

General Legend and Abbreviations

General Notes

Office
001

Room Name
Room Number

Detail Number
Detail-Section
Sheet Number

Detail-Plan
Sheet Number

Section Number
Building Section
Sheet Number

Elevation Number
Building Elevation
Sheet Number

Elevation Number
Interior Elevation-Plan
Sheet Number

Window Designation

Equipment Designation

Sheet or Work Note

Centerline

Alignment with Established Element

Elevation above grade – Building Section or Building Elevation

Elevation above finished floor – Plans

Revision Cloud and Marker

Existing to remain

Existing relocated

Earth

Gravel

Concrete

Brick

Concrete Masonry Unit

Cut Stone

Metal (See material designation & schedule for type)

Glass

GWB (Large scale)

Medium Density Overlay (MDO) Board/ Oriented Strand Board (OSB)

Plywood

Lay-in Ceiling Tile (Acoustic Panels)

Insulation (Loose or Batt)

Insulation (Rigid)

Wood Blocking/ Shim

Wood Blocking – Continuous

Wood – Finished

Carpet

Abbreviations

ACOUS.	Acoustical	ACOUS.	Acoustical
ACT	Adjustable	ACT	Adjustable
ADJ.	Adjustable	ADJ.	Adjustable
AFF	Above Finished Floor	AFF	Above Finished Floor
AL	Aluminum	AL	Aluminum
ARCH.	Architectural	ARCH.	Architectural
BD.	Board	BD.	Board
BLDG.	Building	BLDG.	Building
BLK., BLKG	Block, Blocking	BLK., BLKG	Block, Blocking
CABNT, CAB.	Cabinet	CABNT, CAB.	Cabinet
CLG.	Ceiling	CLG.	Ceiling
COL.	Column	COL.	Column
CONC.	Concrete	CONC.	Concrete
CONT.	Continuous	CONT.	Continuous
CORR.	Corridor	CORR.	Corridor
CLR.	Clear	CLR.	Clear
CL	Center Line	CL	Center Line
DBL	Double	DBL	Double
D.F.	Drinking Fountain	D.F.	Drinking Fountain
DIA	Diameter	DIA	Diameter
DIM	Dimension	DIM	Dimension
DN.	Down	DN.	Down
DWG., DRWG.	Drawing.	DWG., DRWG.	Drawing.
E.	East	E.	East
EA.	Each	EA.	Each
EL.	Elevation	EL.	Elevation
ELECT.	Electrical	ELECT.	Electrical
EMER.	Emergency	EMER.	Emergency
EQ.	Equal	EQ.	Equal
EXST.	Existing	EXST.	Existing
F.A.	Fire Alarm	F.A.	Fire Alarm
F.D.	Floor Drain	F.D.	Floor Drain
F.E.	Fire Extinguisher Cab	F.E.	Fire Extinguisher Cab
FIN.	Finish	FIN.	Finish
FL.	Floor	FL.	Floor
FLUOR.	Fluorescent	FLUOR.	Fluorescent
F.T.	Foot or Feet	F.T.	Foot or Feet
FURR.	Furring	FURR.	Furring
GA.	Gauge	GA.	Gauge
GLV.	Galvanized	GLV.	Galvanized
G.B.	Grab Bar	G.B.	Grab Bar
GL	Glass	GL	Glass
GW.B.	Gyp. Wall Board	GW.B.	Gyp. Wall Board
H.C.	Hollow Core	H.C.	Hollow Core
HDWD.	Hardwood	HDWD.	Hardwood
HDWE.	Hardware	HDWE.	Hardware
H.M.	Hollow Metal	H.M.	Hollow Metal
HORIZ.	Horizontal	HORIZ.	Horizontal
HT.	Height	HT.	Height
INSUL.	Insulation	INSUL.	Insulation
JAN.	Janitor	JAN.	Janitor
JT.	Joint	JT.	Joint
LT.	Light	LT.	Light
MAX.	Maximum	MAX.	Maximum
MECH.	Mechanical	MECH.	Mechanical
MET.	Metal	MET.	Metal
MANF.	Manufacturer	MANF.	Manufacturer
MIN.	Minimum	MIN.	Minimum
MISC.	Miscellaneous	MISC.	Miscellaneous
MTD.	Mounted	MTD.	Mounted
N.	North	N.	North
N.I.C.	Not In Contract	N.I.C.	Not In Contract
#	Number	#	Number
N.T.S.	Not To Scale	N.T.S.	Not To Scale
O.C.	On Center	O.C.	On Center
O.D.	Outside Diameter	O.D.	Outside Diameter
OPNG.	Opening	OPNG.	Opening
OPP.	Opposite	OPP.	Opposite
P.G.	Paint Grade	P.G.	Paint Grade
P. LAM.	Plastic Laminate	P. LAM.	Plastic Laminate
PLAS.	Plaster	PLAS.	Plaster
PLYWD.	Plywood	PLYWD.	Plywood
PR.	Pair	PR.	Pair
REF.	Refrigerator	REF.	Refrigerator
REINF.	Reinforced	REINF.	Reinforced
REQ.	Required	REQ.	Required
RESIL.	Resilient	RESIL.	Resilient
RM.	Room	RM.	Room
R.O.	Rough Opening	R.O.	Rough Opening
S.	South	S.	South
SCHED.	Schedule	SCHED.	Schedule
SECT.	Section	SECT.	Section
SHT.	Sheet	SHT.	Sheet
SIM.	Similar	SIM.	Similar
SPEC.	Specification	SPEC.	Specification
SQ.	Square	SQ.	Square
S.S.	Stainless Steel	S.S.	Stainless Steel
STA.	Station	STA.	Station
STD.	Standard	STD.	Standard
STL.	Steel	STL.	Steel
STOR.	Storage	STOR.	Storage
SYM.	Symmetrical	SYM.	Symmetrical
TEL.	Telephone	TEL.	Telephone
TH.	Thick	TH.	Thick
TYP.	Typical	TYP.	Typical
UNF.	Unfinished	UNF.	Unfinished
UON	Unless Otherwise Not	UON	Unless Otherwise Not
UNO	Unless Not. Otherwise	UNO	Unless Not. Otherwise
VCT.	Vinyl Composition Tile	VCT.	Vinyl Composition Tile
VERT.	Vertical	VERT.	Vertical
VIF	Verify In Field	VIF	Verify In Field
W.	West	W.	West
WI.	With	WI.	With
WD	Wood	WD	Wood
W.F.	Wood Flooring	W.F.	Wood Flooring
W/O	Without	W/O	Without
W.S.	Wet Stack	W.S.	Wet Stack

- The Contract Documents are instruments of service and shall remain the property of the Architect whether the project for which they are prepared is executed or not. The Contract Documents are not to be used for other projects or extensions to the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.
- The Contract Documents shall not be reproduced, re-used, displayed or published without express written consent of Architect, and if approval is given, credit must be given to Architect in visual format in relation to reproduced drawing or image.
- Do not scale drawings; dimensions govern. Verify dimensions with field conditions. If discrepancies are discovered between field conditions and drawings or between drawings, contact Architect for resolution before proceeding.
- Horizontal dimensions indicated are to / from finished face of construction, except as noted.
- Vertical dimensions are from top of floor slab, except where noted to be from above finished floor (AFF) as measured from the high point of the slab.
- Contractor to notify Architect when deviation is greater than allowed in Note 5.
- Floor Tolerance: General Contractor to immediately verify slope and report any deviation over a 1/4 inch slope in 10 feet to the Architect prior to commencing work. Any leveling required greater than 1/4 inch slope in 10 feet shall be the responsibility of the General Contractor.
- Dimensions are not adjustable without approval of Architect, unless noted with a " " sign.
- Cut and fit components for alteration of existing work and installation of new work. Patch disturbed areas to match adjacent materials and finishes.
- Where occurs, patch and repair all fireproofing damaged or removed during performance of the work. Fireproof new penetrations required by the work.
- Make all necessary provisions for items as indicated on the drawings to be furnished or installed by Owner. Provide protection for these provisions until completion of the project. General Contractor to coordinate provisions for NIC items with appropriate trades.
- General Contractor shall be responsible for checking Contract Documents, field conditions and dimensions for accuracy and confirming that work can be built as shown before proceeding with construction. Clarifications regarding any conflicts shall be received prior to related work being restarted.
- General Contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler equipment (to include all piping, duct work, structural members, and conduit) and that all required clearances for installation and maintenance of above equipment are provided. Elements in conflict shall be determined and reviewed with Architect prior to construction proceeding.
- General Contractor to follow manufacturer's recommended specifications, installation instructions, shop drawings and samples for review and approval of all materials, methods, and trades to be used prior to ordering or proceeding with the work.
- General Contractor to follow manufacturer's recommended specification and installation procedures. If these are contrary to the Contract Documents, General Contractor shall notify Architect in writing immediately, to resolve discrepancies prior to proceeding.
- The A201 AIA "General Conditions of the Contract for Construction", published by the American Institute of Architects, hereinafter referred to as the "General Conditions," is hereby made part of the Contract Documents, the same as if bound herein.
- The Contract Documents consist of the following:
 - Owner-General Contractor Agreement
 - General Conditions
 - Drawings as dated in Agreement
 - Addenda
 - Modifications
- All construction shall conform to the latest adopted version of the WDC Building Code and (including supplements and addenda hereto) and applicable ordinances and regulations.
- In the event of conflict between data shown on drawings and data shown in the specifications, the specifications shall govern. Detail drawings take precedence over drawings of larger scope. Should the General Contractor at any time discover an error in a drawing or specification, or a discrepancy or variation between dimensions or drawings and measurements at the site, or lack of dimensions or other information, he shall request clarification immediately, and he shall not proceed with the work affected until clarification has been made.
- Only new items of recent manufacture, standard quality, and free from defects, will be permitted on the work. Rejected items shall be removed immediately from the work and replaced with items of the quality specified. Failure to remove rejected material and equipment shall not relieve the General Contractor from the responsibility for quality and character of items used, nor from any other obligation imposed on him by the Contract.
- The finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean uniform appearance, without waves, distortions, holes, marks, cracks, stains or discoloration. Jointing shall be close fitting, neat and well scribed. The finish work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for material expansions, contractions, and shrinkage as necessary to prevent cracks, buckling and warping due to temperature and humidity conditions.
- Attachments, connections, or fastening of any nature are to be properly and permanently secured in conformance with best practice, and the General Contractor is responsible for improving them accordingly.
- The General Contractor is responsible for verifying the dimensions and elevations at the site. The General Contractor shall coordinate the layout and exact location of all partitions, doors, electrical/telephone outlets, light switches and thermostats with the Architect and Owner in the field before proceeding with construction.

- The General Contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowance of any kind will be made for the General Contractor's negligence to foresee means of installing equipment into position inside structures.
- No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable in consequence of Owner's or Architect's failure to discover or to point out defects or deficiencies during construction; nor will presence of inspectors on site relieve General Contractor from responsibility for securing quality and progress of work as required by Contract. Defective work revealed within required time guarantees, as specified in the Contract for Construction, shall be replaced by work conforming with intent of Contract. No payment whether partial or final, shall be construed as an acceptance of defective work or improper materials.
- Materials and workmanship specified by reference to a general specification such as manufacturer's standards, commercial standards, federal specifications, trade association standard, or other similar standard, shall comply with requirements in the latest edition or revision thereof, and with any amendment or supplement thereto in effect on date of origin of this project's Contract Documents. Such standard, except as modified herein, shall have full force and effect as though printed in Contract Documents.
- General Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and Contract Documents or governing codes, ordinances, etc require greater quantity or better quality than common practice or common usage would require.
- General Contractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable or have a long lead time, General Contractor shall notify Architect immediately.
- If at any time before commencement of work, or during progress thereof General Contractor's methods, equipment or appliances are inefficient or inappropriate for securing quality of work, or rate of progress intended by Contract Documents, Owners may order General Contractor to improve their quality or increase their efficiency. This will not relieve General Contractor or his sureties from their obligations to secure quality of work and rate of progress specified in Contract.
- All submittals must be approved by Architect.
- Architect, acting as the Owner's designated agent for design of this project, will exercise sole authority for determining conformance of materials, equipment and systems with the intent of the design. Review and acceptance of all items proposed by General Contractor for incorporation into this work will be by the Architect and/or Owner. This function of the Architect will apply both to Contract as initially signed, and to the changes to Contract by modification during progress of work.
- Only where indicated "equal to" or "substitutions" for specified materials, or for long lead time consideration shall substitutions be considered by Architect for acceptance. References to makes, brands, models, etc. are to establish type and quality desired; substitution of acceptable equals will not be permitted unless specifically noted otherwise, and when acceptable procedures for requesting substitutions are followed.
- Exercise extreme care and precaution during construction of work, and schedule work, to minimize disturbances to adjacent spaces and to their occupants, property, public thoroughfares, etc. General Contractor shall take precautions and be responsible for the safety of all building occupants from construction procedures. The General Contractor shall be responsible for any overtime costs incurred thereby.
- Changes to Contract Documents: any revision to the Contract Documents requested by Owner/Architect, required or otherwise implied which will effect the project cost and duration must be submitted in writing to the Architect for written approval prior to proceeding with the work. This includes but is not limited to field directive, changes required to address field discrepancies, changes as required by inspectors, etc. Said change orders must be submitted to the Architect with a clear indication of the impact on project duration and cost where occurs. Any cost or schedule impact incurred for work already performed by the General Contractor without written authorization from the Architect may or may not be accepted and compensated for at the sole discretion of the Owner and the Architect.
- It is the General Contractor's responsibility to execute the work in strict accordance with these Contract Documents. Should the Architect or Engineer be required to perform any additional services (including but not limited to: additional site visits, additional drawings or details, additional shop drawing/submittal reviews above 2 iterations) due to poor and/or improper execution of the Contract Documents on the part of the General Contractor, all fees and reasonable expenses for such additional services shall be borne and paid for by the General Contractor.
- All products purchased for the project by Owner or Architect, including but not limited to light fixtures, appliances, plumbing fixtures, equipment or accessories, shall be inspected by General Contractor for any damage or defects upon arrival at the site. If defects or damage are found, the Owner or Architect must be notified immediately. **All original packaging, including boxes, packing material, instructions, labels, etc. for these products must be retained on site by the General Contractor until installation is approved by the Architect. If the original packaging is not retained, the General Contractor will be responsible for the cost of replacing these fixtures or accessories, should that become necessary for any reason.** If there are any questions or issues that arise regarding installation of these fixtures or accessories, the Architect should be notified immediately, prior to installation.

Project Information

Address: 3613 13th St. NW
Washington DC 20010

Jurisdiction/Governing Code: International Residential Code 2018
All governing addenda and supplement
2017 District of Columbia Building Code
2017 District of Columbia Energy Conservation Code
2017 District of Columbia Green Construction Code

Description of Building: Attached 2 story plus basement row home

Building Sprinkler System: NON-SPRINKLERED

Zone: RF-1

Scope of Work: Use variance application

Directory

Owner: Architect: Structural:

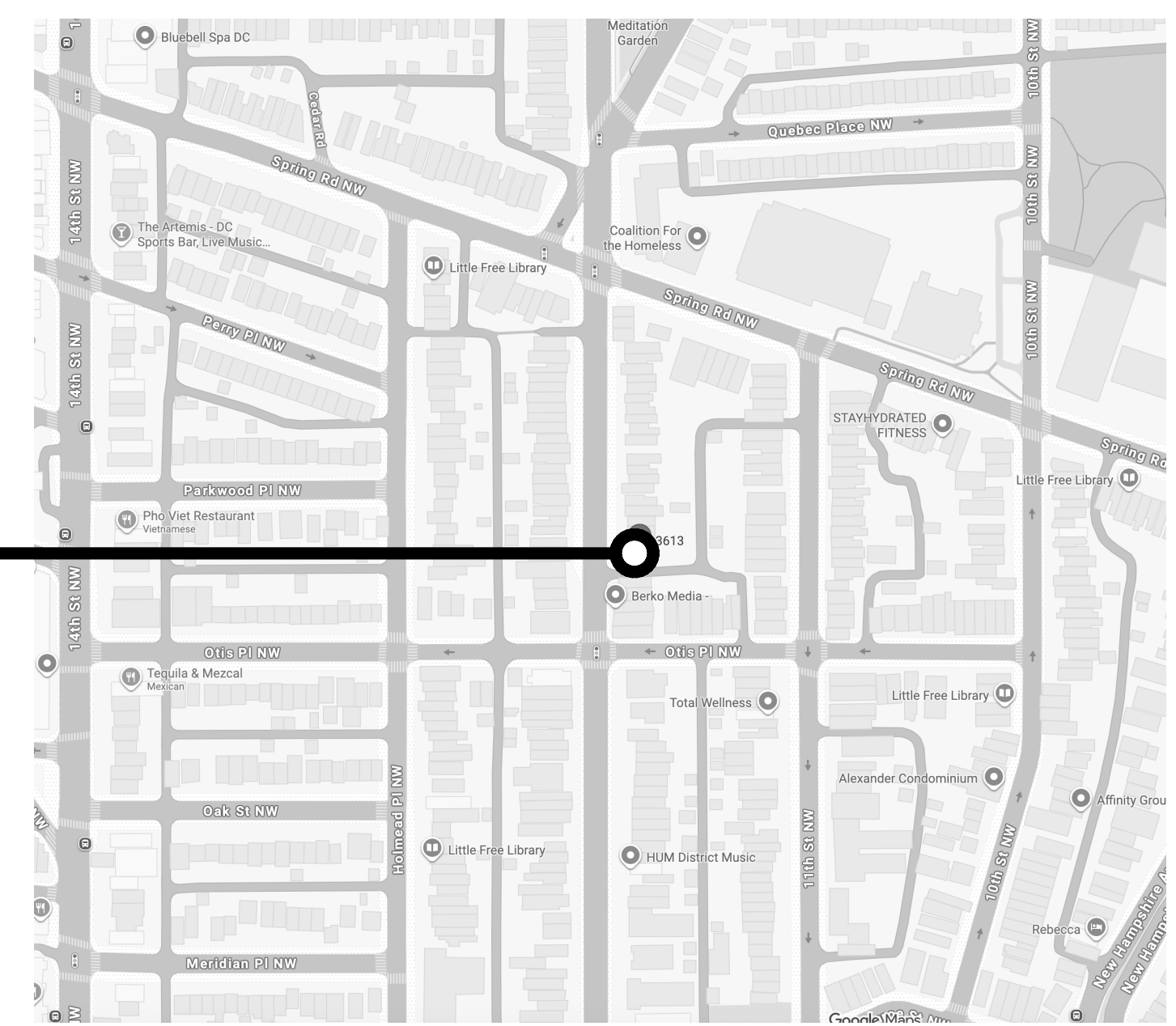
Architect: KUBE Architecture
818 18th St. NW Suite 600
Washington DC 20006

MEP: Civil:

Drawing Index

SHEET INDEX		
ID	Name	Published
A-101	PROJECT INFORMATION	<input type="checkbox"/>
A-201	Property Site Plan	<input type="checkbox"/>
A-301	1st Floor Plan: Existing	<input type="checkbox"/>
A-302	2nd Floor Plan: Existing	<input type="checkbox"/>
A-303	Basement Plan: Existing	<input type="checkbox"/>
A-401	Front Elevation: Existing	<input type="checkbox"/>

Location Map



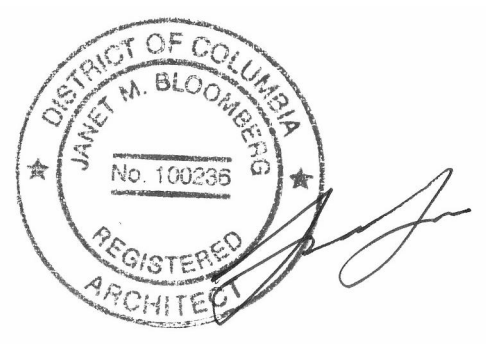
PROJECT LOCATION



KUBE architecture

818 18th St. NW
Suite 600
Washington DC 20006
202.986.0573

Drawn By: MD
Checked By: RL

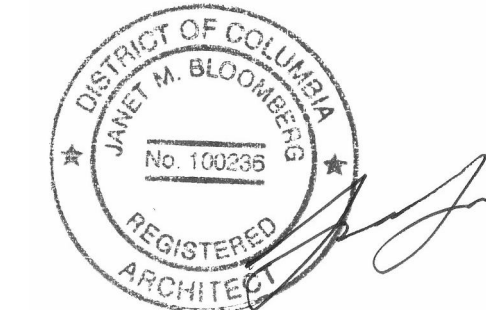
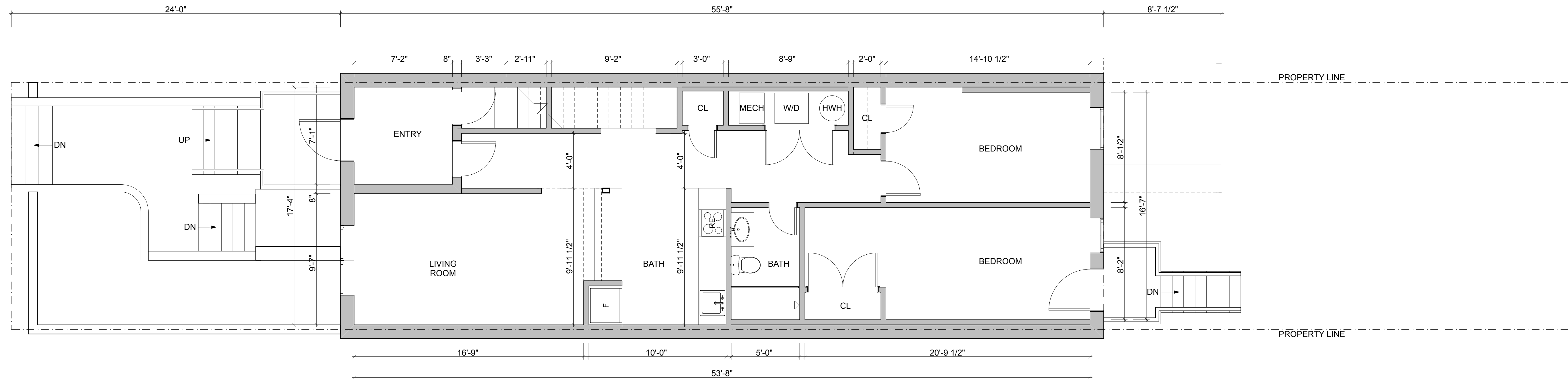


3613 13th St.
Washington, DC 20009

A-101

PROJECT INFORMATION

NO CHANGES PROPOSED



KUBEarchitecture

818 18th St. NW
Suite 600
Washington DC 20006
202.986.0573

Drawn By: MD
Checked By: RL

01	4.21.26	BZA Application
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3613 13th St.
Washington, DC 20009

1
A-301

1st FLOOR
SCALE: 1/4" = 1'-0"

General Construction Notes

- G.1. Prior to commencement of any construction, the contractor shall contact all utilities to coordinate schedules and new service, as needed.
- G.2. GC to notify Architect of date for partition layout (i.e. Chalk Line Layout Date). Layout to be approved by Architect.
- G.3. All partition joints shall be speckled, taped and sanded smooth with no visible joints.
- G.4. All exterior corners of gypsum board shall have metal corner beads (screwed type) UNO.
- G.5. All dimensions are shown from finish face of construction, UNO.
- G.8. All areas of existing floor disturbed by construction to be patched to match existing. Wood floors to receive matching wood toed-in to existing.
- G.9. Contractor to provide in-wall blocking to accommodate all equipment, millwork/casework, shelving, wall-mounted plumbing, etc. Coordinate locations with drawings and confirm with Architect.
- G.10. All new and existing walls and ceiling affected by construction to receive 1/2" gypsum wallboard (gwb). Bathrooms to receive waterproof gwb. All existing drywall affected by construction to be sanded thoroughly and made "paint-ready".
- G.11. Provide additional studs as required to achieve electrical outlet groupings. Coordinate with electrical dwgs.

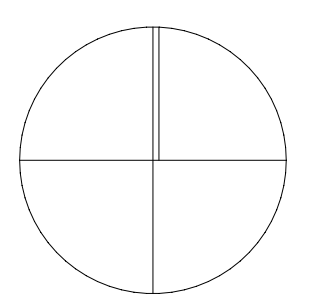
- G.12. All walls to receive paint (primer + 2 finish coats for lighter colors and 3 finish coats for darker colors) with flat or stain finish - confirm with Architect. Architect to provide final paint colors. At least 4 sample panels to be provided prior to final color selection.
- G.13. All walls to receive square wood base trim as shown on drawings. Bathroom walls to receive ceramic base with square edge (typical) - no bullnose.
- G.14. New Hardware to be brushed chrome or satin nickel finish, as selected by owner. Door pulls to be selected by Owner & Architect. All sliding doors to receive recessed pulls - confirm latches for bedrooms and/or bathrooms with Architect and Owner.
- G.15. Blocking in walls to be provided for all bathroom accessories. Confirm locations with Architect & Owner.

- G.16. All mechanical registers to be Kul or equal rectangular flat architectural register - confirm final selection with Architect.
- G.17. If sprinkler system is required, all heads to be concealed type.
- G.18. All floor finish specifications to be provided by Architect. If not provided, contractor to request them in order to include in project pricing.
- G.19. All bathroom walls to receive sound blanket batt insulation, whether new or existing.
- G.20. Contractor to confirm with Architect bathroom curb vs. no curb shower locations before framing is installed.
- G.21. Spray foam all outlets, switches, door and window perimeter, and any other penetrations in exterior walls - seal air penetrations completely.

- G.22. All dimensions for NEW staircase or modifications of existing staircase shall be laid out and finalized on site by the General Contractor prior to ordering or installing ANY framing or structural members. If the staircase does not follow code, or if there are any other aspects of the stair that do not work properly on site, it is the full responsibility of the General Contractor to re-build as necessary to match the drawings and follow all code requirements. If General Contractor determines that the drawings for the staircase does not follow code on site, it is his/her responsibility to inform the Architect BEFORE installing any framing or structural elements.
- G.23. General Contractor to establish tile requirements, including overage, and factor that amount into their tile pricing. Any tile square footage amount provided on the drawings is only a guideline - actual tile amounts must be established by Contractor

Plan Legend

- Fill indicates existing wall to remain.
- Fill indicates new wall construction.

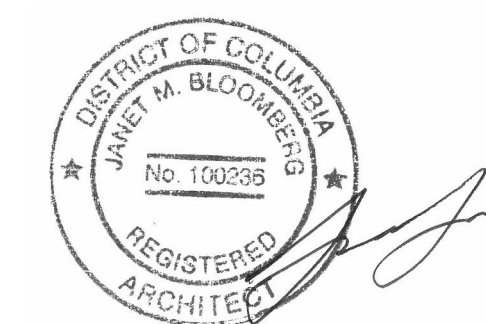


A-301
1st Floor Plan:
Existing

NO CHANGES PROPOSED



1
A-401 FRONT ELEVATION
SCALE: 1/2" = 1'-0"



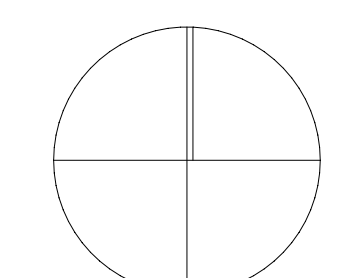
KUBEarchitecture

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Drawn By: MD
Checked By: RL

01	4.21.26	BZA Application
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KUBE OFFICE
a ertvatqewt twetwtwt
wvetwt SC 20001



A-401

Front Elevation:
Existing