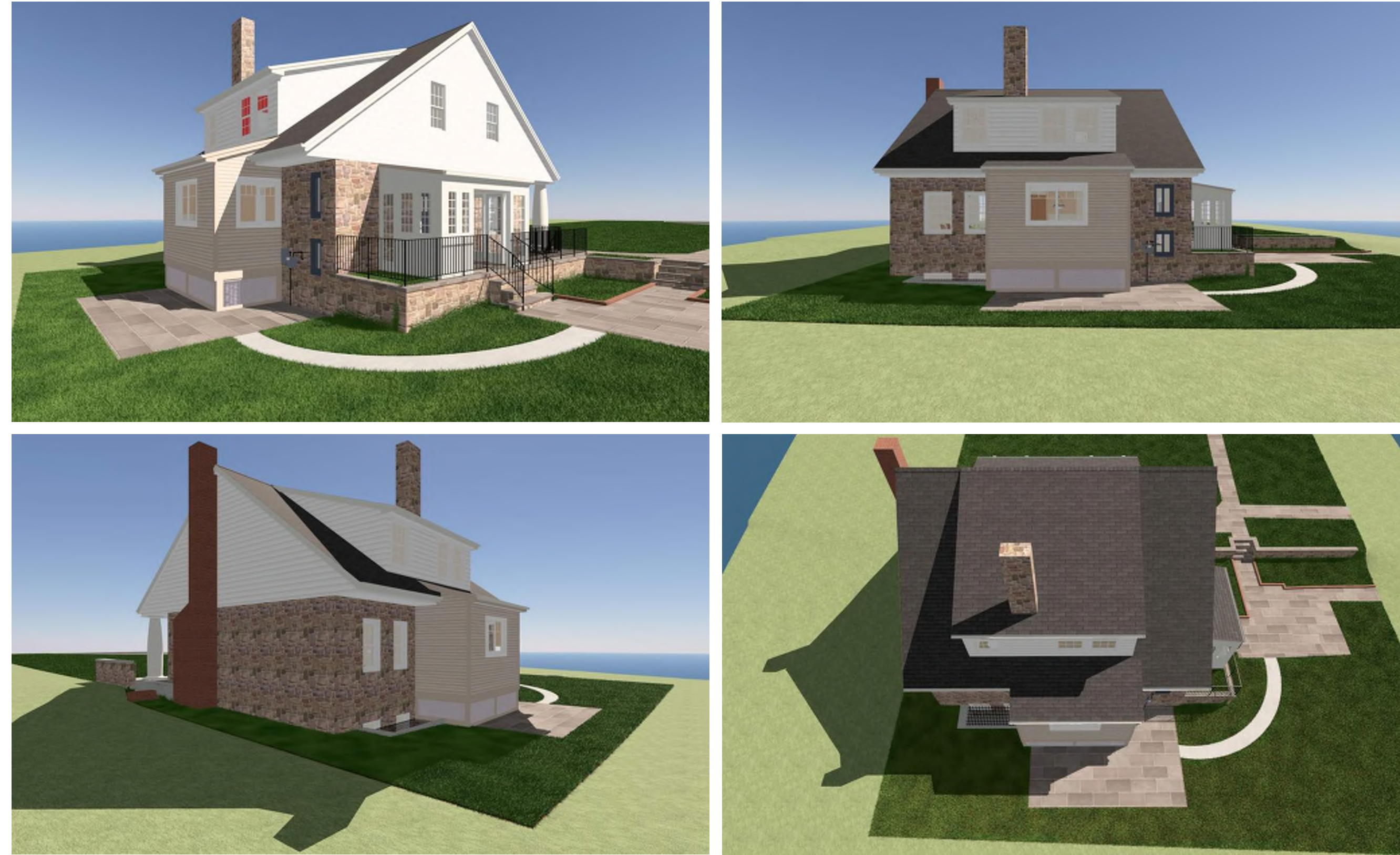


# BARBER/VON KAHN RESIDENCE

2901 ELLICOTT TERRACE NW  
WASHINGTON DC, 20008

## PERSPECTIVES



## DRAWING INDEX

001	COVER SHEET
002	DEMO AND PROPOSED SITE PLAN
A101	DEMO AND PROPOSED PLAN BASEMENT
A102	DEMO AND PROPOSED PLAN FIRST FLOOR
A103	EXISTING PLAN SECOND FLOOR
A104	DEMO AND PROPOSED PLAN ROOF
A201	DEMO AND PROPOSED LEFT ELEVATION
A202	EXISTING FRONT ELEVATION
A203	DEMO AND PROPOSED REAR ELEVATION
A204	DEMO AND PROPOSED REAR ELEVATION



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Professional Seal:

#	Date	Int	Desc

Project Approvals			
Reviewer	Initial	Date	
CONSTRUCTION			
PERMIT			
CONTRACT			

**Project Team**  
Project Designer: Brett Schoolnick  
Project Manager: T.B.D.  
Team Leader: Brett Schoolnick  
Project Estimator: T.B.D.

**Drawing Version**

**Client and Project Location**

**BARBER/VON  
KAHN RESIDENCE**

2901 ELLICOTT TERRACE NW  
WASHINGTON DC, 20008

**Sheet Title**  
**COVER SHEET**

**Issue Date:**  
11/25/2025

**Scale:**  
INDICATED

**001**  
Barber/Von Kahn Residence  
Case No. 21481  
11/25/2025

## SCOPE OF WORK NEW REAR ADDITION

### ZONING SUMMARY AND PROPERTY NOTICES

<b>ZONE:</b>	R-1A/FH
<b>SQUARE #</b>	2270
<b>LOT #</b>	28
<b>HISTORIC</b>	NO
<b>800 LOT</b>	NO
<b>PLAT ORDERED</b>	YES
<b>WMATA</b>	NO
<b>LOT SIZE:</b>	13,378.51 SQ FT
• LOT OCCUPANCY ALLOWED	30% (4,013.55 SQ FT)
• LOT OCCUPANCY EXISTING	8.7% (1,163.78 SQ FT)
• LOT OCCUPANCY PROPOSED	9.1% (1,217.83 SQ FT)
<b>MAX BUILDING HEIGHT ALLOWED</b>	40 FT
• BUILDING HEIGHT EXISTING	25 FT
• BUILDING HEIGHT PROPOSED	NO CHANGE
<b>MIN PVIOUS SURFACE ALLOWED</b>	50% (6,689.26 SQ FT)
• PVIOUS SURFACE EXISTING	23% (3,098.00 SQ FT)
• PVIOUS SURFACE PROPOSED	24% (3,152.00 SQ FT)
<b>FRONT SETBACK</b>	PREVAILING
<b>REAR YARD SETBACK ALLOWED</b>	25 FT
• REAR YARD SETBACK EXISTING	13.61 FT
• REAR YARD SETBACK PROPOSED	NO CHANGE
<b>SIDE SETBACK ALLOWED</b>	8 FT
<b>SIDE SETBACK PROPOSED</b>	NO CHANGE


### APPLICABLE CODES FOR THE DISTRICT OF COLUMBIA:

- 2017 DCMR 12 W/ DCMR 12B SUPPLEMENT
- 2017 DC RESIDENTIAL CODE (2015 IRC)
- 2017 DC FUEL GAS CODE (2015 INTERNATIONAL FUEL GAS CODE)
- 2017 DC MECHANICAL CODE (2015 INTERNATIONAL MECHANICAL CODE)
- 2017 DC PLUMBING CODE (2015 INTERNATIONAL PLUMBING CODE)
- 2017 DC FIRE CODE (2015 INTERNATIONAL FIRE CODE)
- 2017 DC ENERGY CODE (2015 INTERNATIONAL ENERGY CONSERVATION CODE)
- 2017 DC EXISTING BUILDING CODE (2015 INTERNATIONAL EXISTING BUILDING CODE)
- 2017 DC ELECTRICAL CODE (2014 NATIONAL ELECTRICAL CODE)



THIS DOCUMENT IS CERTIFIED TO:

**PARAGON TITLE**  
CASE # 311-25 BLUE TEAM



LEGEND:  
 - FENCE  
 - BASEMENT ENTRANCE  
 - SW - S/W WINDOW  
 - BR - BRICK  
 - BRL - BLDG. RESTRICTION LINE  
 - BSMT - BASEMENT  
 - CC - CONCRETE STAIR  
 - CONC - CONCRETE  
 - DW - DRIVEWAY  
 - UP - UTILITY POLE  
 - FR - FRAME  
 - MAC - MACADAM  
 - OH - OVERHANG  
 - P - PUBLIC UTILITY EMBT.  
 - PUE - PUBLIC IMPROVEMENT EMBT.

COLOR KEY:  
 (RED) - RECORD INFORMATION  
 (BLUE) - IMPROVEMENTS  
 (GREEN) - EASEMENTS & RESTRICTION LINES

LOCATION DRAWING OF:  
**#2901 ELLCOTT TERRACE, N.W.**  
 LOT 28 SQUARE 2270  
 WASHINGTON, D.C.  
 LIBER: 135 FOLIO: 107  
 SCALE: 1"=30' DATE: 03-24-2025  
 DRAWN BY: SM FILE #: 252246-109

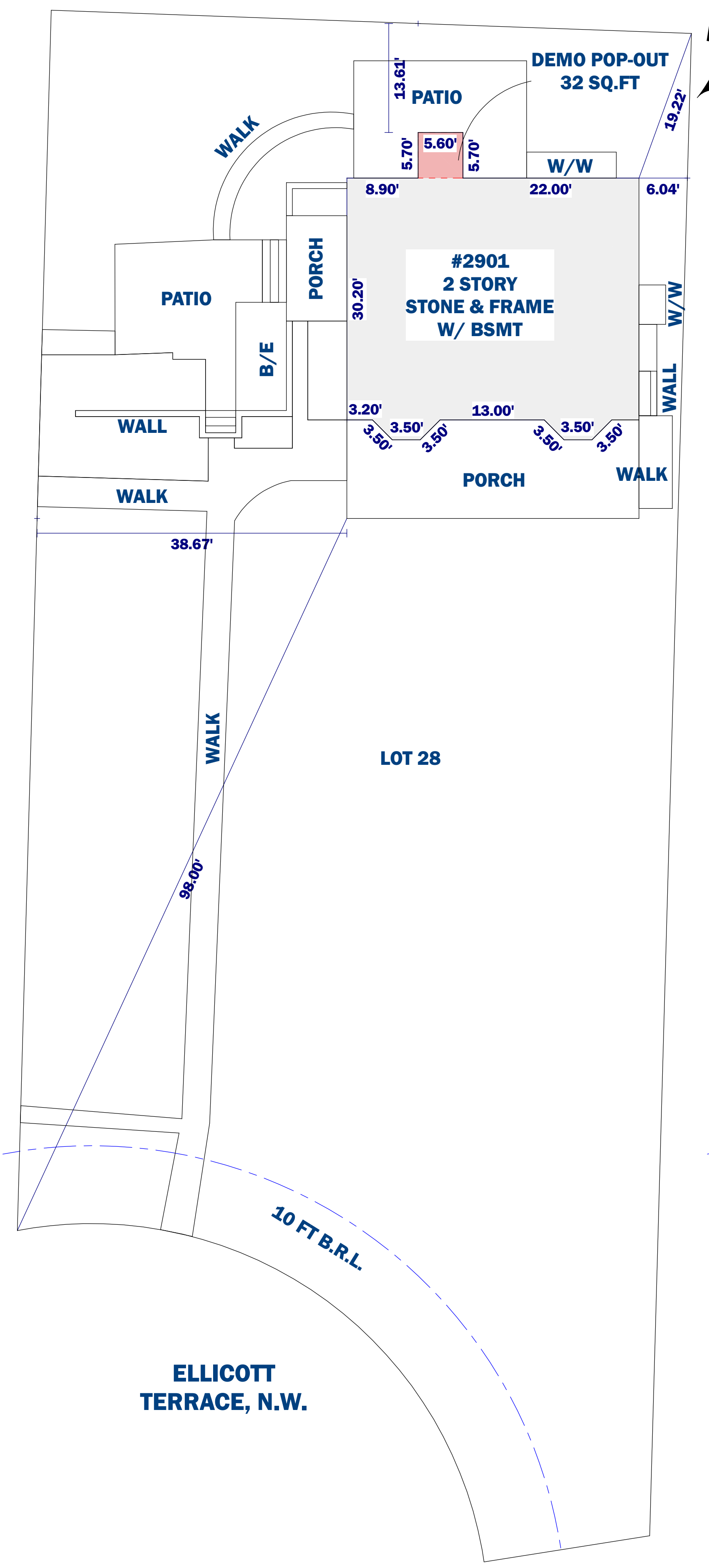
**SURVEYOR'S CERTIFICATE**  
 I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAN IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1/4" PER FOOT. NO TITLE REPORT HAS BEEN OBTAINED BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISrepair OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

A Land Surveying Company  
**DULEY and Associates, Inc.**  
 Serving D.C. and MD.  
 14604 Elm Street, Upper Marlboro, MD 20772  
 Phone: 301-888-1111 Fax: 301-888-1114  
 Email: orders@duley.biz On the web: www.duley.biz

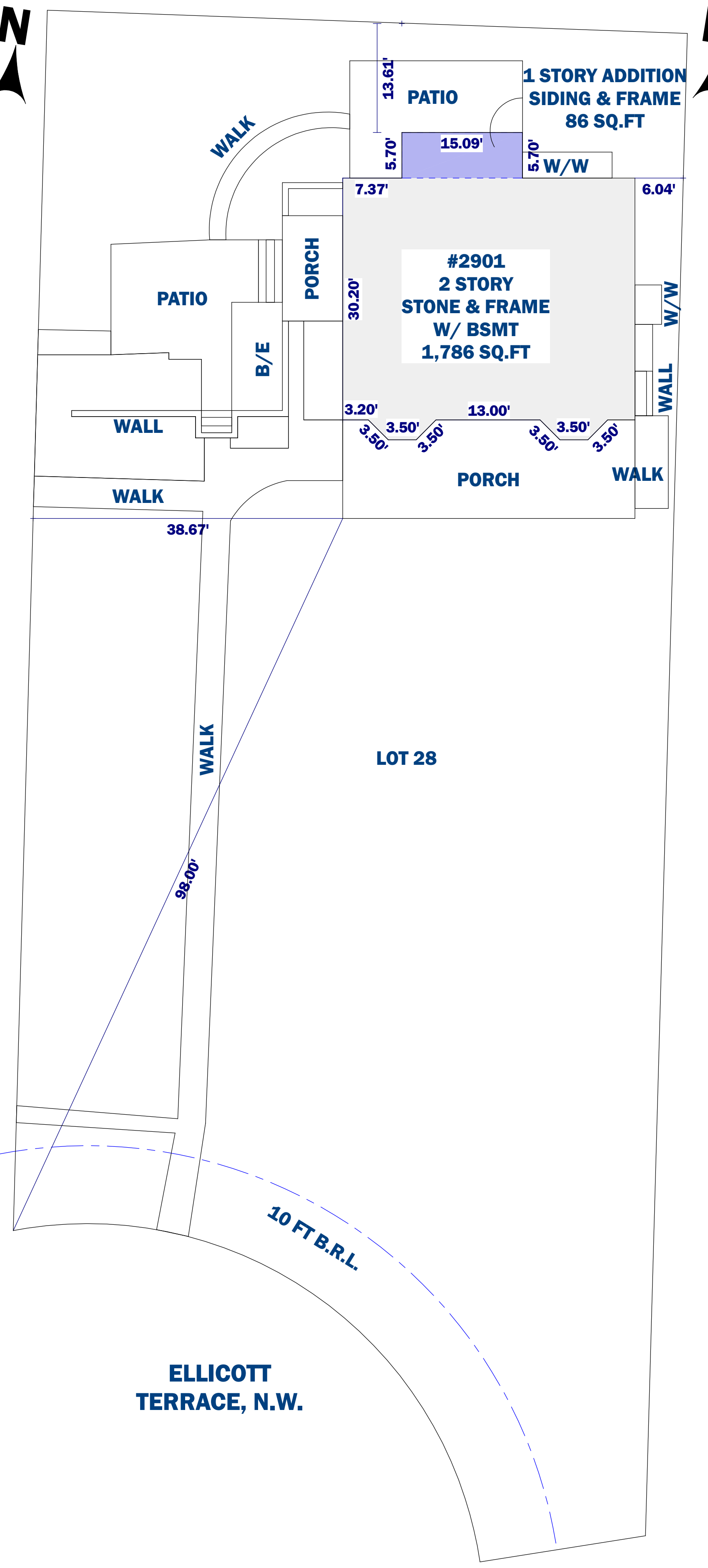
**3 002 SITE SURVEY**

**ZONING SUMMARY AND PROPERTY NOTICES**

<b>ZONE:</b>	R-1A/FH
<b>SQUARE #</b>	2270
<b>LOT #</b>	28
<b>HISTORIC 800 LOT</b>	NO
<b>PLAT ORDERED</b>	YES
<b>WMATA</b>	NO
<b>LOT SIZE:</b>	13,378.51 SQ FT
• LOT OCCUPANCY ALLOWED	30% (4,013.55 SQ FT)
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<b>SIDE SETBACK PROPOSED</b>	NO CHANGE



**1 002 DEMO SITE PLAN**  
SCALE 1 in = 10 ft



**2 002 PROPOSED SITE PLAN**  
SCALE 1 in = 10 ft

**SITE PLAN SHEET NOTES**  
 1. DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED  
 2. FOR PROPERTY LINE, LIMIT OF DISTURBANCE, GRADING CHANGES, LANDSCAPING, AND LOCATION OF BUILDING ON SITE, SEE SITE/CIVIL DRAWINGS.

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Professional Seal:

**Revisions**

#	Date	Int	Desc

**Project Approvals**

Reviewer	Initial	Date
CONSTRUCTION		
PERMIT		
CONTRACT		

**Project Team**  
 Project Designer: Brett Schoolnick  
 Project Manager: T.B.D.  
 Team Leader: Brett Schoolnick  
 Project Estimator: T.B.D.

**Drawing Version**

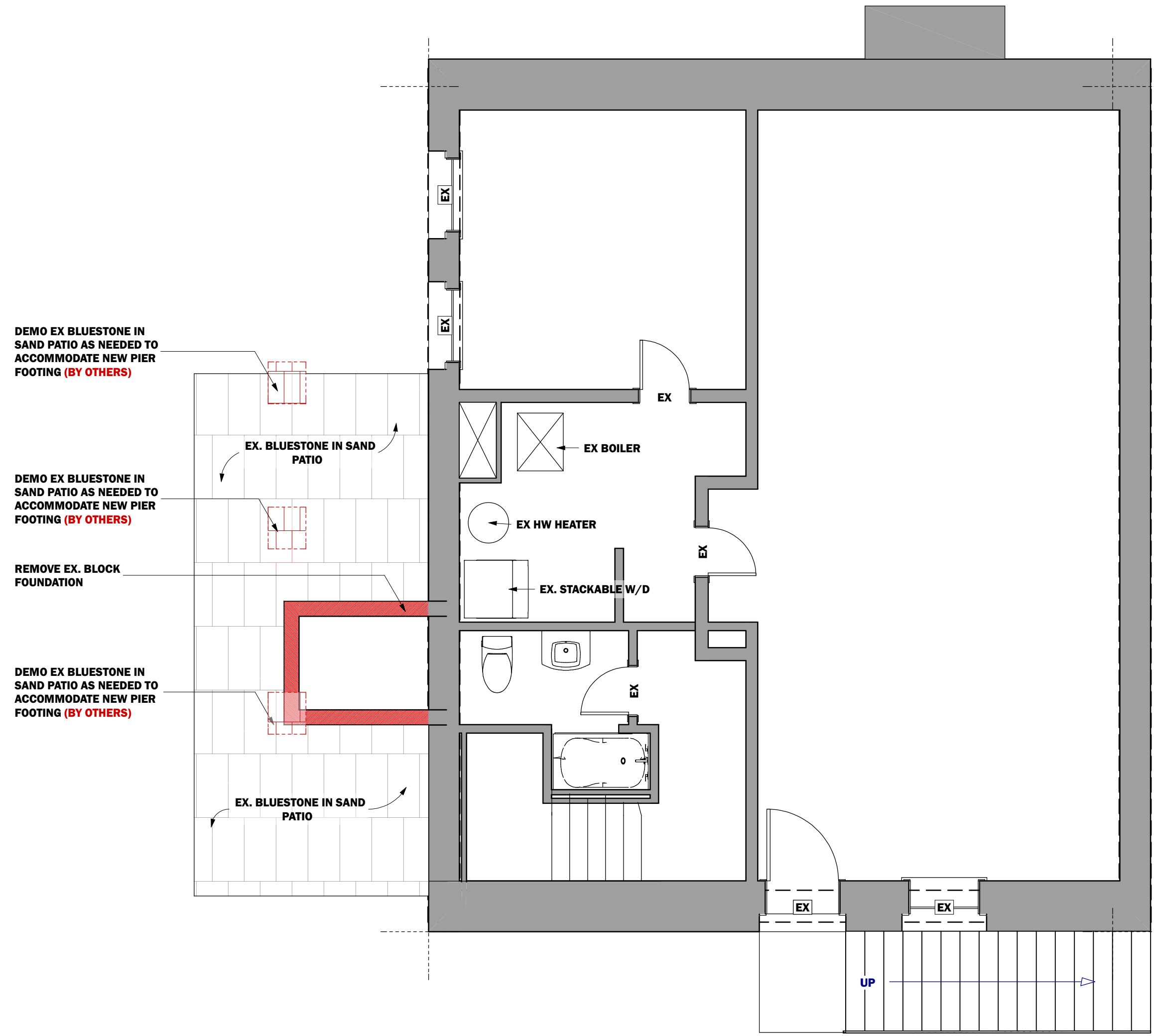
**Client and Project Location**  
**BARBER/VON KAHN RESIDENCE**  
 2901 ELLCOTT TERRACE NW  
 WASHINGTON DC, 20008

**Sheet Title**  
**DEMO AND PROPOSED SITE PLAN**

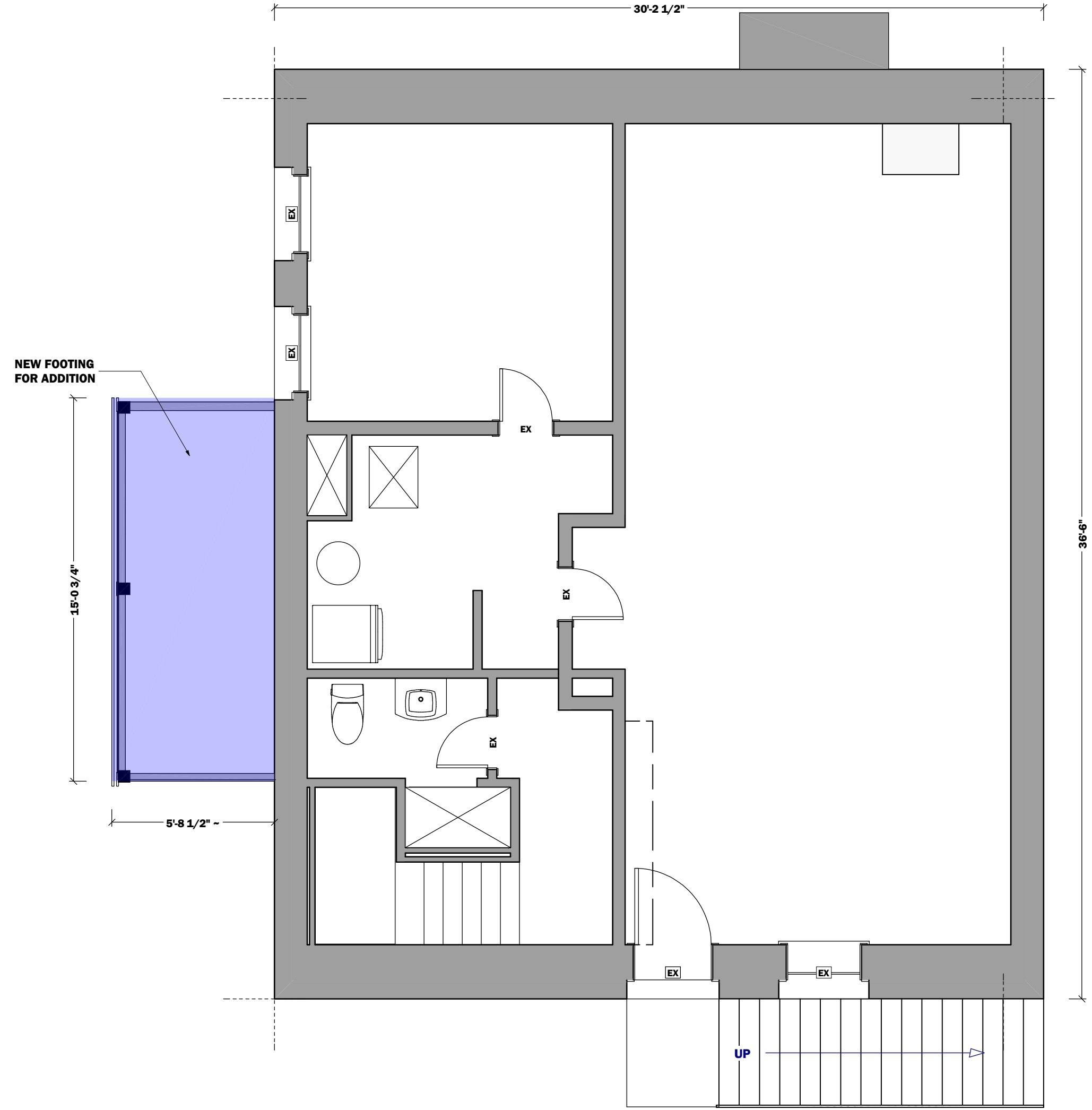
Issue Date:  
**11/25/2025**

Scale:  
**INDICATED**

**002**



**1**  
**A101** **BASEMENT LEVEL DEMOLITION PLAN**  
SCALE 1/4 in = 1 ft



**2**  
**A101** **BASEMENT LEVEL PROPOSED PLAN**  
SCALE 1/4 in = 1 ft

**LEGEND**

- EXTERIOR WIND BRACED OR INTERIOR BEARING WALL
- EXISTING WALLS
- NEW STUD WALLS
- ITEMS, WALLS TO BE DEMOLISHED
- CMU MASONRY WALLS
- CONCRETE WALLS
- DEMOLISHED AREAS
- REVISION NUMBER
- KEYNOTE
- INTERIOR ELEVATIONS
- WALL CALL OUT
- DOOR SIZE/SCHEDULE #
- WINDOW SIZE/SCHEDULE #
- CABINET SCHEDULE #
- NEW FRAMING MEMBER
- SISTERED FRAMING MEMBER
- NEW BEAM
- EXISTING FRAMING MEMBER
- STEEL OR FRAMING MEMBER W/ STEEL
- STRUCTURAL STEEL COLUMN
- LOAD TRANSFER PATH
- NEW PSL SUPPORT COLUMN
- POST UP /POST DOWN
- FRAMING MEMBER DESIGNATOR

- PLAN SHEET NOTES**
- EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED
  - DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
  - INTERIOR PARTITIONS ARE FRAMED WITH 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
  - EXTERIOR PARTITIONS ARE FRAMED WITH 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
  - REFER TO WINDOW SCHEDULE FOR ROUGH OPENINGS.
  - INTERIOR DOORS TO BE CENTERED BETWEEN THE NEAREST WALL PERPENDICULAR ON EACH SIDE OF THE DOOR UNLESS OTHERWISE NOTED.
  - ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.

- DEMOLITION NOTES**
- DEMOLITION PLANS ARE GIVEN FOR GUIDANCE ONLY FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED
  - COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS

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Professional Seal:

Revisions

#	Date	Int	Desc

Project Approvals

Reviewer	Initial	Date
CONSTRUCTION PERMIT CONTRACT		

Project Team

Project Designer: Brett Schoolnick  
Project Manager: T.B.D.  
Team Leader: Brett Schoolnick  
Project Estimator: T.B.D.

Drawing Version

Client and Project Location

**BARBER/VON KAHN RESIDENCE**

2901 ELLICOTT TERRACE NW  
WASHINGTON DC, 20008

Sheet Title

**DEMOS AND PROPOSED PLAN BASEMENT**

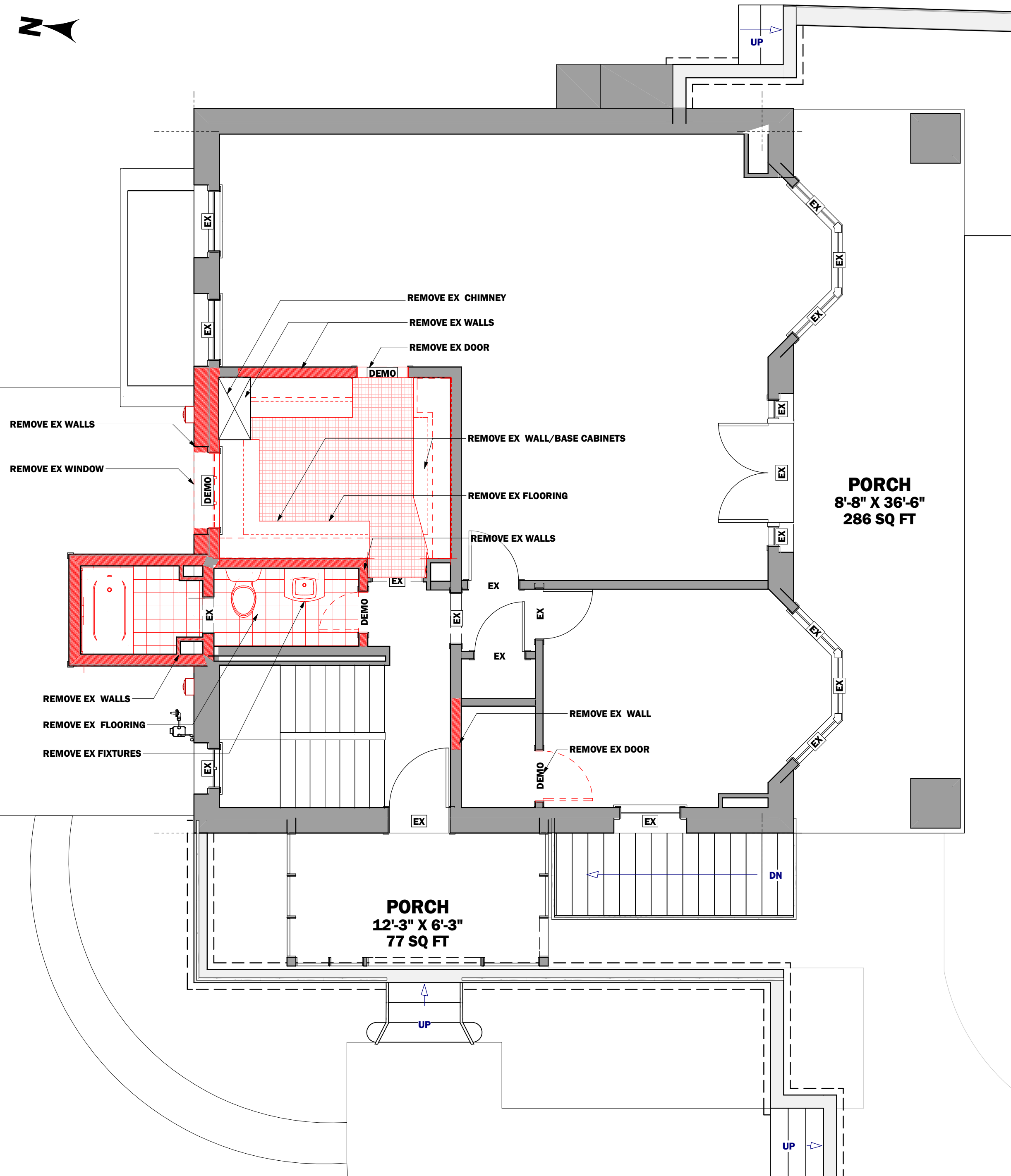
Issue Date:

**11/25/2025**

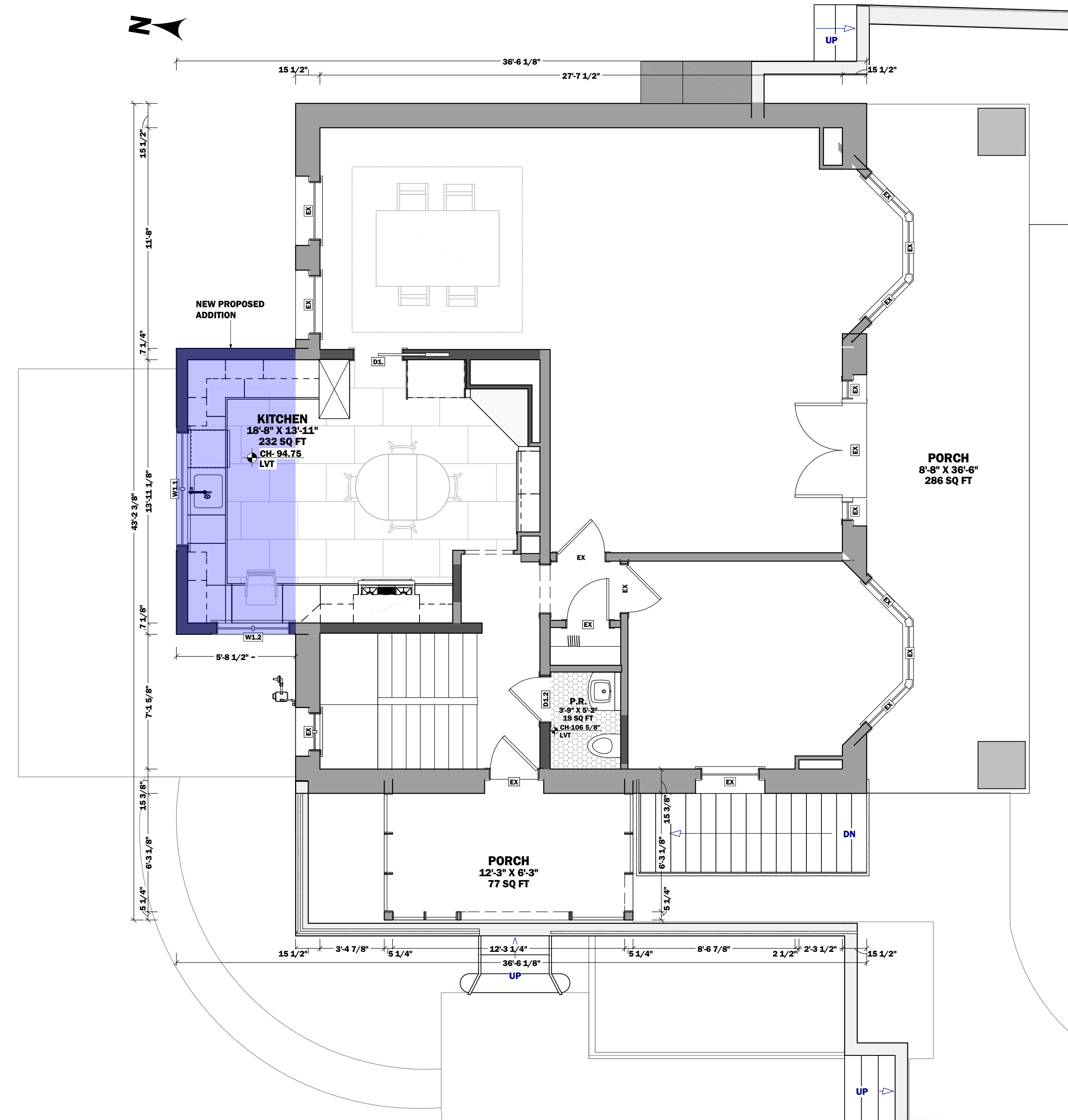
Scale:

**INDICATED**

**A101**



**1**  
**A102** **FIRST FLOOR DEMOLITION PLAN**  
SCALE 1/4 in = 1 ft



**2**  
**A102** **FIRST FLOOR PROPOSED PLAN**  
SCALE 1/4 in = 1 ft

**LEGEND**

- EXTERIOR WIND BRACED OR INTERIOR BEARING WALL
- EXISTING WALLS
- NEW STUD WALLS
- ITEMS/WALLS TO BE DEMOLISHED
- CMU MASONRY WALLS
- CONCRETE WALLS
- DEMOLISHED AREAS
- REVISION NUMBER
- KEYNOTE
- INTERIOR ELEVATIONS
- WALL CALL OUT
- DOOR SIZE/SCHEDULE #
- WINDOW SIZE/SCHEDULE #
- CABINET SCHEDULE #
- NEW FRAMING MEMBER
- SISTERED FRAMING MEMBER
- NEW BEAM
- EXISTING FRAMING MEMBER
- STEEL OR FRAMING MEMBER W/ STEEL
- STRUCTURAL STEEL COLUMN
- LOAD TRANSFER PATH
- NEW PSL SUPPORT COLUMN
- POST UP /POST DOWN
- FRAMING MEMBER #
- FRAMING MEMBER DESIGNATOR

**PLAN SHEET NOTES**

1. EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED.
2. DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
3. INTERIOR PARTITIONS ARE FRAMED WITH 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
4. EXTERIOR PARTITIONS ARE FRAMED WITH 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
5. REFER TO WINDOW SCHEDULE FOR ROUGH OPENINGS.
6. INTERIOR DOORS TO BE CENTERED BETWEEN THE NEAREST WALL PERPENDICULAR ON EACH SIDE OF THE DOOR UNLESS OTHERWISE NOTED.
7. ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.

**DEMOLITION NOTES**

1. DEMOLITION PLANS ARE GIVEN FOR GUIDANCE - ONLY FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED
2. COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS



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Professional Seal:

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CONSTRUCTION PERMIT CONTRACT		

**Project Team**

Project Designer: Brett Schoolnick  
Project Manager: T.B.D.  
Team Leader: Brett Schoolnick  
Project Estimator: T.B.D.

**Drawing Version**

**Client and Project Location**

**BARBER/VON**  
**KAHN RESIDENCE**

2901 ELLICOTT TERRACE NW  
WASHINGTON DC, 20008

**Sheet Title**

**DEMO AND PROPOSED PLAN FIRST FLOOR**

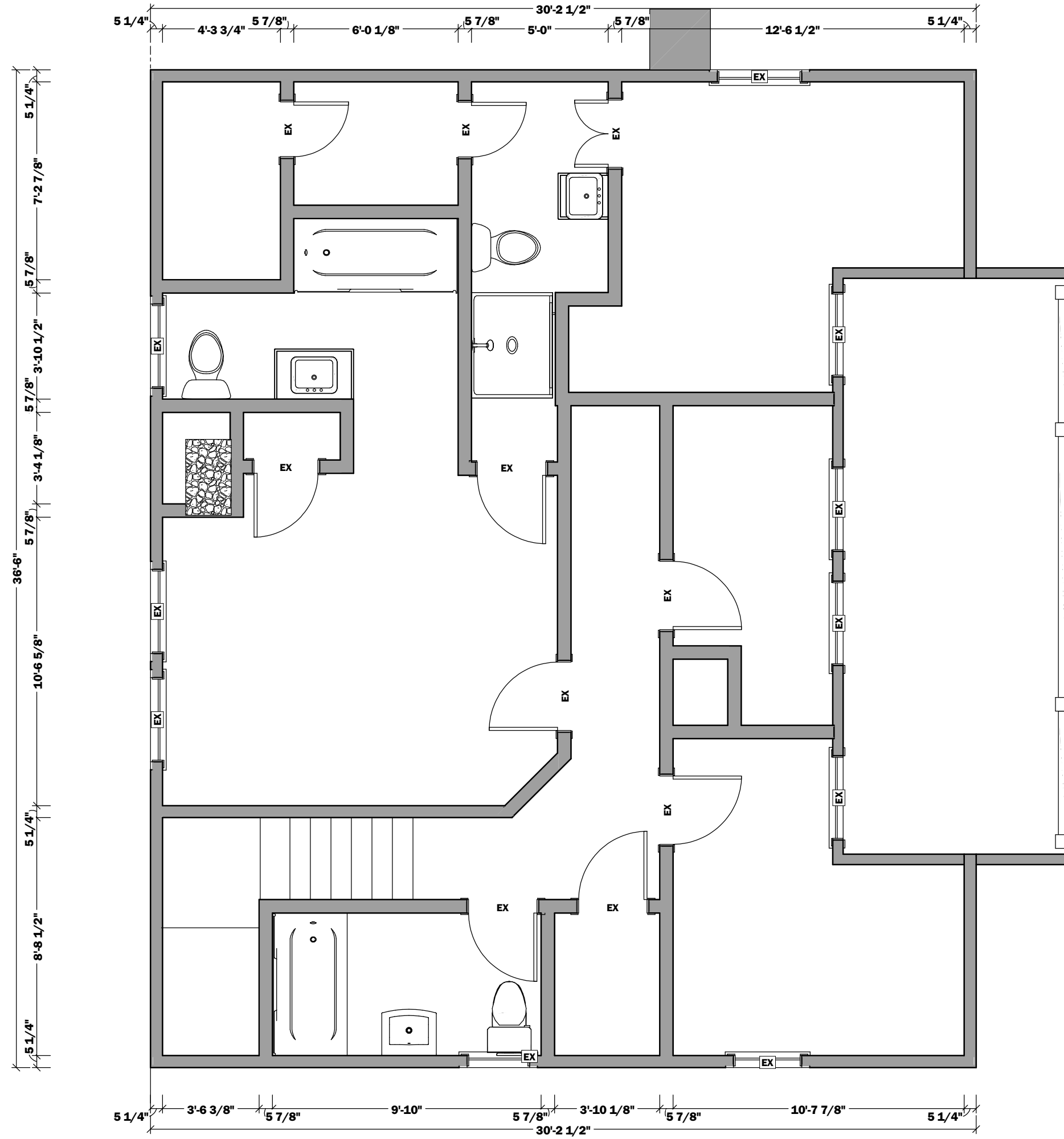
Issue Date:

11/25/2025

Scale:

INDICATED

**A102**



(NO WORK PROPOSED - FOR REFERENCE ONLY)

**1**  
**A103** EXISTING PLAN - SECOND FLOOR  
SCALE 1/4 in = 1 ft

**LEGEND**

- EXTERIOR WIND BRACED OR INTERIOR BEARING WALL
- EXISTING WALLS
- NEW STUD WALLS
- ITEMS, WALLS TO BE DEMOLISHED
- CMU MASONRY WALLS
- CONCRETE WALLS
- DEMOLISHED AREAS
- REVISION NUMBER
- KEYNOTE
- INTERIOR ELEVATIONS
- WALL CALL OUT
- DOOR SIZE/SCHEDULE #
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- NEW PSL SUPPORT COLUMN
- POST UP /POST DOWN
- FRAMING MEMBER DESIGNATOR

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**PLAN SHEET NOTES**

- EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
- INTERIOR PARTITIONS ARE FRAMED WITH 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
- EXTERIOR PARTITIONS ARE FRAMED WITH 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
- REFER TO WINDOW SCHEDULE FOR ROUGH OPENINGS.
- INTERIOR DOORS TO BE CENTERED BETWEEN THE NEAREST WALL PERPENDICULAR ON EACH SIDE OF THE DOOR UNLESS OTHERWISE NOTED.
- ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.

**DEMOLITION NOTES**

- DEMOLITION PLANS ARE GIVEN FOR GUIDANCE ONLY. FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED.
- COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS.

**Project Approvals**

Reviewer	Initial	Date
CONSTRUCTION PERMIT CONTRACT		

**Project Team**

Project Designer: Brett Schoolnick  
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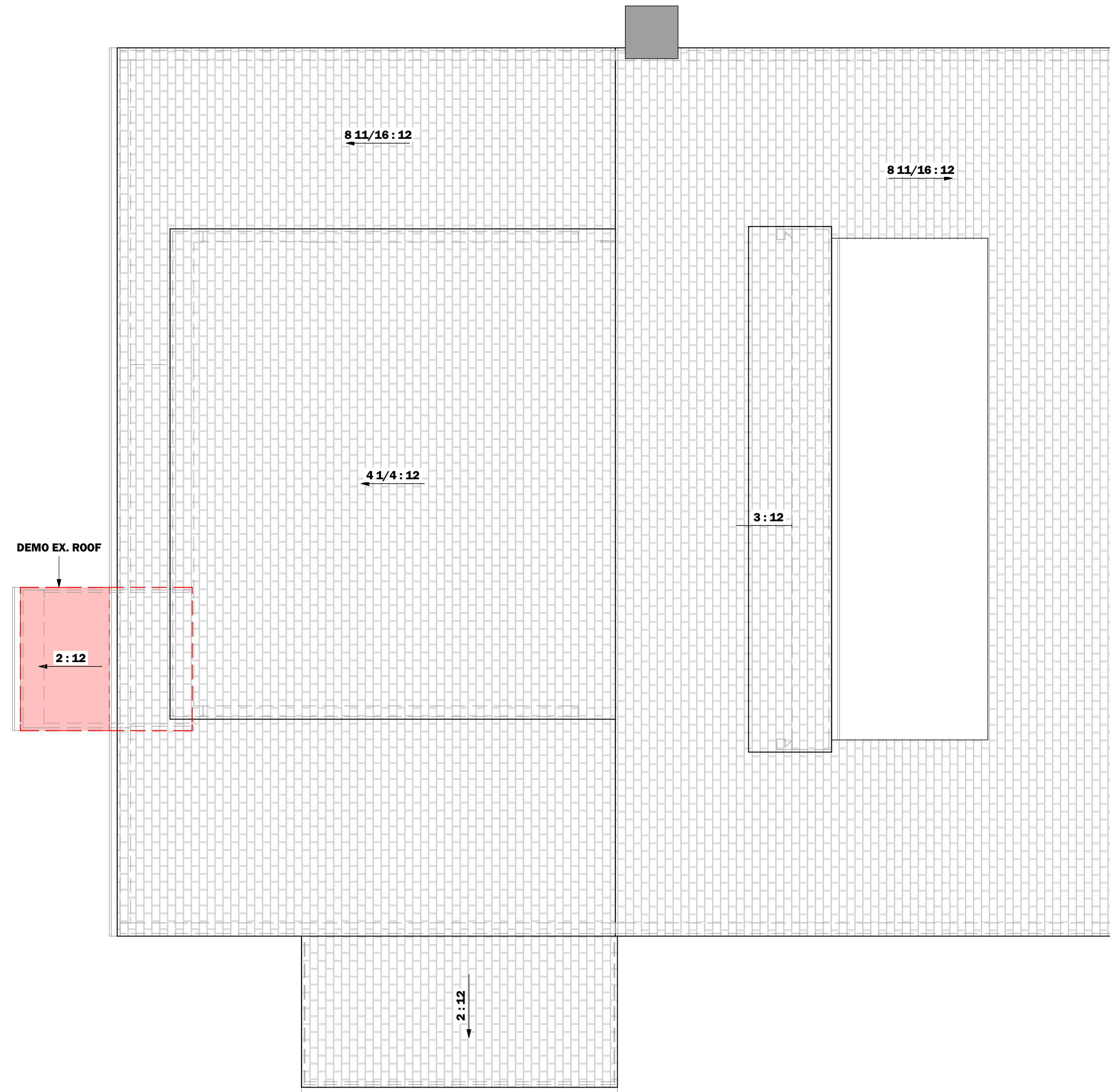
Sheet Title

**EXISTING PLAN SECOND FLOOR**

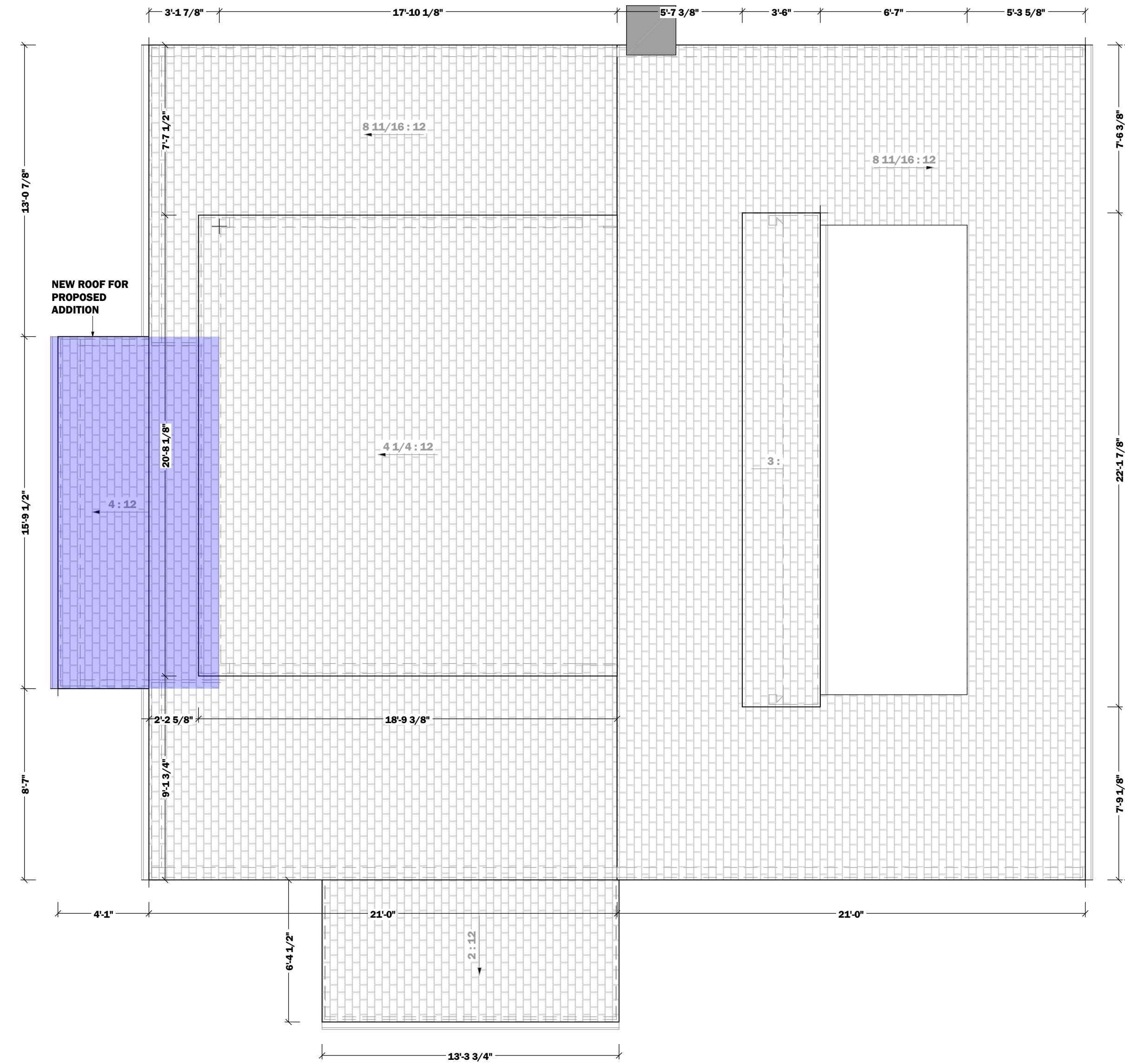
Issue Date: **11/25/2025**

Scale: **INDICATED**

**A103**



**1**  
**A104** DEMOLITION ROOF PLAN  
SCALE 1/4 in = 1 ft



**2**  
**A104** PROPOSED ROOF PLAN  
SCALE 1/4 in = 1 ft

**LEGEND**

- EXTERIOR WIND BRACED OR INTERIOR BEARING WALL
- EXISTING WALLS
- NEW STUD WALLS
- ITEMS/WALLS TO BE DEMOLISHED
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- STRUCTURAL STEEL COLUMN
- LOAD TRANSFER PATH
- NEW PSL SUPPORT COLUMN
- POST UP /POST DOWN
- FRAMING MEMBER DESIGNATOR

**PLAN SHEET NOTES**

1. EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED
2. DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
3. INTERIOR PARTITIONS ARE FRAMED WITH 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
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5. REFER TO WINDOW SCHEDULE FOR ROUGH OPENINGS.
6. INTERIOR DOORS TO BE CENTERED BETWEEN THE NEAREST WALL PERPENDICULAR ON EACH SIDE OF THE DOOR UNLESS OTHERWISE NOTED.
7. ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.

**DEMOLITION NOTES**

1. DEMOLITION PLANS ARE GIVEN FOR GUIDANCE ONLY. FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED
2. COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS



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**Drawing Version**

**Client and Project Location**

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WASHINGTON DC, 20008

**Sheet Title**

**DEMO AND  
PROPOSED  
PLAN ROOF**

**Issue Date:**

11/25/2025

**Scale:**

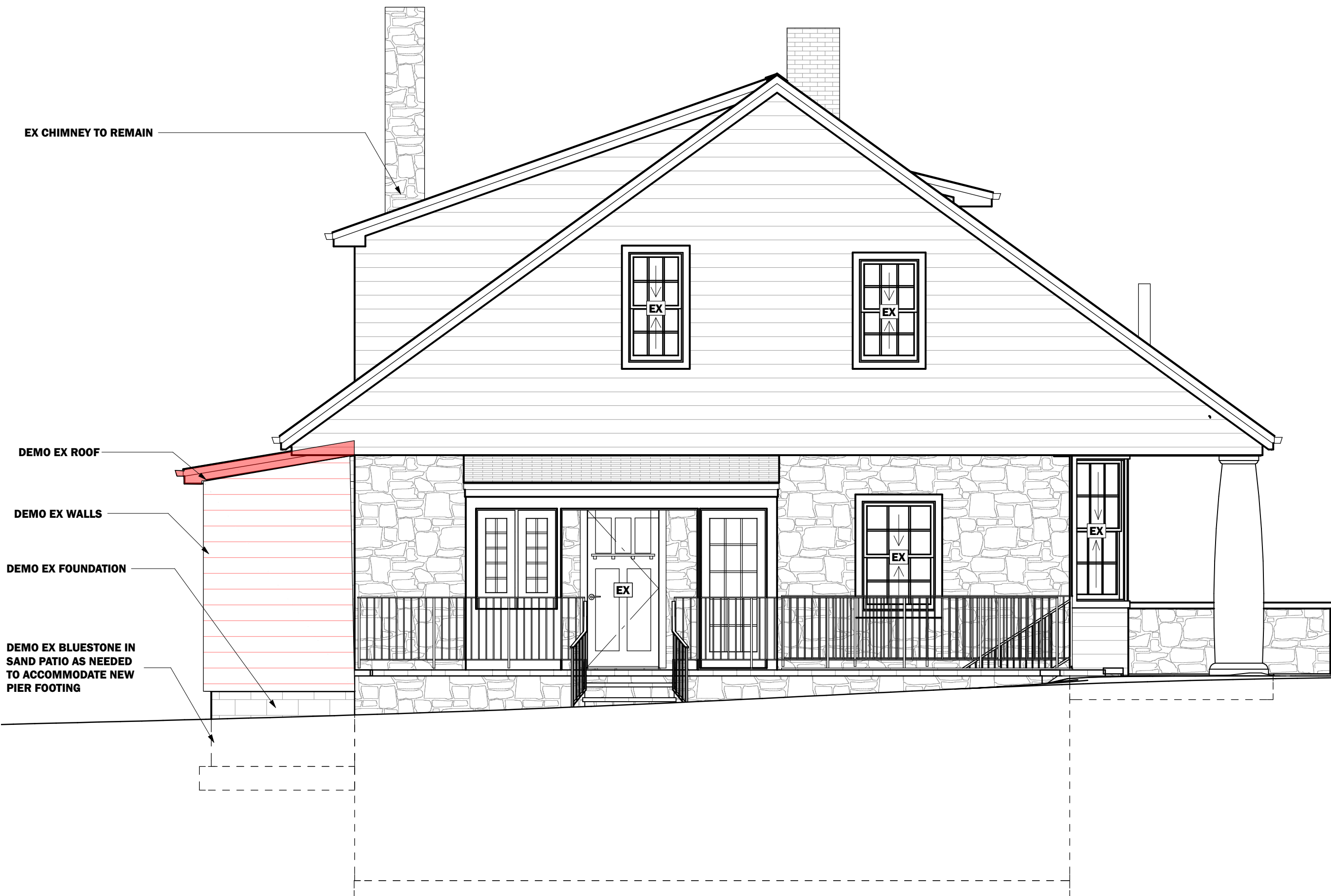
INDICATED

**A104**

### LEGEND

<p>— EXTERIOR WIND BRACED OR INTERIOR BEARING WALL</p> <p>— EXISTING WALLS</p> <p>— NEW STUD WALLS</p> <p>--- ITEMS/WALLS TO BE DEMOLISHED</p>	<p>CMU MASONRY WALLS</p> <p>CONCRETE WALLS</p> <p>DEMOLISHED AREAS</p>	<p>1 REVISION NUMBER</p> <p>CO1 KEYNOTE</p> <p>INTERIOR ELEVATIONS</p>	<p>14 WALL CALL OUT</p> <p>DO1 DOOR SCHEDULE #</p> <p>W02 WINDOW SCHEDULE #</p> <p>CO1 CABINET SCHEDULE #</p>	<p>--- NEW FRAMING MEMBER</p> <p>--- SISTERED FRAMING MEMBER</p> <p>--- NEW BEAM</p> <p>--- EXISTING FRAMING MEMBER</p>	<p>LOAD TRANSFER PATH</p> <p>NEW PSL SUPPORT COLUMN</p> <p>POST UP / POST DOWN</p> <p>STRUCTURAL STEEL COLUMN</p>
------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------	------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

- #### PLAN SHEET NOTES
- EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED.
  - DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
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  - ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- #### DEMOLITION NOTES
1. DEMOLITION PLANS ARE GIVEN FOR GUIDANCE ONLY. FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED.
  2. COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS.



**1**  
**A201** **DEMO-LEFT ELEVATION**  
SCALE 1/4 in = 1 ft



**2**  
**A201** **PROPOSED - LEFT ELEVATION**  
SCALE 1/4 in = 1 ft



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KAHN RESIDENCE**

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Sheet Title

**DEMO AND  
PROPOSED  
LEFT  
ELEVATION**

Issue Date:

**11/25/2025**

Scale:

**INDICATED**

**A201**

### LEGEND

<p>EXTERIOR WIND BRACED OR INTERIOR BEARING WALL</p> <p>EXISTING WALLS</p> <p>NEW STUD WALLS</p> <p>ITEMS/WALLS TO BE DEMOLISHED</p>	<p>CMU MASONRY WALLS</p> <p>CONCRETE WALLS</p> <p>DEMOLISHED AREAS</p>	<p>REVISION NUMBER</p> <p>KEYNOTE</p> <p>INTERIOR ELEVATIONS</p>	<p>WALL CALL OUT</p> <p>DOOR SCHEDULE #</p> <p>WINDOW SCHEDULE #</p> <p>CABINET SCHEDULE #</p>	<p>NEW FRAMING MEMBER</p> <p>SISTERED FRAMING MEMBER</p> <p>NEW BEAM</p> <p>EXISTING FRAMING MEMBER</p>	<p>LOAD TRANSFER PATH</p> <p>NEW PSL SUPPORT COLUMN</p> <p>POST UP / POST DOWN</p> <p>STRUCTURAL STEEL COLUMN</p>
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- #### PLAN SHEET NOTES
- EXTERIOR DIMENSIONS ARE TO SHEATHING, UNLESS OTHERWISE NOTED UNLESS OTHERWISE NOTED.
  - DIMENSIONS ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED.
  - INTERIOR PARTITIONS ARE FRAMED WITH 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
  - EXTERIOR PARTITIONS ARE FRAMED WITH 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
  - REFER TO WINDOW SCHEDULE FOR ROUGH OPENINGS.
  - INTERIOR DOORS TO BE CENTERED BETWEEN THE NEAREST WALL PERPENDICULAR ON EACH SIDE OF THE DOOR UNLESS OTHERWISE NOTED.
  - ALL WINDOW HEAD HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- #### DEMOLITION NOTES
1. DEMOLITION PLANS ARE GIVEN FOR GUIDANCE ONLY FIELD VERIFY DEMOLITION WORK THAT IS REQUIRED
  2. COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS



(NO WORK PROPOSED - FOR REFERENCE ONLY)

1  
A202
**EXISTING ELEVATION - FRONT**  
 SCALE 1/4 in = 1 ft



**LANDIS**  
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Professional Seal:

Revisions

#	Date	Int	Desc

Project Approvals

Reviewer	Initial	Date
CONSTRUCTION		
PERMIT		
CONTRACT		

Project Team

Project Designer: Brett Schoolnick  
Project Manager: T.B.D.  
Team Leader: Brett Schoolnick  
Project Estimator: T.B.D.

Drawing Version

Client and Project Location

**BARBER/VON  
KAHN RESIDENCE**

2901 ELLICOTT TERRACE NW  
WASHINGTON DC, 20008

Sheet Title

**EXISTING  
FRONT  
ELEVATION**

Issue Date:

**11/25/2025**

Scale:

**INDICATED**

**A202**

### LEGEND

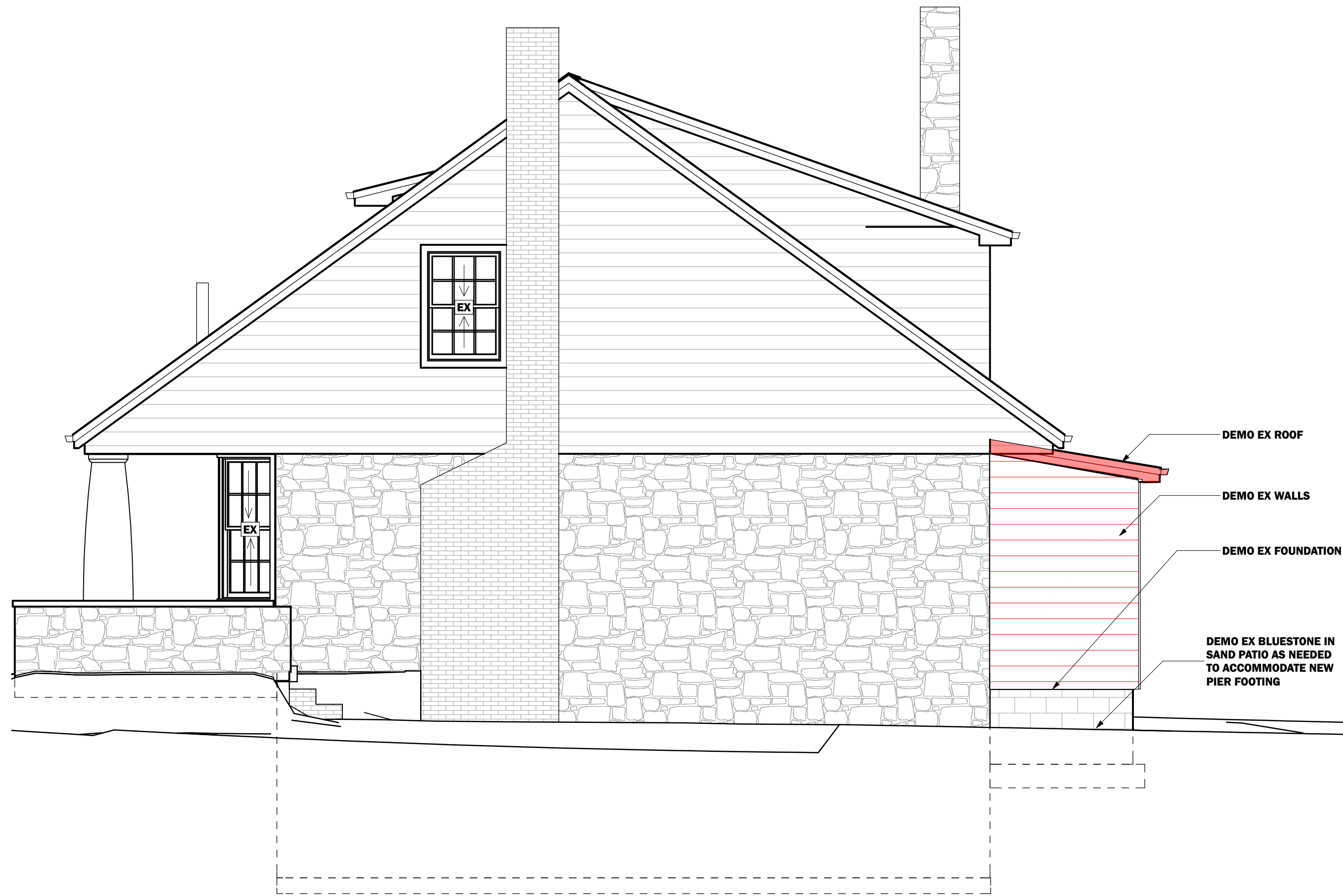
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### PLAN SHEET NOTES

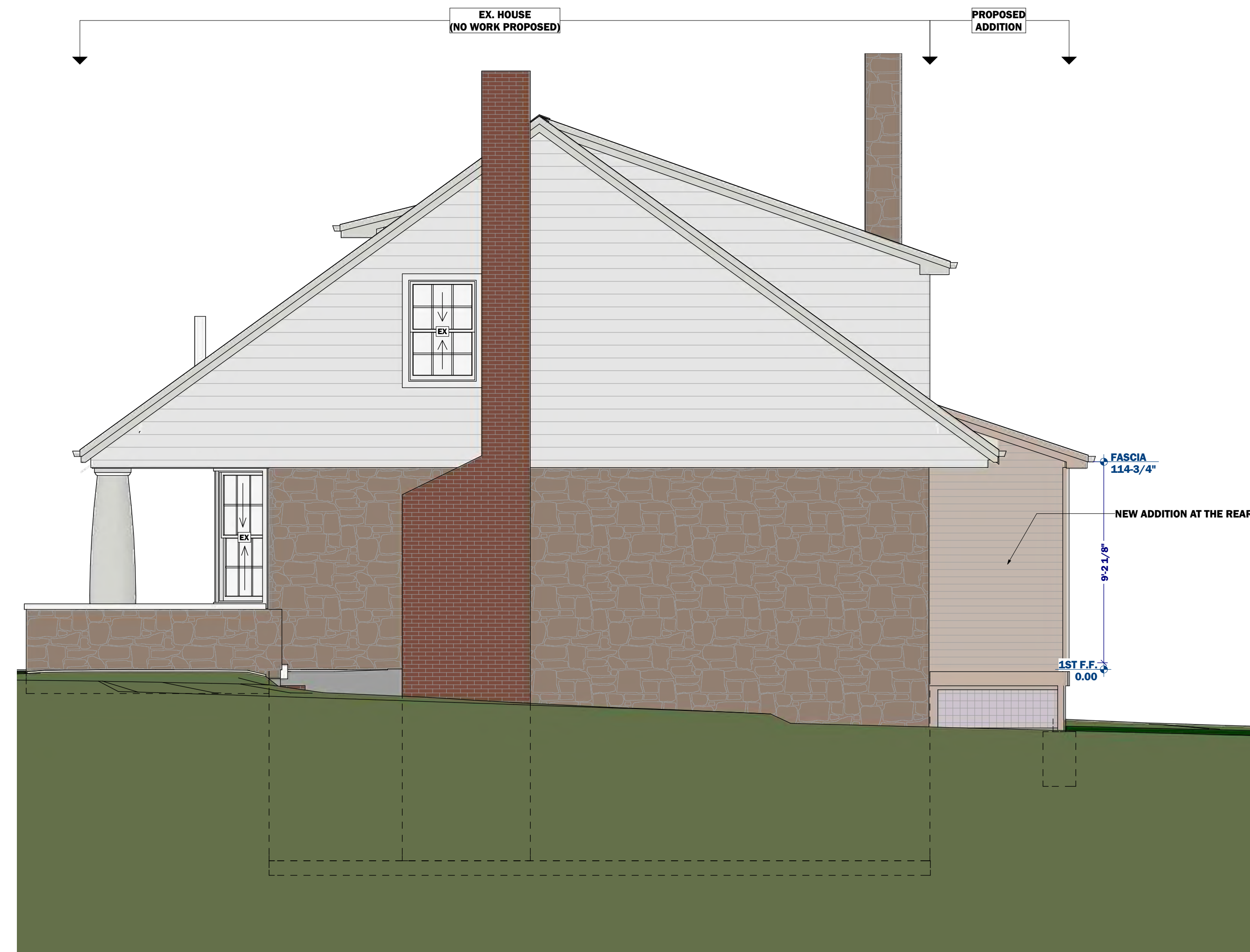
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2. COORDINATE ALL DEMOLITION WITH THE PROPOSED FLOOR PLANS



**1**  
**A203** DEMO-RIGHT ELEVATION  
SCALE 1/4 in = 1 ft



**2**  
**A203** PROPOSED-RIGHT ELEVATION  
SCALE 1/4 in = 1 ft



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Drawing Version

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**BARBER/VON**  
**KAHN RESIDENCE**

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Sheet Title

**DEMO AND PROPOSED REAR ELEVATION**

Issue Date:

**11/25/2025**

Scale:

**INDICATED**

**A203**

### LEGEND

<p>EXTERIOR WIND BRACED OR INTERIOR BEARING WALL</p> <p>EXISTING WALLS</p> <p>NEW STUD WALLS</p> <p>ITEMS/WALLS TO BE DEMOLISHED</p>	<p>CMU MASONRY WALLS</p> <p>CONCRETE WALLS</p> <p>DEMOLISHED AREAS</p>	<p>REVISION NUMBER</p> <p>KEYNOTE</p> <p>INTERIOR ELEVATIONS</p>	<p>WALL CALL OUT</p> <p>DOOR SCHEDULE #</p> <p>WINDOW SCHEDULE #</p> <p>CABINET SCHEDULE #</p>
			<p>NEW FRAMING MEMBER</p> <p>SISTERED FRAMING MEMBER</p> <p>NEW BEAM</p> <p>EXISTING FRAMING MEMBER</p>
			<p>LOAD TRANSFER PATH</p> <p>NEW PSL SUPPORT COLUMN</p> <p>POST UP / POST DOWN</p> <p>STRUCTURAL STEEL COLUMN</p>

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**1**  
**A204** DEMO REAR ELEVATION  
SCALE 1/4 in = 1 ft



**2**  
**A204** PROPOSED - REAR ELEVATION  
SCALE 1/4 in = 1 ft



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**DEMO AND  
PROPOSED  
REAR  
ELEVATION**

Issue Date:

**11/25/2025**

Scale:

**INDICATED**

**A204**