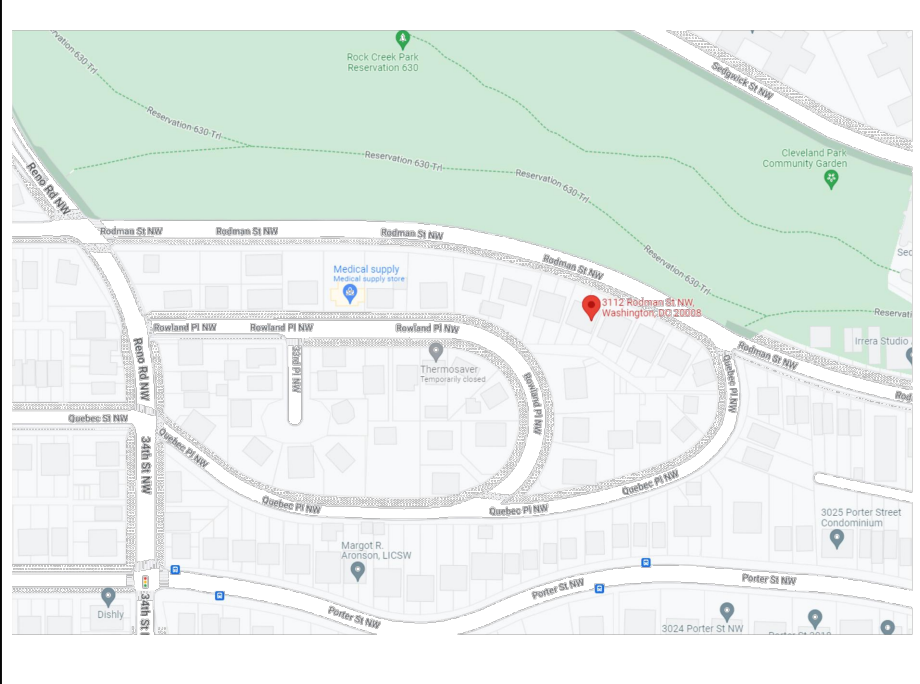


GENERAL SYMBOLS AND LEGEND		
CONSTRUCTION TYPES	MATERIALS	CALL OUTS
NEW CONSTRUCTION	CONCRETE	REVISION
EXISTING CONSTRUCTION	CONCRETE MASONRY	ELEVATION
DEMOLISHED CONSTRUCTION	BRICK MASONRY	SECTION
	GRAVEL	DETAIL
	SOIL	KEYNOTE
	WOOD	
	PAINTING INSULATION	
	RIGID INSULATION	
	METAL	
	GYPHUM	

PROJECT DATA	
OWNER INFORMATION	OWNER: SEAGRAVE, GORDON
PROJECT NAME	SEAGRAVE RESIDENCE
PROJECT ADDRESS	3112 RODMAN ST NW, WASHINGTON DC, 20008
LEGAL DESCRIPTION	SQUARE 2046 LOT 0809
YEAR BUILT	?
OWNER NAME	?
OWNER ADDRESS	?
OWNER EMAILS	GORDON@SEAGRAVEINTEGRAL.COM
OWNER TELEPHONE	?

PROJECT DESCRIPTION	
REPAIR AND RENOVATE EXISTING DETACHED ONE-STORY MASONRY AND WOOD GARAGE:	
1. REMOVE AND REPLACE CONCRETE FOUNDATION	
2. REMOVE AND REPLACE MASONRY WALLS	
3. REMOVE AND REPLACE WOOD ROOF	
4. REMOVE AND REPLACE WOOD GARAGE DOOR	
5. REMOVE AND REPLACE WOOD WINDOWS	
6. REMOVE AND REPLACE WOOD TRIM	
7. REMOVE AND REPLACE ROOF COVERING	

VICINITY MAP	



DRAWING INDEX	
T-001	PROJECT DATA, CODE ANALYSIS
C-001	CIVIL SITE PLAN, CIVIL DRAINAGE PLAN, CIVIL LANDSCAPE PLAN
A-100	ARCHITECTURAL KEY PLAN
A-200	ARCHITECTURAL EXTERIOR ELEVATION PLAN
A-300	ARCHITECTURAL BUILDING SECTIONS

### ZONING REPORT

**Zoning Report for 3112 RODMAN ST NW WASHINGTON DC 20008**

**Zoning Data Summary**

Premises Address	3112 RODMAN ST NW WASHINGTON DC 20008	Council Member	Mary M. Chah
SquareFoot/Lot	2002 / 3038	ANC	SC
Zoning District	R-2	ANC Chairperson	Robert "Beau" Finley
PUDs	None	SMD	SC05
Ward	Ward 3	Commissioner	Sauleh A. Siddiqui

**Zoning Details: R-2**

Description: Provide areas predominantly developed with semi-detached houses on moderately-sized lots that also contain some detached dwellings.

Building Category	All Other Buildings & Structures	Institutional	Detached
Dwelling Units	1	1	1
Minimum Lot Width (ft)	40	40	40
Minimum Lot Area (sqft)	4000	4000	4000
Maximum Lot Occupancy (%)	40	40	40
Maximum Height (ft)	40	90	40
Maximum Stories	3	N/A	3
Front Setback (ft)	No lesser or greater than existing setbacks on the same block	No lesser or greater than existing setbacks on the same block	No lesser or greater than existing setbacks on the same block
Rear Yard Setback (ft)	20	20	20
Side Setback (ft)	8	8	8
Previous Surface (%)	30	30	30

GENERAL NOTES	
<b>MOISTURE AND THERMAL PROTECTION</b>	<b>OPENINGS</b>
1. ROOFING SHALL BE CLASSIFIED AS TYPE A, B, OR C IN ACCORDANCE WITH ASTM E 98 UNLESS OTHERWISE NOTED. CONSTRUCTION OF TYPES B, B1, AND D SHALL HAVE A MINIMUM CLASS C ROOFING. ALL OTHER TYPES SHALL HAVE A MINIMUM CLASS B ROOFING. APPLICABLE OPENINGS SHALL COMPLY WITH ASTM D 4850 OR ASTM D 4850 TYPE I. MODIFIED BITUMEN ROOFING SHALL COMPLY WITH ASTM D 514 TYPE I OR AN APPROVED EQUAL. SHALL BE INSTALLED OVER THE SHEATHING EXTERIOR WALL COVERINGS SHALL BE INSTALLED ACCORDING TO EC SECTION 409.	1. GLAZING PANELS SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS. GLAZING IN PROTRUSION LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO CPSC 16 CFR 1203 FOR RESIDENTIAL CONSTRUCTION WHERE THE U-FACTOR AND SHGC IS NOT SPECIFICALLY NOTED, A DEFAULT FACTOR SHALL BE IN ACCORDANCE WITH TABLE 101.5(1) OF THE INTERNATIONAL ENERGY CONSERVATION CODE.
2. FLASHING SHALL BE INSTALLED AT ALL EDGES, CHANGES IN SLOPES, AND OPENINGS IN EXTERIOR MEMBRANES. FLASHING SHALL BE CORROSION RESISTANT METAL WITH NOT LESS THAN 60% THICKNESS AND 24 GALVANIZED SHEET.	<b>INTERIOR FINISHES</b>
3. ABOVE GRADE WATERPROOFING SHALL HAVE AN APPROVED VAPOR RETARDER IN ACCORDANCE WITH ASTM E 263. A WATER RESISTIVE BARRIER OF ONE LAYER, NO. 9 AIRTIGHT FELT COMPLYING WITH ASTM D 746, TYPE I, OR AN APPROVED EQUAL, SHALL BE INSTALLED OVER THE SHEATHING EXTERIOR WALL COVERINGS SHALL BE INSTALLED ACCORDING TO EC SECTION 409.	2. GYPHUM BOARD SHALL CONFORM TO ASTM C 26 FOR WALL BOARD, AND ASTM C 480 FOR WATER RESISTANT BACKING BOARD WHERE USED FOR FIRE RESISTANCE CONSTRUCTION. GYPHUM BOARD SHALL CONFORM TO THE REQUIREMENTS AS SPECIFIED IN THE UL DESIGN AND BY THE MANUFACTURER.
4. BELOW GRADE WALL DAMPROOFING SHALL CONSIST OF ONE OF THE FOLLOWING: A BITUMINOUS MATERIAL, 3 LBS PER SQ. YD. OF ADHESIVE MODIFIED ASPHALT, OR 1/2" COAT OF SURFACE DRAINING MORTAR COMPLYING WITH ASTM C 887.	<b>STRUCTURAL</b>
5. BELOW GRADE WATERPROOFING SHALL CONSIST OF ONE OF THE FOLLOWING: 2-PLY HOT MORTAR FELT & MIL POLYESTER, COLORED 40 MIL POLYMER MODIFIED ASPHALT, OR 4 MIL POLYETHYLENE SHEETS.	3. LIVE LOADS - ROOF 30 PSF, TYPICAL FLOOR 40 PSF, STAIRS AND CORRIDORS 40 PSF, PARTITION LANDING 20 PSF, WIND LOAD 30 PSF, ATTIC WITH STORAGE 20 PSF, DECKS 40 PSF, BALCONY 60 PSF.
6. INSULATION SHALL HAVE A THERMAL RESISTANCE IDENTIFICATION MARK WHICH SHALL BE APPLIED BY THE MANUFACTURER TO EACH PIECE GREATER THAN 12" WIDE.	4. SOL BEARING WALLS - ASSIGNED SOL BEARING VALUE AT 800 PSF.
7. EXTERIOR PLASTER (STUCCO) SHALL BE APPLIED IN NOT LESS THAN 9 COATS OVER WIRE LATH OR 2 COATS OVER MASONRY OR CONCRETE MATERIALS SHALL BE IN ACCORDANCE WITH TABLE 1807.2 OF THE INT. BUILDING CODE.	5. FOUNDATIONS - ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOL, HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-0" BELOW FINISHED GRADE. WALL FOOTINGS SHALL BE 12" DEEP AND PROJECT 4" BEYOND EACH FACE OF WALL UNDO. ELEVATIONS AT BOTTOMS OF FOOTINGS WHERE INDICATED HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND SHALL NOT BE CONSIDERED AS WAIVING ANY OF THE MINIMUM REQUIREMENTS STATED ABOVE. ALL DISTURBED SOL UNDER FOOTINGS SHALL BE REPLACED WITH CONCRETE. ALL BEARING STRATA SHALL BE ADEQUATELY BRANDED BEFORE FOUNDATION CONCRETE IS PLACED. NO EXCAVATION SHALL BE CLOSER THAN AT SLOPE 2:1 (TWO HORIZONTAL TO ONE VERTICAL) TO A FOOTING. DO NOT PLACE CONCRETE OVER FROZEN SOL. FIELD VERIFY EXISTING ADJACENT BUILDING FOUNDATIONS AND LOWER FOOTING TO MATCH THE SAME OR, IF THEY ARE ABOVE THE BUILDING FOUNDATIONS, PROVIDE ADEQUATE UNDERPINNING.
<b>CONCRETE BLOCK, GRAVEL, SOLES</b>	<b>WOOD STRUCTURAL STEEL ENGINEERED WOOD</b>
8. GRAVEL BEARING SHALL BE 1/2" TO 3/4" DIAMETER GRAVEL, WASHED AND FREE OF EXPANSIVE OR ORGANIC MATERIALS FOR BASE COURSE. LIFTS LESS THAN 12" IN HEIGHT SHALL BE COMPACTED TO A MINIMUM OF 90% MOISTURE PROCTOR IN ACCORDANCE WITH ASTM D 1587. LIFTS LARGER THAN 12" IN HEIGHT SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF A QUALIFIED ENGINEER.	4. STRUCTURAL STEEL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EITHER AISC-LRFD, AISC-ASD, OR AISC-1989.
9. GRAVEL BASE COURSE SHALL BE NOT LESS THAN 4" GRAVEL OR CRUSHED STONE CONTAINING NOT MORE THAN 10% MATERIAL THAT PASSES THROUGH A NUMBER 4 (4.75 MM) SIEVE.	7. COLD FORMED STEEL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE AISI SPECIFICATION FOR COLD FORMED STEEL STRUCTURES.
10. CAST IN PLACE CONCRETE SHALL CONFORM TO THE ACI CODE 308.3R. CAST-IN-PLACE CONCRETE STRENGTH SHALL BE F=3000 PSI EXTERIOR CONCRETE SLABS F=3000 PSI AIR ENTRAINED.	8. METAL FASTENERS NAILS AND STAPLES SHALL CONFORM TO ASTM F 1607 MEMBERS SHALL BE FASTENED ACCORDING TO THE SCHEDULE AS SET FORTH IN TABLE 2004.2 OF THE IBC, UNLESS NOTED OTHERWISE. FASTENERS USED IN TREATED WOOD SHALL BE OF NOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.
11. CONCRETE MASONRY UNITS (BLOCK) SHALL CONFORM TO ASTM C 90 FOR LOAD BEARING UNITS.	9. WOOD FRAMING SHALL BE SPRUCE PINE FIR #2 OR BETTER UNLESS NOTED OTHERWISE AND APPROVED BY AN AGGRICULTION BODY THAT COMPLES WITH 2003 PS 20.
12. CLAY MASONRY UNITS (BRICK) SHALL CONFORM TO ASTM C 48 FOR BUILDING BRICK.	10. ENGINEERED WOOD FRAMING SHALL BE IN ACCORDANCE WITH ASTM D 5696.
13. STONE MASONRY UNITS SHALL CONFORM TO ASTM C 897 (BLOCKS) ASTM C 898 (LIMESTONE).	11. PRESSURE TREATED WOOD SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE ANPA (UL 291, CR, CA, CS, CSA, CSB, CSX, CSY, CSA, CSB, AND MA). PRESERVATIVES SHALL CONFORM TO ANPA PLP10, PL 10, PS, PB, AND P3.
14. MASONRY MORTAR SHALL CONFORM TO ASTM C 270 AND SHALL BE TYPE M (2500 PSI) UNLESS NOTED OTHERWISE (UNQ).	12. FINISHES SHALL BE IN ACCORDANCE WITH 2003 PS 1 OR PS 2. EACH PANEL OR MEMBER SHALL BE IDENTIFIED FOR GRADE AND GUEL TYPE BY THE TRADE MARKS OF AN APPROVED TESTING AND GRADING AGENCY.
15. SURFACE BONDING MORTAR SHALL CONFORM TO ASTM C 887.	13. ALL EXTERIOR FRAMED WALLS SHALL BE COVERED WITH 5/8" MIN WOOD STRUCTURAL PANEL SHEATHING OR 1/2" MIN FIBERBOARD SHEATHING SECURED WITH 6d COMMON NAILS SPACED 16" OC EDGE AND 12" OC FIELD. (EC SECTION 409)
16. MASONRY GROUT SHALL CONFORM TO ASTM C 486 OR SHALL CONFORM TO THE FOLLOWING PROPORTIONS: FINE GROUT = 1 PART PORTLAND CEMENT, 2-1/4 TO 3 PARTS FINE AGGREGATE, COARSE GROUT = 1 PART PORTLAND CEMENT, 2-1/4 TO 3 PARTS FINE AGGREGATE, 1 TO 2 PARTS COARSE AGGREGATE.	
17. REINFORCEMENT STEEL ALL REINFORCING STEEL EXCEPT TIES SHALL CONFORM TO ASTM A630 GRADE 60. TIES SHALL CONFORM TO ASTM A630 GRADE 40 UNLESS OTHERWISE NOTED. REINFORCING BARS SHALL CONFORM TO ASTM A630, F420, AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 308-10.	
18. CONCRETE PROTECTION FOR REINFORCEMENT = REINFORCING BARS AND WESH TO HAVE A MIN CONCRETE COVER AS FOLLOWS: CONCRETE FORMED AGAINST EARTH OR FORMED CONCRETE EXPOSED TO EARTH 3" FOR BARS LARGER THAN #5 AND 1-1/2" FOR #5 AND SMALLER BARS, BEAMS AND COLUMNS 1-1/2", SLABS 3/4", INTERIOR FACES OF WALLS 1" SLABS ON GRADE, UNLESS OTHERWISE NOTED, TO HAVE REINFORCEMENT AT MIN-DEPTH.	

GENERAL NOTES	
<b>EQUIPMENT, APPLIANCES AND FIXTURES</b>	<b>CONTRACTOR'S RESPONSIBILITIES</b>
1. THE WORK OF EACH OF THE ELECTRICAL, MECHANICAL, AND PLUMBING SECTIONS INCLUDES PURCHASING & INSTALLING THE MATERIAL, EQUIPMENT, AND SYSTEMS COMPLETE AS SPECIFIED AND / OR INDICATED ON THE DRAWINGS. WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED, READY FOR SATISFACTORY SERVICE. THE CONTRACTOR SHALL MAKE APPLICATION AND PAY FOR ALL PERMITS, LICENSES, AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES. THE GENERAL ARRANGEMENT OF RIGS, CONDUIT, WIRING, AND EQUIPMENT SHALL BE AS INDICATED ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE SITE, STRUCTURAL AND FINISH CONDITIONS AFFECTING HIS WORK, AND SHALL ARRANGE SUCH WORK ACCORDINGLY. PROTECTING SUCH UTILITIES AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. REWORKING OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.	1. BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE BUILDING CODES AND ZONING ORDINANCES.
2. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, TOOLS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE COMPLETE INSTALLATION OF THE WORK AND RELATED SYSTEMS AS INDICATED ON THE DRAWINGS OR AS NECESSARY TO PROVIDE A COMPLETE SYSTEM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY HEATING, POWER, WIRING AND LIGHTING AND CONSTRUCTION POWER FOR ALL TRADES AS REQUIRED TO COMPLETE THE PROJECT AND PROTECT THE SYSTEMS FROM DAMAGE DURING CONSTRUCTION.	2. FIELD VERIFY ACTUAL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.
3. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AND COMPLETED IN A FIRST CLASS WORKMAN-LIKE MANNER. ALL MATERIALS SHALL BE NEW AND OF THE BEST OF THEIR RESPECTIVE KIND. ALL MATERIALS AND SYSTEMS SHALL BE APPROVED BY UL OR SIMILAR NATIONALLY ACCEPTED TESTING AGENCY SUCH AS ETL. TESTING LABORATORIES. THE ENTIRE NEW PLUMBING SYSTEM SHALL BE TESTED HYDROSTATICALLY BEFORE INSULATION COVERAGE IS APPLIED AND PROVED TO BE WATER TIGHT.	3. PROVIDE SITE TOILET, TRENCH, AND PEDESTRIAN AND TRAFFIC SAFETY MEASURES AS NECESSARY.
4. SUFFICIENT ACCESS AND CLEARANCE FOR ALL ITEMS OF EQUIPMENT REQUIRING SERVICING AND MAINTENANCE, SUCH AS VALVES, DRAINS, VENTS, ETC., SHALL BE PROVIDED.	4. DETERMINE THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO ENGAGING IN ANY EXCAVATION.
5. SUPPLY AND RETURN AIR DUCTS LOCATED WITHIN GRABLS SPACES. UN-INSULATED BAYMENTS, ATTICS AND FRONT WALL GABLETS MUST BE INSULATED TO R-8. ALL DUCTS, SEAMS AND CONNECTIONS MUST BE SECURELY FASTENED WITH HELPS GASKETS, MASTO, OR APPROVED TAPES. THERMOSTATS MUST BE CAPABLE OF BEING SET TO 68 DEGREES OR LOWER FOR HEATING AND 85 DEGREES OR MORE FOR COOLING WITH A 5 DEGREE DEAD-BAND.	5. DETERMINE THE REQUIRED INSURANCE AND JOB SITE SAFETY MEASURES AS REQUIRED BY LAW.
6. WATER HEATERS WITH PRESS RESSES SHALL HAVE LEAK TRAPS ON BOTH THE INLET AND OUTLET OF THE WATER HEATER. UNLESS THE WATER HEATER HAS INTERNAL TRAPS OR IS PART OF A CIRCULATING SYSTEM.	6. COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS.
	7. KEEP WORK AREA IN BR00M CLEAN CONDITION AT END OF EACH DAY.
	8. STORE CONSTRUCTION MATERIALS WITHIN THE AREA OF WORK OR IN AN AREA DESIGNATED BY THE OWNER.
	9. NOTIFY OWNER 24 HOURS IN ADVANCE OF NEED TO TURN OFF ANY UTILITY SUCH AS GAS, WATER, OR ELECTRICITY.
	10. OBTAIN ALL PERMITS NECESSARY FOR THE COMPLETION OF WORK.
	11. SUBMIT A SAMPLE OF ALL FINISH MATERIALS TO THE OWNER & ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
	12. PROVIDE FOR SECURITY OF THE BUILDING AND ITS CONTENTS AS NECESSARY DURING CONSTRUCTION.
	13. REMOVE AND DISPOSE OF ALL DEMOLITION AND CONSTRUCTION MATERIALS IN A SAFE AND LEGAL MANNER.
	14. PROVIDE DUST-PROOF ENCLOSURE AROUND THE WORK AREA TO MINIMIZE CONTAMINATION OF THE BUILDING.
	15. SEAL OFF MECHANICAL AND PLUMBING SYSTEMS IN THE WORK AREA TO MINIMIZE THE INFILTRATION OF DEBRIS.
	16. PROVIDE TEMPORARY BRACING WHEN NECESSARY FOR THE INSTALLATION OF THE NEW WORK.

ZONING	
APPLICABLE CODES	WASHINGTON DC ZONING CODE
ZONING CODE	R-2
OVERLAY ZONE	CLEVELAND PARK HISTORIC DISTRICT
ESMAY BUILDING AREAS	
LEVEL	EXISTING PROPOSED REMARK
FIRST LEVEL	232 SF 232 SF EXISTING STRUCTURE RESULT
TOTAL AREA	232 SF 232 SF NONE
BUILDING HEIGHTS	
LEVEL	EXISTING PROPOSED REMARK
BASEMENT	X X X X
FIRST LEVEL	X X X X
SECOND LEVEL	X X X X
THIRD LEVEL	X X X X
GRADE TO ROOF EAVE	10 FT 10 FT
GRADE TO ROOF RIDGE	X X X X
GRADE TO MEAN ROOF	X X X X
GRADE TO BASEMENT	X X X X

BUILDING	
APPLICABLE BUILDING CODES	<ul style="list-style-type: none"> <li>DCAR TITLE II AMENDMENTS TO 2017 DC BUILDING CODES</li> <li>2018 INTERNATIONAL RESIDENTIAL CODE WITH 2017 DCAR 220</li> <li>2018 NATIONAL ELECTRICAL CODE WITH 2017 DCAR 220</li> <li>2018 INTERNATIONAL FUEL GAS CODE WITH 2017 DCAR 220</li> <li>2018 INTERNATIONAL MECHANICAL CODE WITH 2017 DCAR 220</li> <li>2018 INTERNATIONAL PLUMBING CODE WITH 2017 DCAR 220</li> <li>2018 INTERNATIONAL FIRE CODE WITH 2017 DCAR 220</li> <li>2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH DCAR 220</li> <li>2018 INTERNATIONAL GREEN CONSTRUCTION CODE WITH DCAR 220</li> </ul>
STRUCTURAL DESIGN PARAMETERS	
WIND SPEED:	15 MPH
GROUND SNOW LOAD:	30 PSF
SEISMIC DESIGN CATEGORY:	D
WEATHERING DAMAGE:	SEVERE
FROST LINE DEPTH:	30 INCHES
TERMITE DAMAGE:	MODERATE TO HEAVY
DECAV DAMAGE:	SLIGHT TO MODERATE
WINTER DESIGN TEMP:	15° F
ICE SHIELD UNDERLAY:	YES
FLOOR HAZARDS:	JULY 1, 1979
AIR FREEZING INDEX:	300
MEAN ANNUAL TEMPERATURE:	65° F
SPECTRAL RESPONSE ACCEL:	58 300 W, 51 300 S1

ZONING CODE ANALYSIS	
ITEM	EXISTING PROPOSED REQUIRED
MINIMUM LOT AREA:	X X 4000 SQ MIN
FRONT YARD SETBACK:	X X ESTABLISHED
SIDE YARD SETBACK:	X X 8 FT MIN
REAR YARD SETBACK:	X X 10 FT MIN
LOT OCCUPANCY:	X X 40% MAX
FLOOR AREA RATIO (FAR/FFA):	X X NA
BUILDING HEIGHT:	X X 40 FT MAX
BUILDING STORES:	X X 3 MAX
# DWELLING UNITS:	X X 1
PARKING SPACES:	X X NA
PERVIOUS SURFACES:	X X 30% MIN
GREEN AREA RATIO (GAR):	X X X
WALL PLANE HEIGHT:	X X NA
WALL PLANE LENGTH:	X X NA

PROPERTY RECORDS	
BUILDING CODE ANALYSIS	
CONSTRUCTION TYPE:	V-D
OCCUPANCY CLASS:	R-3
SPRINKLERS:	NONE
FIRE ALARM:	NONE
SHAKE DETECTORS:	NONE
# OF EXITS REQUIRED:	1
EXIT TRAVEL DISTANCE:	<75 FT
ACCESSIBLE ENTRANCE:	N0
ACCESSIBLE ROUTES:	N0
ACCESSIBLE BATHROOMS:	N0
FIRE RATED CONSTRUCTION:	PROXIMITY TO PROPERTY LINE ONLY, 1" THICK WALLS & ROOF
OCCUPANT LOAD ANALYSIS	
AREA NAME:	OLF
RESIDENTIAL:	220 SF GROSS

**CERTIFICATIONS**

I, the undersigned, certify that the information provided herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed architect under the laws of the District of Columbia.

Signature: *Jeremy D. Busse*

Stamp: **DISTRICT OF COLUMBIA**  
**JEREMY D. BUSSE**  
 No. 100393  
 LICENSED ARCHITECT

ARCHITECT: **ADVANCED BUILDING DESIGN architects**

PROJECT: **DETACHED GARAGE REPAIR AND RENOVATE SEAGRAVE RESIDENCE 3112 RODMAN ST NW WASHINGTON, D.C. 20008**

VERSION	DESCRIPTION	DATE
#1	DRAFT CONCEPT A	07/21/22
#2	PERMIT APPLICATION	08/18/22


GRAPHIC SCALE:


DRAWN BY: J. D. BUSSE  
 1760 SUGAR HILL ROAD  
 MAURERTOWN, VA 22644  
 CELL: (703) 309 1036  
 EMAIL: TEAM@ABD-INC.COM


DRAWING: **TITLE SHEET**

SHEET NO.: **T-001**

LEGEND

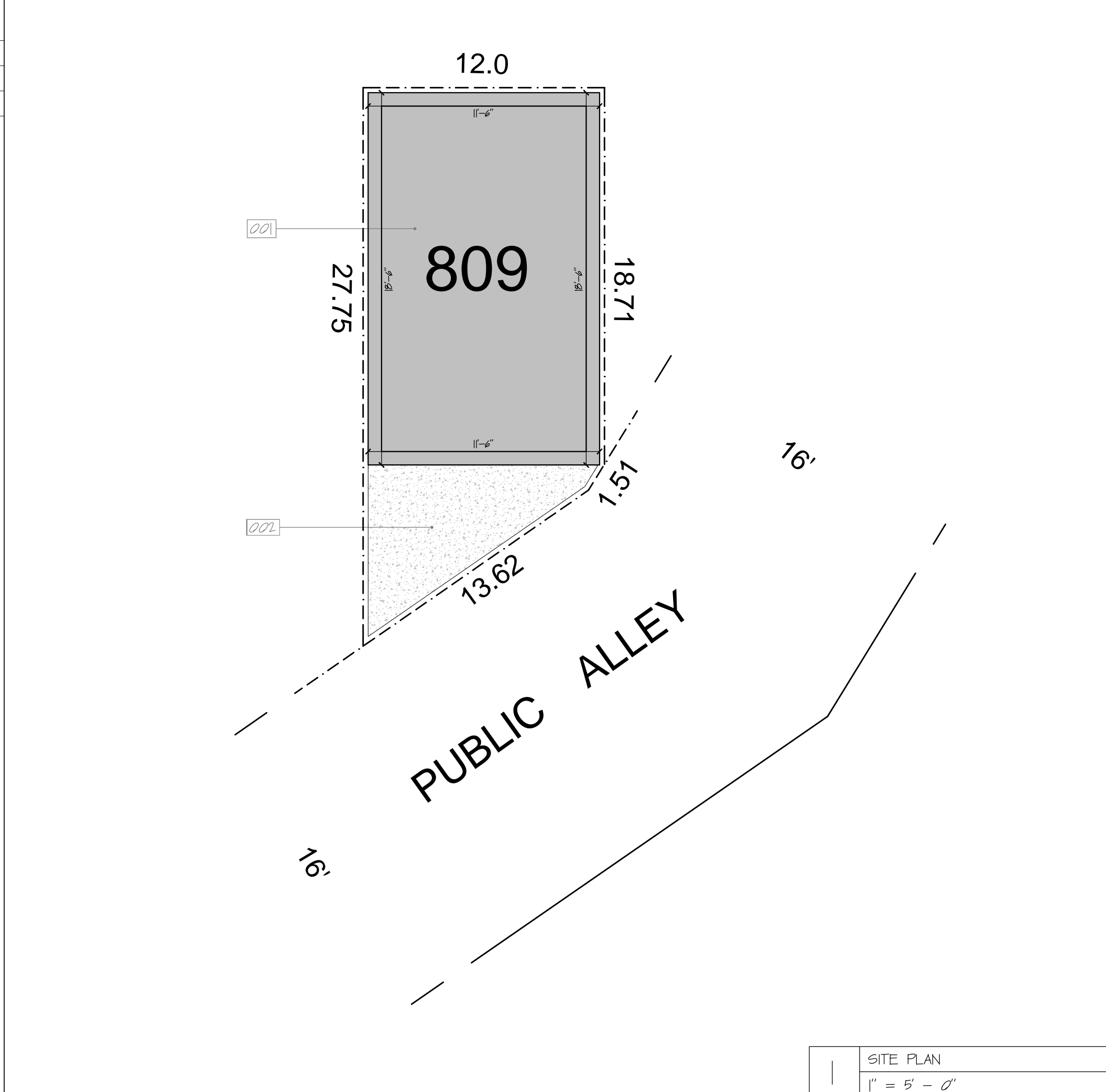
NORTH ARROW 

ELEVATION MARK 

SLOPE INDICATOR 

KEY NOTES

- NEW 213 SQUARE FEET ONE STORY DETACHED GARAGE IN PLACE OF EXISTING.
- NEW 60 SQUARE FEET STEEL REINFORCED CONCRETE DRIVEWAY IN PLACE OF EXISTING.



SITE PLAN  
1" = 5' - 0"

**DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR**

Washington, D.C., June 3, 2022

Plat for Building Permit of:

**SQUARE 2062 LOT 809**

Scale: 1 inch = 10 feet

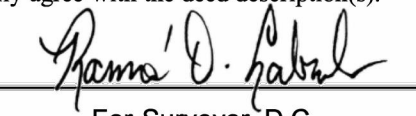
Recorded in A & T Book Page 3595-C

Receipt No. 22-04789

Drawn by: B.D.M.

Furnished to: JEREMY BUSSE

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

  
For Surveyor, D.C.


I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

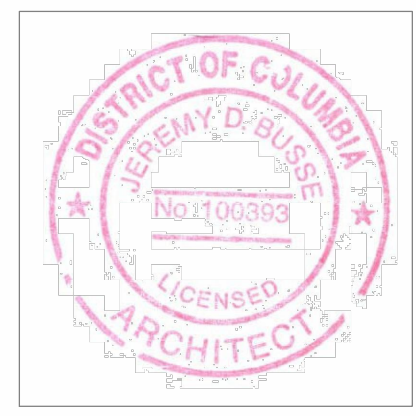
- all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application;
- any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.


I also hereby certify that:

- my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- I have/ have not (circle one) filed a subdivision application with the Office of the Surveyor;
- I have/ have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the 2 years prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature:   
Date: 06/03/22  
Printed Name: JEREMY BUSSE Relationship to Lot Owner: AGENT  
If a registered design professional, provide license number and include stamp below.  
ARC100393



  
SCALE: 1:10

SR-22-04789(2022) SHEET 1 OF 2

**SQUARE 2062**

PROPOSED ONE STORY 213 SQUARE FOOT AREA DETACHED GARAGE WITH BRICK EXT. WALLS WITH WOOD ROOF WITH CONCRETE FLOOR


SR-22-04789(2022) SHEET 2 OF 2

APPROVAL STAMPS:

SEAL:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF:

- MD, #19406, EXP. 2023-03-01
- VA, #040101763, EXP. 2023-03-31
- DC, #ARC100393, EXP. 2024-04-30



*Jeremy Busse*

ARCHITECT:

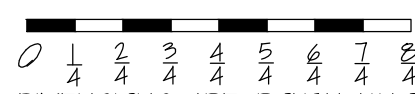
**ADVANCED BUILDING DESIGN architects**

PROJECT:

DETACHED GARAGE  
REPAIR AND RENOVATE  
SEAGRAVE RESIDENCE  
3112 RODMAN ST NW  
WASHINGTON, D.C.  
20008

VERSION	DESCRIPTION	DATE
#1	DRAFT CONCEPT A	07/21/22
#2	PERMIT APPLICATION	08/18/22

GRAPHIC SCALE:

  
DIMENSIONS ARE ROUGH UNO

DRAWN BY: J. D. BUSSE  
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EMAIL: TEAM@ABD-INC.COM

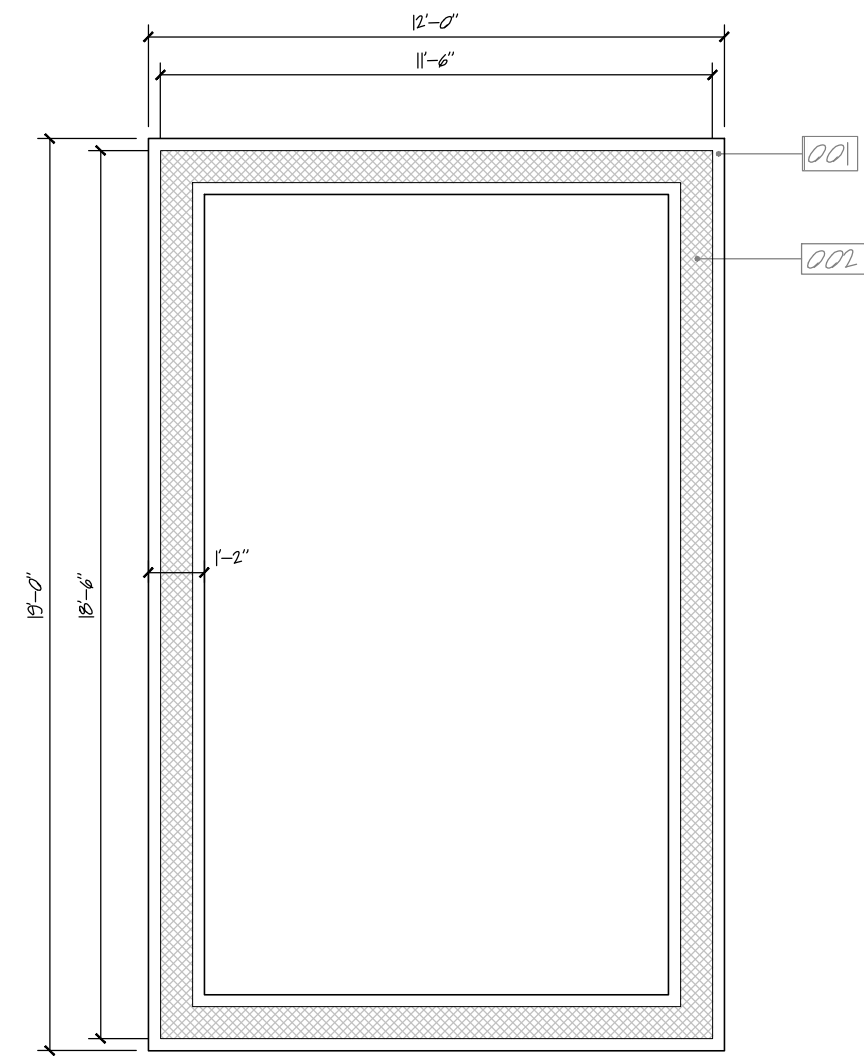
DRAWING:

CIVIL  
SITE PLAN

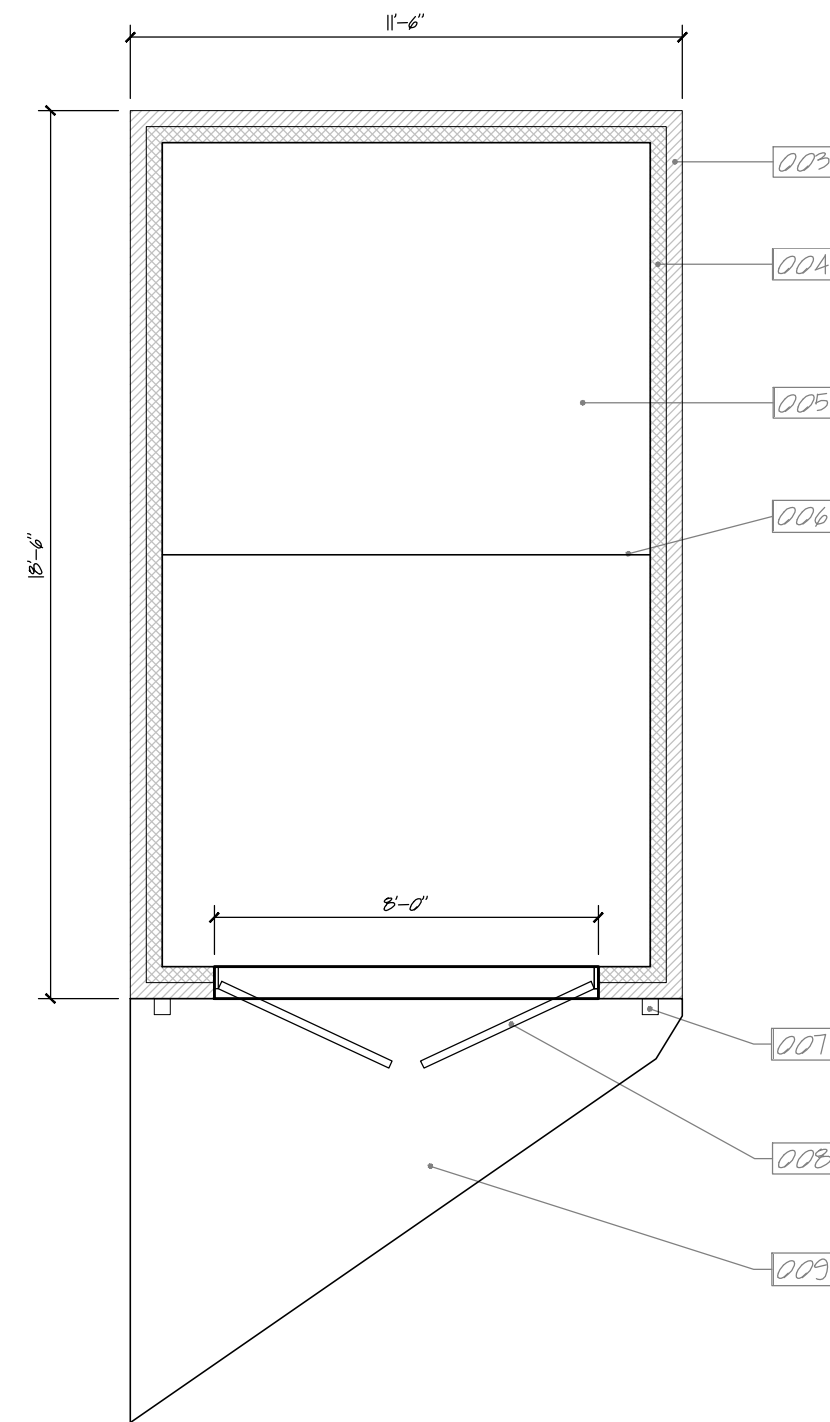
SHEET NO:

C-001

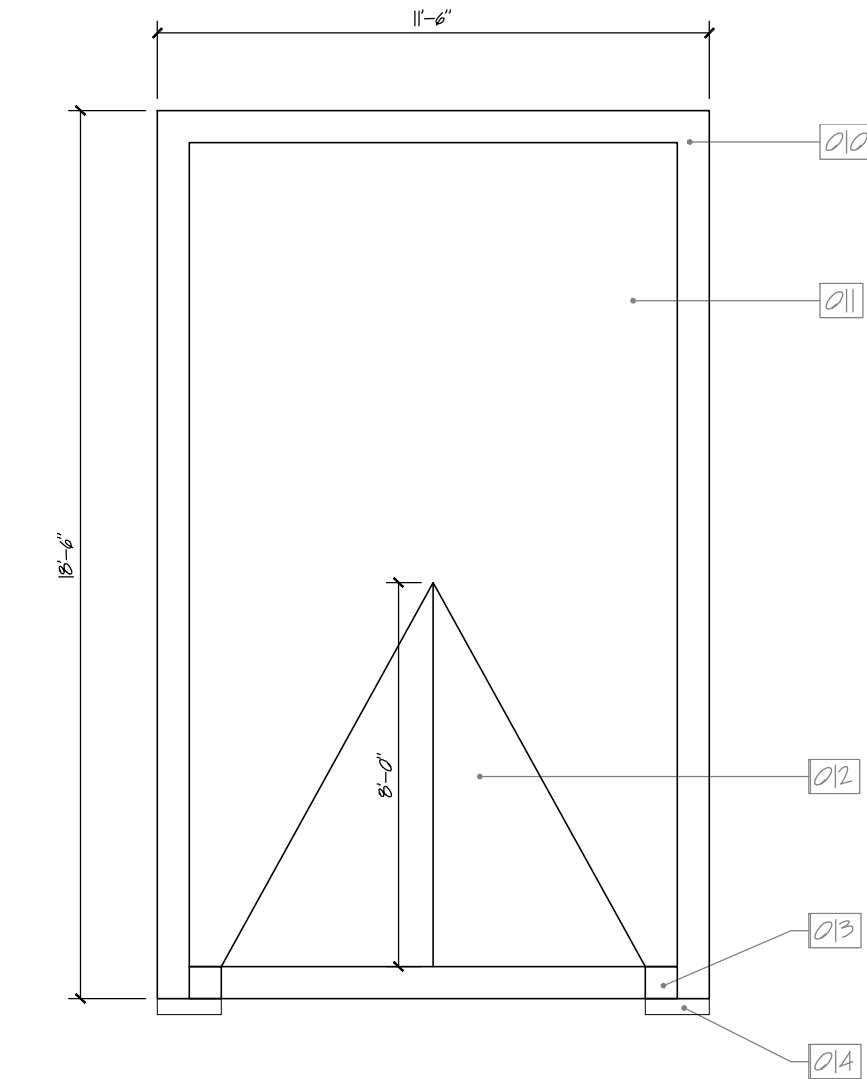
LEGEND	
EXISTING WOOD FRAMED WALL (L.D.)	
EXISTING WOOD FRAMED PARTITION (N.L.D.)	
DEMOLISHED WALL	
EXISTING CONCRETE MASONRY UNIT WALL	
EXISTING BRICK WALL	
EXISTING STEEL STRUCTURE	
WINDOW	
DOOR	



1	FOUNDATION
	1/4" = 1' - 0"



2	FIRST LEVEL
	1/4" = 1' - 0"



3	ROOF LEVEL
	1/4" = 1' - 0"

KEY NOTES

- FOOTING: STEEL REINFORCED 12" THICK CAST-IN-PLACE CONCRETE MAT.
- FOUNDATION: STEEL REINFORCED GROUT FILLED 8" THICK CONCRETE MASONRY UNITS.
- EXTERIOR WALL INSIDE WYTHE: STEEL REINFORCED GROUT FILLED 4" THICK CONCRETE MASONRY UNITS.
- EXTERIOR WALL OUTSIDE WYTHE: 4" THICK CLAY MASONRY UNIT (STANDARD FACE BRICK) WITH FLUSH STRUCK MORTAR JOINTS.
- STRUCTURE AND FINISH FLOOR: SMOOTH TROWEL FINISHED SEALED STEEL REINFORCED 4" THICK CAST-IN-PLACE CONCRETE SLAB-ON-GRADE.
- CONTROL JOINT: 1/4" WIDE 1/4" DEEP CUT INTO TOP OF FLOOR SLAB.
- DOWNSPOUT: 4" DIAMETER ROUND 20 GAGE COPPER SHEET METAL.
- GARAGE DOOR: STAINED AND SEALED 2" THICK WOOD SIDE HINGED DOUBLE DOORS WITH METAL REINFORCED JOINTS.
- DRIVEWAY: BROOM FINISH SEALED STEEL REINFORCED 4" THICK CAST-IN-PLACE CONCRETE SLAB-ON-GRADE.
- WALL CAP FLASHING: BRAZED AND SEALED 20 GAGE COPPER SHEET METAL.
- ROOF COVERING: MINERAL SURFACE ROLL ROOFING TORCHED DOWN.
- CRICKET: PLYWOOD OVER WOOD SLOPED TO DRAIN.
- GUTTER: 6" DIAMETER HALF ROUND 20 GAGE COPPER SHEET METAL.

APPROVAL STAMPS:

SEAL:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF:

- MD, #9426, EXP. 2023-03-01
- VA, #040101763, EXP. 2023-03-31
- DC, #ARC100393, EXP. 2024-04-30

*Jeremy D. Busse*

ARCHITECT:

**ADVANCED BUILDING DESIGN**  
**architects**

PROJECT:

DETACHED GARAGE  
REPAIR AND RENOVATE  
SEAGRAVE RESIDENCE  
3112 RODMAN ST NW  
WASHINGTON, D.C.  
20008

VERSION	DESCRIPTION	DATE
#1	DRAFT CONCEPT A	07/21/22
#2	PERMIT APPLICATION	08/18/22

GRAPHIC SCALE:

DIMENSIONS ARE ROUGH UNO.

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DRAWING:

PLAN  
NEW WORK

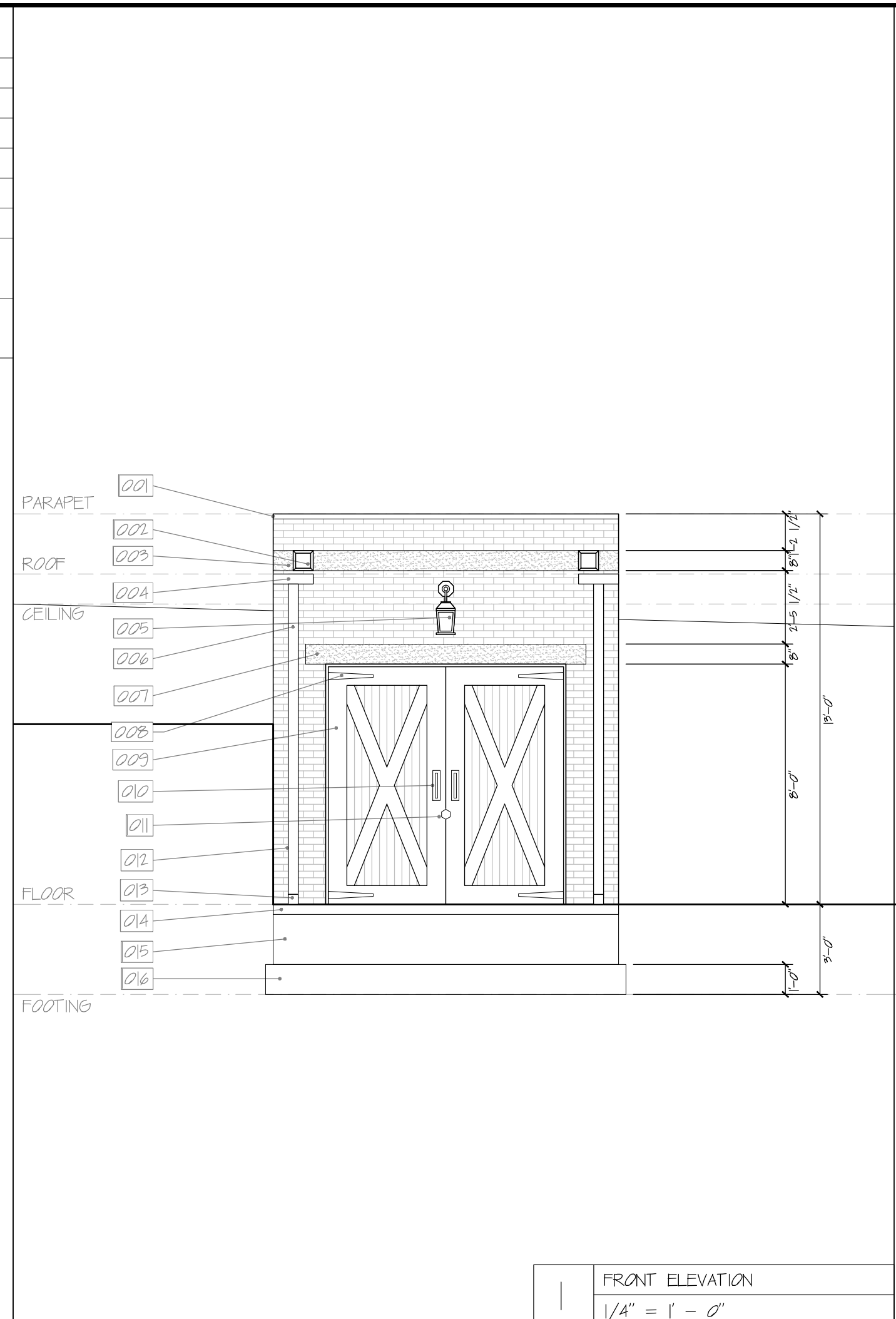
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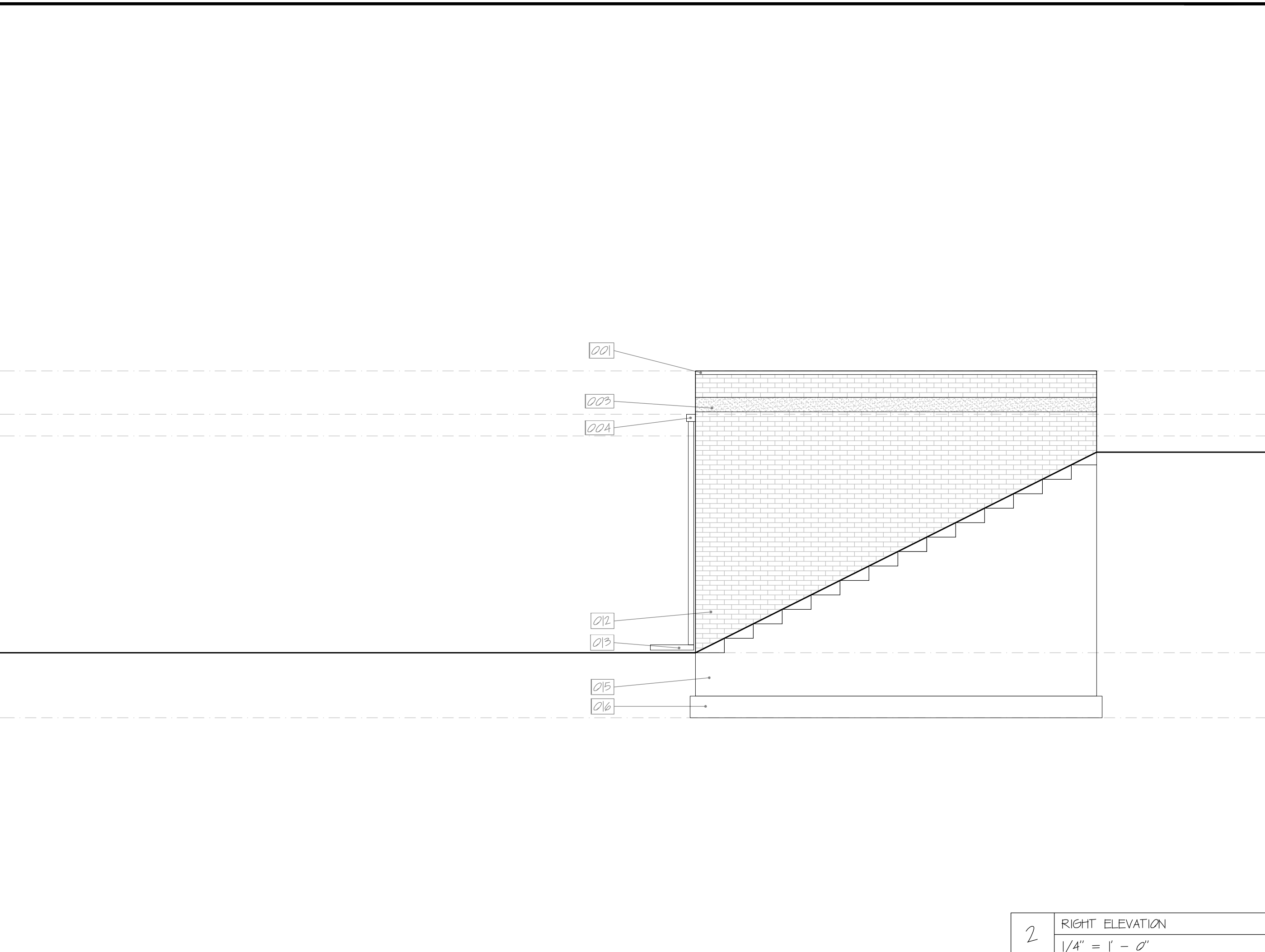
**LEGEND**

EXISTING WOOD FRAMED WALL (L.D.)	
EXISTING WOOD FRAMED PARTITION (N.L.D.)	
DEMOLISHED WALL	
EXISTING CONCRETE MASONRY UNIT WALL	
EXISTING BRICK WALL	
EXISTING STEEL STRUCTURE	
WINDOW	
DOOR	

- NOTE:**
- MASONRY WALLS BELOW GRADE WILL BE CONSTRUCTED OF STEEL REINFORCED 8" THICK CONCRETE MASONRY UNITS ONLY.
  - MASONRY WALLS ABOVE GRADE WILL BE CONSTRUCTED OF STEEL REINFORCED 4" THICK CONCRETE MASONRY UNITS ON THE INSIDE AND 4" THICK CLAY BRICK ON THE OUTSIDE.
  - FLOOR SLABS WILL BE CONSTRUCTED OF STEEL REINFORCED 4" THICK CAST-IN-PLACE CONCRETE.
  - FOUNDATIONS WILL BE CONSTRUCTED OF STEEL REINFORCED 12" THICK CAST-IN-PLACE CONCRETE.
  - ROOF WILL BE CONSTRUCTED OF 2X WOOD JOISTS WITH PLYWOOD SHEATHING AND COVERED WITH TORCHED DOWN MINERAL SURFACED ROLL ROOFING OR EQUIVALENT.

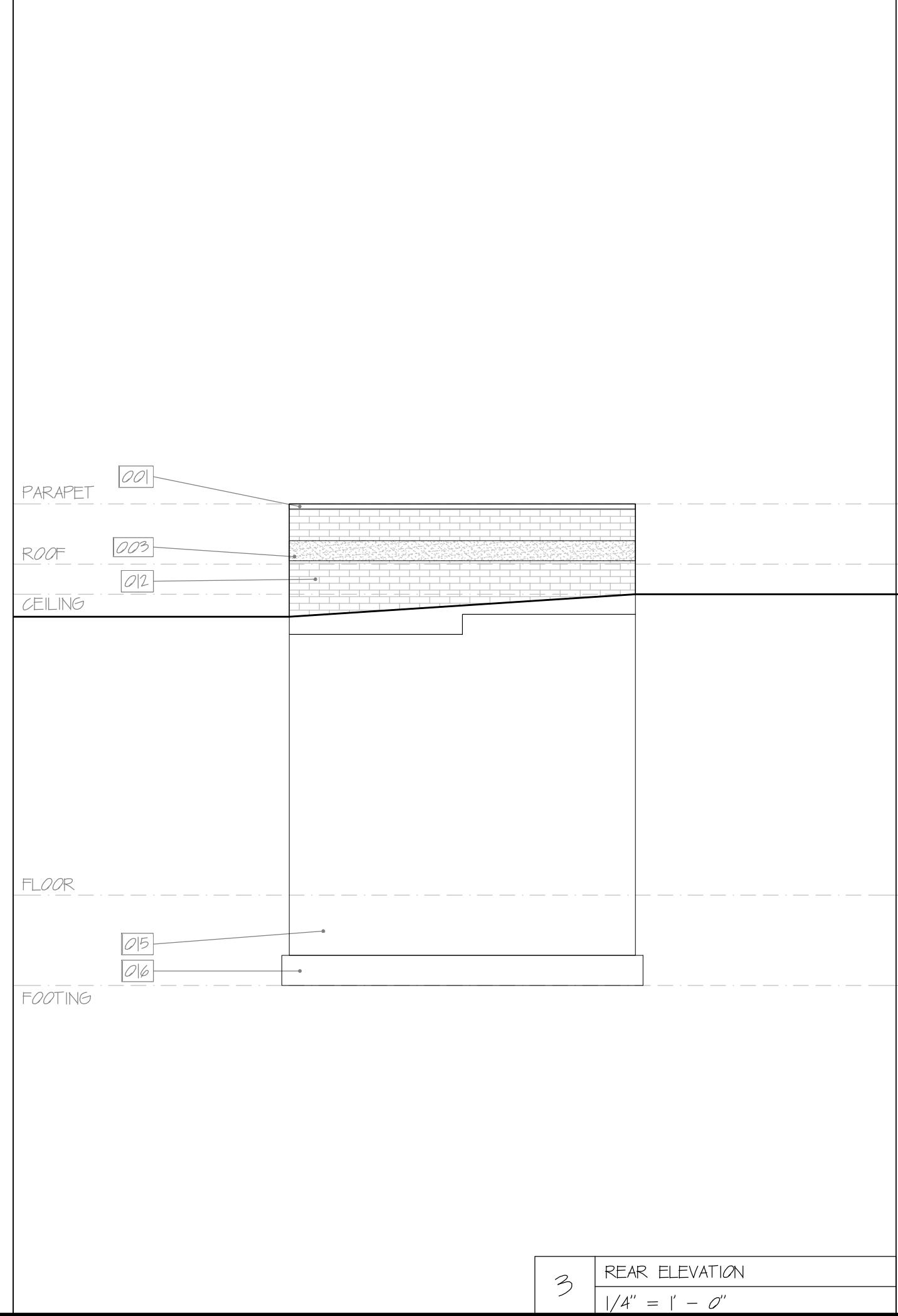


1 FRONT ELEVATION  
1/4" = 1' - 0"

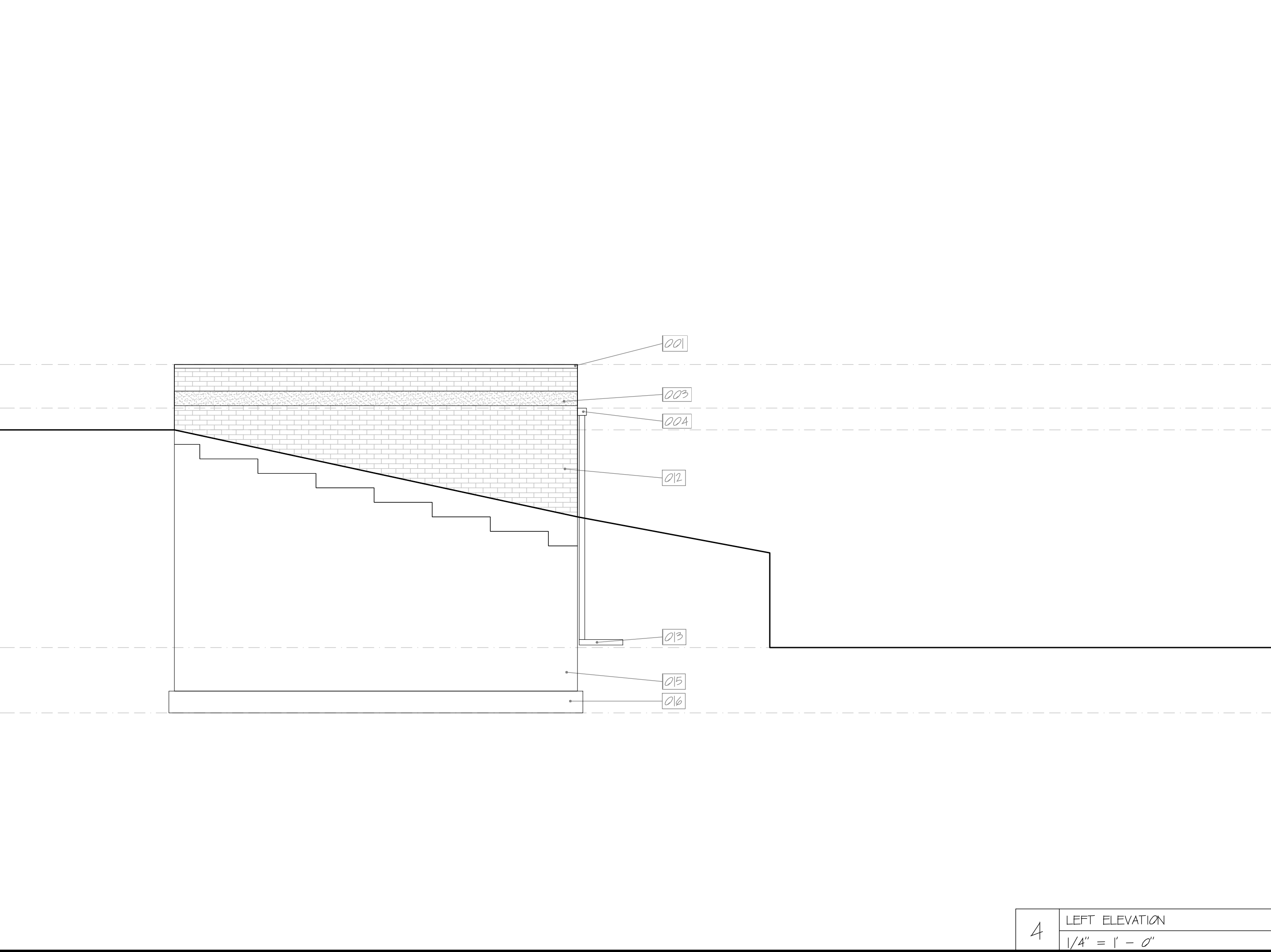


2 RIGHT ELEVATION  
1/4" = 1' - 0"

- KEY NOTES**
- WALL CAP FLASHING: BRAZED AND SEALED COPPER 20 GAGE SHEET METAL.
  - SCUPPER FLASHING: BRAZED AND SEALED COPPER 20 GAGE SHEET METAL.
  - DECORATIVE BAND: 4" THICK PRECAST REINFORCED COLORED CONCRETE.
  - GUTTER: 6" DIAMETER HALF ROUND COPPER 20 GAGE SHEET METAL.
  - LIGHT FIXTURE: FACTORY FINISHED METAL AND GLASS.
  - DOWNSCOUT: 4" DIAMETER ROUND COPPER 20 GAGE SHEET METAL.
  - DECORATIVE LINTEL: 4" THICK PRECAST REINFORCED COLORED CONCRETE.
  - DOOR HINGE: FACTORY FINISHED METAL.
  - GARAGE DOOR: STAINED AND SEALED 2" WOOD SIDE HINGED DOUBLE DOORS WITH METAL REINFORCED JOINTS.
  - DOOR HANDLE: FACTORY FINISHED METAL.
  - DOOR LOCK: PREFABRICATED DISC LOCK GLASS PAINTED BLACK.
  - EXTERIOR WALL EXTERIOR WYTHE: 4" THICK CLAY MASONRY UNIT (STANDARD FACE BRICK) WITH FLUSH STRUCK MORTAR JOINTS.
  - LEADER: PREFABRICATED FLEXIBLE BLACK PLASTIC PIPE.
  - DRIVEWAY AND APRON: BROOM FINISHED SEALED STEEL REINFORCED 4" THICK CAST-IN-PLACE CONCRETE SLAB-ON-GRADE.
  - FOUNDATION: STEEL REINFORCED GROUT FILLED 8" THICK CONCRETE MASONRY UNIT WALL.
  - FOOTING: STEEL REINFORCED 12" THICK CAST-IN-PLACE CONCRETE MAT.



3 REAR ELEVATION  
1/4" = 1' - 0"

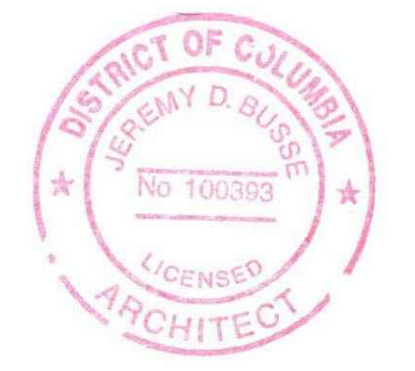


4 LEFT ELEVATION  
1/4" = 1' - 0"

APPROVAL STAMPS:

SEAL:  
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• DC, #ARC100393, EXP. 2024-04-30

*Jeremy Busse*



ARCHITECT:

**ADVANCED BUILDING DESIGN architects**

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#1	DRAFT CONCEPT A	07/21/22
#2	PERMIT APPLICATION	08/18/22

GRAPHIC SCALE:

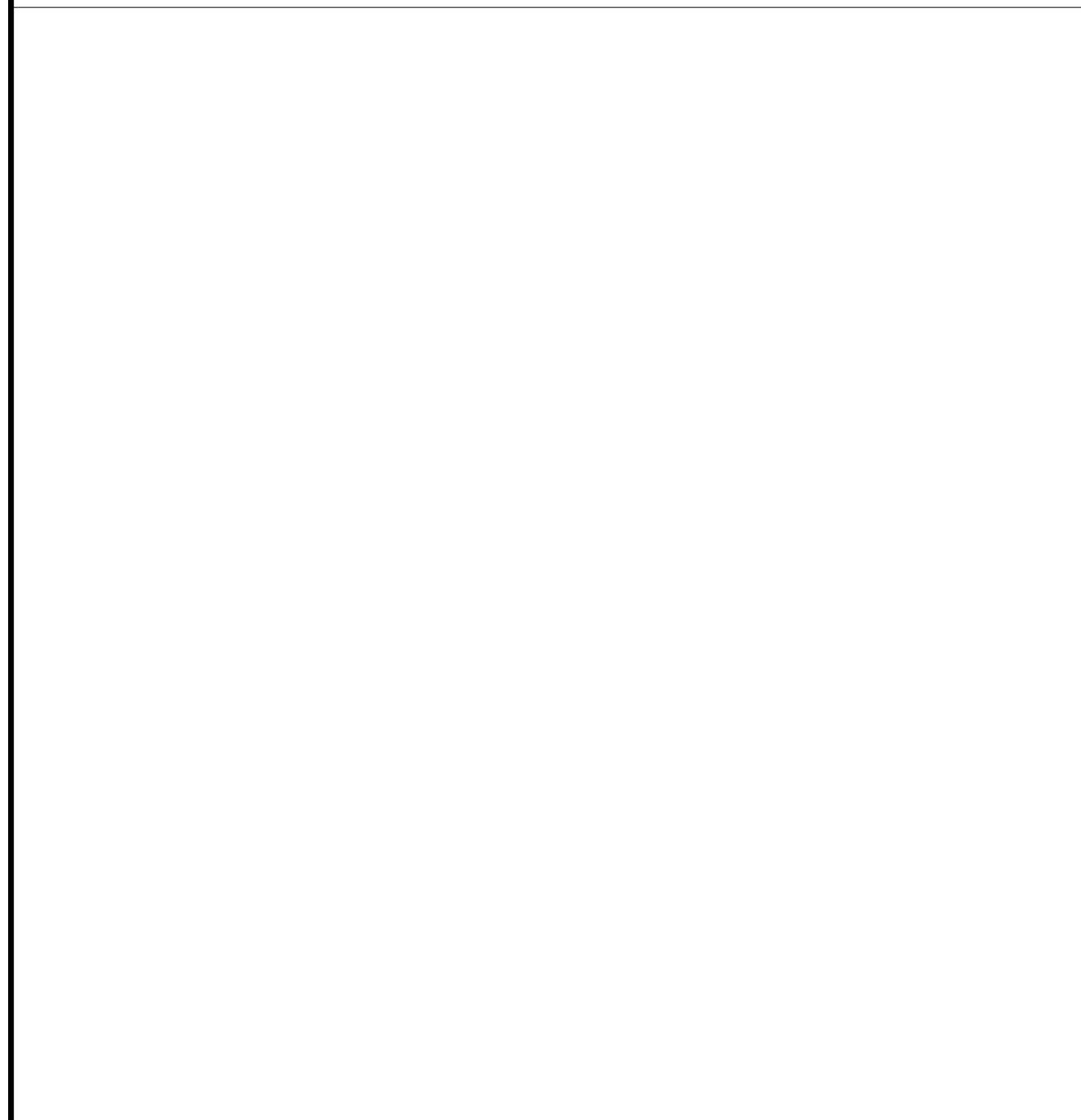
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DRAWING:  
EXTERIOR ELEVATION

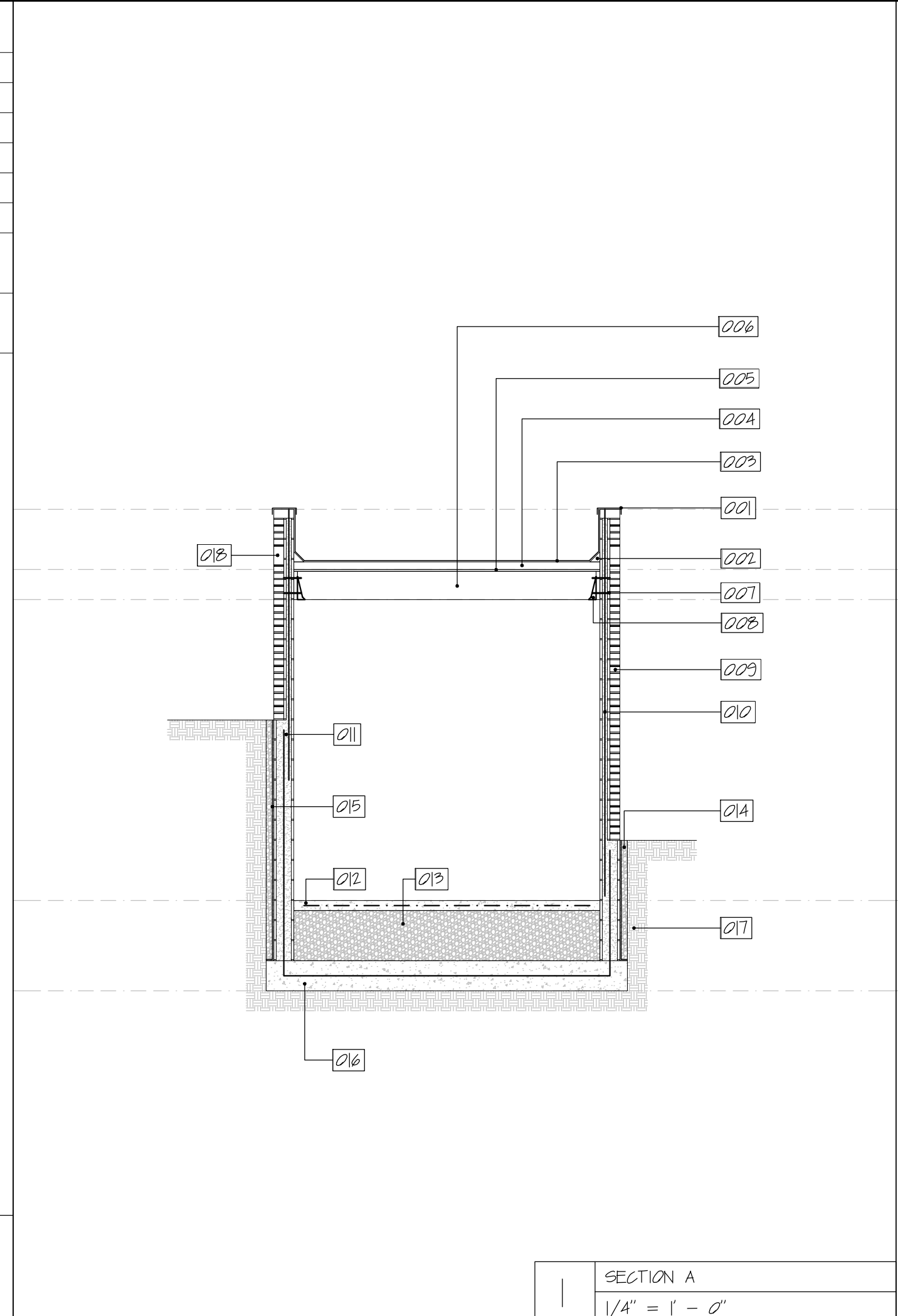
SHEET NO.:  
A-301

LEGEND

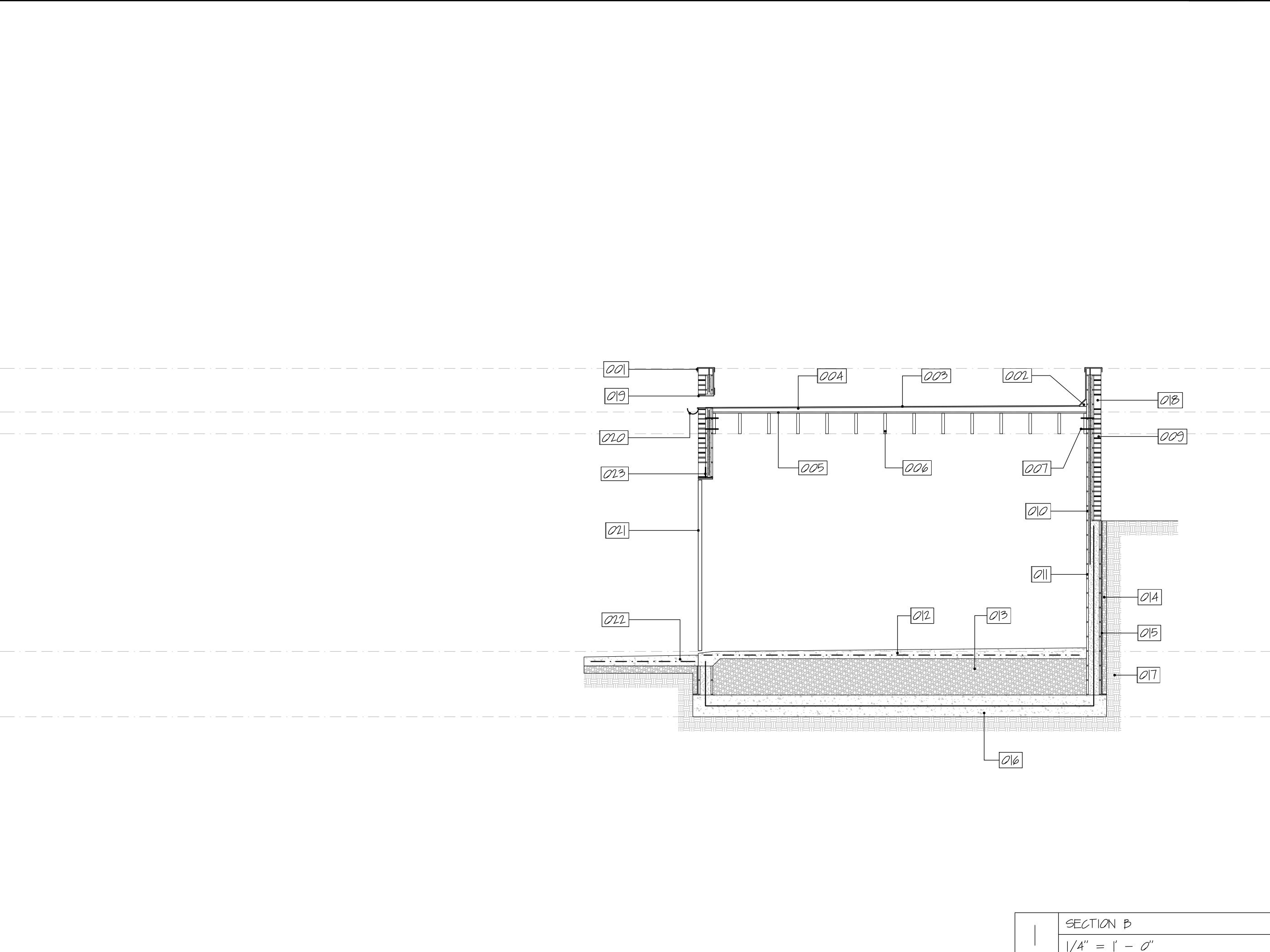
EXISTING WOOD FRAMED WALL (L.D.)	
EXISTING WOOD FRAMED PARTITION (N.L.D.)	
DEMOLISHED WALL	
EXISTING CONCRETE MASONRY UNIT WALL	
EXISTING BRICK WALL	
EXISTING STEEL STRUCTURE	
WINDOW	
DOOR	



- KEY NOTES
1. WALL CAP: BRAZED AND SEALED 20 GAGE COPPER SHEET METAL.
  2. CRICKET: 4X4 WOOD CUT TO 45 DEGREE ANGLE AT ALL INSIDE CORNERS.
  3. ROOF COVERING: MINERAL SURFACE ROLL ROOFING TORCHED DOWN.
  4. RIGID INSULATION: TAPERED POLYURETHANE SHEETS SLOPED TOWARD SCUPPER DRAINS.
  5. PLYWOOD ROOF SHEATHING: 3/4" TONGUE AND GROOVE CDX PLYWOOD SHEATHING.
  6. ROOF JOIST: 2X10 WOOD BOARDS SPACED 16" ON CENTER.
  7. ANCHOR BOLTS: 1/2" DIAMETER 7" LONG THREADED ROD SECURED TO MASONRY WITH STRUCTURAL EPOXY, SPACED 8" ON CENTER, STAGGERED TOP AND BOTTOM, SET 2" CLEAR FROM EDGE OF BOARDS.
  8. JOIST HANGER: FACE MOUNT GALVANIZED STEEL HANGERS SECURED WITH HANGER NAILS.
  9. EXTERIOR WALL EXTERIOR WYTHE: 4" THICK CLAY MASONRY UNIT (STANDARD FACE BRICK) WITH FLUSH STRUCK MORTAR JOINTS.
  10. EXTERIOR WALL INTERIOR WYTHE: 4" THICK CONCRETE MASONRY UNITS WITH STEEL REINFORCEMENT SPACED 16" ON CENTER WITH ALL CELLS FULLY GROUTED.
  11. FOUNDATION WALL: STEEL REINFORCED GROUT FILLED 8" THICK CONCRETE MASONRY UNITS.
  12. FLOOR: SMOOTH TROWEL FINISHED SEALED STEEL REINFORCED CAST-IN-PLACE 4" THICK CONCRETE SLAB-ON-GRADE.
  13. SUB-SLAB BASE COURSE: 3/4" WASHED GRAVEL COMPACTED TO SUPPORT FLOOR SLAB.
  14. BACKFILL: 3/4" WASHED GRAVEL LOOSE FILLED BETWEEN WALL AND SOILS.
  15. WATER PROOFING: ROLLED UP LIQUID APPLIED BITUMINOUS MEMBRANE APPLIED TO FACE OF CONCRETE MASONRY UNITS.
  16. FOOTING: STEEL REINFORCED CAST-IN-PLACE 12" THICK CONCRETE MAT.
  17. EXISTING SOIL: NATURAL UNDISTURBED OR COMPACTED SOILS, FREE OF EXPANSIVE OR ORGANIC MATTER.
  18. DECORATIVE BAND: 4" THICK 8" TALL PRECAST CONCRETE BAND.
  19. SCUPPER FLASHING: BRAZED AND SEALED COPPER 20 GAGE SHEET METAL.
  20. GUTTER: 6" DIAMETER HALF ROUND COPPER 20 GAGE SHEET METAL.
  21. GARAGE DOOR: STAINED AND SEALED 2" THICK WOOD SIDE HINGED DOUBLE DOORS WITH METAL REINFORCED JOINTS.
  22. DRIVEWAY PAVEMENT: BROOM FINISHED SEALED STEEL REINFORCED 4" THICK CAST-IN-PLACE CONCRETE SLAB-ON-GRADE.
  23. LINTEL: (2) 3 1/2 X 5 1/2 X 3/8 STEEL "L" SHAPED PIECES SET 8" BEARING ON MASONRY EACH END.



SECTION A  
1/4" = 1' - 0"

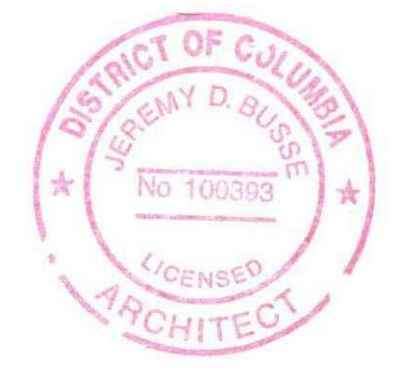


SECTION B  
1/4" = 1' - 0"

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DRAWING:  
SECTION A

SHEET NO.:  
A-901