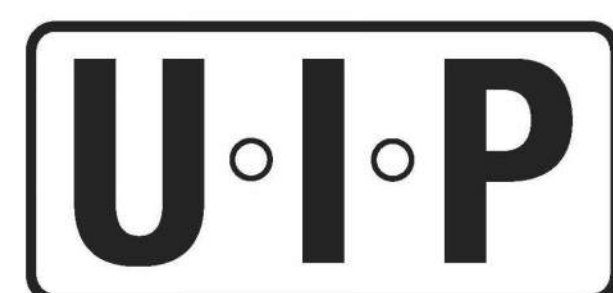


2222 Q STREET- BZA PACKAGE

FEBRUARY 17, 2026



2222 Q Street Owner, LLC

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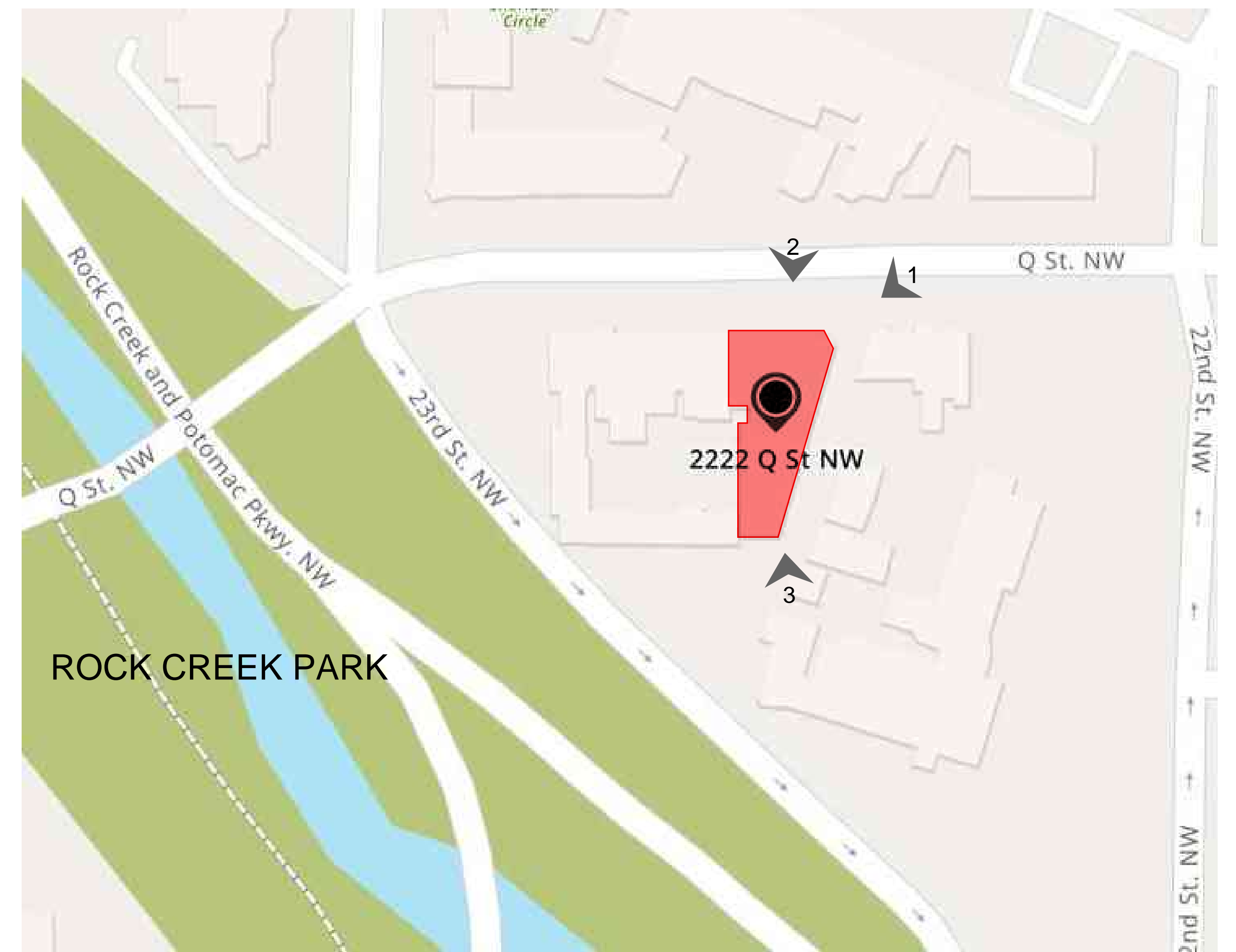
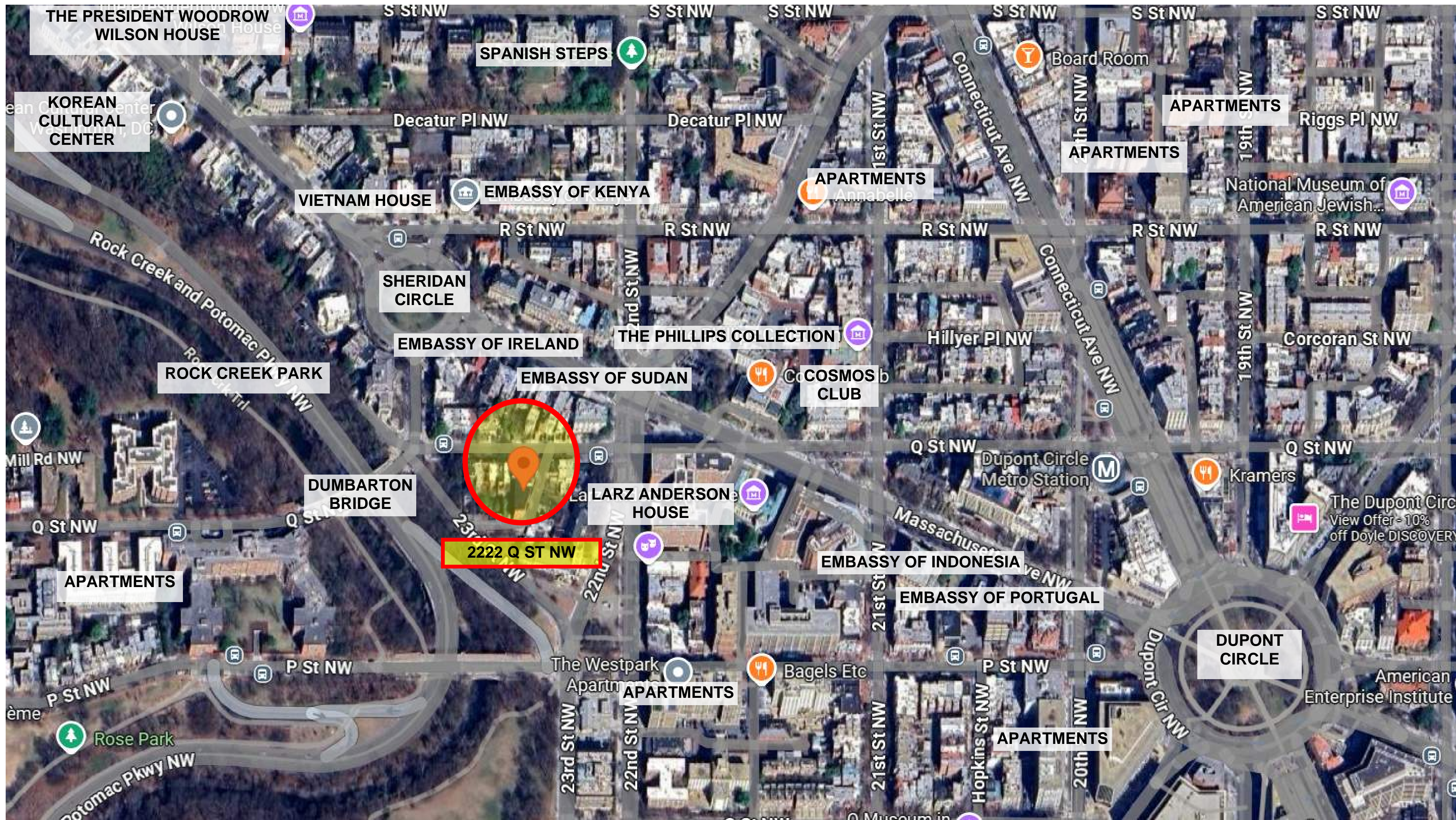
Bonstra | Haresign
ARCHITECTS

2222 Q STREET, NW
Washington, D.C., 20009

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- LOCATION MAP
- PROJECT OVERVIEW
- EXISTING CONDITION
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- SITE PLAN
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- BUILDING ELEVATION- NORTH
- BUILDING ELEVATION- WEST
- BUILDING ELEVATION- EAST
- BUILDING ELEVATION- SOUTH
- BUILDING SECTION





1. VIEW WEST



2. VIEW OF Q ST. FACADE (NORTH)



3. REAR VIEW



2222 Q STREET OWNER, LLC

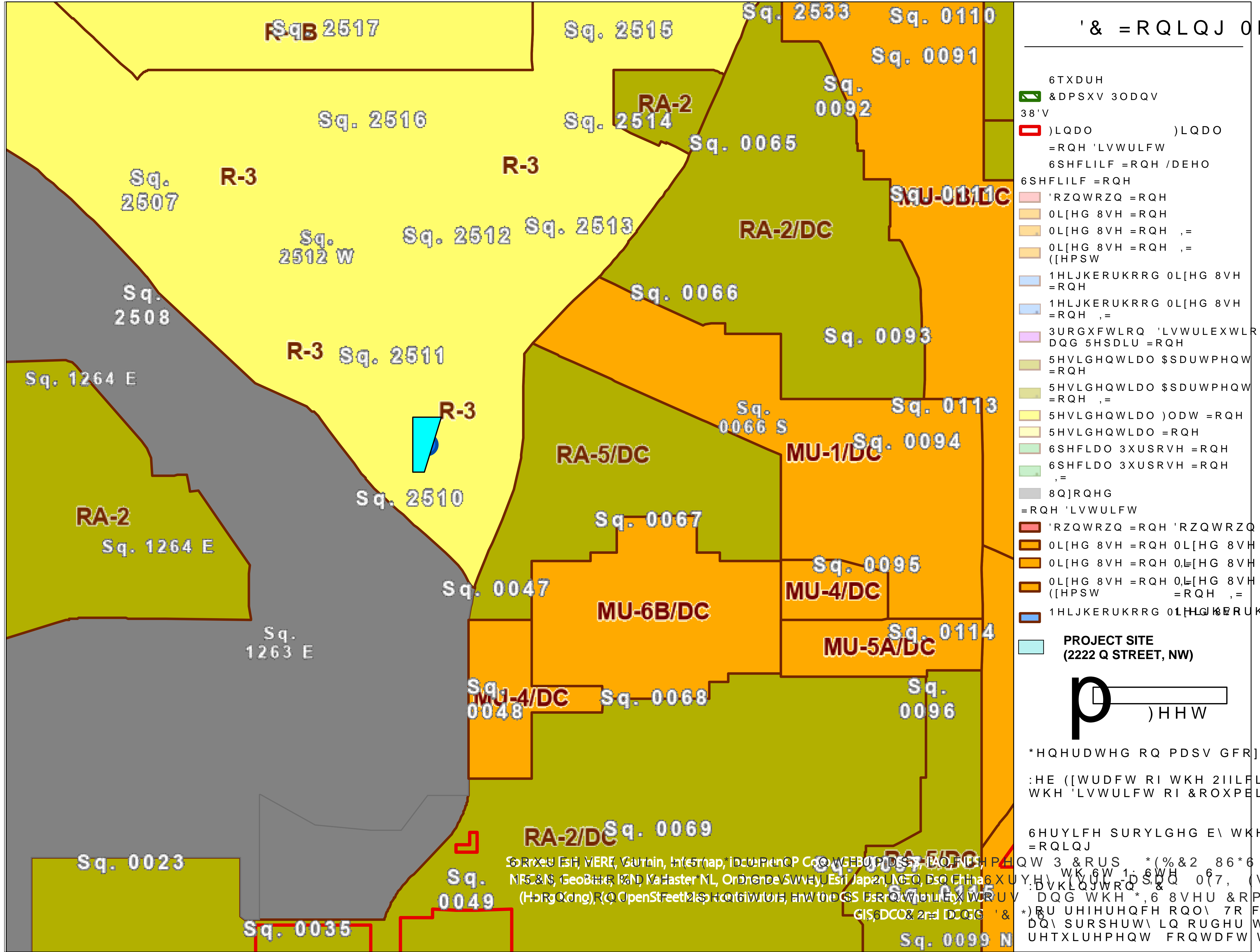
FEBRUARY 17, 2026

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LOCATION MAP

NTS

2222 Q STREET, NW



PROJECT OVERVIEW

2222 Q STREET, NW IS AN EXISTING 5 STORY AND BASEMENT PRIVATELY OWNED RESIDENTIAL BUILDING. THERE ARE 20 EXISTING DWELLING UNITS ON FLOORS 1-5. THE SCOPE OF THIS PROJECT INCLUDES LEVEL 2 ALTERATION OF EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS, AS WELL AS PARTIAL CONFIGURATION OF UNIT INTERIORS OF FLOORS 1-5. A LEVEL 3 ALTERATION AT BASEMENT LEVEL INCLUDES THE ADDITION OF 4 UNITS AND SPRINKLER SYSTEM. EXTERIOR WORK INCLUDES WINDOW AND DOOR REPLACEMENT, REPAIR TO EXISTING MASONRY, ROOFING, WATERPROOFING AND LANDSCAPING. HISTORIC DISTRICT: 2222 Q STREET, NW IS A CONTRIBUTING BUILDING TO MASSACHUSETTS AVENUE HISTORIC DISTRICT AND SHERIDAN-KALORAMA HISTORIC DISTRICT.

ZONING DATA SUMMARY:

SITE DATA:	LOT 0038	SQUARE 2510
AREA	6636 SF	
LOT OCCUPANCY:	ALLOWED: 40% EXISTING: 88% PROPOSED: 88% (NO CHANGE)	
ZONING DISTRICT:	R-3	
HISTORIC DISTRICT:	MASSACHUSETTS AVENUE HISTORIC DISTRICT AND SHERIDAN-KALORAMA HISTORIC DISTRICT	
NUMBER OF STORIES ABOVE GRADE:	5	
BUILDING HEIGHT:	50-0" (EXISTING, NO CHANGE)	
BUILDING AREA:	(EXISTING TO REMAIN)	
EXISTING GROSS AREA:	CELLAR AREA: 5,837 GSF FIRST FLOOR AREA: 5,812 GSF SECOND FLOOR AREA: 5,812 GSF THIRD FLOOR AREA: 5,812 GSF FOURTH FLOOR AREA: 5,812 GSF FIFTH FLOOR AREA: 5,812 GSF TOTAL 34,897 GSF	
TOTAL GFA:	TOTAL 29,060 SF (Excluding Cellar area, GFA includes all GSF applicable to FAR calculations)	
EXISTING C OF O:	20 RESIDENTIAL UNITS	
PROPOSED UNITS:	24 RESIDENTIAL UNITS	



1. PROPOSED NEW ROOFING AND WATERPROOFING, ADDRESS WATER PONDING ISSUE



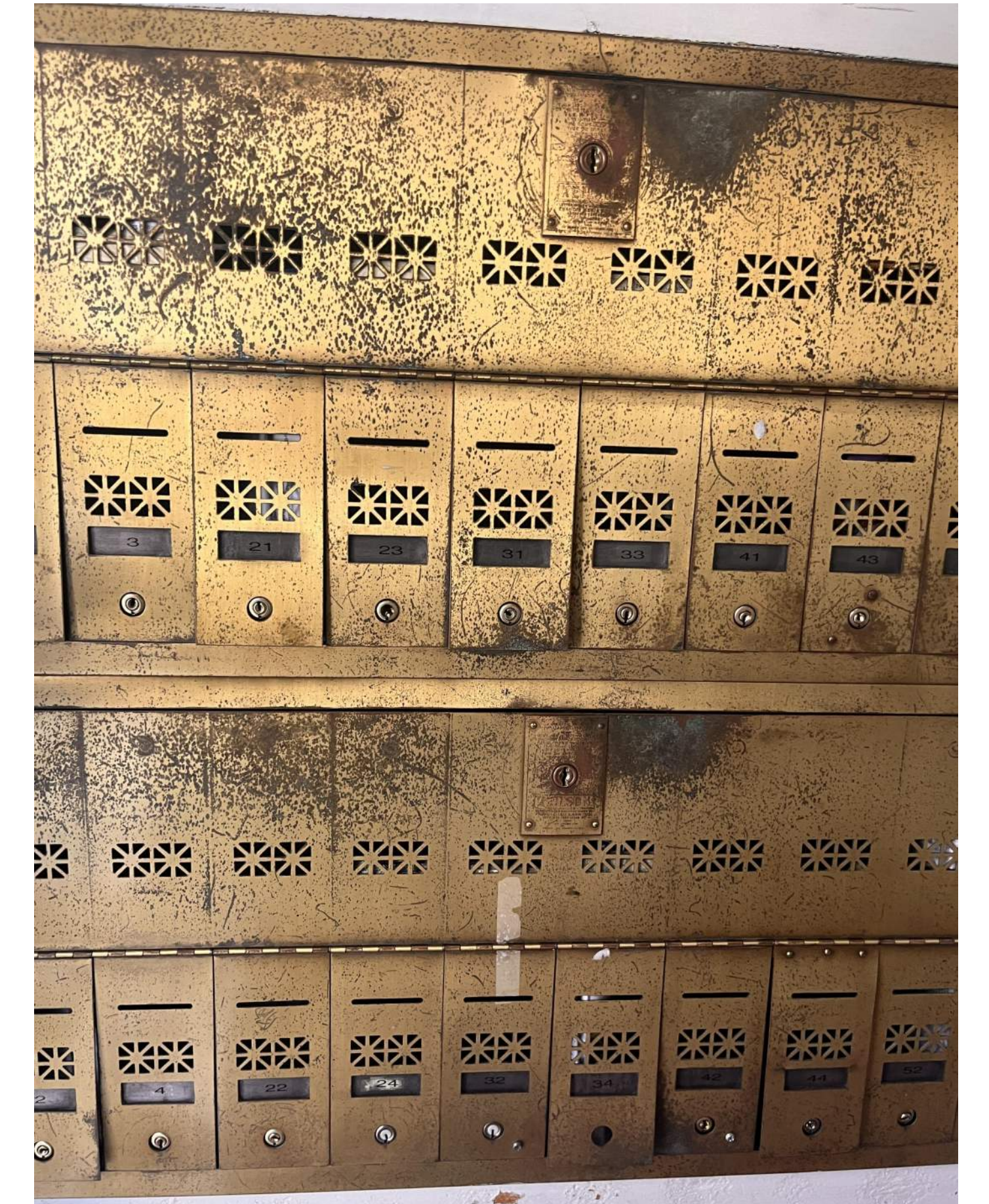
2. LIMESTONE CLEANING AND REPAIR HISTORIC FACADE



3. REPAIR & REPLACE DAMAGED FINISHES THROUGHOUT



4. WATERSENSE LOW-FLOW FIXTURES THROUGHOUT



5. REPLACE DAMAGED & NON-COMPLIANT USPS MAIL & PACKAGE WITH NEW PER USPS STANDARDS



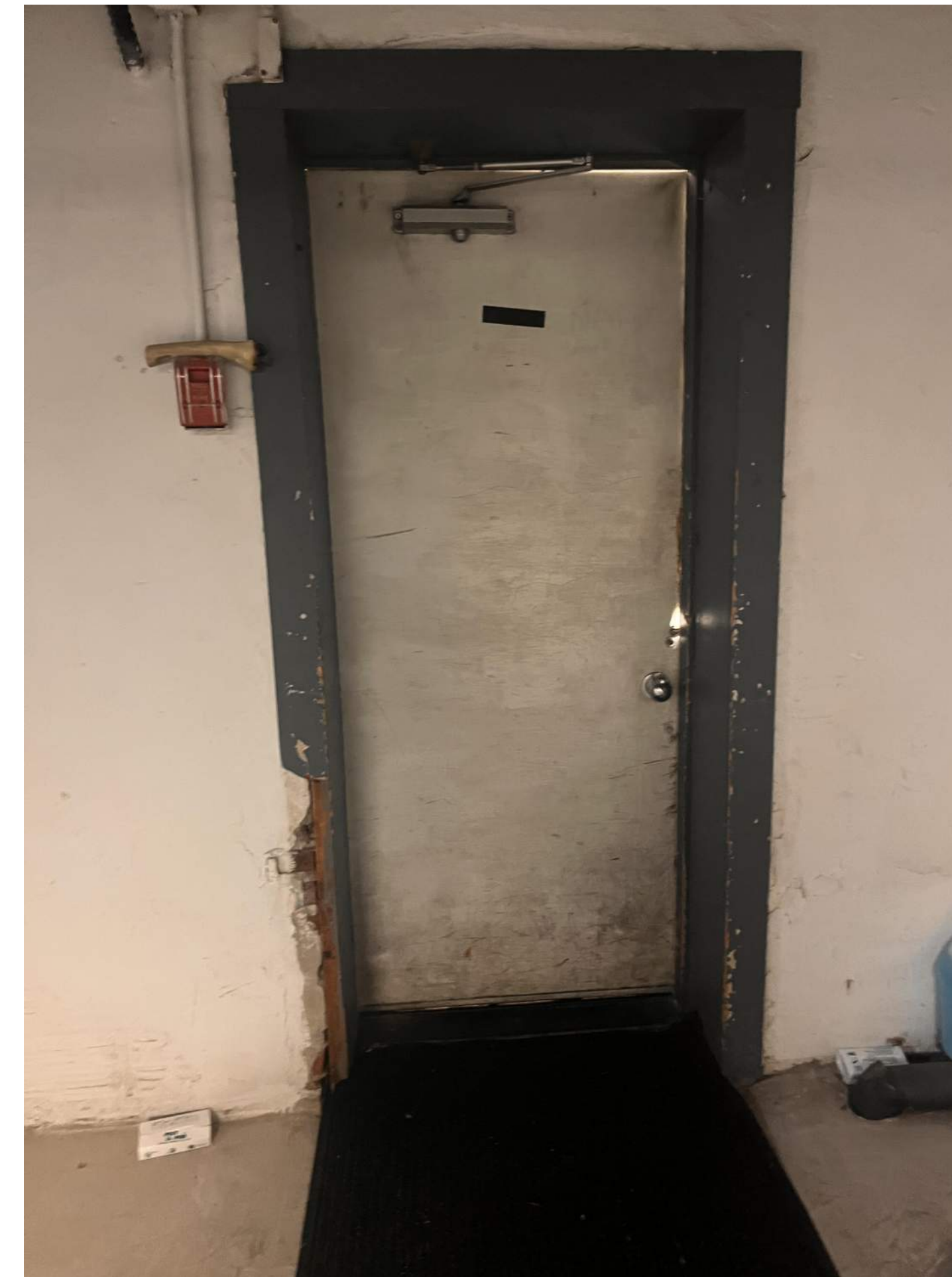
6. REMOVE RUSTED SECURITY GRILL FROM WINDOWS, REPAIR CRACKS IN STONE FACADE



7. REPLACE OUTDATED HVAC SYSTEM UPGRADE TO MEET CODE, WINDOW REPLACEMENT WITH ENERGY EFFICIENT WINDOW



8. PROPOSED ENERGY STAR NEW KITCHEN APPLIANCES



9. REPLACE DAMAGED AND FRAMES THROUGHOUT, NON-RATED DOORS & FRAMES AT RATED WALLS WITH NEW CODE-COMPLIANT FIRE-RATED DOORS, FRAMES & CLOSERS, ALL LEVELS.



10. REPAIR VENTILATION SHAFT WALLS AND WATER INTRUSION ISSUE



DEFFICIENCIES:

- Basement has low ceiling height (7'- 6"), not suitable for amenity spaces
- Roof water ponding and upper floor water intrusion issue
- Interior non-load bearing partitions damaged by water & mold
- No existing trash and recycle system
- Existence of hazardous materials (lead based paint and asbestos)
- Hazardous diesel tank at Basement.

AREA OF IMPROVEMENTS:

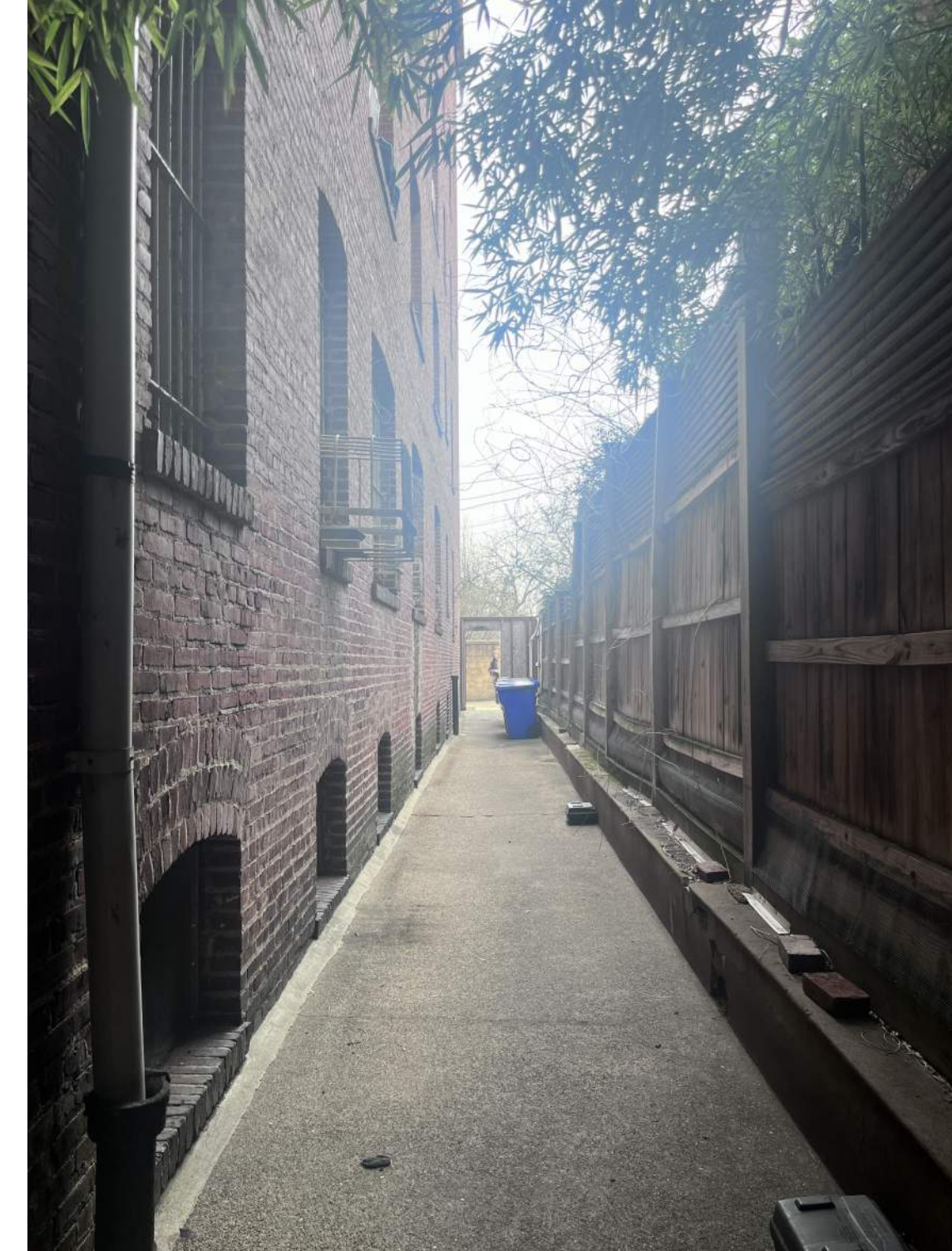
- New roofing and waterproofing, resolve 5th floor water intrusion issue
- Offering habitable finished space in the Basement, fully sprinklered NFPA 13
- Demolish & Remove interior non-load bearing partitions damaged by water & mold
- Enlarge select windows in Basement to allow more natural light.
- HVAC system; full replacement & upgrade to meet code, dedicated fresh air shaft/ louvers.
- Fire Alarm & Extinguishers; full replacement & upgrade to meet Code.
- Building Envelope; repairs to damaged Historic Brick Masonry and Stone Exterior, all sides.
- Windows; full replacement of deteriorating replacement windows (all) with new energy efficient. Replacement windows that are compatible with the overall historic character of the existing building.
- Dedicated Trash and recycle chute system from Basement to 5th floor.
- Proposed amenity- Observation deck at Roof.
- Renovation of the back alley, retaining wall and fence
- Removal of hazardous materials (lead based paint and asbestos)
- Demolition of hazardous diesel tank from Basement.
- New finishes, Watersense plumbing fixtures, LED light fixtures and ENERGY STAR appliances all throughout.



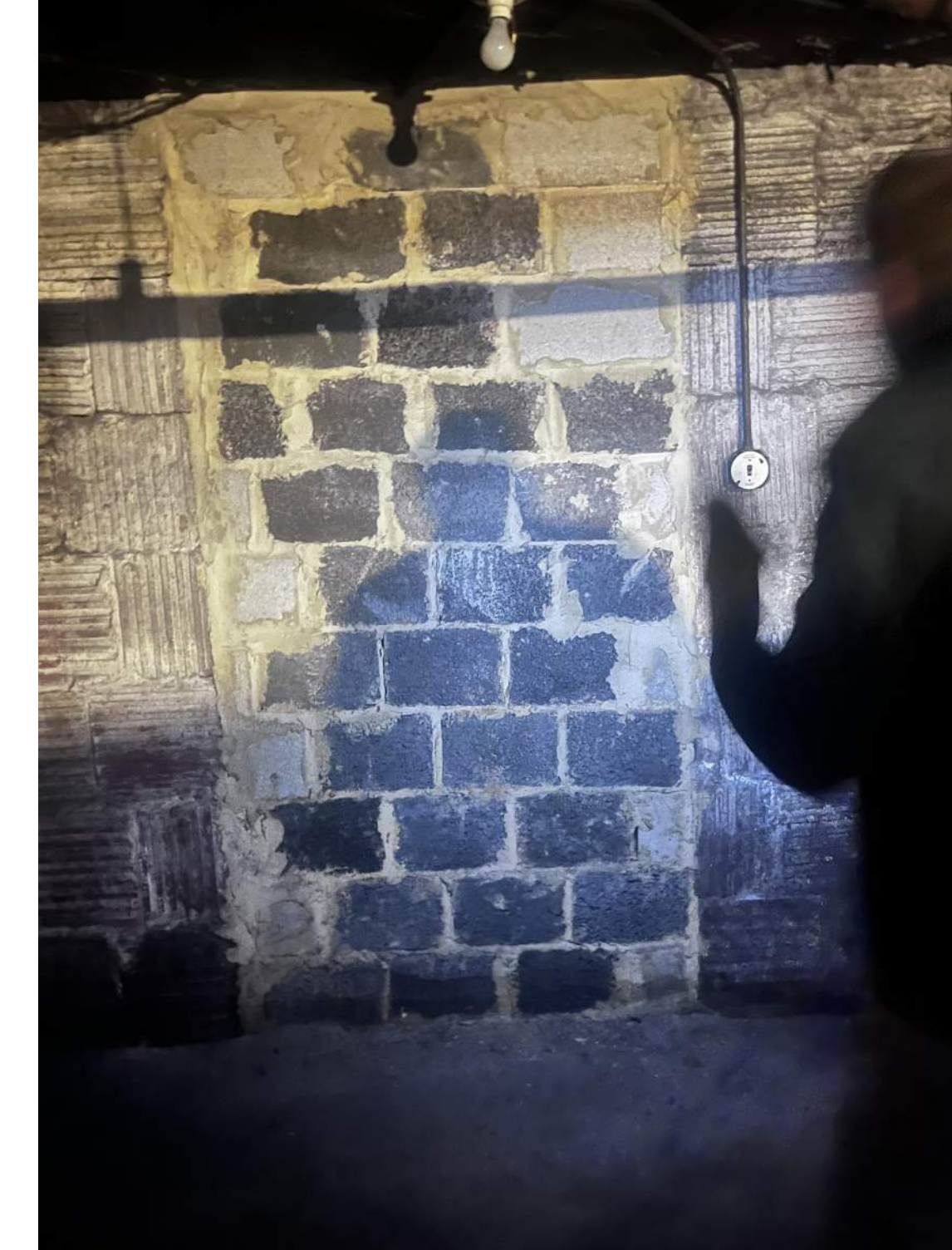
1. REPLACE BROKEN WINDOW AT BASEMENT



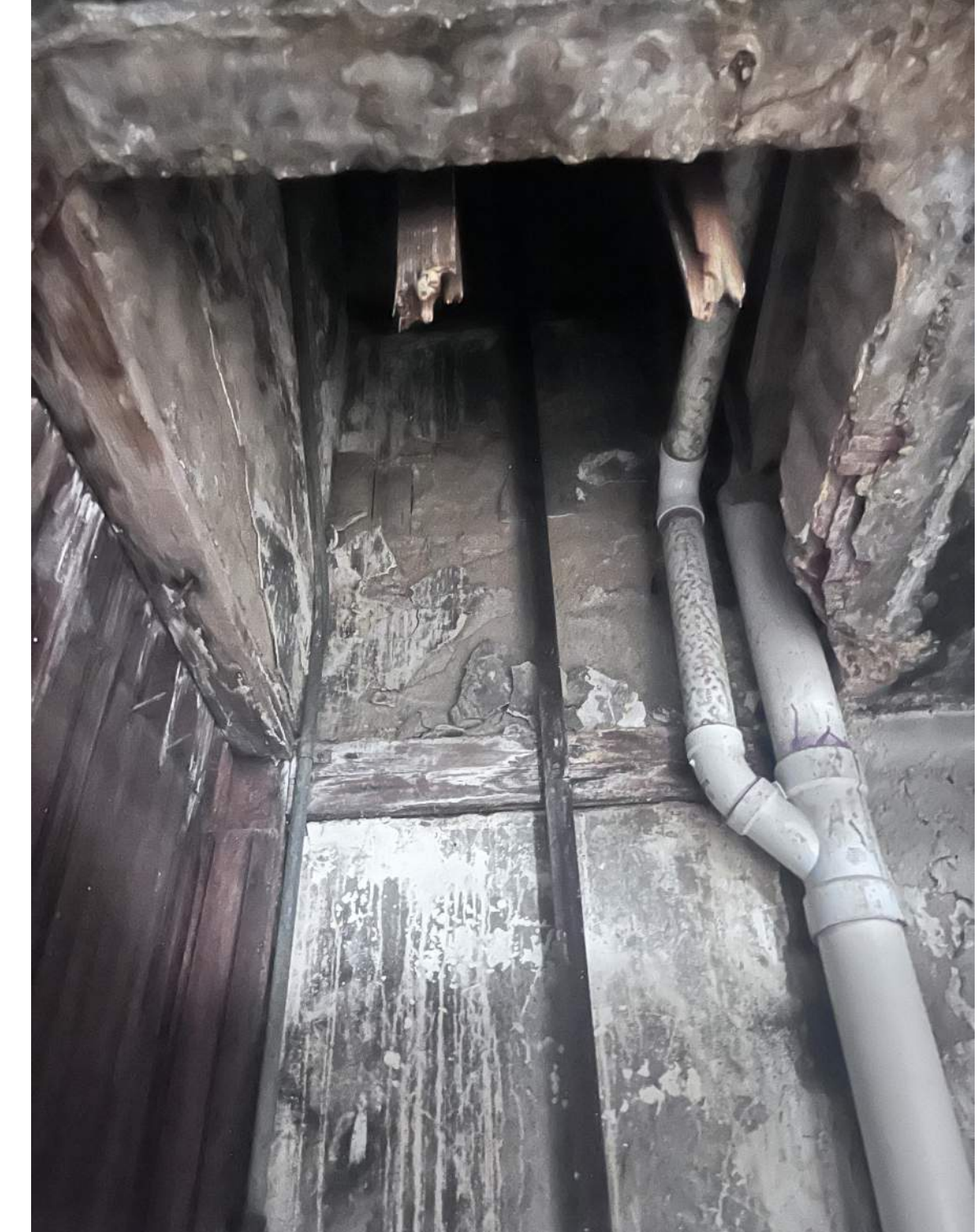
2. HAZARDOUS DIESEL TANK AT BASEMENT



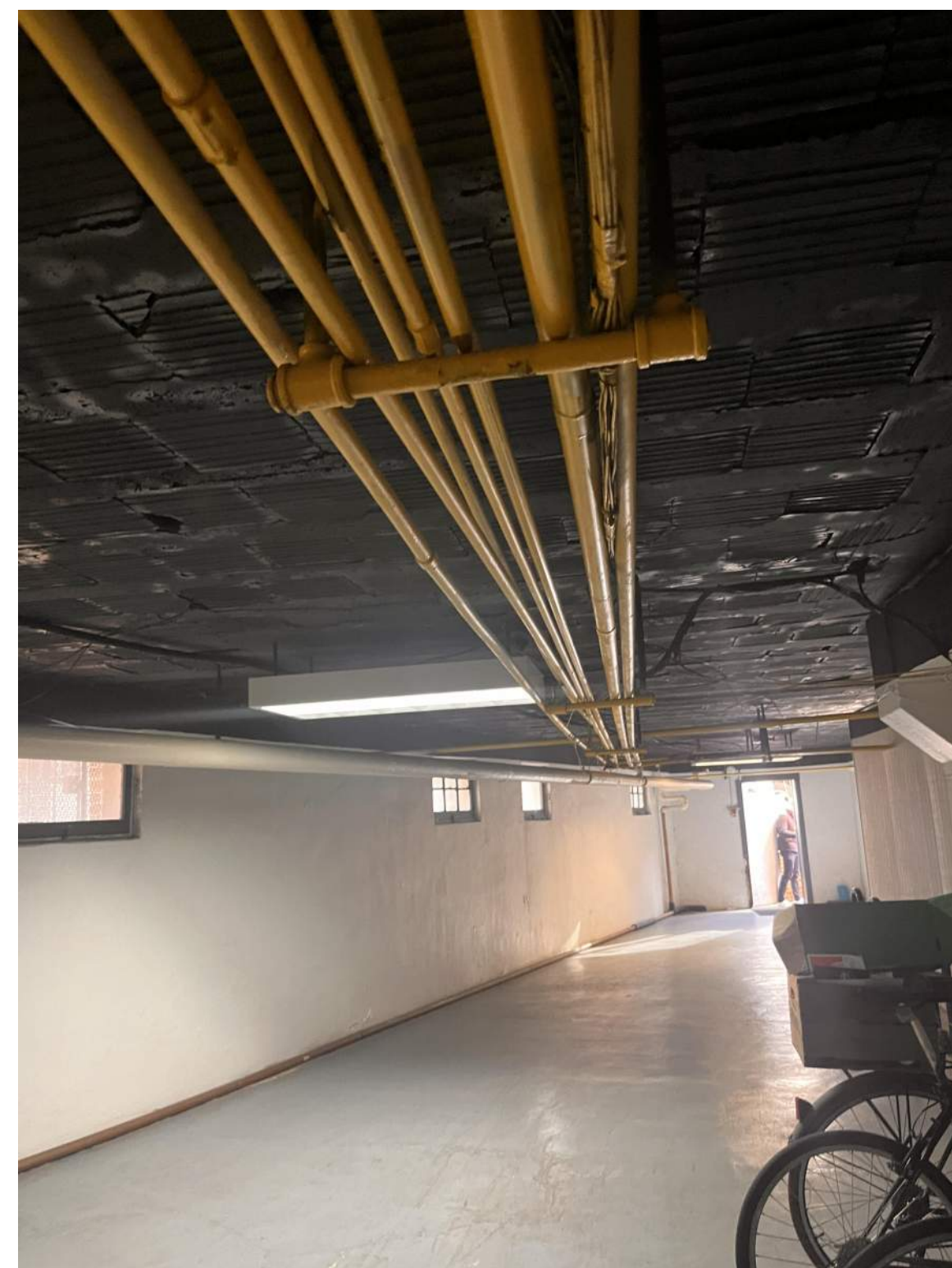
3. PRIVATE ALLEY



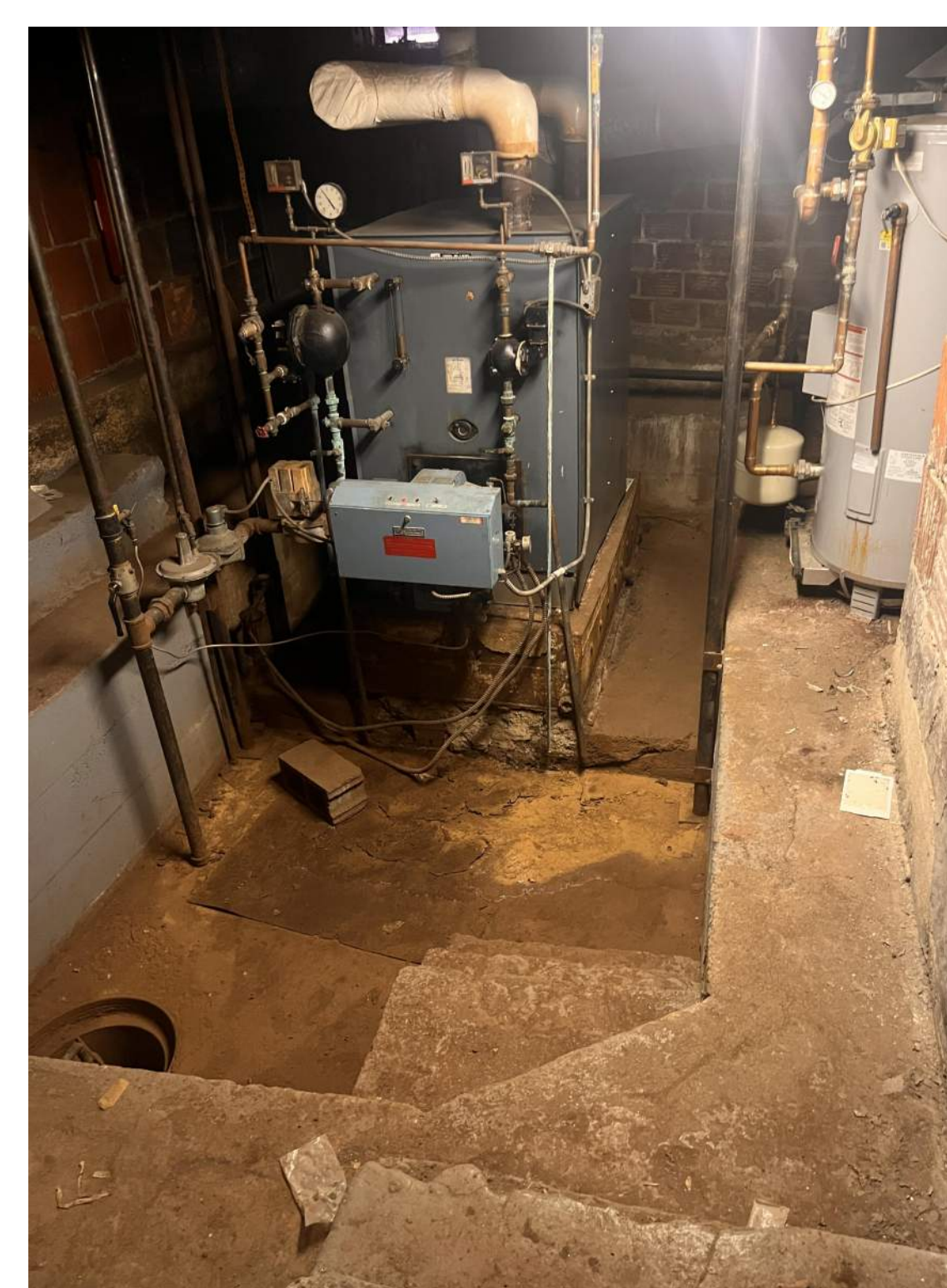
4. UNFINISHED BASEMENT



5. ABANDONED DUMBWAITER SHAFT



6. LOW CEILING HEIGHT AT BASEMENT



7. UTILITY ROOM AT BASEMENT



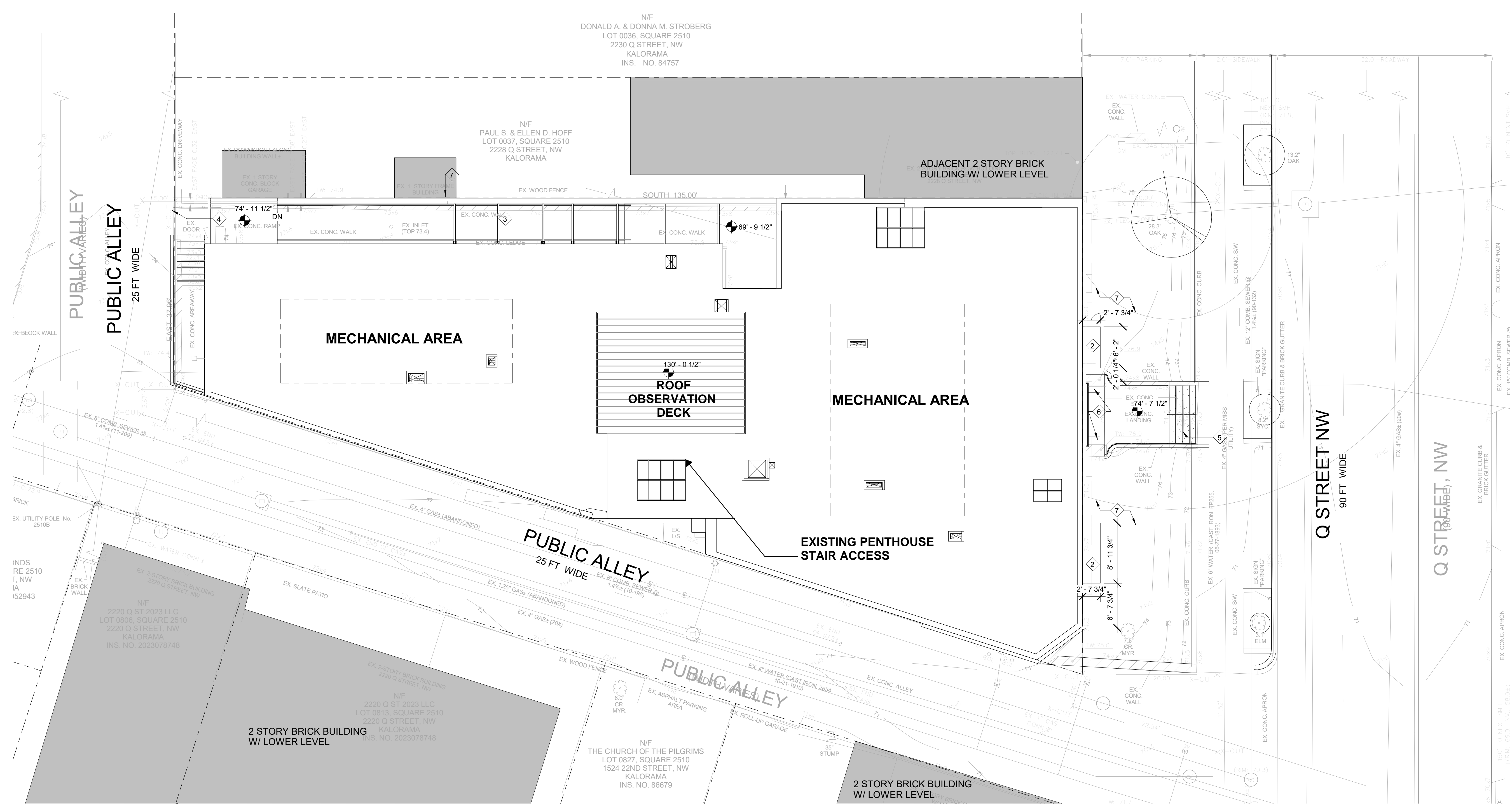
8. EQUIPMENT AND DAMAGED WALL AT BASEMENT



9. DAMAGED WALLS, FLOOR AND CEILING AT BASEMENT



10. BASEMENT FLOOR DAMAGE



1 SITE PLAN
A-6 1/8" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. PRIOR TO CONSTRUCTION IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- REFER TO A1000 FOR PARTITION TYPES.
- ALL PARTITIONS TO BE TYPE 1 U.N.O.
- PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION U.N.O.
- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.

SHEET NOTES

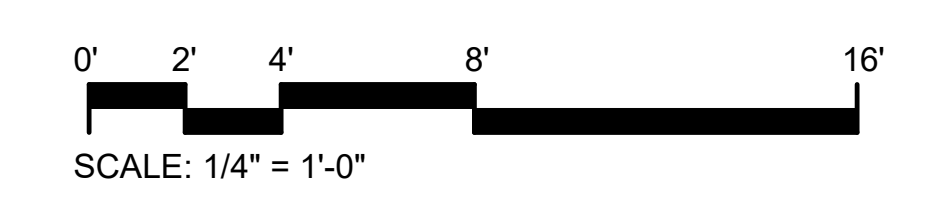
- REPLACE EXISTING FENCE IN KIND.
- NEW WINDOW WELL.
- NEW RAMP.
- NEW 6'-0" EXTERIOR DOOR WITH ACCESS CONTROL.
- REPAIR WALKWAY AND STEPS TO BUILDING ENTRY.
- NEW METAL CANOPY STRUCTURE.
- EXISTING LAWN TO BE REPLANTED AND PROTECTED.
- WOODEN FENCE.

CLIENT	2222 Q STREET OWNER, LLC 140 Q ST NE, SUITE 418 WASHINGTON, DC 20002
STRUCTURAL	FMC & ASSOCIATES 3807 GEORGETOWN AVENUE, NE UNIT C1 WASHINGTON, DC 20011 P. 202.863.6911
MECHANICAL	SAH DESIGN GROUP 232 DOMINION RD, NE VIENNA, VA 22180 P. 571.276.9732
CIVIL	CAS ENGINEERING - DC, LLC 4836 MACARTHUR BLVD, NW NINTH FLOOR WASHINGTON, DC 20007 P. 202.383.7202

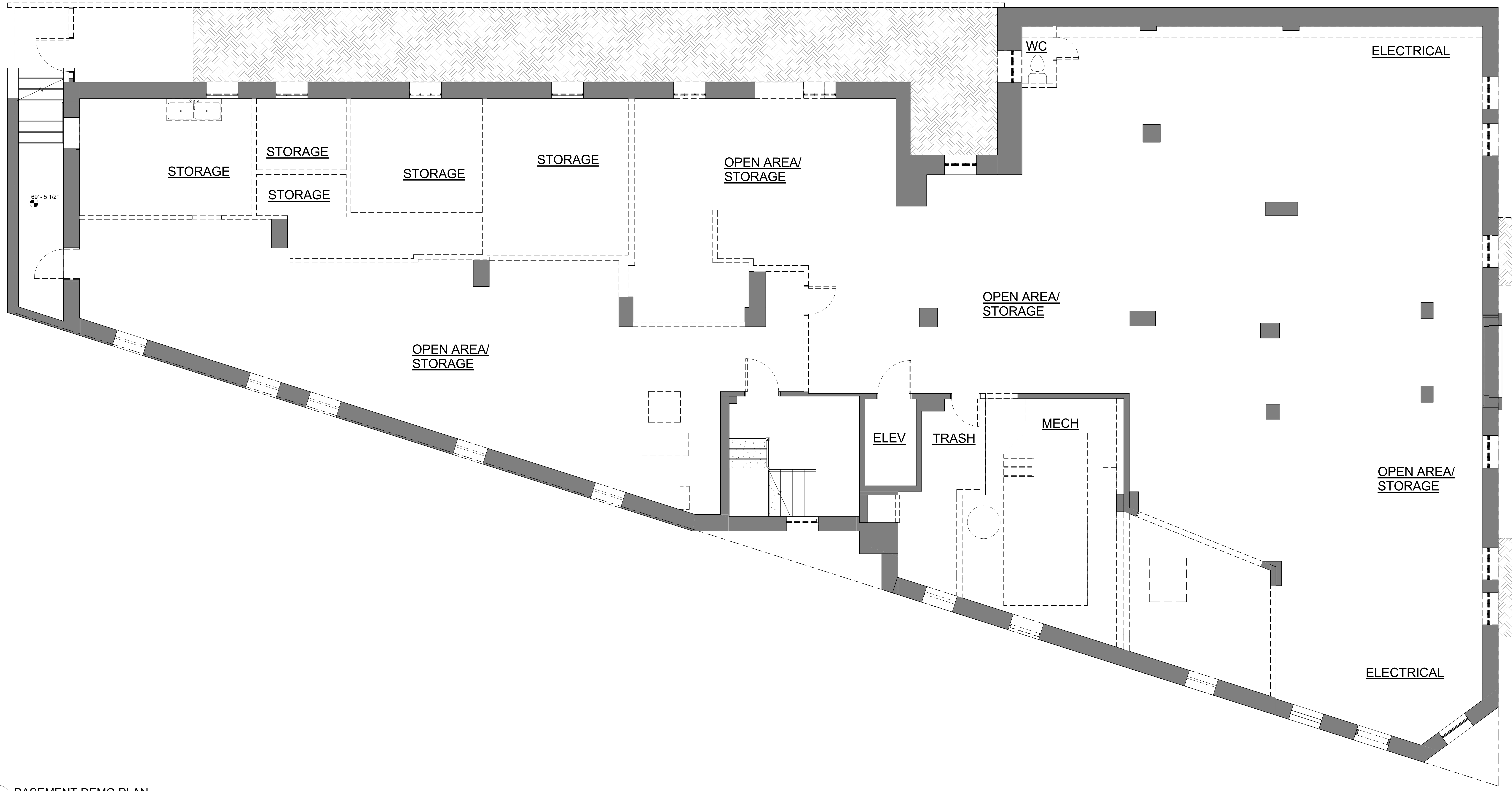
2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS	
1	DD SET 04.30.2025
2	75% CD-PRICING SET 07.11.2025

DATE: 04/25/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD



SITE PLAN



1 BASEMENT DEMO PLAN
A-7 1/4" = 1'-0"

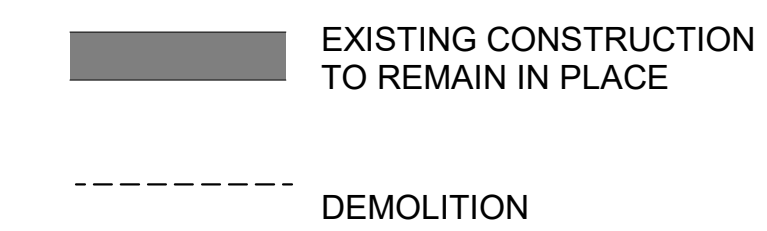
GENERAL DEMOLITION NOTES

- EXCEPT WHERE NOTED, ALL EXISTING CONSTRUCTION, FINISHES, FIXTURES AND EQUIPMENT ARE TO REMAIN IN PLACE.
- CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION TO REMAIN IN PLACE FROM HARM DURING DEMOLITION.
- CONFIRM BEARING CONDITIONS PRIOR TO REMOVAL OF EXISTING CONSTRUCTION.
- ILLUSTRATED CONDITIONS ON SHOULD BE FIELD VERIFIED PRIOR TO COMMENCING WORK.
- REMOVE ALL RADIATORS. CAP OR REMOVE ASSOCIATED PIPING AS REQUIRED.
- ALL IN-UNIT WALL BASE TRIM, CASINGS, ELECTRICAL FIXTURES, OUTLET COVERS, PLATES, TO BE REMOVED. INTERIOR TRIM AROUND WINDOW TO REMAIN.
- ALL UNIT INTERIOR DOORS TO BE REMOVED.
- HAZARDOUS MATERIAL ABATEMENT SHALL BE PERFORMED PRIOR TO DEMOLITION ILLUSTRATED IN THE DRAWINGS. CONTRACTOR SHALL ABIDE BY ALL APPLICABLE CODES AND REGULATIONS FOR CONTAINMENT, HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS.
- GC TO CONFIRM BEARING CONDITIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION.
- DEMOLISH EXISTING PANTRY & OTHER MILLWORK IN THE UNITS.

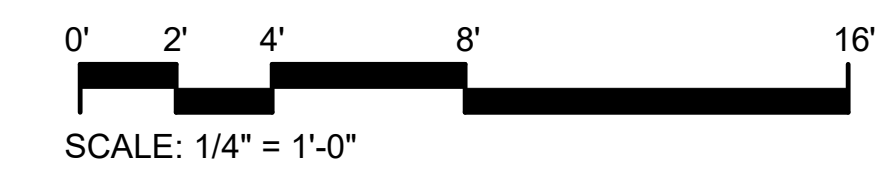
DEMOLITION NOTES

- EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED. CONFIRM BEARING CONDITIONS PRIOR TO REMOVAL. REMOVE CAPSULATED POCKET DOOR INSIDE WALL WHERE APPLICABLE.
- REMOVE EXISTING BATHROOM FIXTURES AND FINISHES.
- EXISTING KITCHEN CABINETRY, APPLIANCES, AND FIXTURES TO BE REMOVED.
- REMOVE EXISTING BOILER AND ASSOCIATED PIPING.
- REMOVE EXISTING VINYL TILE IN UNIT BATHROOM & KITCHEN. SALVAGE EXISTING WOOD FLOOR UNDERNEATH IF APPLICABLE DURING DEMOLITION.
- PROTECT EXISTING GAS SERVICE CONNECTION. TERMINATE SERVICE TO DWELLING UNITS.
- EXISTING WATER HEATER & ASSOC. EQUIP. TO BE REMOVED.
- REMOVE EXISTING UNIT ENTRY DOORS.
- REMOVE EXISTING WASHER/DRYER APPLIANCES AND ASSOCIATED SUPPLY, WASTE AND VENT CONNECTIONS. SEAL ANY ASSOCIATED PENETRATIONS AT EXTERIOR WALL.
- REMOVE EXISTING ELECTRICAL PANELS. SEE DEMO ELECTRICAL DWGS.
- GC TO REMOVE EXISTING WOOD FLOORING.
- PROTECT EXISTING COLUMNS.
- SHAFT WALL TO BE REMOVED AT BASEMENT LEVEL AND MAINTAINED AT FLOORS ABOVE (1-5).
- DEMOLISH DUMBWATER EQUIPMENTS INSIDE SHAFT.
- EXISTING STEP TO BE REMOVED AND LEVEL FLOOR TO MATCH EXISTING BASEMENT LEVEL.
- TENANT GAS METERS TO BE REMOVED. CAP PIPING AS REQUIRED. COORDINATE WITH WASHINGTON GAS.
- EXISTING DOOR AND TRIM TO BE REMOVED.
- WATER METER TO BE MAINTAINED.
- REMOVE EXISTING LIGHT FIXTURES. PREPARE FOR NEW WORK.
- DECOMMISSIONED ELECTRICAL EQUIPMENT TO BE REMOVED.
- HOUSE METER TO BE RELOCATED TO DIFFERENT LOCATION.
- SAVE AND PROTECT EXISTING ELECTRICAL EQUIPMENT IF APPLICABLE.
- DEMOLISH EXISTING PANTRY & OTHER MILLWORK IN THE UNITS.
- REMOVE EXISTING FLOOR MOUNTED MECHANICAL UNITS.
- REMOVE CONCRETE PATH WAY. EXCAVATE AND PREPARE FOR NEW WORK PLAN.
- BIKE RACK NEEDS TO BE REMOVED AND SALVAGED. COORDINATE NEW LOCATION WITH OWNER.
- REMOVE WALLBOARDS AT LOBBY.
- SEE ELEVATOR SCOPE FOR REPAIR AND REPLACEMENT OF ELEVATOR EQUIPMENT.
- REPAIR EXISTING VENTED SKYLIGHT IN KIND.
- RESTORE / REPAIR STAIR TREADS.
- REPLACE EXTERIOR DOOR. SEE DOOR SCHEDULE. UNUSED HINGES TO BE REMOVED.
- REPLACE EXTERIOR LIGHT FIXTURE ABOVE DOOR.
- REMOVE EXISTING WINDOWS. TYP. ENLARGE EXISTING WINDOW OPENING VERTICALLY WHERE INDICATED IN A0200 SERIES. INTERIOR TRIM AROUND EXISTING WINDOW TO REMAIN.
- REMOVE EXISTING DOORING. COORDINATE WITH NEW WORK.
- GC TO EXCAVATE SOIL AT THIS LOCATION IN PREPARATION FOR WINDOW WELL CONSTRUCTION.
- REPLACE SEALANTS AROUND ALL WINDOWS.
- ENLARGE EXISTING OPENING TO INSTALL NEW DOOR. SEE DOOR SCHEDULE.
- DEMOLISH MASONRY WHERE INDICATED.
- REPLACE ROOFING AND WATERPROOFING.
- REPLACE PARAPET CAP AT ROOF.
- DEMOLISH EXISTING OIL TANK AND ASSOCIATED WALL.
- EXISTING ELEVATOR TO REMAIN. REPAIR AS NEEDED.
- REMOVE EXISTING WOODEN FENCE AND CONCRETE CURB.
- EXISTING GUTTER AND DOWNSPOUT TO BE REPLACED.

DRAWING LEGEND:



BASEMENT DEMO PLAN



CLIENT
2222 Q STREET OWNER, LLC
140 Q ST NE, SUITE 140B
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FMC & ASSOCIATES
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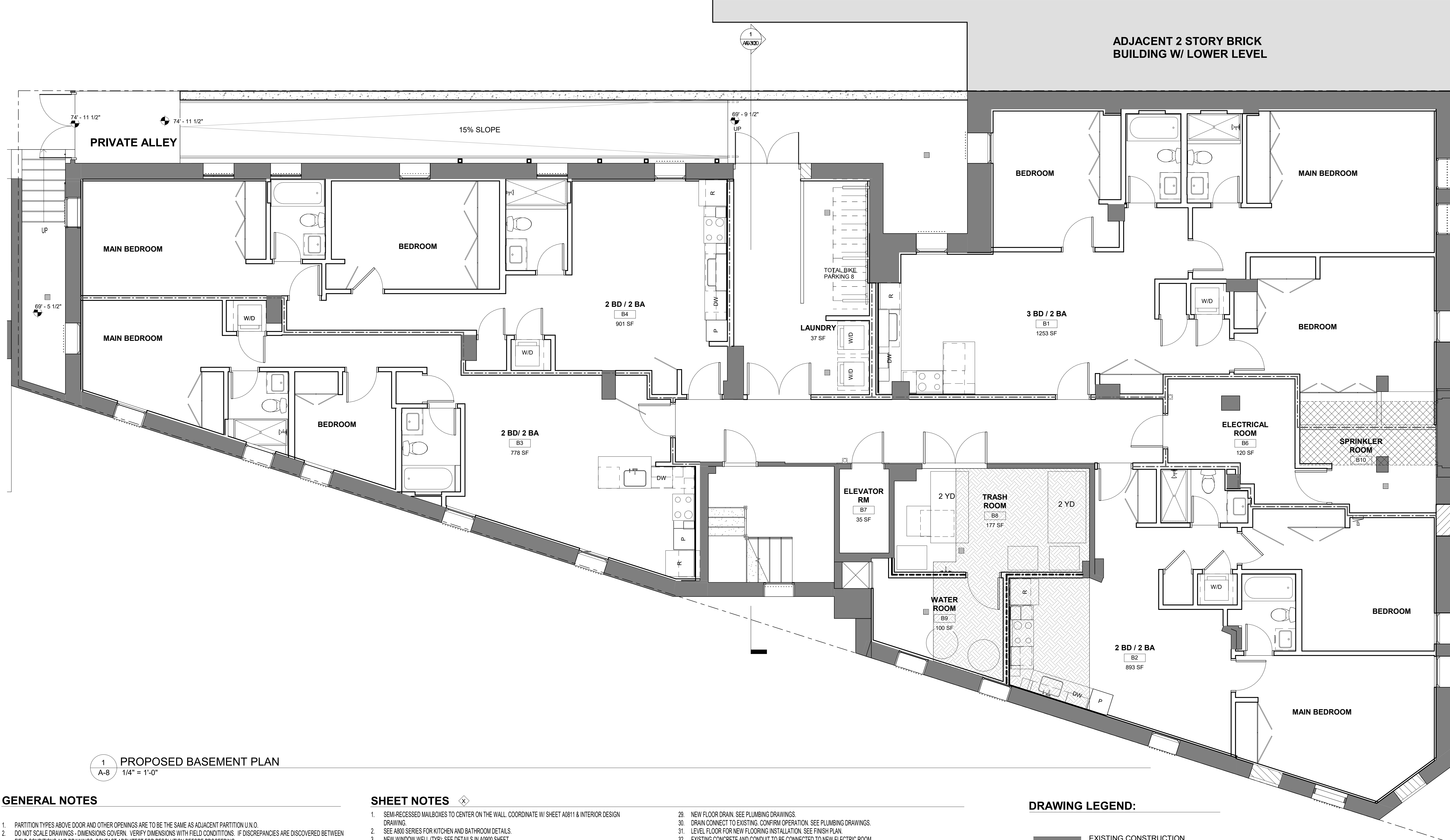
CIVIL
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P: 202.383.7202

2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS

1	SD SET	03.07.2025
2	DEMO PERMIT	04.30.2025
3	DD SET	04.30.2025
4	50% PRICING SET	05.28.2025
5	75% CD-PRICING SET	07.11.2025

DATE: 02/13/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD



ADJACENT 2 STORY BRICK BUILDING W/ LOWER LEVEL

PRIVATE ALLEY

MAIN BEDROOM

BEDROOM

BEDROOM

MAIN BEDROOM

MAIN BEDROOM

2 BD / 2 BA
B4
901 SF

3 BD / 2 BA
B1
1253 SF

BEDROOM

BEDROOM

2 BD / 2 BA
B3
778 SF

LAUNDRY
37 SF

ELECTRICAL ROOM
B6
120 SF

SPRINKLER ROOM
B10

ELEVATOR RM
B7
35 SF

TRASH ROOM
B8
177 SF

WATER ROOM
B9
100 SF

2 BD / 2 BA
B2
893 SF

BEDROOM

MAIN BEDROOM

1
A-8
PROPOSED BASEMENT PLAN
1/4" = 1'-0"

GENERAL NOTES

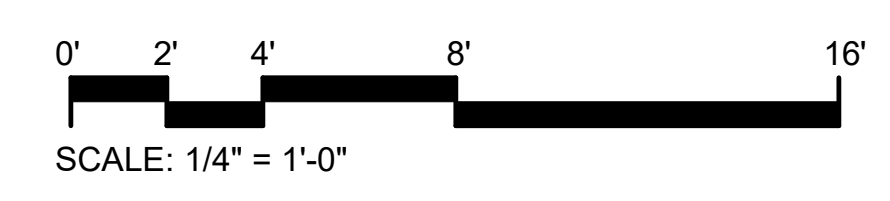
- PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION U.N.O.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.N.O.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES AND OTHER MILLWORK WITHIN GIBS CONSTRUCTION.
- PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED FOR FUTURE GRAB BARS AT ALL TOILETS, TUBS AND SHOWERS.
- SEE A0700 SERIES (RCP DRAWINGS) FOR LIGHTING AND CEILING INFORMATION.
- FLOORING TO CONTINUE BENEATH CABINETS, WALLS TO BE FINISHED BEHIND CABINETS.
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S REQS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.
- GO TO BE SECURING, STABILIZING, SANDING FOR LEVELING EXISTING WOOD FLOOR AS REQUIRED BEFORE APPLYING LVT TILE.
- CLEAN AND REPAIR LIMESTONE AT Q STREET FACADE.

SHEET NOTES

- SEMI-RECESSED MAILBOXES TO CENTER ON THE WALL. COORDINATE W/ SHEET A0811 & INTERIOR DESIGN DRAWING.
- SEE A800 SERIES FOR KITCHEN AND BATHROOM DETAILS.
- NEW WINDOW WELL (TYP.) SEE DETAILS IN A800 SHEET.
- REPAIR EXISTING BRICK MASONRY AS REQUIRED.
- INFILL SLAB TO MATCH ELEVATION OF HIGHER EXISTING ADJACENT SLAB. EXTENT OF INFILL RAISED FLOOR FINE TO MATCH ADJACENT.
- EXISTING STAIR TO REMAIN. INSTALL NEW FLOORING. SEE FINISH SCHEDULE.
- PROVIDE RACKS FOR VERTICALLY-HUNG BICYCLES AT THIS LOCATION, TYP.
- NEW FLOOR MOUNTED MECHANICAL UNIT IN CLOSET.
- NEW WATER HEATER. SEE MEP DRAWING.
- NEW FINISH THROUGHOUT. SEE FINISH SCHEDULE IN SHEET A1004.
- FURRED OUT WALL. SEE DETAIL IN A1000 SHEET.
- NEW ENTRY THRESHOLD.
- PRIVACY GLAZING.
- NEW ACCESS CONTROL DOORING WITH PEDESTAL AT THE ENTRANCE. SEE DETAIL IN A900 SHEET. DOORING CONDUIT TO BE CONCEALED DURING CONCRETE STEP REPAIR.
- EXISTING STAIRCASE AND HANDRAILS TO BE REPAIRED AND PAINTED.
- INFILL EXISTING DOOR OPENING TO INSTALL NEW VINYL WINDOW. SEE WINDOW SCHEDULE.
- ENLARGE EXISTING WINDOW OPENING FOR INSTALLING NEW WINDOW. SEE ELEVATIONS AND WINDOW SCHEDULE.
- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING. TYP.
- REPLACE EXISTING FRONT DOOR WITH FULL LIGHT DOUBLE WOOD DOOR WITH NO GRIDS & ACCESS CONTROL. SEE DOOR SCHEDULE.
- REPLACE EXISTING PLANTERS IN KIND.
- REPLACE EXISTING WINDOW WITH W/D CLAD WINDOW IN NORTH AND NORTH EAST FACADE. DIMENSIONS TO BE V.I.F. FRAME FINISH/COLOR PER OWNER APPROVAL.
- REPAIR CONCRETE STEPS AND LANDING.
- MAINTAIN MIN. 2'-0" CLR WIDTH IN ALL LANDQUIST CLOSET U.N.O. SEE A1003 FOR CLOSET DETAILS. TYP.
- EXISTING BALCONY STRUCTURE TO REMAIN.
- NEW ROOF OBSERVATION DECK WITH RAILING. SEE STRUCTURAL DRAWING.
- NEW RESIDENTIAL TRASH & RECYCLE CONTAINERS.
- REPAIR WINDOW SILL.
- NEW EXTERIOR DOOR.
- NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- DRAIN CONNECT TO EXISTING. CONFIRM OPERATION. SEE PLUMBING DRAWINGS.
- LEVEL FLOOR FOR NEW FLOORING INSTALLATION. SEE FINISH PLAN.
- EXISTING CONCRETE AND CONDUIT TO BE CONNECTED TO NEW ELECTRIC ROOM.
- INFILL EXISTING OPENING TO MATCH ADJACENT BRICK.
- EXISTING WINDOW SILL TO BE PATCHED AND REPAIRED.
- SPECIAL SECURITY GRILLE AT NORTH AND EAST SIDE BASEMENT LEVEL WINDOWS.
- NEW CONCRETE RAMP.
- NEW RETAINING WALL. SEE STRUCTURAL DRAWING.
- EXISTING ROOF HATCH AND LADDER TO REMAIN IN PLACE.
- EXISTING ROOF VENT TO REMAIN IN PLACE.
- NEW TRASH CHUTE. TRASH CHUTE VENT EXTENDS 38" MIN. ABOVE ROOF SURFACE PER NFPA 82.
- NEW ELECTRIC PANEL. SEE ELEC. DRAWINGS.
- NEW EXHAUST SHAFT. SEE MEP DRAWINGS.
- REPLACE EXISTING WINDOW. DIMENSIONS TO BE V.I.F. FRAME FINISH/COLOR PER OWNER APPROVAL.
- NEW CANOPY.
- NEW FRESH AIR SHAFT. SEE MECHANICAL DRAWINGS.
- EXISTING SKYLIGHT, VENT AND ADJACENT WALLS TO BE REPAIRED AND CLEANED.
- NEW 8'-0" GATE WITH ACCESS CONTROL.
- COVER MECHANICAL VENT.
- EXISTING ELEVATOR EQUIPMENT AND FINISH TO BE REPLACED. COORDINATE WITH OWNER.
- NEW REFRIGERANT LINESET IN 2-HR RATED SHAFT.
- INFILL EXISTING WINDOW OPENING TO MATCH ADJACENT MASONRY WORK. SEE INFILL DETAIL 3/A1000.
- 4" CONCRETE CURB ON SLAB.
- NEW STEEL COLUMN AND BEAM. SEE STRUCTURAL DRAWINGS.
- EXISTING FIRE ESCAPE TO REMAIN.
- PORTABLE FIRE EXTINGUISHER CLOSET AT 45' A.F.F.
- EXISTING GUTTER TO BE REPLACED.
- EXISTING DOWNSPOUT TO BE REPLACED AND CONNECT TO MAIN STORM LINE. SEE PLUMBING DRAWINGS.
- NEW WOODEN FENCE ON TOP OF RETAINING WALL TO MATCH EXISTING HEIGHT.
- PROVIDE INTERNAL SECURITY GRILL INSIDE WINDOW.

DRAWING LEGEND:

- EXISTING CONSTRUCTION TO REMAIN IN PLACE
- NEW WALL
- FIRE RATED WALL (1 HR)
- FIRE RATED WALL (2 HR)
- INFILL FLOOR
- LOW CEILING AREA



PROPOSED BASEMENT PLAN

CLIENT
2222 Q STREET OWNER, LLC
140 Q ST NE, SUITE 140B
WASHINGTON, DC 20002

STRUCTURAL
FMC & ASSOCIATES
3807 GEORGETOWN AVENUE, NE
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P. 571.276.9732

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8TH FLOOR
WASHINGTON, DC 20007
P. 202.383.7202

2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS

1	SD SET	03.07.2025
2	50% PRICING SET	05.28.2025
3	75% CD-PRICING SET	07.11.2025

DATE: 01/28/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD



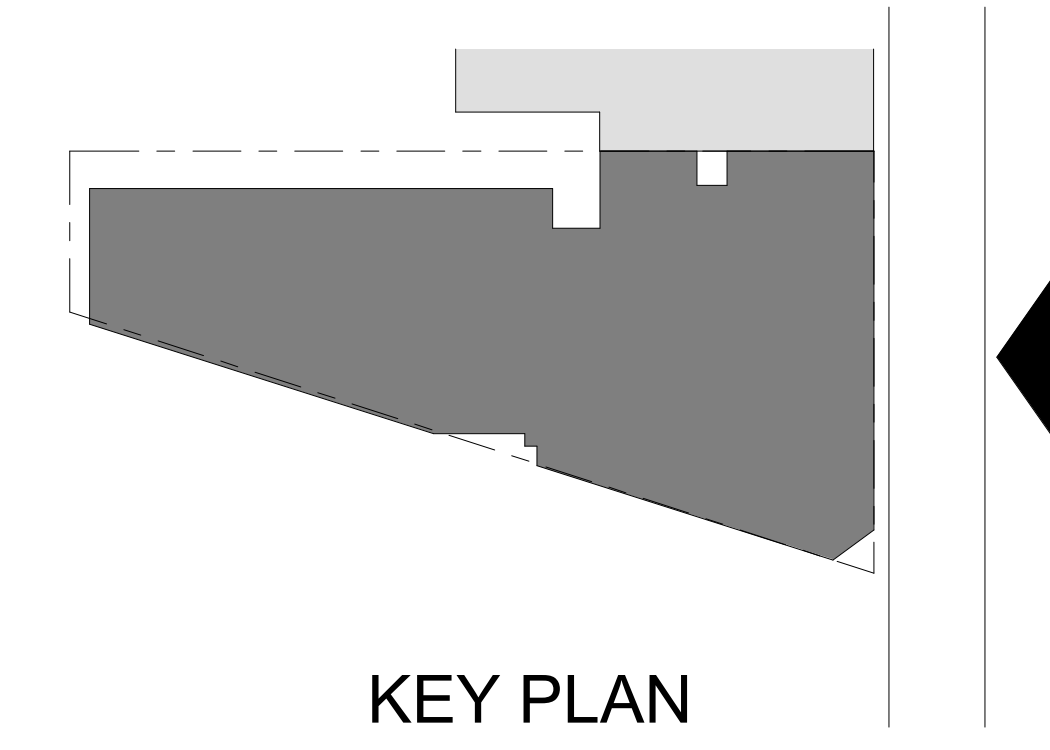
1 NORTH ELEVATION
A-9 1/4" = 1'-0"

GENERAL NOTES

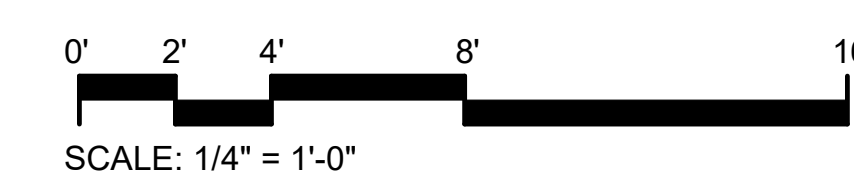
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- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S RECS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.

SHEET NOTES

- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING.
- REPAIR PENETRATIONS, GAPS AND HOLES IN THE CORNICE SYSTEM.
- REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
- FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
- INSTALL INSULATION IN ATTIC SPACE.
- INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
- POWER WASH ENTIRE FACADE.
- REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
- INSTALL STANCHION AND DOORING WITH ACCESS CONTROL. SEE DOORING DETAIL @ SHEET A3000. COORDINATE WITH OWNER FOR SPECIFICATION, CONDUIT TO DOORING TO BE CONCEALED IN CONCRETE STEPS.
- INSTALL BUILDING SIGNAGE.
- CLEAN & REPAIR STUCCO WHERE NEEDED. REPAIR STUCCO CRACKING AT CHIMNEY.
- NEW FULL LIGHT DOUBLE ALUM DOOR WITH ACCESS CONTROL. SEE DOOR SCHEDULE.
- CLEAN AND REPAIR EXISTING RAILING.
- REPLACE EXISTING WINDOWS WITH ALUMINUM WINDOWS IN ALL FACADES. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2089 SHALL BE INSTALLED.
- REPAIR BRICK BOTTOM EDGE IN NORTH ELEVATION.
- PROVIDE NEW SECURITY GRILL IN BASEMENT NORTH, SOUTH AND WEST SIDE WINDOWS, TYP.
- NEW SERVICE RAMP.
- INFILL AND PAINT TO MATCH EXISTING ADJACENT BRICK.
- SAND AND PAINT TRIM AROUND DOOR.
- NEW MECHANICAL VENT. REFER TO MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFO.
- EXISTING FIRE ESCAPE TO REMAIN IN PLACE.
- EXISTING GUTTER TO BE REPLACED.
- NEW CANOPY STRUCTURE.
- NEW ENLARGED WINDOW.
- EXISTING SKYLIGHT TO BE REPLACED.
- PROPOSED WINDOW WELLS.
- PROPOSED RETAINING WALL BEYOND, SEE STRUCTURAL DRAWING.
- NEW ALUM. WINDOW BEYOND.
- INFILL WITH MASONRY TO MATCH ADJACENT. SEE INFILL DETAIL 31A1000.
- FIXED WINDOW. SEE WINDOW SCHEDULE.
- MECHANICAL LOUVER. SEE MEP DRAWING. CONFIRM MINIMUM 3'-0" DISTANCE FROM OPERABLE WINDOW, TYP.
- NEW ALUM. EXTERIOR DOUBLE DOOR. SEE DOOR SCHEDULE.
- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.



KEY PLAN



Bonstra | Haresign
ARCHITECTS

BUILDING ELEVATION

REVISIONS

1	DD SET	04.30.2025
2	50% PRICING SET	05.28.2025
3	75% CD-PRICING SET	07.11.2025

DATE:	04/25/25
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DRAWN BY:	SB
CHECKED BY:	JD



ROOF 130.05
 FIFTH FLOOR 118.05
 FOURTH FLOOR 106.22
 THIRD FLOOR 98.37
 SECOND FLOOR 88.47
 FIRST FLOOR 77.88
 BASEMENT 69.87

58'-2"

12'-0"
 12'-0"
 9'-10"
 9'-10"
 9'-11"
 9'-11"
 9'-10"
 9'-10"
 10'-7"
 10'-7"
 8'-1"

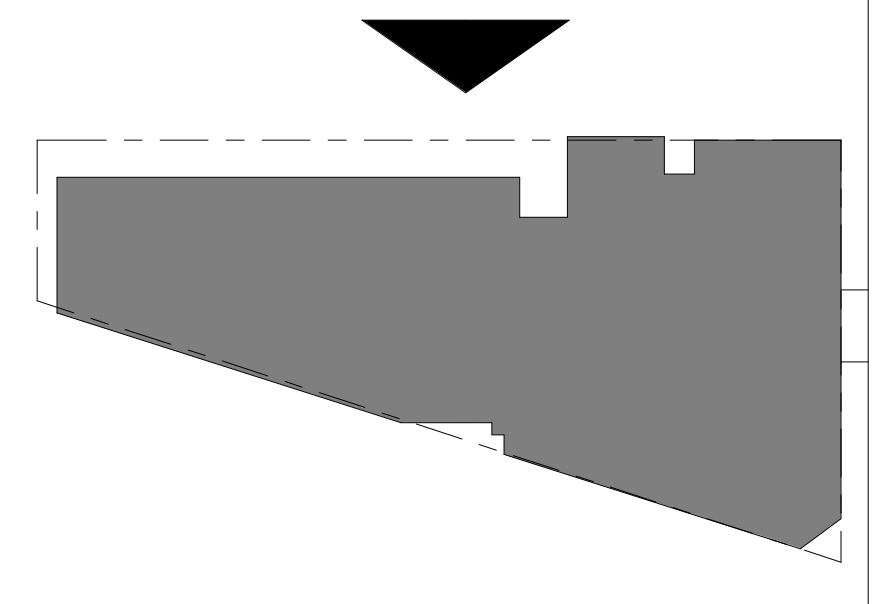
1 WEST ELEVATION
 A-10 1/4" = 1'-0"

GENERAL NOTES

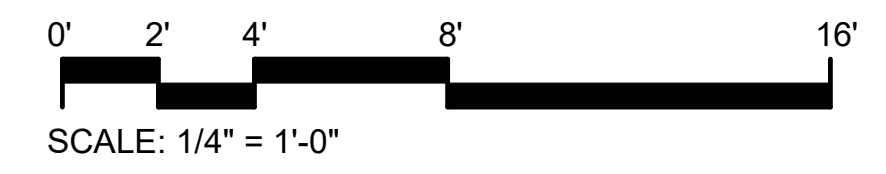
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- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- "ALJOY" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S REQS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.

SHEET NOTES

- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING.
- REPAIR PENETRATIONS, GAPS AND HOLES IN THE CORNICE SYSTEM.
- REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
- FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
- INSTALL INSULATION IN ATTIC SPACE.
- INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
- POWER WASH ENTIRE FACADE.
- REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
- INSTALL STANCHION AND DOORING WITH ACCESS CONTROL. SEE DOORING DETAIL @ SHEET A0800. COORDINATE W/ OWNER FOR SPECIFICATION. CONDUIT TO DOORING TO BE CONCEALED IN CONCRETE STEPS.
- INSTALL BUILDING SIGNAGE.
- CLEAN & REPAIR STUCCO WHERE NEEDED. REPAIR STUCCO CRACKING AT CHIMNEY.
- NEW FULL LIGHT DOUBLE ALUM DOOR WITH ACCESS CONTROL. SEE DOOR SCHEDULE.
- CLEAN AND REPAIR EXISTING RAILING.
- REPLACE EXISTING WINDOWS WITH ALUMINUM WINDOWS IN ALL FACADES. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE INSTALLED.
- REPAIR BRICK BOTTOM EDGE IN NORTH ELEVATION.
- PROVIDE NEW SECURITY GRILL IN BASEMENT NORTH, SOUTH AND WEST SIDE WINDOWS, TYP.
- NEW SERVICE RAMP.
- INFILL AND PAINT TO MATCH EXISTING ADJACENT BRICK.
- SAND AND PAINT TRIM AROUND DOOR.
- NEW MECHANICAL VENT. REFER TO MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFO.
- EXISTING FIRE ESCAPE TO REMAIN IN PLACE.
- EXISTING GUTTER TO BE REPLACED.
- NEW CANOPY STRUCTURE.
- NEW ENLARGED WINDOW.
- EXISTING SKYLIGHT TO BE REPLACED.
- PROPOSED WINDOW WELLS.
- PROPOSED RETAINING WALL BEYOND. SEE STRUCTURAL DRAWING.
- NEW ALUM. WINDOW BEYOND.
- INFILL WITH MASONRY TO MATCH ADJACENT. SEE INFILL DETAIL 3/A1000.
- FIXED WINDOW. SEE WINDOW SCHEDULE.
- MECHANICAL LOUVER. SEE MEP DRAWING. CONFIRM MINIMUM 3'-0" DISTANCE FROM OPERABLE WINDOW, TYP.
- NEW ALUM. EXTERIOR DOUBLE DOOR. SEE DOOR SCHEDULE.
- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.



KEY PLAN



BUILDING ELEVATION- WEST

CLIENT
 2222 Q STREET OWNER, LLC
 140 Q ST, SUITE 1418
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 WASHINGTON, DC 20011
 P. 202.863.6911

MECHANICAL
 SAH DESIGN GROUP
 232 DOMINION RD, NE
 VIENNA, VA 22180
 P. 571.276.9732

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 2ND FLOOR
 WASHINGTON, DC 20007
 P. 202.383.7202

2222 Q STREET, NW
 2222 Q STREET, NW,
 WASHINGTON, DC, 20009

REVISIONS

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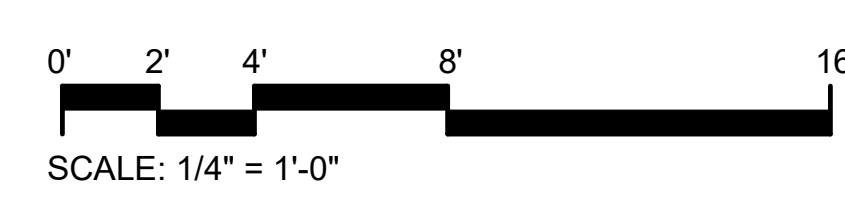
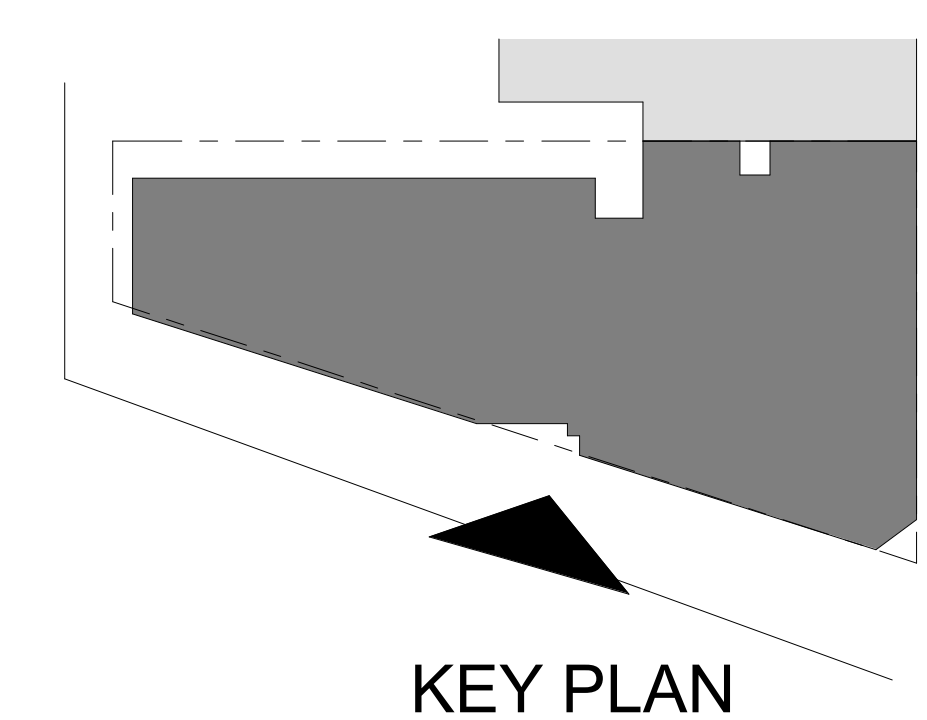
DATE: 01/04/16
 PROJECT NO: 2024-044
 DRAWN BY: SBS
 CHECKED BY: JD



1 EAST ELEVATION
A-11 1/4" = 1'-0"

- GENERAL NOTES**
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 - REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
 - FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
 - INSTALL INSULATION IN ATTIC SPACE.
 - INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
 - POWER WASH ENTIRE FACADE.
 - REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
 - INSTALL STANCHION AND DOORKING WITH ACCESS CONTROL. SEE DOORKING DETAIL @ SHEET A800. COORDINATE W/ OWNER FOR SPECIFICATION. CONDUIT TO DOORKING TO BE CONCEALED IN CONCRETE STEPS.
 - INSTALL BUILDING SIGNAGE.
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2222 Q STREET OWNER, LLC
140 Q ST NE, SUITE 1408
WASHINGTON, DC 20002

FMC & ASSOCIATES
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SAH DESIGN GROUP
232 DOMINION RD. NE
VIENNA, VA 22180
P. 571.276.9732

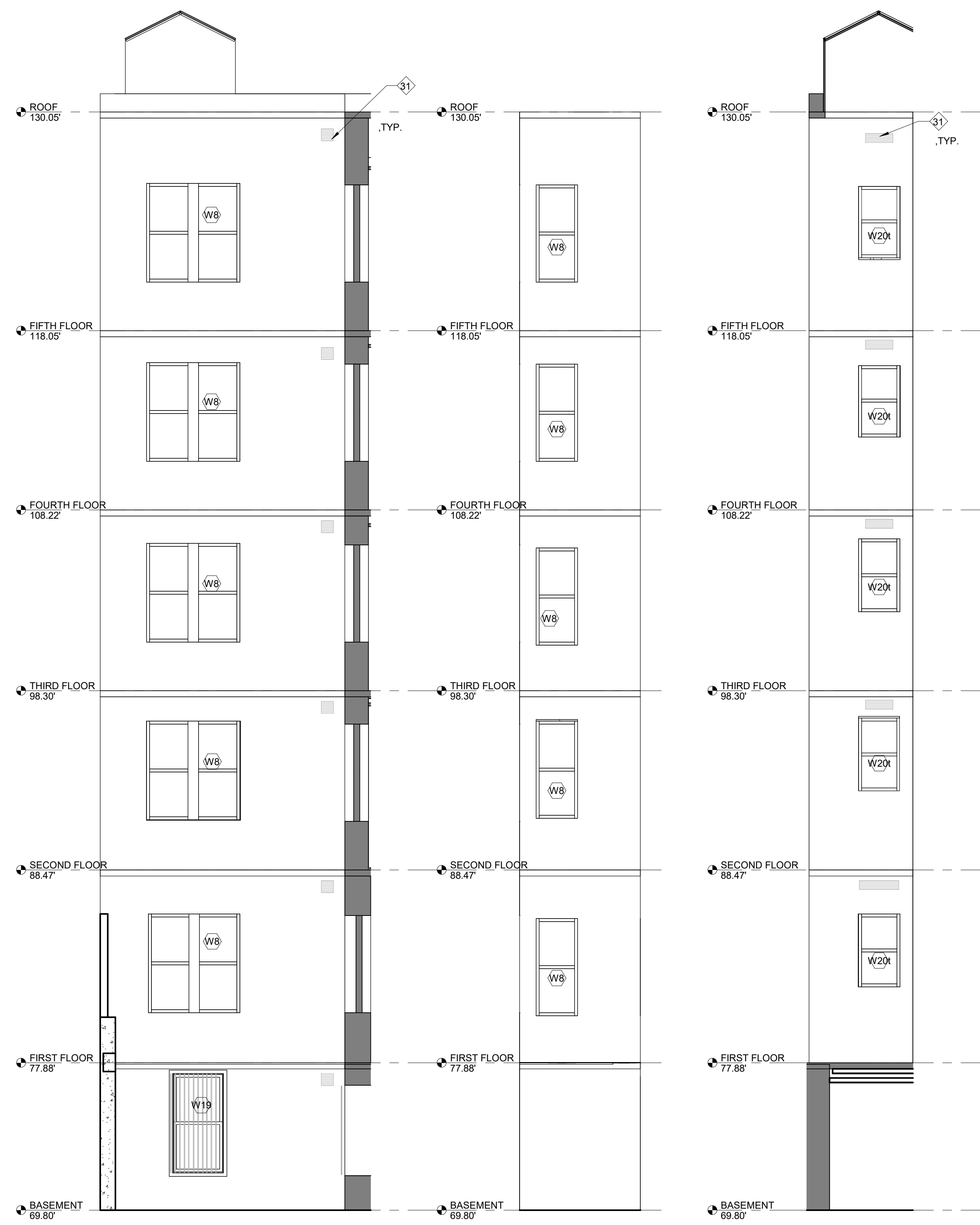
CAS ENGINEERING - DC, LLC
4836 MACARTHUR BLVD. NW
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WASHINGTON, DC 20007
P. 202.383.7202

2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS

1	SD SET	03.07.2025
2	DD SET	04.30.2025
3	50% PRICING SET	05.28.2025
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2222 Q STREET OWNER, LLC
140 Q ST, N.E. SUITE 1408
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3RD FLOOR
WASHINGTON, DC 20007
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2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

1 SOUTH ELEVATION
A-12 1/4" = 1'-0"

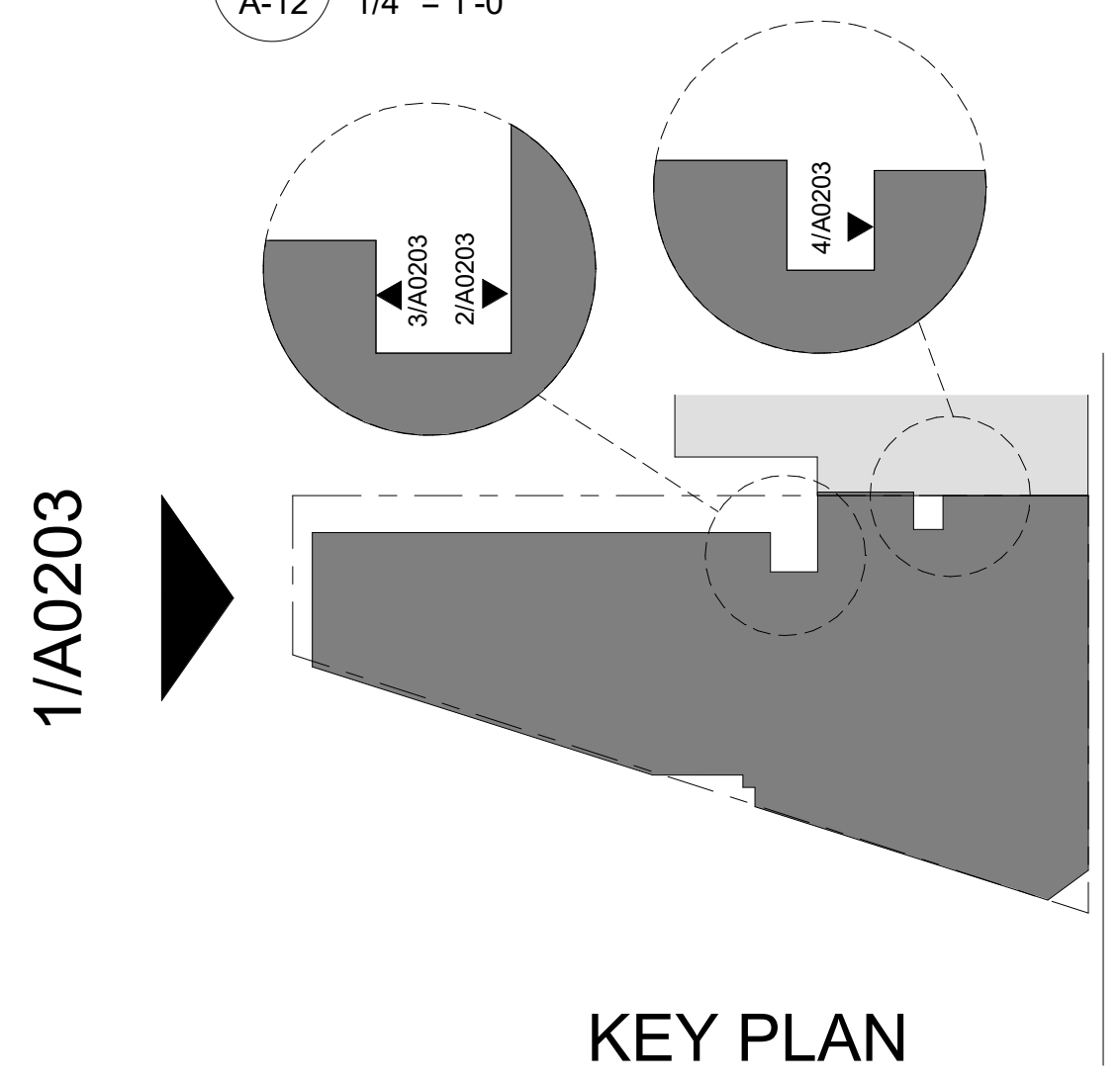
2 ELEVATION 2
A-12 1/4" = 1'-0"

3 ELEVATION 3
A-12 1/4" = 1'-0"
3 / A0203

4 ELEVATION 4
A-12 1/4" = 1'-0"

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REVISIONS

NO.	DESCRIPTION	DATE
1	SD SET	03.07.2025
2	DD SET	04.30.2025
3	50% PRICING SET	05.28.2025
4	75% CD-PRICING SET	07.11.2025

DATE: 04/24/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD

BUILDING ELEVATION- SOUTH

SCALE: 1/4" = 1'-0"

Bonstra | Haresign
ARCHITECTS

2222 Q STREET OWNER, LLC
 140 Q ST NE, SUITE 1418
 WASHINGTON, DC 20002

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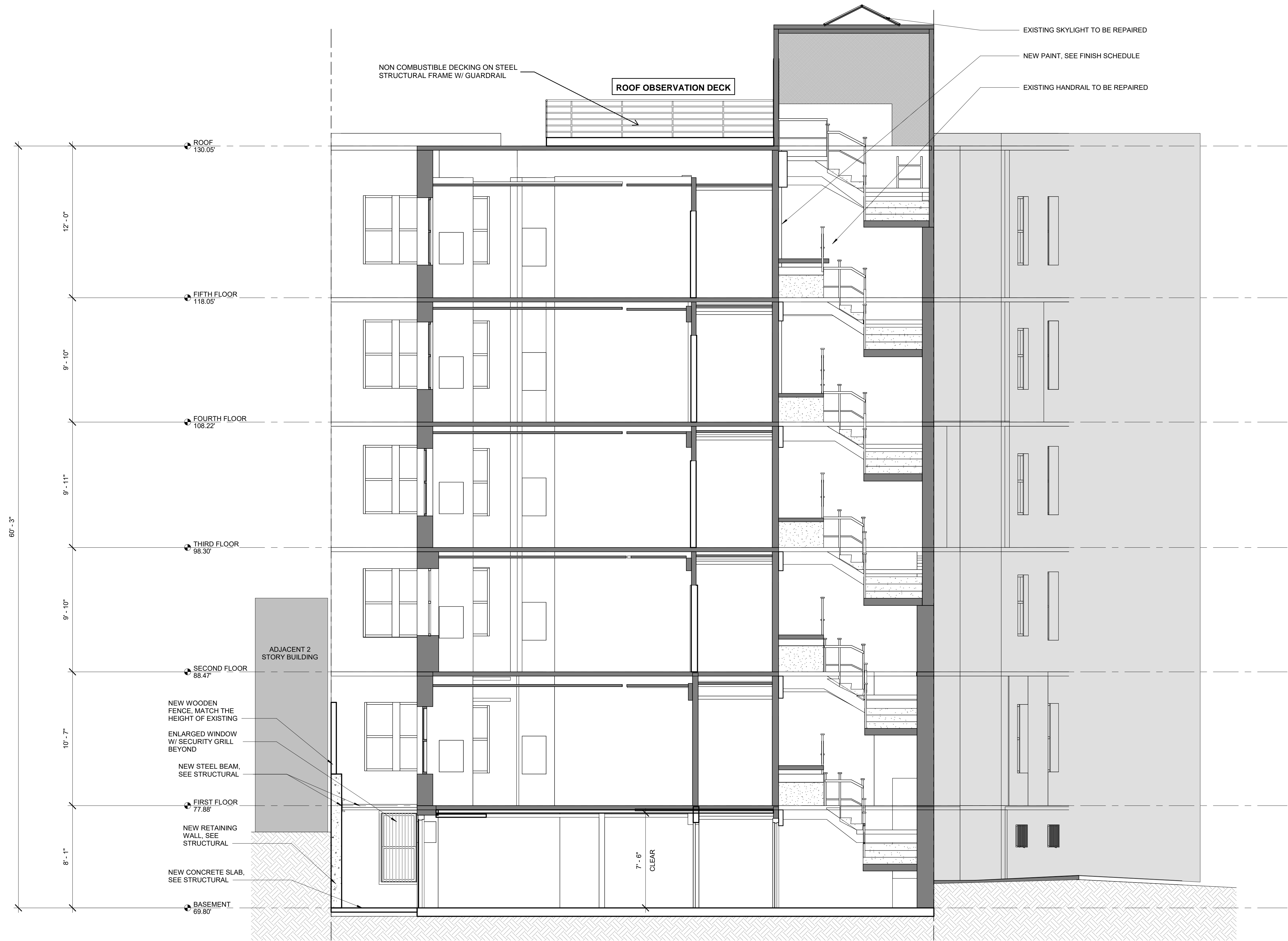
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REVISIONS

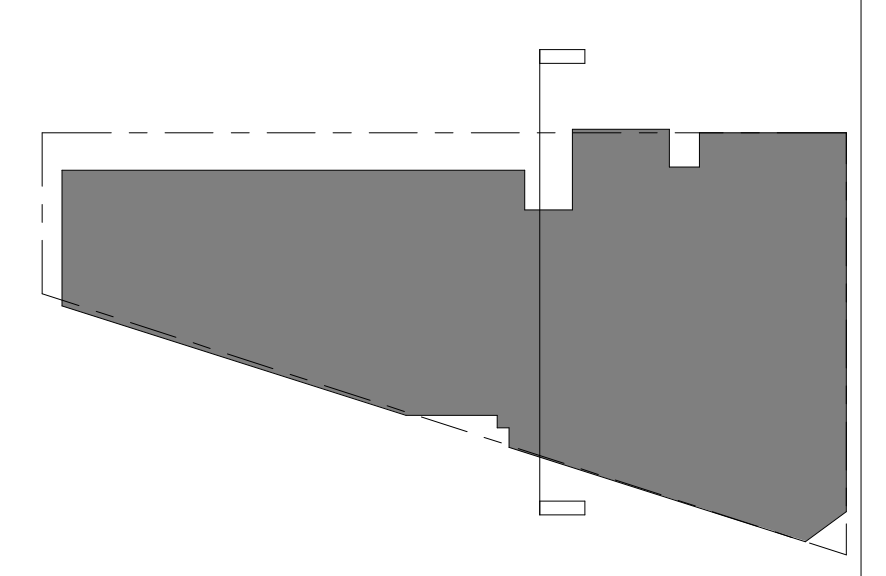
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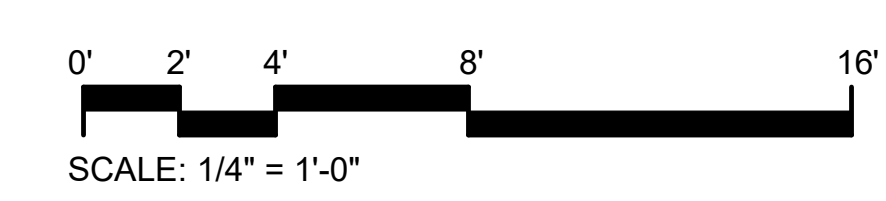


1 SECTION A-A
 A-13 1/4" = 1'-0"

BUILDING SECTION



KEY PLAN



Bonstra Haresign
 ARCHITECTS

BUILDING SECTION