

FOUNDATION NOTES

1. ALL CONCRETE SHALL BE 3,000 PSI (AT 28 DAYS) AIR ENTRAINED, U.N.O. (REF. DETAIL B/FND FOR WALL REINFORCEMENT SCHEDULE, TYP.)
2. CMU SHALL BE FILLED WITH 3,000 PSI GROUT WHERE INDICATED ON PLANS. MORTAR SHALL BE TYPE "S" FOR ALL BELOW GRADE APPLICATIONS.
3. BACKFILL WALLS IN EQUAL LIFTS, DO NOT BACKFILL WALLS UNTIL BASEMENT SLAB IS POURED AND 1ST FLOOR DECK IS INSTALLED AND FULLY SHEATHED.
4. WATERPROOFING AND DRAINAGE SYSTEM SHALL BE PROVIDED AS INDICATED AND DRAINAGE SHALL TERMINATE AT A SUITABLE SUMP OR DAYLIGHT CONDITION AS REQUIRED PER CODE.
5. DO NOT CUT DRILL OR NOTCH FOUNDATION WALLS WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
6. FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLOPE CUTS AND SOIL STABILIZATION IN ACCORDANCE WITH COUNTY REQUIREMENTS

FRAMING NOTES

1. FOLLOW MANUFACTURERS INSTRUCTIONS FOR CUTTING HOLES IN ANY I-JOIST, LVL OR PSL PRODUCTS. DO NOT CUT HOLES OR NOTCH WITHOUT PROPER SIZING AND PLACEMENT.
2. ALL MULTI-PLY MEMBERS SHALL BE ATTACHED WITH 3-ROWS OF 16D NAILS AT 12" O/C (NAILED FROM BOTH SIDES OF BEAM ASSEMBLY FULL LENGTH)(ADD FILLER BETWEEN DOUBLE I-JOISTS PER MANUF. SPECS.)
3. ALL HEADERS SHALL BE HEM FIR #2 & ALL STUDS SPF #2 U.N.O.
4. ALL LUMBER EXPOSED TO ELEMENTS OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (ACQ) SYP #2 OR EQUIVALENT TREATMENT APPROVED FOR GROUND CONTACT
5. USE ONLY APPROVED NON-CORROSIVE FASTENERS AND HARDWARE FOR ALL ATTACHMENTS IN PRESSURE TREATED LUMBER.
6. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLED HARDWARE (FILL ALL NAIL HOLES IN STRAPS AND HANGERS)
7. PROVIDE CRUSH BLOCKS UNDER ALL POSTS ABOVE (OF EQUAL WIDTH AND MATERIAL AS POST)
8. ALL INTERIOR 2X BEARING WALLS @ 16" O.C. (U.N.O.).

WINDBRACING SCHEDULE

90 MPH (3-Second Gust) - Braced Wall Schedule

BRACED WALL SCHEDULE - SEE ARCHITECTURAL COVERSHEET FOR CODE REFERENCE

MARK	TYPE	LENGTH	DESCRIPTION	DETAIL
CS-WSP	PRESCRIPTIVE BRACED WALL (CS-WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
WSP	PRESCRIPTIVE BRACED WALL (WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
GB	PRESCRIPTIVE BRACED WALL (GB)	LENGTH PER PLAN (DOUBLE SIDED = ACTUAL LENGTH, SINGLE SIDED = .5 x ACTUAL)	1/2" GYPSUM WALL SHEATHING ATTACHED TO STUDS (BLOCKED) WITH DRYWALL SCREWS (#6x1 1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C AT INTERMEDIATE SUPPORTS INTO 2X4 SPF#2 FRAMING MEMBERS.	-
LIB	PRESCRIPTIVE LET-IN-BRACE (LIB)	LOCATION PER PLAN (EITHER SIDE OF WALL)	SIMPSON TMB/WB/SCMB DIAGONAL BRACES LET IN TO THE TOP & BOTTOM PLATES AND STUDS. LET IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60° OR LESS THAN 45° FROM HORIZ. USE 2-16D NAILS TO PLATES & 2-8D NAILS TO STUDS.	2-WB.01
CS-PF	WOOD PORTAL FRAME (CS-PF)	6:1 HEIGHT TO WIDTH RATIO	PORTAL FRAME OR PORTAL TRUSS	4-WB.01 A/B-WB.02

SHEAR WALL SCHEDULE - 2001 WOOD FRAMED CONSTRUCTION MANUAL (WFCM)

MARK	TYPE	CAPACITY	DESCRIPTION
SW-1	WOOD SHEAR WALL + GYPSUM (2-SIDES)	436 PLF	3/4" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2 3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES + 1/2" OYP. BOARD ATTACHED TO STUDS ONE SIDE (UNBLOCKED) WITH DRYWALL SCREWS (#6x1 1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C FIELD.
SW-2	WOOD SHEAR WALL + GYPSUM (2-SIDES)	590 PLF	3/4" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2 3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES + 1/2" OYP. BOARD ATTACHED TO STUDS ONE SIDE (UNBLOCKED) WITH DRYWALL SCREWS (#6x1 1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C FIELD.
SW-3	WOOD SHEAR WALL + GYPSUM (2-SIDES)	755 PLF	3/4" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2 3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES + 1/2" OYP. BOARD ATTACHED TO STUDS ONE SIDE (UNBLOCKED) WITH DRYWALL SCREWS (#6x1 1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C FIELD.
SW-4	GYPSUM SHEAR WALL (ONE SIDE)	100 PLF	1/2" GYPSUM BOARD ATTACHED TO STUDS ONE SIDE (UNBLOCKED) WITH DRYWALL SCREWS (#6x1-1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C AT INTERMEDIATE SUPPORTS INTO 2X4 SPF#2 FRAMING MEMBERS.

1. ALL BRACED WALLS AND SHEAR WALLS ASSUME A CONTINUOUSLY SHEATHED STRUCTURE IN ACCORDANCE WITH IRC SECTION 602.10.5
2. ALL VALUES SHOWN HAVE BEEN REDUCED TO REFLECT A S.G. = 0.43 FOR STUD FRAMING
3. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
4. REFERENCE ATTACHED DETAILS FOR PORTAL WALL FRAMING
5. FIELD NAILING SHALL BE AT 12" O/C, U.N.O.
6. BLOCK ALL EDGES AT BRACED WALL PANELS ONLY

HANGER SCHEDULE

ALL HANGERS SHALL BE AS SPECIFIED BY TRUSS OR JOIST MFG., U.N.O. (ALL HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE)

DESCRIPTION OF WORK/SITE INFORMATION

EXISTING SINGLE FAMILY ROWHOME RENOVATION & ADDITION ONTO REAR & NEW ACCESSORY BUILDING

FRONT ELEVATION



PAR001 RESPONSE TO DCRA COMMENTS ROUND 1 01/15/24

BUILDING CODE SUMMARY

1724 POTOMAC AVE SE

Name of Project: 1724 POTOMAC AVE SE
Address: 1724 POTOMAC AVE SE, WASHINGTON, DC 20003
Proposed Use: EXISTING SINGLE FAMILY ROWHOME RENOVATION & REAR ADDITION & NEW ACCESSORY BUILDING
Owner: LITTLE TREE DEVELOPMENT
817 L ST SE, WASHINGTON, DC 20003
Authorized Agent: JESSE CONNELL Phone # 242-298-4120
City/County: State

LEAD DESIGN PROFESSIONAL: MSEG, LLC
DESIGNER: NAME: DANIEL W. GRIFFITHS LICENSE # TELEPHONE #
Architecture: MSEG, LLC ARCHIT000026 703-988-2350
Civil: N/A
Electrical: FISHER, CHAD FISHER PER00482 703-606-5357
Fire Alarm: N/A
Mechanical: KK ENGINEERING, LLC KHALID KHALIFA PER00028 443-393-1070
Mechanical: KK ENGINEERING, LLC KHALID KHALIFA PER00028 443-393-1070
Structural: MSEG, LLC SHAWN P. KELLEY PER00070 703-988-2350
Relating: N/A
Landscape: N/A

2017 DISTRICT OF COLUMBIA RESIDENTIAL CODE
2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
2017 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE
2017 DC CONSTRUCTION CODES

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ Allowable Area of Occupancy A

STORY	DESCRIPTION AND USE	BLDG. AREA PER STORY (ACTUAL)	ALLOWABLE AREA	AREA FOR OPEN SPACE INCREASE	AREA FOR SPRAWLER INCREASE	MAXIMUM BUILDING AREA	FLOOR RATIO

Construction Type: I-A I-B I-C I-D I-E I-F I-G I-H I-I I-J I-K I-L I-M I-N I-O I-P I-Q I-R I-S I-T I-U I-V I-W I-X I-Y I-Z

Mixed Construction: NO YES TYPES

Sprinklers: NO YES NFPA 13 NFPA 13R NFPA 13D

Standpipes: NO YES CLASS I CLASS II CLASS III

Fire District: NO YES

Building Height: SEE ELEVATIONS
Number of Stories: 3 STORES

Mezzanine: NO YES
High rise: NO YES

SEITE DATA
ZONING: RF-1 RESIDENTIAL OLD CITY I NEIGHBORHOOD B
SITE AREA: 3262.5 SQUARE FEET SQUARE 1100 LOT: 0092
LOT COVERAGE: MAXIMUM ALLOWABLE = 50% X 3262.5 SF = 1631.25 SF
SHOWN = 1784 = 54.62%
BUILDING HEIGHT: MAXIMUM ALLOWABLE = 35 FEET
MAXIMUM STORES = 3

SEITE DATA
Front: 0
Side: 0
Rear: 20' MIN.

Area	House (SQ FT)	Accessory Building (SQ FT)
Basement	1001 SF	
1st Floor	1001 SF	
2nd Floor	1001 SF	449 SF
TOTALS	3,003 SF	898 SF

Emergency Lighting: YES NO
Exit Signs: YES NO
Fire Alarm: YES NO
Smoke Detection System: YES NO
Public Address: YES NO

LIFE SAFETY SYSTEM REQUIREMENTS
Elevator: YES NO
Escalator: YES NO
Transfer Station: YES NO
Public Address: YES NO

REVISION LOG

Revision Date:	Revision Date:	Revision Date:	Revision Date:
PAR001 01/15/24	RESPONSE TO DCRA COMMENTS ROUND 1		

ABBREVIATIONS

A.B. ANCHOR BOLT	CONT. CONTINUOUS	ELEV. ELEVATION	HGT. HEIGHT	MTL. METAL	REF. REFER TO REFERENCE	TYP. TYPICAL
A.F.F. ABOVE FINISH FLOOR	CONST. CONSTRUCTION	EQ. EQUAL	HORZ. HORIZONTAL	N.I.C. NOT IN CONTRACT	REIN. REINFORCING	T TREAD
A.D.J. ADJACENT/ADJUSTABLE	CTSK. COUNTERSUNK	EQUIP. EQUIPMENT	HR. HOUR	(N)S. NOT TO SCALE	REQ'D REQUIRED	TR TROWEL ROD
A.F.T. ABOVE FINISH TREAD	C.O. CASED OPENING	EXP. EXPANSION	HDR. HEADER	O.C. ON CENTER	RMS. ROOMS	TRPL TRIPLE
ALUM. ALUMINUM	CANT. CANTILEVER	EXT. EXTERIOR	HD. HOSE BIB	O.P. OPERATOR	RNG. RANGE	U.N.O. UNLESS NOTED OTHERWISE
ANCH. ANCHOR	C.T. CERAMIC TILE	EE. EACH END	I.D. INSIDE DIAMETER	OPNG. OPENING	R.O. ROUGH OPENING	VERT. VERTICAL
ANG. ANGLE	C.L. CEILING	F/C. FLOOR COVERING CHANGE	INGR. IN GROUND	OPT. OPTIONAL	RISER RISER	V.I.F. VERIFY IN FIELD
ARCH. ARCHITECTURAL	C.M. CROWN MOULD	F.D. FLOOR DRAIN	INSUL. INSULATION	O.S.B. ORIENTED STRAND BOARD	RND. ROUND	W WASHER
AT. AT	C.R. CHAIR RAIL	FDM. FOUNDATION	INT. INTERIOR	OZ. OUNCE	S.C. SCHEMATIC	W/W. WELDED WIRE FABRIC
BD. BOARD	D DRYER	FLR. FLOOR	I.S. INSIDE CORNER	1/R ONE ROD	SCHEM. SCHEMATIC	W/W.F. WOOD OR W/O WINDW
BLDG. BUILDING	d PENNY	FP. FIREPLACE	JT. JOINT	1/S ONE SHELF	SHLF SHELF	
BM. BEAM	DBL. DOUBLE	F.R. FIRE RATED	KSI KIPS PER SQUARE INCH	PC PRECAST	SHT. SHEET	
BTM. BOTTOM	DIAM. DIAMETER	FRM. FRAME	LT. WT. LIGHTWEIGHT	PBD. PARTICLE BOARD	SIM. SIMILAR	
BLKG. BLOCKING	DN. DOWN	FT. FOOT / FEET	LT. LIGHT	PL. PLATE	S.S. STAINLESS STEEL	
BRG. BEARING	DR. DOWN	FTG. FOOTING	LVR. LOUVER	PNL. PANEL	STL. STEEL	
BRK. BRICK	DR. DOWN	GA. GAUGE	L.T. LAUNDRY TUB	PWD. PLYWOOD	STRUCT. STRUCTURAL	
BSMT. BASEMENT	DW. DISH WASHER	GALV. GALVANIZED	MAS. MASONRY	PF. PREFABRICATED	SUSP. SUSPENSION	
C.J. CONTROL JOINT	DWG. DRAWING	G.C. GENERAL CONTRACTOR	MAT. MATERIAL	PR. PAIR	SGD. SLIDING GLASS DOOR	
C.L. CENTER LINE	D.S. DOWN SPOUT	GEN. GENERAL	MAX. MAXIMUM	PROJ. PROJECT / PROJECTED	SQ. SQUARE	
C.M.U. CONCRETE MASONRY UNIT	DTL. DETAIL	GYP. GYPSUM	MDO. MEDIUM DENSITY OVERLAY	PSI POUNDS PER SQ. IN.	TB. TOWEL BAR	
COL. COLUMN	E.A. EACH	G.L. GLUE LAM	MECH. MECHANICAL	PSF POUNDS PER SQ.FT.	T & G TONGUE AND GROVE	
CONC. CONCRETE	E.J. EXPANSION JOINT	HDWR. HARDWARE	MIN. MINIMUM	P.T. PRESSURE TREATED	T.O.S. TOP OF SLAB	
COND. CONDITION	ELEC. ELECTRICAL	HD.WD. HARDWOOD	M.O. MASONRY OPENING	QUAD. QUADRUPLE	TFW TOP OF FOUNDATION WALL	

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STRUCTURAL CERTIFICATION

"STRUCTURAL PLANS CERTIFIED AS PROVIDED IN SECTION 106.1.4.1 OF THE DC CONSTRUCTION CODES SUPPLEMENT AS AMENDED TO DATE"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 82402211 Date 04/10/24

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Energy Review - Nathan Arpa - 04-10-2024
DOER Review - Arpa - 04-10-2024
DOER EV Review - Carli - 04-10-2024
DC Water Review - Carli - 04-10-2024
8229 BOONE BLVD, SUITE #410
VIENNA, VA 22182
Phone: 703.988.2350 • Email: info@msegllc.com

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STRUCTURAL DESIGN DATA

BUILDING LOADS
SOIL BEARING PRESSURE:
ALLOWABLE = 2000 PSF (REF. SOIL CERTIFICATION)
FLOOR LOADS: (OPEN WEB TRUSSES)
LIVE LOAD = 40 PSF (TYPICAL)
SLEEPING AREAS = 30 PSF (LIVE LOAD)
DEAD LOAD = 18 PSF (TYPICAL)
ROOF LOADS: (OPEN WEB TRUSSES)
SNOW LOAD = 30 PSF (ROOF)
DEAD LOAD = 10 PSF (TOP CHORD)
DEAD LOAD = 10 PSF (BOTTOM CHORD)
TOTAL LOAD=L/240

WIND LOADS:
BASIC WIND SPEED = 90 MPH (3 SEC. GUST)
DEAD LOAD IMPORTANCE FACTOR = 1.0
WIND EXPOSURE = B

COMPONENTS CLADDING:
100 MPH OR LESS (3 SEC. GUST):
MAX. VALUE AT ROOF WILL BE (+18.2, -23.2)
MAX. VALUE AT WALL WILL BE (+18.8, -26.6)
WALL BRACING:
STRUCTURAL SHEATHING ON ALL EXTERIOR WALLS (PRESCRIPTIVE METHOD CS-WSP, U.N.O.)
BUILDING LEAKAGE TEST:
AIR LEAKAGE RATE NOT TO EXCEED 5 AIR CHANGES PER HOUR ACH50 ≤ 5.0

EQUIVALENT FLUID PRESSURE:
BASEMENT WALLS = 60 PCF
*USE ONLY GRAVEL OR CLEAN FILL IN ACCORDANCE WITH IRC SOIL CLASSIFICATIONS GM, GC, SM, SM-SC OR ML
DEFLECTION LIMITS:
- BEAM SUPPORTING ROOF ONLY:
LIVE LOAD=L/360, TOTAL LOAD=L/240
- BEAM SUPPORTING FLOOR LOADS:
LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2"
TOTAL LOAD=L/240
- JOIST SUPPORTING FLOOR LOADS:
LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2"
TOTAL LOAD=L/240
- BEAM SUPPORTING MASONRY:
LIVE LOAD + MASONRY=1/600, W/MAX. DEFLECTION OF 0.3"
WINDOW AND DOOR PERFORMANCE
1. WINDOWS SHALL BE JELDOWEN SITELINE EX SERIES TILT WASH DOUBLE HUNG, U.N.O.
• U=0.30 SHGC=.25 (DUAL PANE, LOW E, TEMPERED)
• AIR LEAKAGE SHOULD NOT BE LESS THAN .3 CFM/SF
2. GLASS DOORS SHALL BE JELDOWEN SITELINE EX HINGED OR GLIDING DOORS, U.N.O.
• U=0.30 SHGC=.25 (DUAL PANE, LOW E, TEMPERED)
• AIR LEAKAGE SHOULD NOT BE LESS THAN .5 CFM/SF
3. GLASS SIDELIGHTS SHALL BE JELDOWEN SITELINE EX SERIES, U.N.O.
• U=0.30 SHGC=.25 (DUAL PANE, LOW E, TEMPERED)
4. SKYLIGHTS VELLUX FIXED CURB MOUNT
• U=0.53 SHGC=.24 (DUAL PANE, LOW E, TEMPERED)

BUILDING SQUARE FOOTAGE

HOUSE FINISHED SQ. FT.:
CELLAR FLOOR = 1001 S.F.
1ST FLOOR = 1001 S.F.
2ND FLOOR = 1001 S.F.
TOTAL = 3,003 S.F.

ACCS BLDG FINISHED SQ. FT.:
1ST FLOOR = 449 S.F.
2ND FLOOR = 449 S.F.
TOTAL = 898 S.F.

BUILDING ADDRESS

PROPERTY ADDRESS:
LITTLE TREE DEVELOPMENT
172 POTOMAC AVE SE
WASHINGTON, DC 20003

1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
GENERAL NOTES
22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"



DRAWN BY:
MCR
DATE: 12/07/23
REV No. DATE
001 01/15/24

23-100

SHEET No.
CS.01
Board of Building Adjustment
District of Columbia
CASE NO. 21485
EXHIBIT NO. 7

- NOTES:
1. ALL DIMENSIONS TO FACE OF STUDS U.N.O.
 2. ALL WALLS 2X4 U.N.O.
 3. ALL EXTERIOR WALLS TO BE 2X6 U.N.O.
 4. CONTRACTOR TO PROVIDE FIRE EXTINGUISHER IN KITCHEN
 5. STANDARD DOOR TRIM RETURN IS 4" U.N.O.
 6. ALL DOORS TO BE 6'-8" TALL U.N.O.
 7. ALL BEDROOM & BATHROOM DOORS TO HAVE 12" TRANSOM ABOVE
 8. FOR ALL UL ASSEMBLIES REF. SHEETS UL.01-UL.03

LOT COVERAGE CALC.:	3262.5 LOT
HOUSE	1001 SF
PART OF PORCH	32 SF
SCREENED PORCH	158 SF
DECK	189 SF
GARAGE	449 SF
TOTAL	1829 SF
	56.06% OF LOT

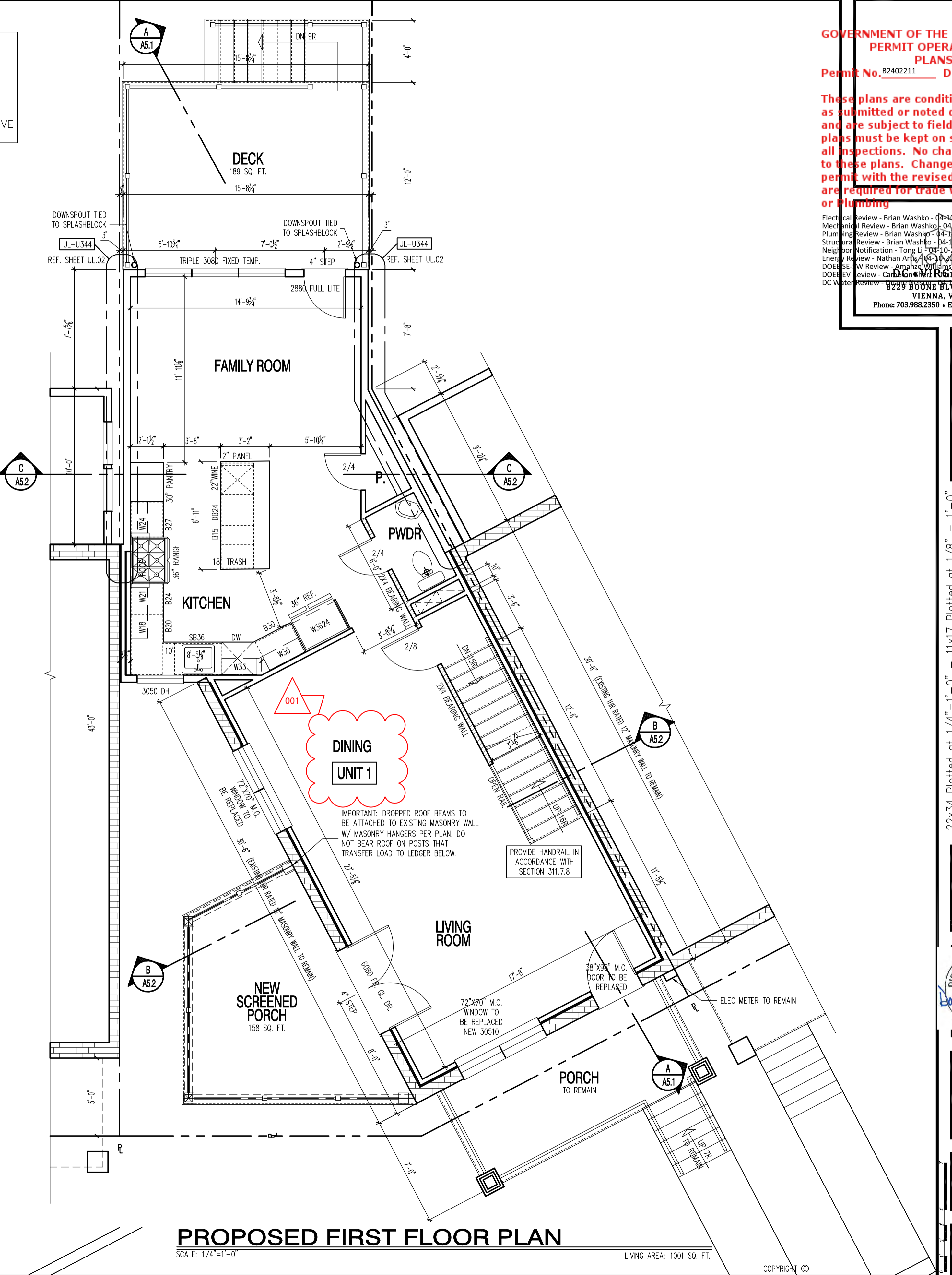
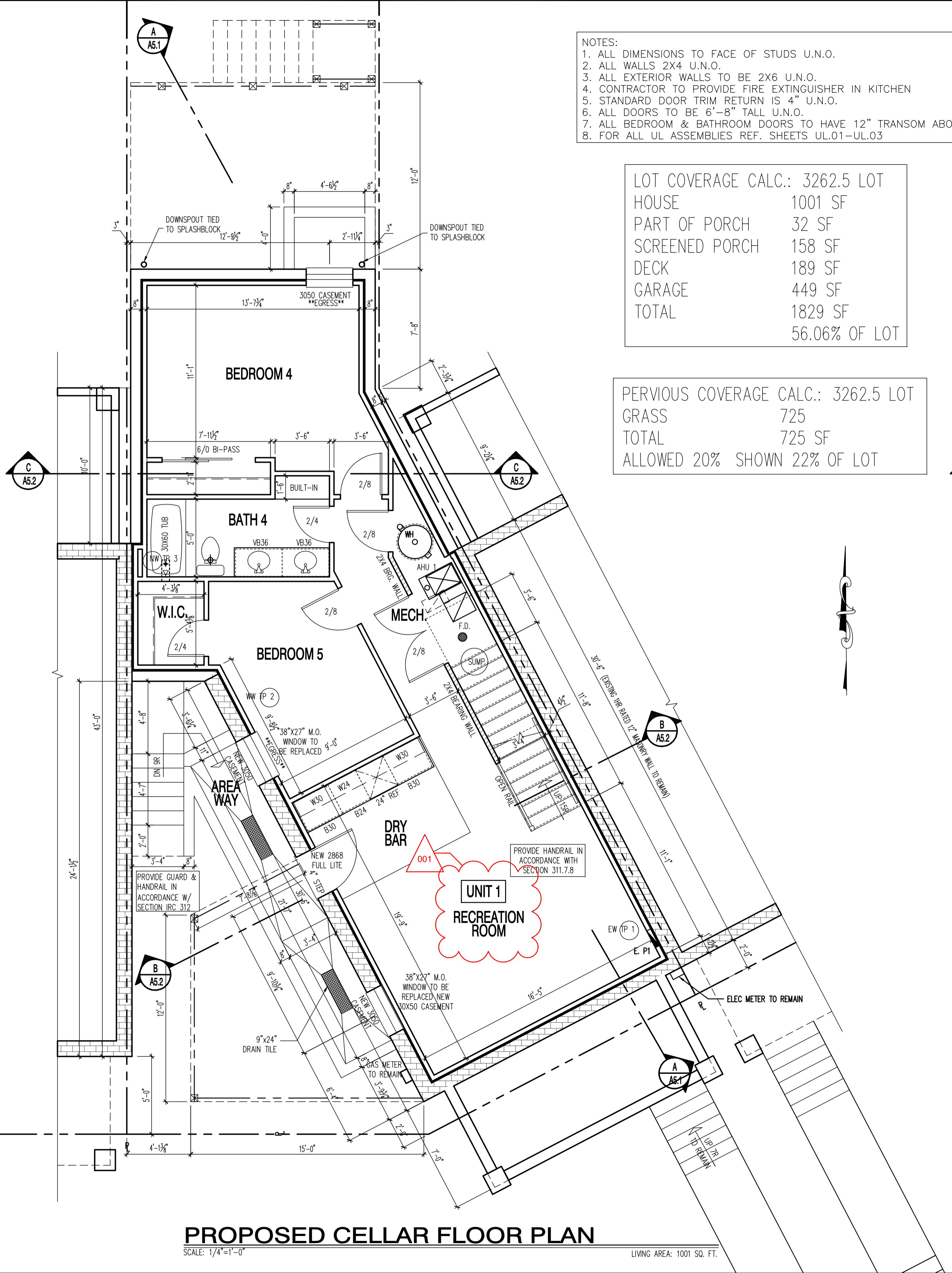
PERVIOUS COVERAGE CALC.:	3262.5 LOT
GRASS	725
TOTAL	725 SF
ALLOWED 20% SHOWN	22% OF LOT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. B2402211 Date 04/10/24

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 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arns - 04-10-2024
 DOER SE - W Review - Arnie Williams - 04-10-2024
 DOER EV Review - Carl Chen - 04-10-2024
 DC Water Review - [Name] - 04-10-2024

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22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"
 1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 PROPOSED CELLAR & FIRST FLOOR PLAN



DRAWN BY:
 MCR
 DATE: 12/07/23
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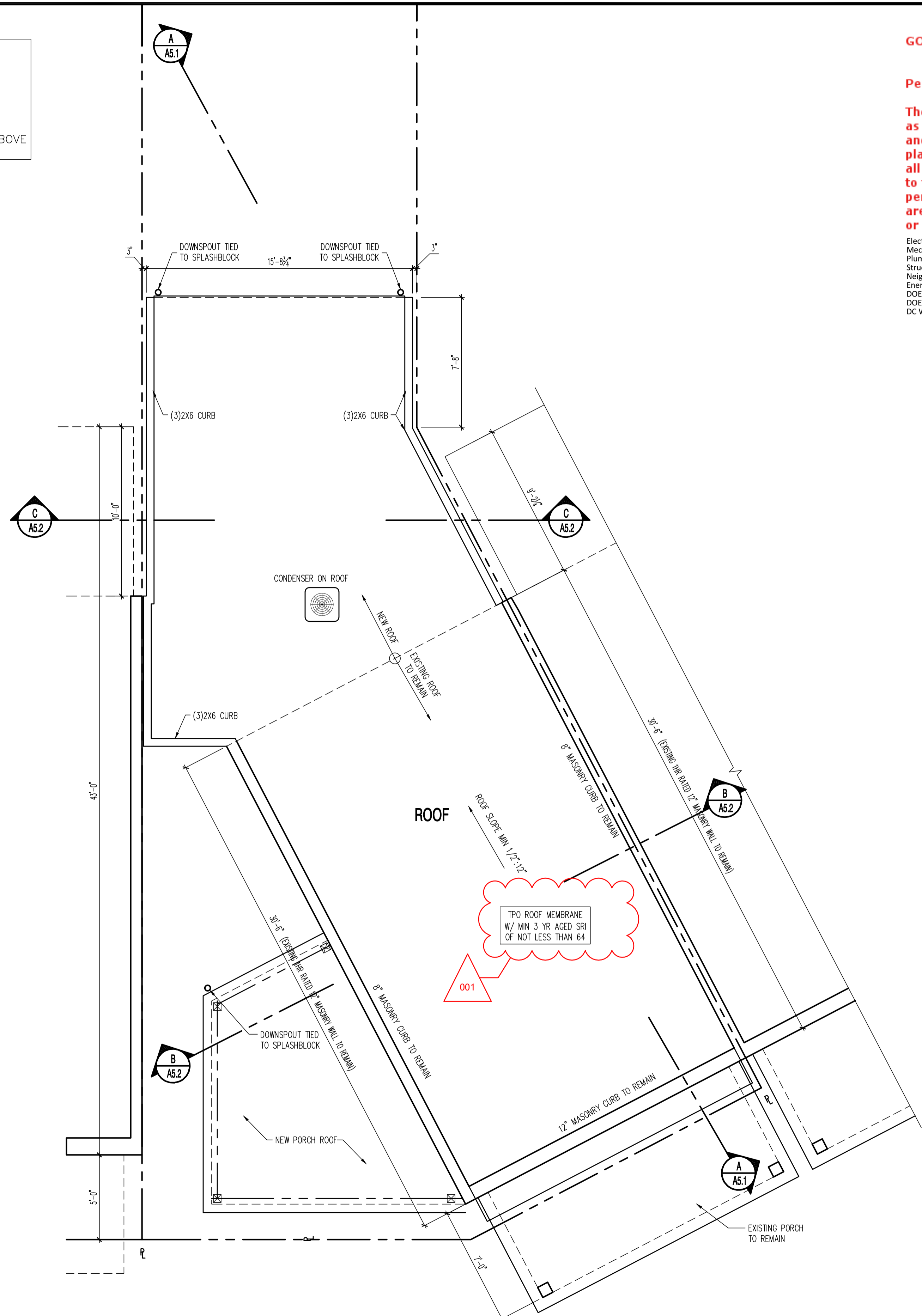
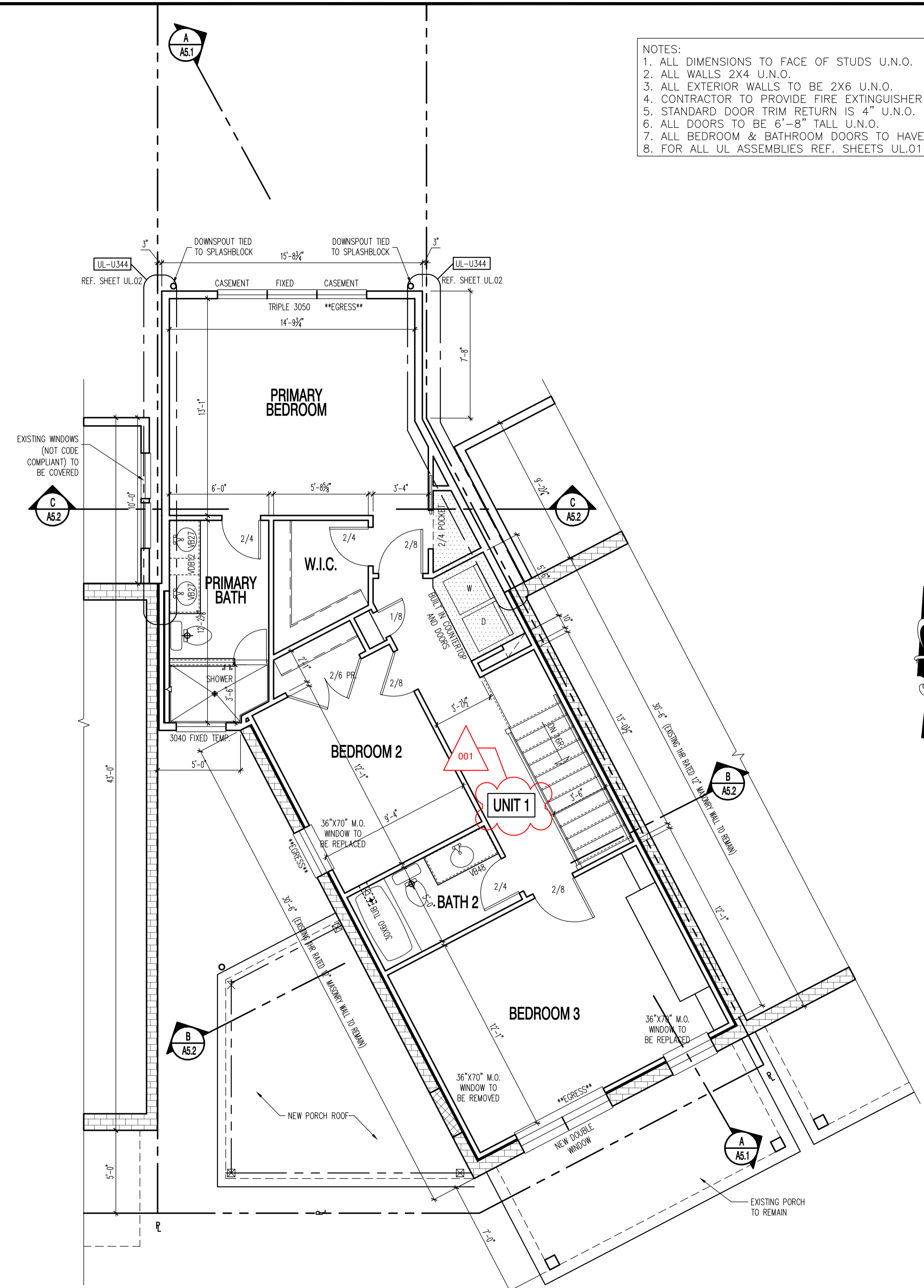
23-100

SHEET No.
 A1.1

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 DOERS Review - Argha Wadhvani - 04-10-2024
 DC Water Review - Catherine Williams - 04-10-2024
 8229 BOONE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msseglc.com

- NOTES:
1. ALL DIMENSIONS TO FACE OF STUDS U.N.O.
 2. ALL WALLS 2X4 U.N.O.
 3. ALL EXTERIOR WALLS TO BE 2X6 U.N.O.
 4. CONTRACTOR TO PROVIDE FIRE EXTINGUISHER IN KITCHEN
 5. STANDARD DOOR TRIM RETURN IS 4" U.N.O.
 6. ALL DOORS TO BE 6'-8" TALL U.N.O.
 7. ALL BEDROOM & BATHROOM DOORS TO HAVE 12" TRANSOM ABOVE
 8. FOR ALL UL ASSEMBLIES REF. SHEETS UL.01-UL.03



1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 PROPOSED SECOND FLOOR & ROOF PLANS



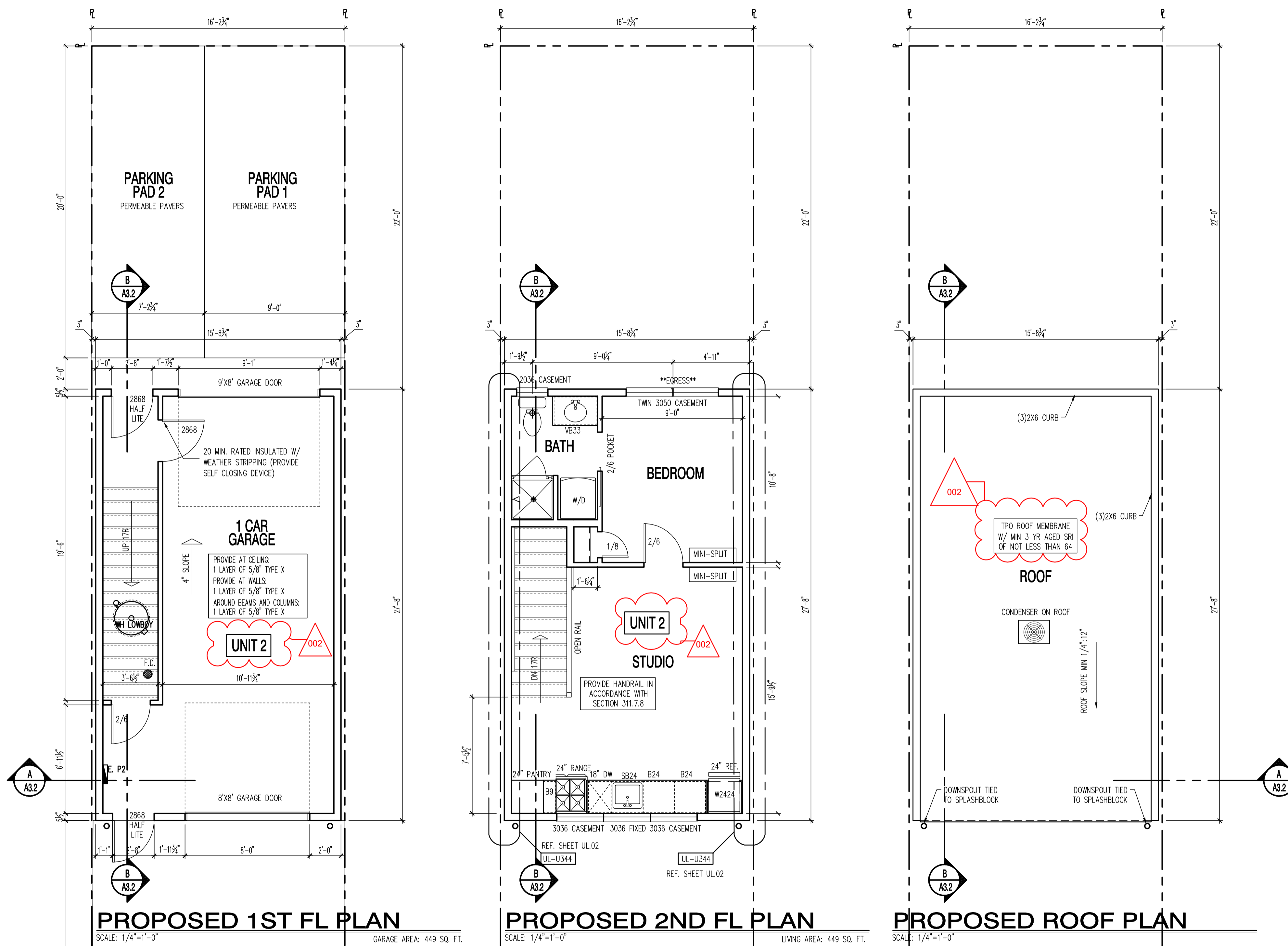
DRAWN BY:
 MCR
 DATE: 12/07/23
 REV No. DATE
 001 01/15/24

23-100

SHEET No.
 A2.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Electrical Review - Brian Washko - 04-10-2024
 Mechanical Review - Brian Washko - 04-10-2024
 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arns - 04-10-2024
 DOERS Review - Argha Wadhvani - 04-10-2024
 DOEB Review - Carolee - 04-10-2024
 DC Water Review - 04-10-2024
 8229 BOONE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msgllc.com



PROPOSED ACCESSORY BUILDING

**1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 PROPOSED ACCS BLDG - FLOOR PLANS**

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



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 001 01/15/24

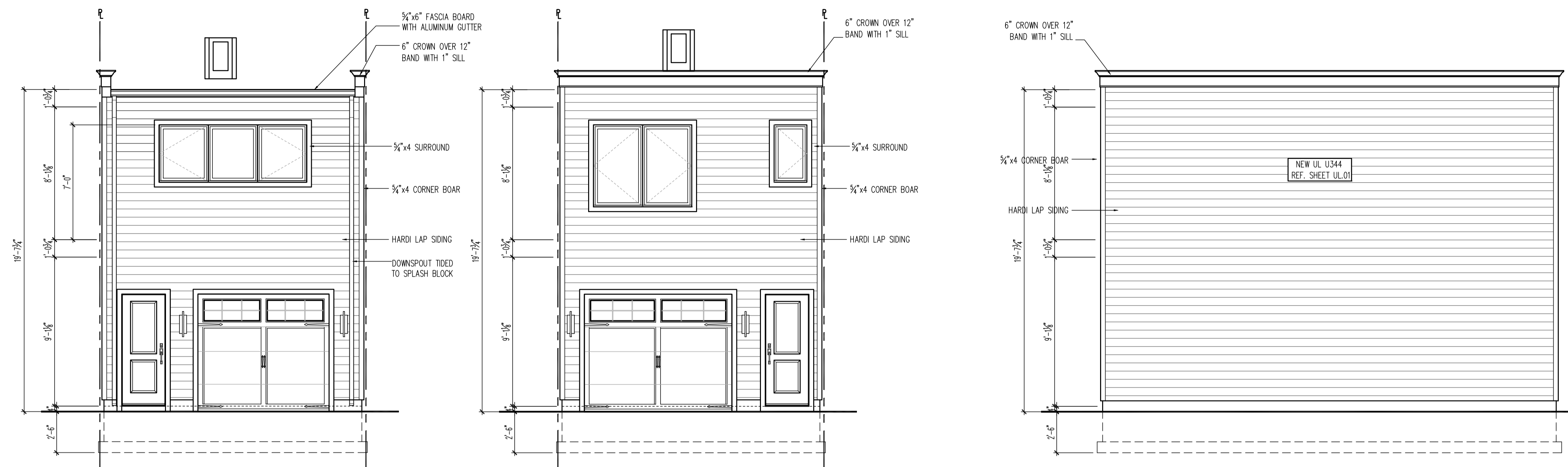
23-100

SHEET No. A3.1

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Electrical Review - Brian Washko - 04-10-2024
 Mechanical Review - Brian Washko - 04-10-2024
 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arns - 04-10-2024
 DOER SE - W Review - Armand Williams - 04-10-2024
 DOER EV Review - Catherine Williams - 04-10-2024
 DC Water Review - [Name] - 04-10-2024

CONSENT
 D.C. ARCHITECT • M.D.
 8229 BOONE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@mssegllc.com

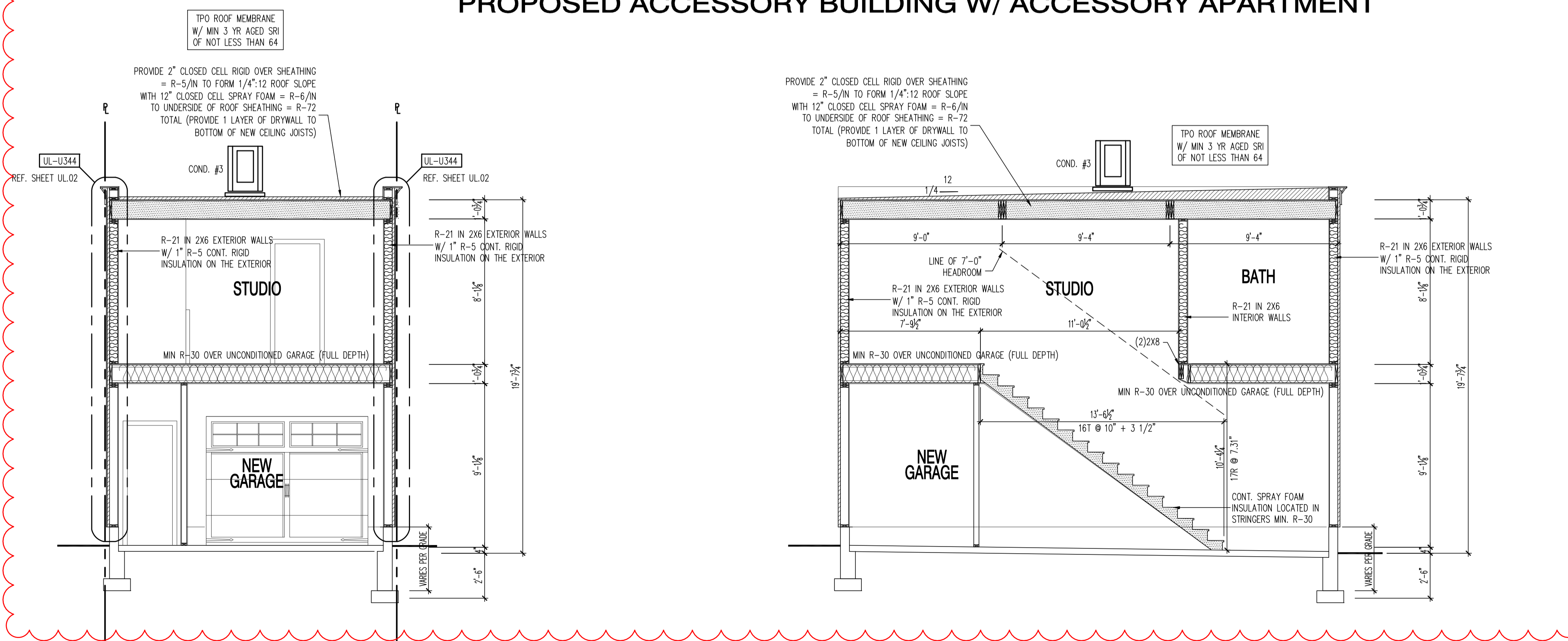


PROPOSED FRONT HOUSE ELEV.
 SCALE: 1/4"=1'-0"

PROPOSED REAR ALLEY ELEV.
 SCALE: 1/4"=1'-0"

PROPOSED WEST & EAST WALL ELEV.
 SCALE: 1/4"=1'-0"

PROPOSED ACCESSORY BUILDING W/ ACCESSORY APARTMENT



SECTION A
 SCALE: 1/4"=1'-0"

SECTION B
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"
 1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 PROPOSED ACCS BLDG - ELEVATIONS & SECTIONS



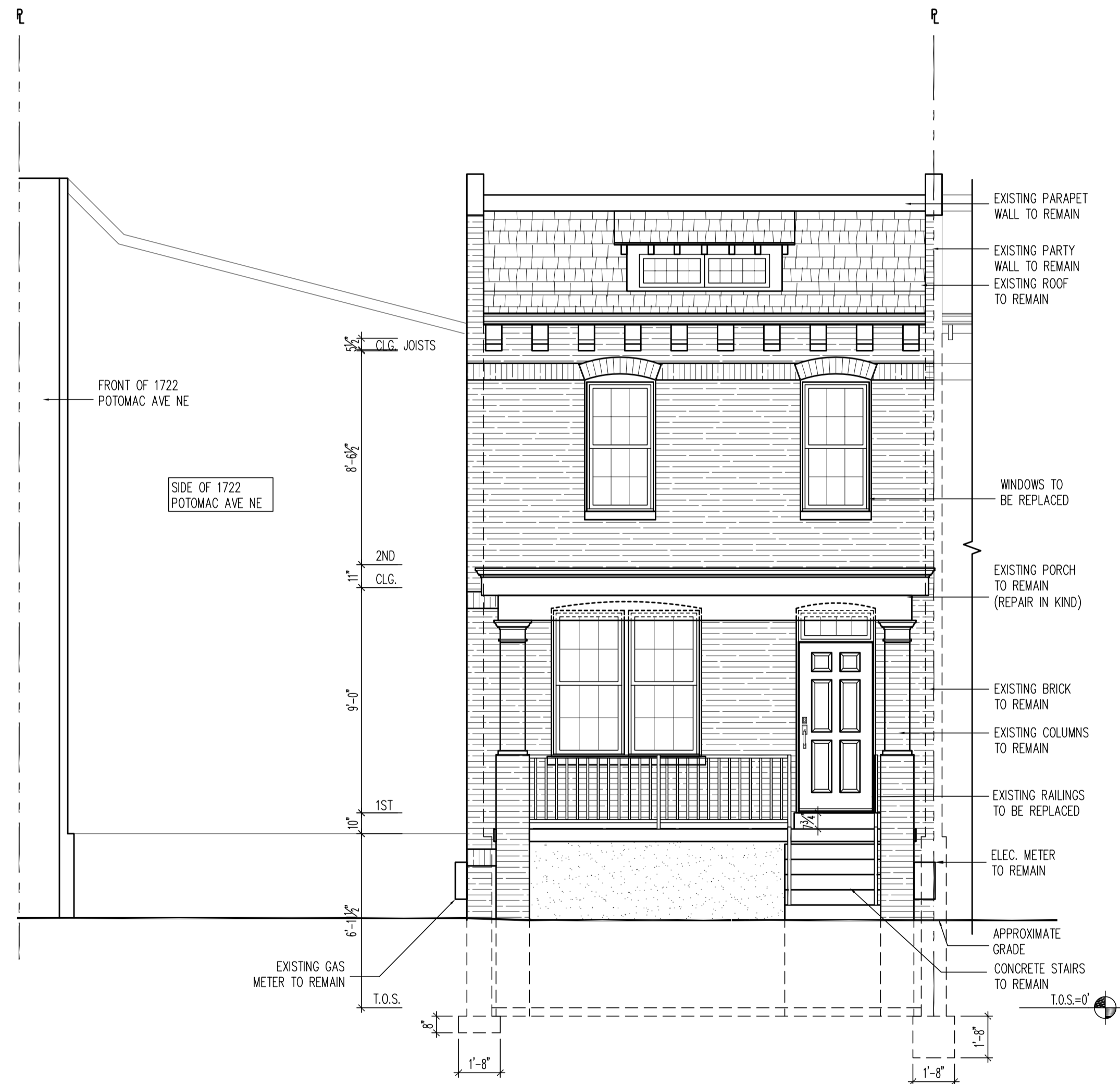
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DATE:	12/07/23
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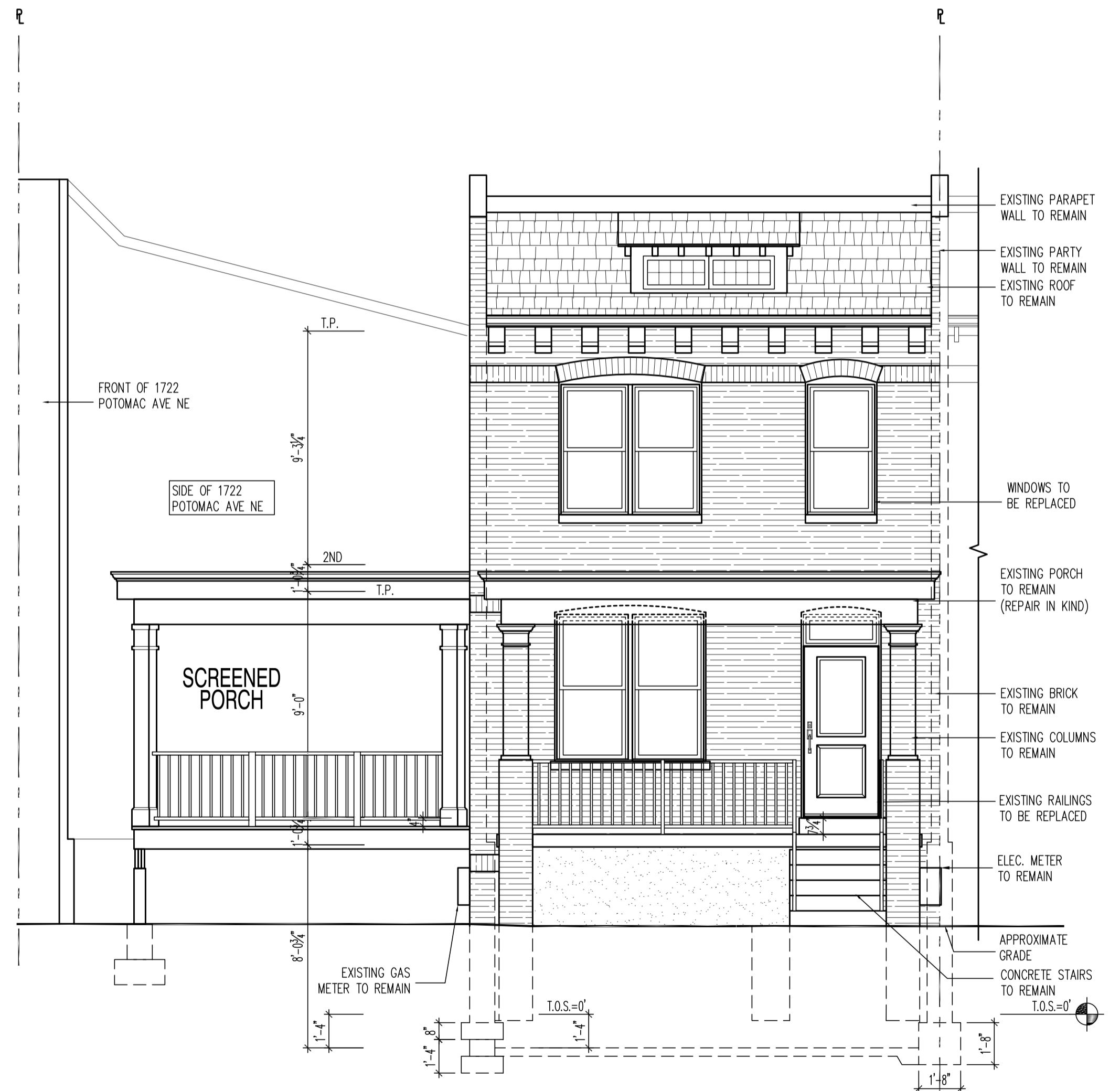
SHEET No.
 A3.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Electrical Review - Brian Washko - 04-10-2024
 Mechanical Review - Brian Washko - 04-10-2024
 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arty - 04-10-2024
 DOERS - W Review - Argha Winters - 04-10-2024
 DOE EV Review - Carl G. Griffin - 04-10-2024
 DC Water Review - 8229 BOWNE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msgllc.com



EXISTING/ DEMO FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"

1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 EXISTING & PROP. - FRONT ELEVATIONS



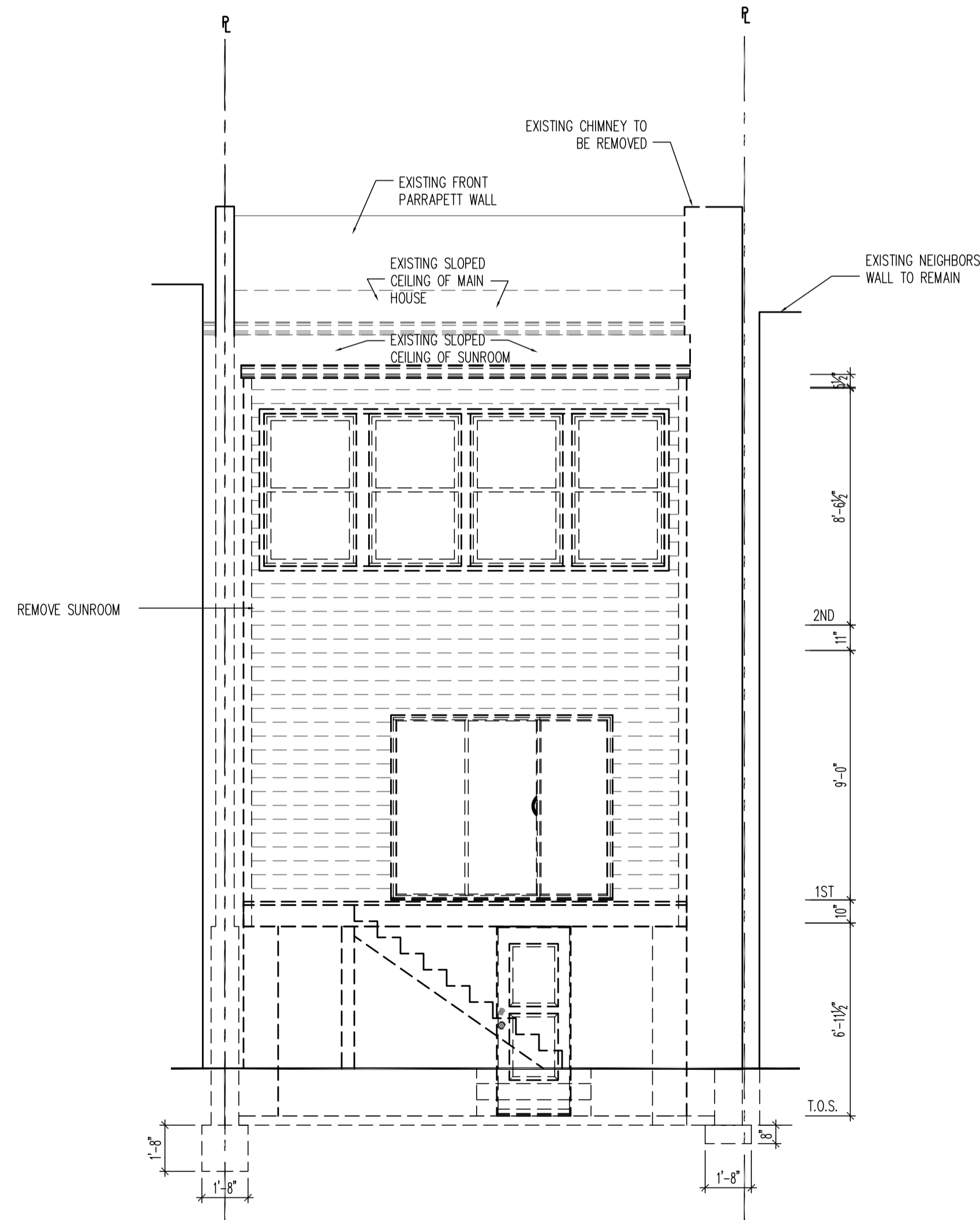
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 DATE: 12/07/23
 REV No. DATE
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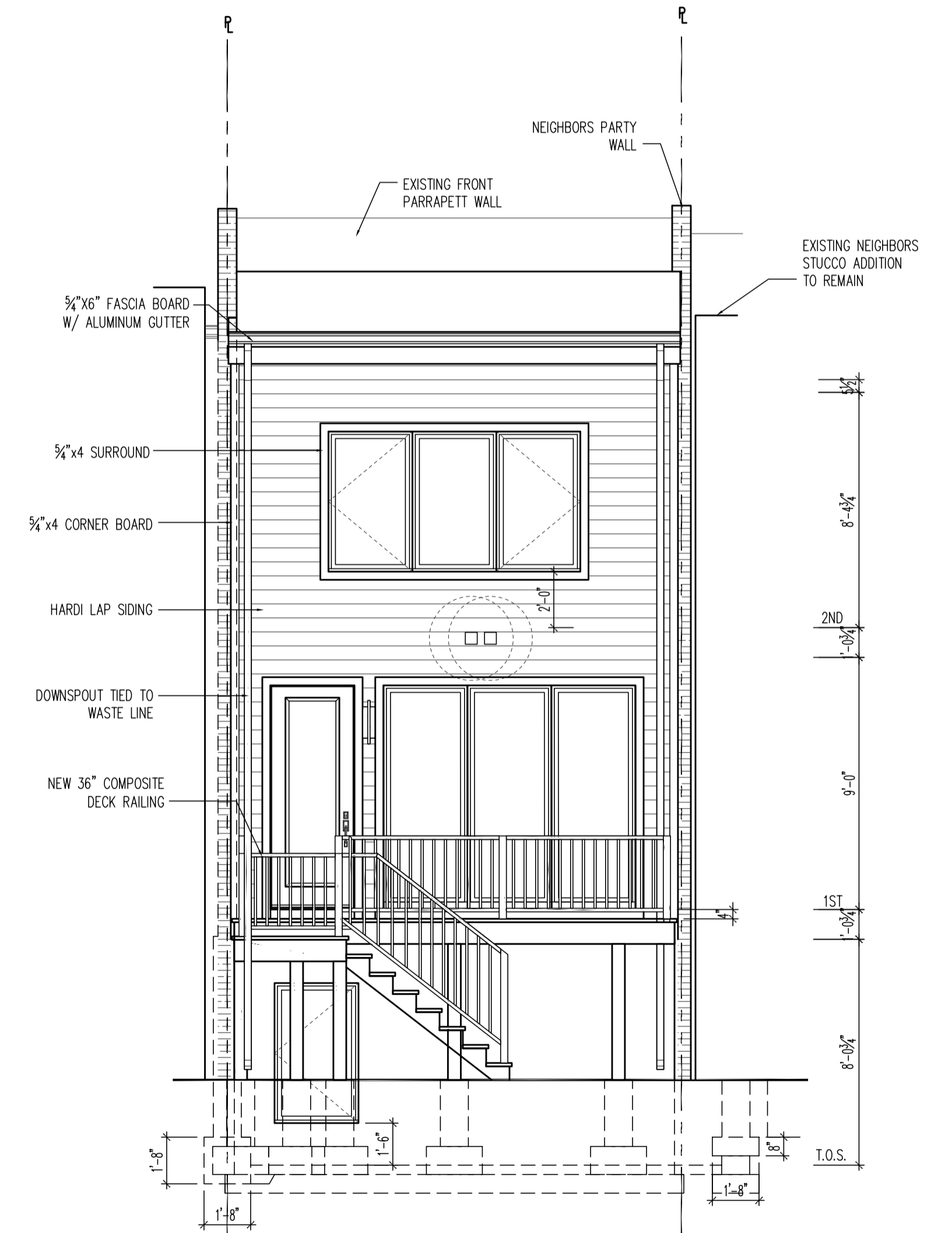
SHEET No.
 A4.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Electrical Review - Brian Washko - 04-10-2024
 Mechanical Review - Brian Washko - 04-10-2024
 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arty - 04-10-2024
 DOB SE - W Review - Arghya Williams - 04-10-2024
 DOB EV Review - Carl G. Williams - 04-10-2024
 DC Water Review - 8229 BOWNE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msgllc.com



EXISTING/ DEMO REAR ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
EXISTING & PROP. - REAR ELEVATIONS



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MCR	
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REV No.	DATE
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SHEET No.
A4.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Electrical Review - Brian Washko - 04-10-2024
 Mechanical Review - Brian Washko - 04-10-2024
 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arty - 04-10-2024
 DOERS - W Review - Amphie Williams - 04-10-2024
 DOERS - EV Review - Carl G. Griffin - 04-10-2024
 DC Water Review - 8229 BUONE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msgllc.com



LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"
1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
LEFT SIDE ELEVATION



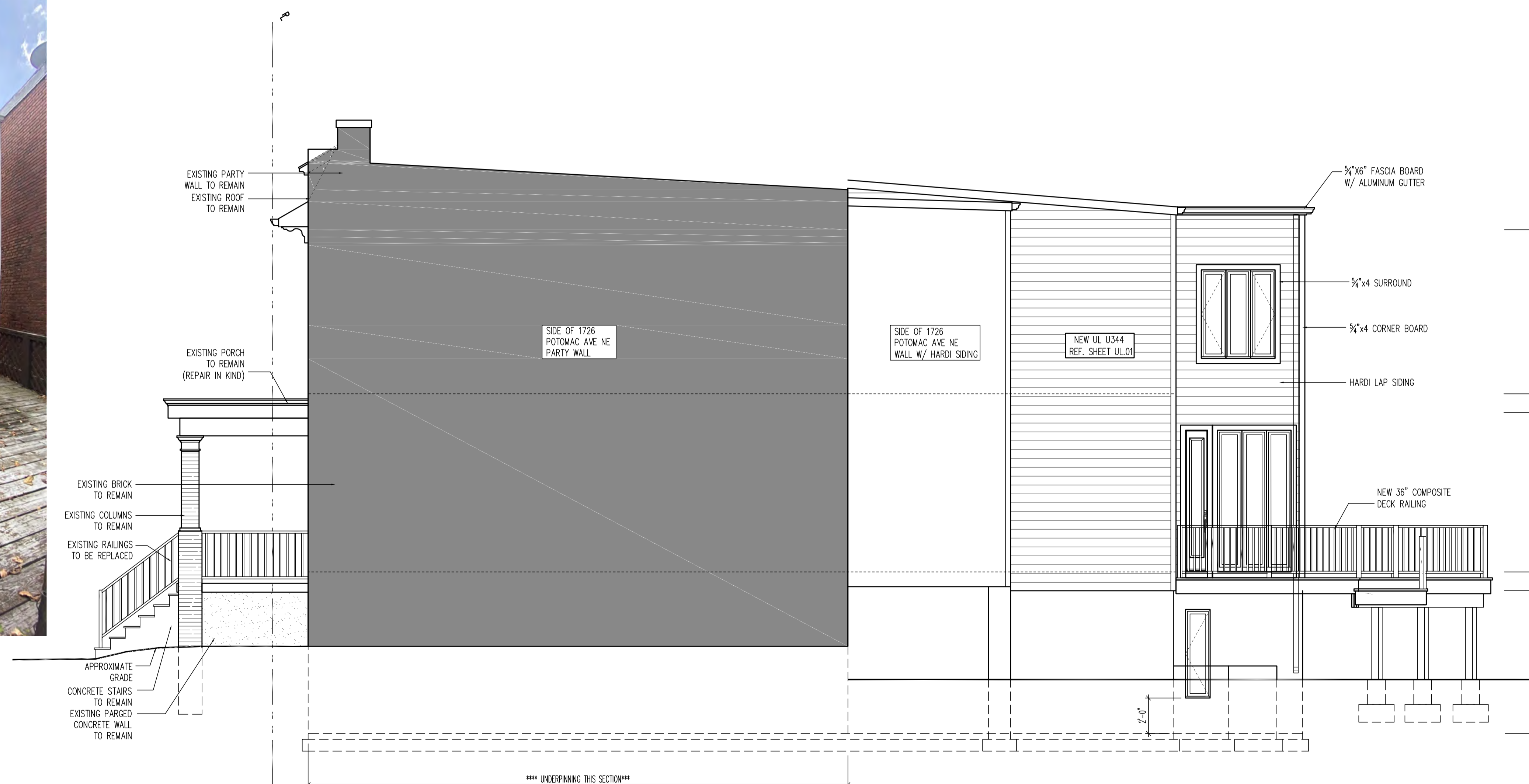
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 MCR
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 REV No. DATE
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23-100

SHEET No.
 A4.3

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 Plumbing Review - Brian Washko - 04-10-2024
 Structural Review - Brian Washko - 04-10-2024
 Neighbor Notification - Tong Li - 04-10-2024
 Energy Review - Nathan Arns - 04-10-2024
 DOB SE - W Review - Argha Wadhvani - 04-10-2024
 DOB EV Review - Carl G. Griffin - 04-10-2024
 DC Water Review - 8229 BOONE BLVD, SUITE #410
 VIENNA, VA 22182
 Phone: 703.988.2350 • Email: info@msgllc.com



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

1724 POTOMAC AVE SE - SCHMIDT DEVELOPMENT
 RIGHT SIDE ELEVATION

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



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MCR

DATE: 12/07/23

REV No.	DATE
XXX	XX-XX-XX

23-100

SHEET No.
A4.4