INSTALL FIREPROOF BLOCKING IN CEILINGS OR PARTITIONS.                                                                                                                                                                                                                                                                                                                                                                            |
| 32.           | G.C. IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING REQUIRED FOR EQUIPMENT, PLUMBING, CABINETRY, & TOILET ACCESSORIES. G.C. TO COORDINATE REQUIREMENTS WITH ALL TRADES.                                                                                                                                                                                                                                                                             |
| 33.           | ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED TO RECEIVE NEW FINISH PER THE FINISH SCHEDULE OR OTHERWISE INDICATED ON THE PLANS.                                                                                                                                                                                                                                                                                        |
| 34.           | CONTRACTOR TO PROVIDE ALL MATERIAL AND LABOR REQUIRED TO MAKE FINAL CONNECTIONS TO ALL UTILITIES AND SYSTEMS, INCLUDING ITEMS SUPPLIED BY OWNER, SO THAT ALL UTILITIES AND SYSTEMS ARE FULLY FUNCTIONAL, UNLESS SPECIFIED OTHERWISE.                                                                                                                                                                                                                    |
| 35.           | ALL OPERATING COMPONENTS (SWITCHES, THERMOSTATS, ETC.) LOCATED ON WALLS, MUST BE 48" A.F.F. TO THE OPERATING BUTTONS OR UNIT.                                                                                                                                                                                                                                                                                                                           |
| 36.           | THIS BUILDING IS NOT SPRINKLERED.                                                                                                                                                                                                                                                                                                                                                                                                                       |

| TABLE R402.4.1                                         |                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| COMPONENT                                              | AIR BARRIER CRITERIA                                                                                                                                                                                                                                     | INSULATION INSTALLATION CRITERIA                                                                                                                                                                                                                                                                                                                                                   |
| General requirements                                   | A continuous air-tight air barrier shall be installed in the building envelope.<br><br>The exterior thermal envelope contains a continuous air barrier.<br><br>Breaks or joints in the air barrier shall be sealed.                                      | Air permeable insulation shall not be used as a sealing material. All ceiling, wall, floor and slab insulation shall achieve Class 1 insulation per the FIBRENET Standards or, alternatively, Class 1 for surfaces that contain a layer of continuous, air impermeable insulation > R5.                                                                                            |
| Ceilings/rafters                                       | The air barrier in any dropped ceiling/rafter shall be aligned with the insulation and any gaps in the air barrier shall be sealed.<br><br>Access openings, attic doors, stairs or hatches shall be sealed.                                              | The insulation in any dropped ceiling/rafter shall be aligned with the air barrier.                                                                                                                                                                                                                                                                                                |
| Walls                                                  | The junction of the foundation and all joints shall be sealed.<br><br>The junction of the top plate and the top of exterior walls shall be sealed.<br><br>Lower walls shall be sealed.                                                                   | Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum.<br><br>Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.                                                  |
| Windows, skylights and doors                           | The space between window/door frame and framing, and skylight and framing shall be sealed. Doors adjacent to unconditioned space or ambient conditions shall be made substantially air-tight with weather stripping or equivalent gasket.                | Continuous exterior insulation shall continue over window and door headers.<br><br>Skylight and window frames through unconditioned attic space must be insulated to exterior wall values per Table R02.1.2.                                                                                                                                                                       |
| Rim joints                                             | Rim joints shall include continuous air barrier.                                                                                                                                                                                                         | Rim joints shall be insulated per Table R02.1.2.                                                                                                                                                                                                                                                                                                                                   |
| Floors (including above garage and conditioned floors) | The air barrier shall be installed at any exposed edge of insulation.                                                                                                                                                                                    | Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of subfloor, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members. |
| Crawl space walls                                      | Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.                                                                                                                                     | When provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.                                                                                                                                                                                                                                                                       |
| Shafts, penetrations                                   | Duct shafts, utility penetrations, and fuel shafts opening to exterior or unconditioned space shall be sealed.                                                                                                                                           | Duct shafts or chimneys next to exterior or unconditioned space shall be insulated.                                                                                                                                                                                                                                                                                                |
| Narrow cavities                                        |                                                                                                                                                                                                                                                          | Batts in narrow cavities shall be cut to fit or corner cavities shall be filled by insulation that, on installation readily conforms to the available cavity space.                                                                                                                                                                                                                |
| Garage separation                                      | Air sealing shall be provided between the garage and conditioned spaces.                                                                                                                                                                                 | Walls next to unconditioned garage space shall be insulated.                                                                                                                                                                                                                                                                                                                       |
| Recessed lighting                                      | Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.                                                                                                                                                       | Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.                                                                                                                                                                                                                                                                                |
| Plumbing and wiring                                    | Seal any plumbing or wiring that penetrates the building envelope.                                                                                                                                                                                       | Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.                                                                                                                                                                             |
| Shower/tub on exterior wall                            | The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.                                                                                                                                  | Exterior walls adjacent to showers and tubs shall be insulated.                                                                                                                                                                                                                                                                                                                    |
| Electrical/phone box on exterior walls                 | The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                    |
| Common wall separating dwelling units                  | Air barrier is installed in common wall between dwelling units.                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                    |
| HVAC register boots                                    | HVAC register boots that penetrate building thermal envelope shall be sealed to the exterior or drywall.                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                    |
| Concealed sprinklers                                   | When required to be sealed, concealed sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the sprinkler cover plates and walls or ceilings. |                                                                                                                                                                                                                                                                                                                                                                                    |
| Fireplaces                                             | An air barrier shall be installed on fireplace walls.                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                    |



| REVISIONS |             |
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| DATE      | DESCRIPTION |
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| ISSUED:   | 05/18/2026  |



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| ARCHITECT STAMP                      |
| 34 <sup>TH</sup> Street Architecture |
| 34thstreetarchitecture.com           |
| Devon@34thstreetarchitecture.com     |
| 908-566-2060                         |

|                                                                                       |
|---------------------------------------------------------------------------------------|
| HILL RESIDENCE                                                                        |
| ADDITION,<br>ALTERATION<br>AND REPAIR PERMIT                                          |
| 222 17TH PLACE NE<br>WASHINGTON, DC<br>20002                                          |
| SHEET TITLE                                                                           |
| COVER SHEET                                                                           |
| SHEET NUMBER                                                                          |
| A-000                                                                                 |
| Board of Zoning Adjustment<br>District of Columbia<br>CASE NO. 21497<br>EXHIBIT NO. 4 |
| SHT. OF                                                                               |



1. DEMOLISH ALL WINDOWS, DOORS, AND WALLS SHOWN DASHED. INCLUDE ALL MECHANICAL, PLUMBING,
2. AND ELECTRICAL ITEMS LOCATED IN WALLS.
3. DEMOLISH ALL RADIATORS
4. GENERAL CONTRACTOR TO VISUALLY INSPECT MASONRY FOR SIGNS OF DETERIORATION
5. REMOVE CEILING AT BASEMENT TO FLOOR JOISTS. DEMOLISH ALL MECHANICAL, PLUMBING, AND
6. ELECTRICAL ITEMS. CEILING ASSUMED TO BE APPLIED TO UNDERSIDE OF FLOOR JOISTS AND BE PLASTER
- OR GYPSUM BOARD FINISH.
6. COORDINATE DEMOLITION WITH STRUCTURAL DRAWINGS



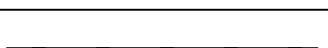
### 3/BASEMENT-DEMO PLAN

## 2/FIRST FLOOR- DEMO

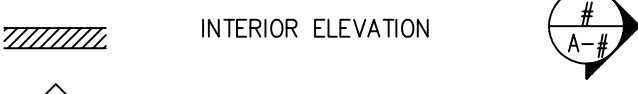
## 1/SECOND FLOOR - DEMO

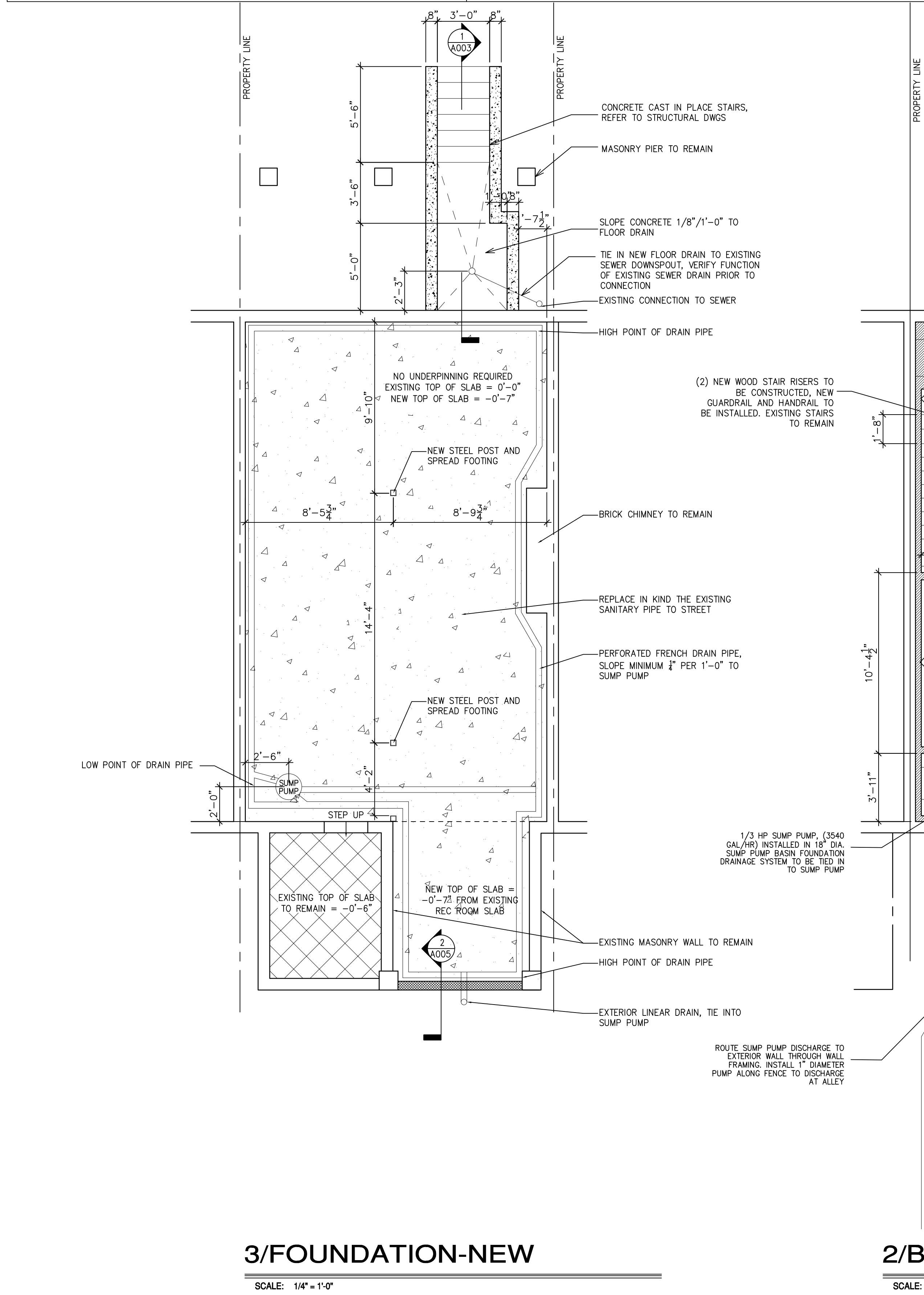
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| PARTITION SCHEDULE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                  |                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SYM.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | CONSTRUCTION LEGEND                                                              | DESCRIPTION                                                                                                                                                            |
| A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | NEW 4" WOOD STUDS SPACED AT 16" O.C. FROM FLOOR TO FRAMING ABOVE. INSTALL 1/2" GYPSUM WALL BOARD ON EACH SIDE OF STUDS.                                                |
| B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | NEW 4" WOOD STUDS SPACED AT 16" O.C. FROM FLOOR TO FRAMING ABOVE. R-15 SPRAY FOAM INSULATION TO BE INSTALLED. INSTALL 1/2" GYPSUM WALL BOARD ON EXPOSED SIDE OF STUDS. |
| C                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | NEW 4" WOOD STUDS SPACED AT 16" O.C. FROM FLOOR TO FRAMING ABOVE. INSTALL 1/2" GYPSUM WALL BOARD ON EXPOSED SIDE OF STUDS.                                             |
| 1. SUBSTITUTE GYPSUM BOARD WITH DUROCK CEMENT BOARD BACKING FOR ALL BATHROOMS AND WET WALLS<br>2. DIMENSIONS ARE TO FINISH FACE OF INTERIOR WALLS, CENTER-LINE OF WINDOWS AND FACE OF EXTERIOR SHEATHING OR MASONRY. FOR FRAMING DIMENSIONS, SUBTRACT 1/2" PER LAYER OF DRYWALL<br>3. PROVIDE PROPER BLOCKING FOR ALL CABINETS, SHELVING, WALL HUNG APPLIANCES, WALL HUNG FIXTURE, & ANY OWNER SELECTED ACCESSORIES<br>4. R-13 ACOUSTIC SOUND BATT INSULATION SHOULD BE INSTALLED BETWEEN ALL STUDS AT ALL BATHROOMS AND BEDROOMS |                                                                                  |                                                                                                                                                                        |

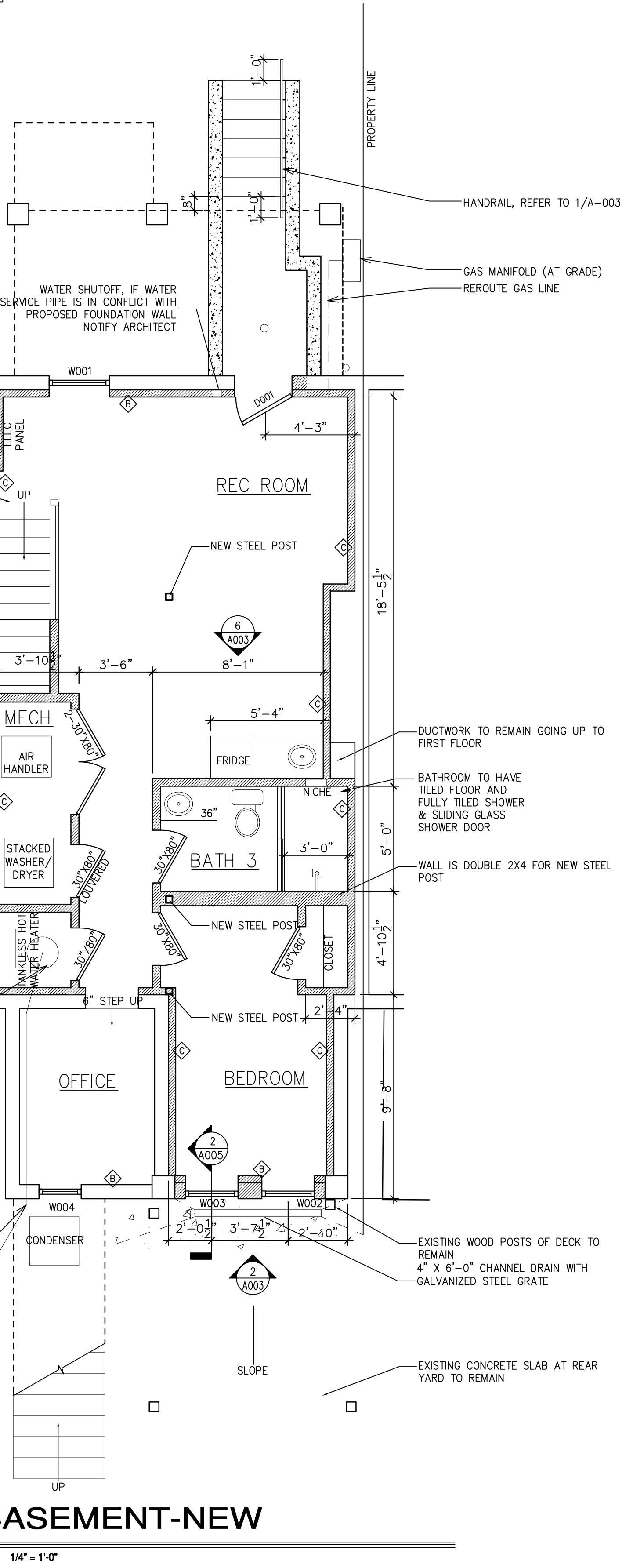
| PLAN GENERAL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL FIXTURE PLACEMENT<br>2. REFER TO MECHANICAL DRAWINGS FOR ROUTING AND LOCATIONS OF VENTS<br>3. REFER TO PLUMBING DRAWINGS FOR PIPING SIZES AND RISER SCHEDULES<br>4. ALL PARTITIONS ARE TYPE A UNLESS OTHERWISE NOTED<br>5. NEW LUXURY VINYL PLANK FLOORING AT BASEMENT. INSTALL 15 MIL VAPOR BARRIER BELOW LVT FLOORING. BATHROOM TO HAVE TILE FLOOR.<br>6. 4" HIGH BASEBOARD TO BE INSTALLED AT BASEMENT<br>7. NEW BASEBOARD AT SECOND FLOOR TO MATCH EXISTING BASEBOARD<br>8. 4" WIDE WINDOW AND DOOR TRIM TO BE INSTALLED AT BASEMENT<br>6. NEW WINDOW AND DOOR TRIM AT SECOND FLOOR TO MATCH EXISTING TRIM<br>7. OWNER TO SELECT ALL FINISHES, FIXTURES, AND EQUIPMENT UNLESS OTHERWISE NOTED ON THESE DRAWINGS. OWNER TO CONFIRM CLOSET SYSTEM TYPES<br>8. INSTALL PLYWOOD UNDERLAYMENT AT ALL NEW HARDWOOD FLOORING. INSTALL DUROCK CEMENT BOARD AT ALL TILED AREAS<br>9. ALL EXISTING WINDOWS TO REMAIN UNLESS OTHERWISE NOTED<br>10. INTERIOR DOORS TO BE SOLID WOOD 5 PANEL DOORS<br>11. INSTALL ACCESS PANEL FOR WATER SHUTOFF |  |

| SYMBOL LEGEND                                                                           |                                                                                                        |
|-----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| EXISTING DEMISING WALLS. THICKNESS, RATING & TYPE VARY. FIELD VERIFY AS NEEDED          |  BUILDING SECTION   |
| NEW PARTITION, FRAMED FROM FLOOR TO THE FLOOR ABOVE. REFER TO WALL SCHEDULE FOR DETAILS |  INTERIOR ELEVATION |
| WALL PARTITION TYPE                                                                     |                     |



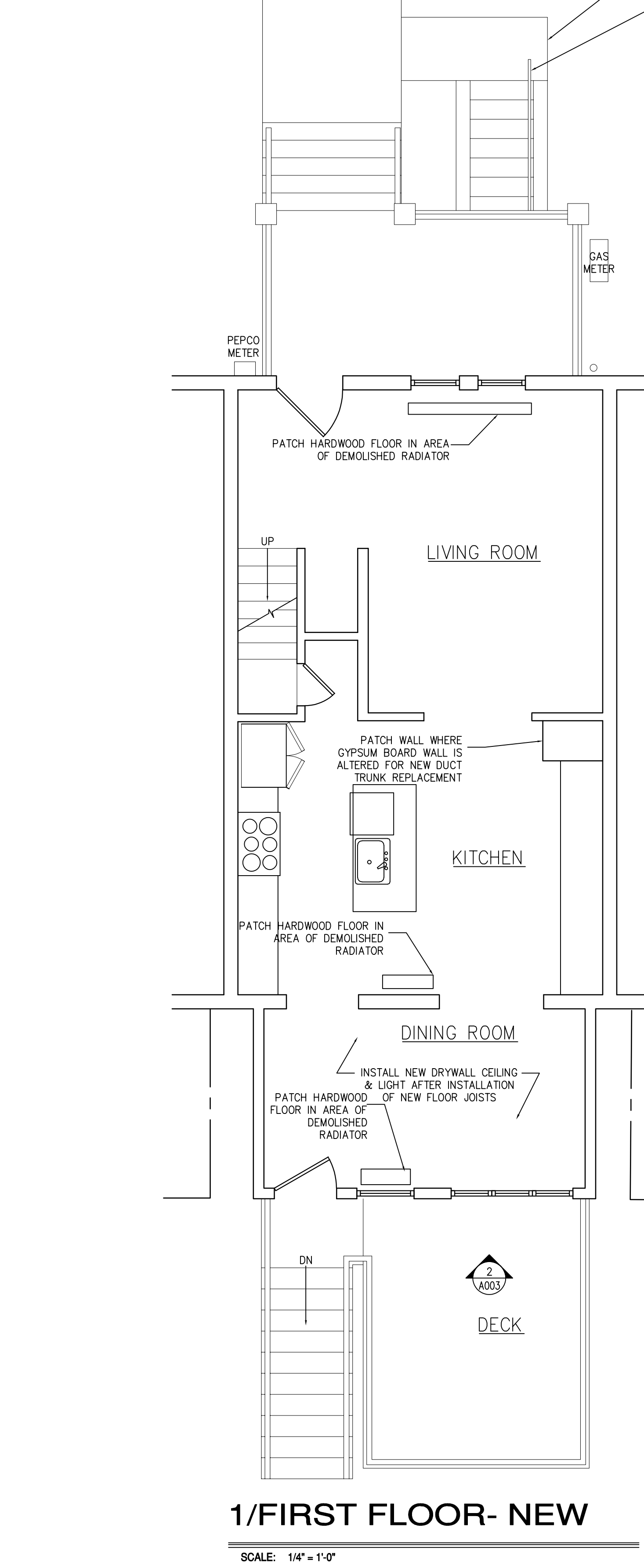
3/F FOUNDATION-NEW

SCALE: 1/4" = 1'-0"



2/BASEMENT-NEW

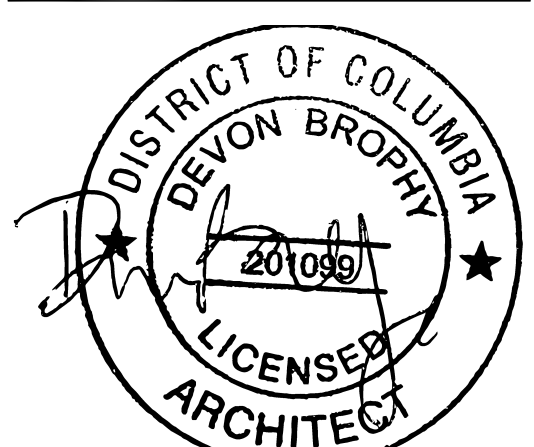
SCALE: 1/4" = 1'-0"



1/FIRST FLOOR- NEW

SCALE: 1/4" = 1'-0"

| REVISIONS          |             |
|--------------------|-------------|
| DATE               | DESCRIPTION |
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ARCHITECT STAMP

**34<sup>TH</sup> Street Architecture**

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20002

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PROPOSED PLANS

SHEET NUMBER  
**A-002**

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