

3432 NEWARK STREET, NW

WASHINGTON, DC | 09.16.2025



PROJECT NARRATIVE

This proposal is for the conversion of an existing shed into a 2-car garage located in the rear yard of a single-family home in Cleveland Park. We plan to permit the allowable 450 sqft accessory building (Phase 1).

We would like to request a variance from the Board of Zoning Adjustment to expand the permitted 450 sqft 2-car garage (Phase 1) to 588 sqft to make it more usable (Phase 2).

LIST OF DRAWINGS

- 1. Cover
- 2. Location Plan & Context Photos
- 3. Existing Conditions & Photos
- 4. Existing Conditions & Photos
- 5. Existing Conditions & Photos
- 6. Site Plan & Zoning
- 7. Existing Garage Plans & Elevations
- 8. Permitted Garage Plans (Phase 1)
- 9. Permitted Garage Elevations (Phase 1)
- 10. Proposed Garage Plans (Phase 1)
- 11. Proposed Garage Elevations (Phase 2)



EXISTING CONDITIONS PHOTOS

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NORTH ELEVATION, SHED @ REAR YARD



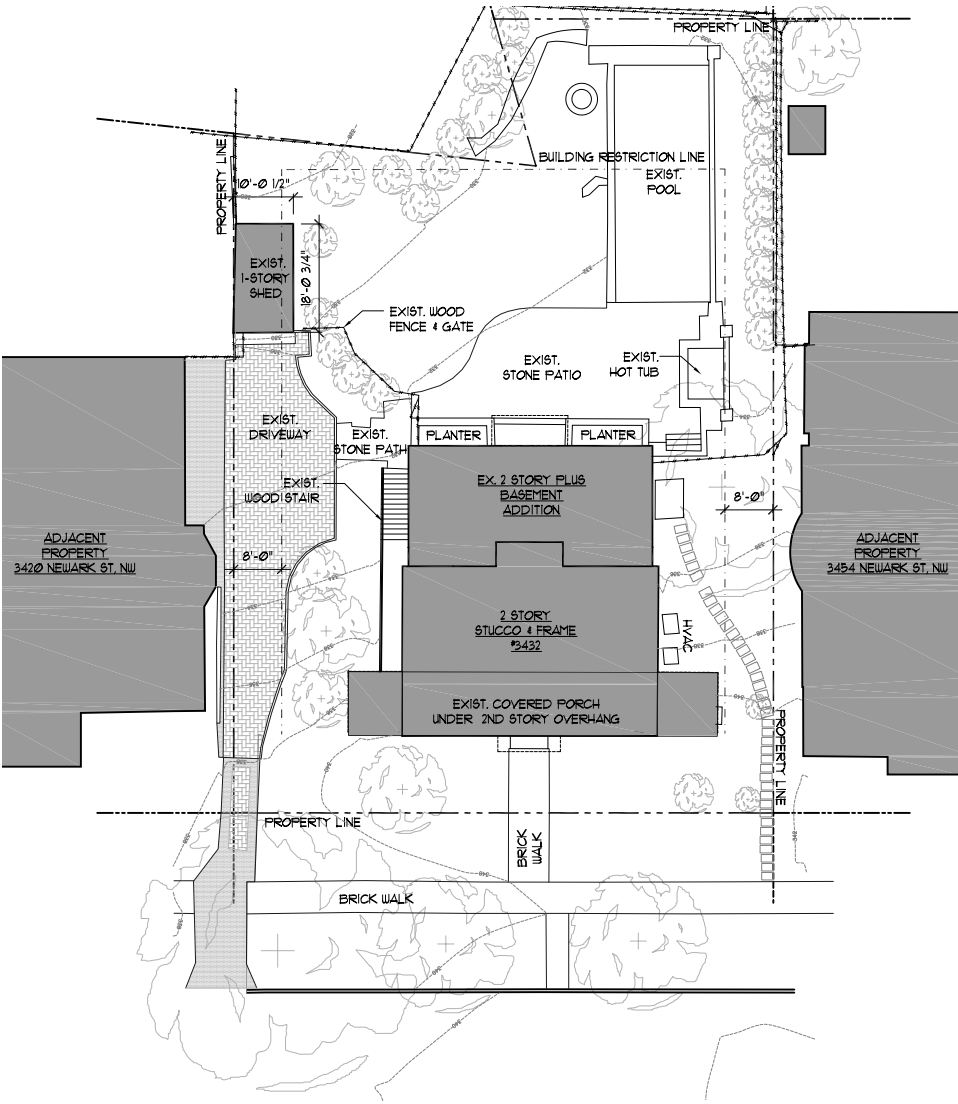
WEST ELEVATION, SHED @ REAR YARD



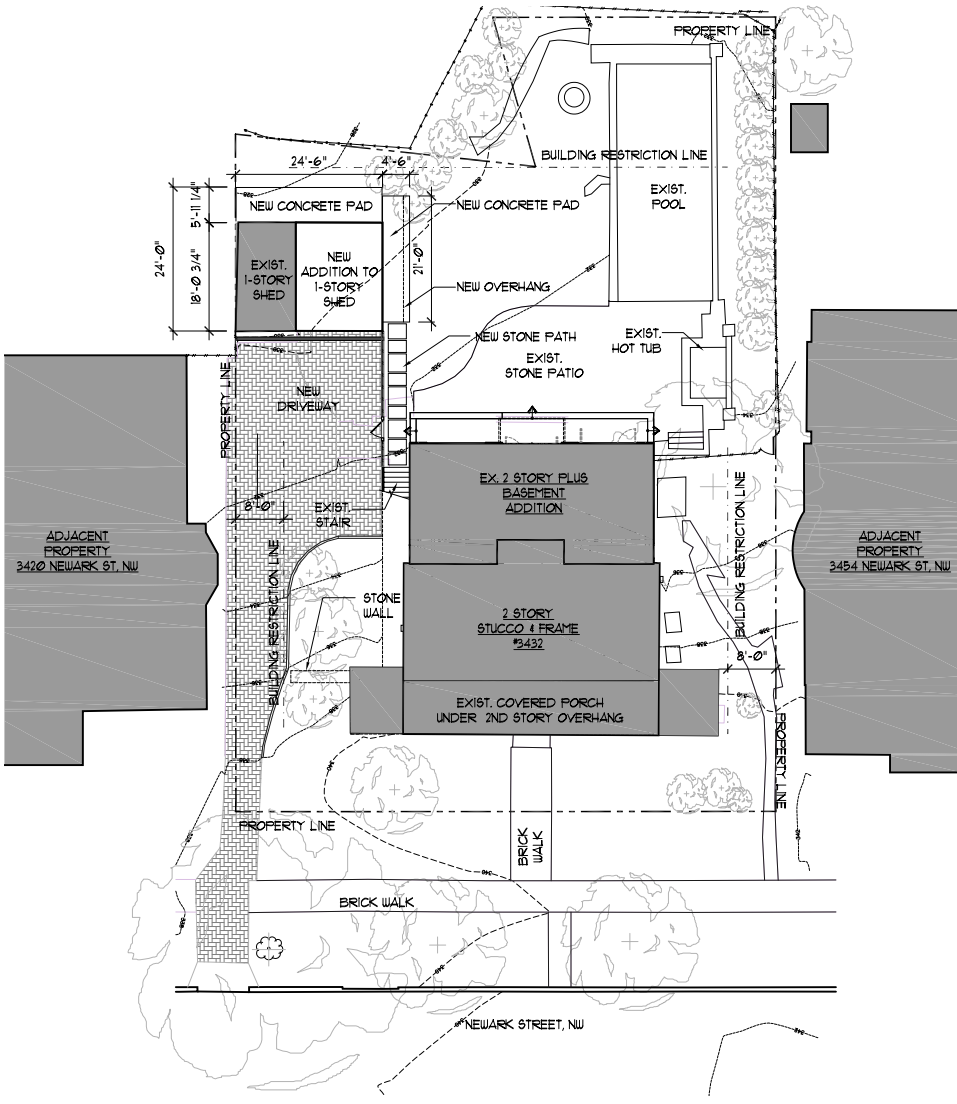
SOUTH ELEVATION, SHED @ REAR YARD



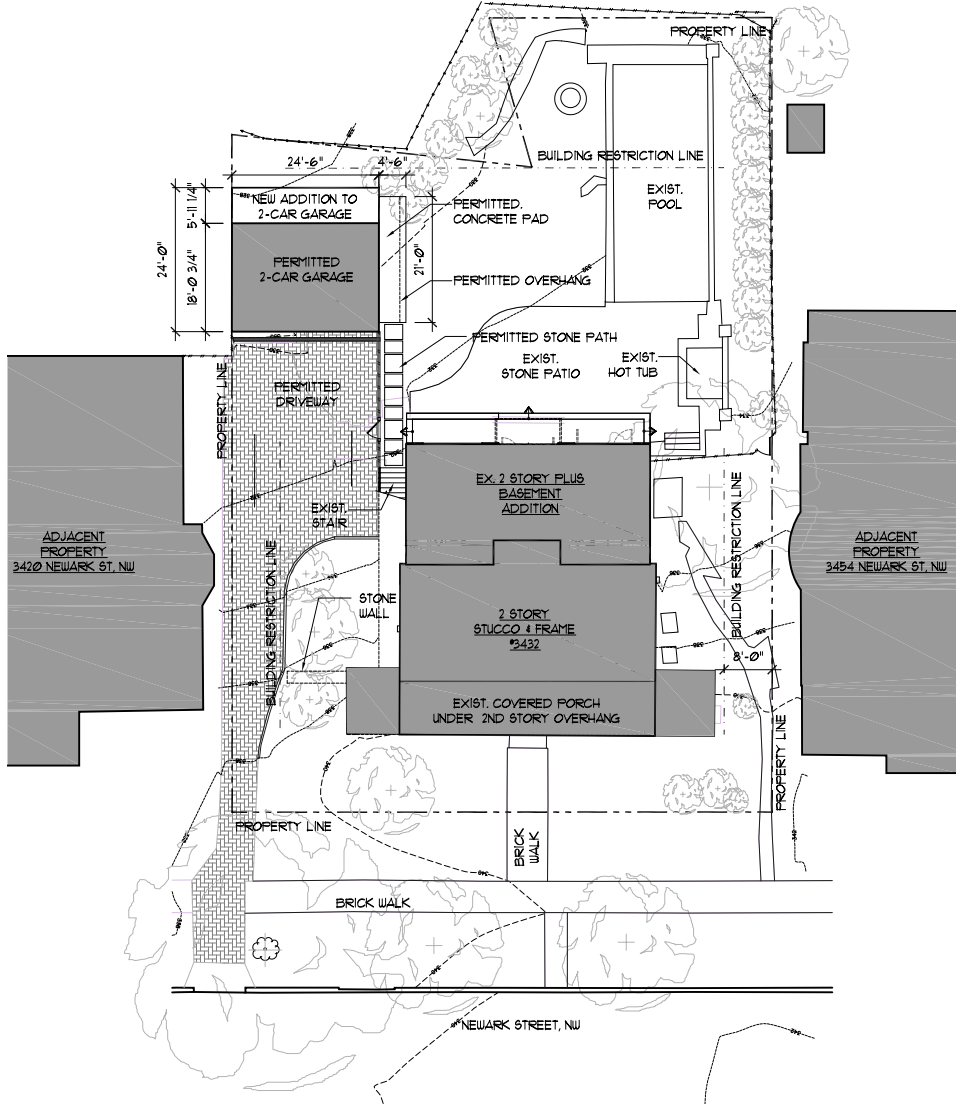
SITE PLAN & ZONING  
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1 SITE PLAN - EXISTING SHED  
SCALE: 1/32" = 1'-0"



2 SITE PLAN - PERMITTED GARAGE (PHASE 1)  
SCALE: 1/32" = 1'-0"

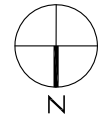


3 SITE PLAN - BZA PROPOSED GARAGE (PHASE 2)  
SCALE: 1/32" = 1'-0"

ACCESSORY BUILDING ZONING NOTES:

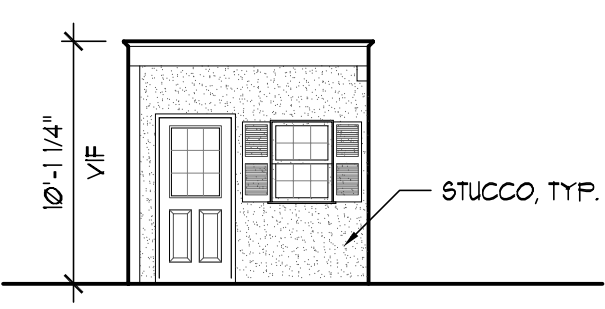
Square 2078, Lot 48	Existing Lot Coverage: 22.5% (2,450 SF)
Zone: R-1B	Allowable Lot Coverage: 40% (4,360 SF)
Lot Area: 10,900 SF	Permitted Garage Lot Coverage (Phase 1): 26.4% (2,882 SF)
	BZA Proposed Garage Lot Coverage (Phase 2): 27.8% (3,025 SF)

Garage is not located in the required rear or side yard.  
Side Yard Setback: 0' (unchanged)  
Allowable Building Height: 22'-0" (2-stories)  
Proposed Building Height: 10'-9" (1-story)

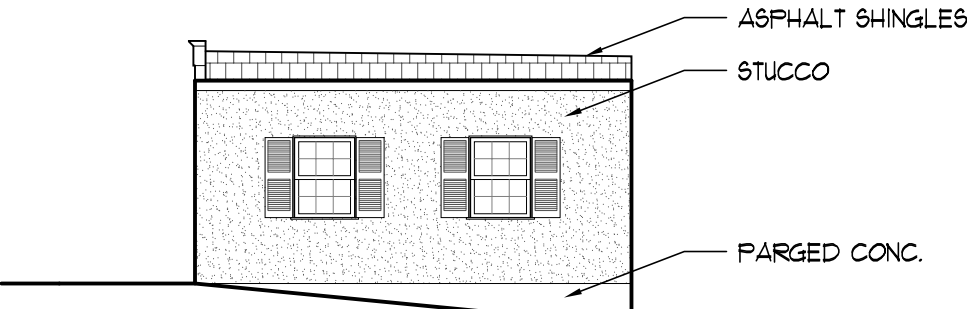


EXISTING GARAGE - PLANS & ELEVATIONS

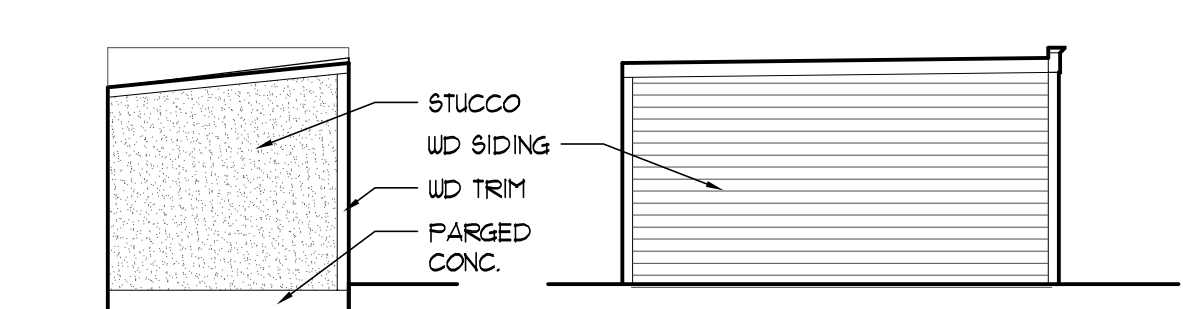
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6 NORTH ELEVATION - EXIST.  
SCALE: 1/8" = 1'-0"

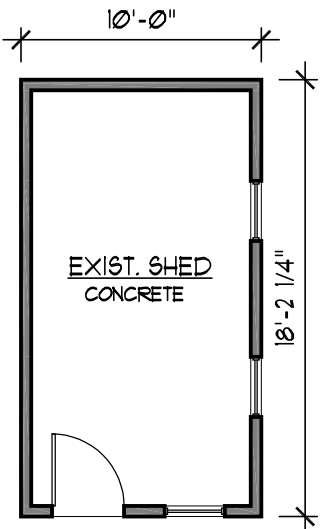


5 WEST ELEVATION - EXIST.  
SCALE: 1/8" = 1'-0"

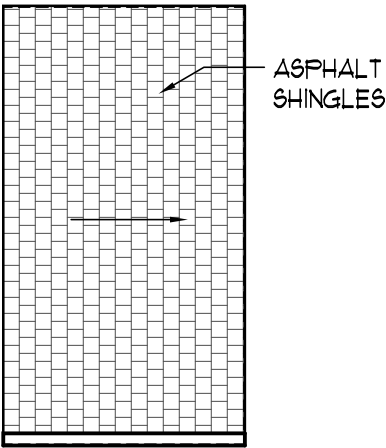


4 SOUTH ELEVATION - EXIST.  
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION - EXIST.  
SCALE: 1/8" = 1'-0"



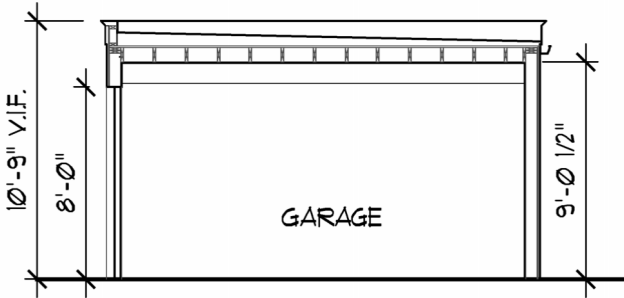
2 SHED FLOOR PLAN - EXIST.  
SCALE: 1/8" = 1'-0"



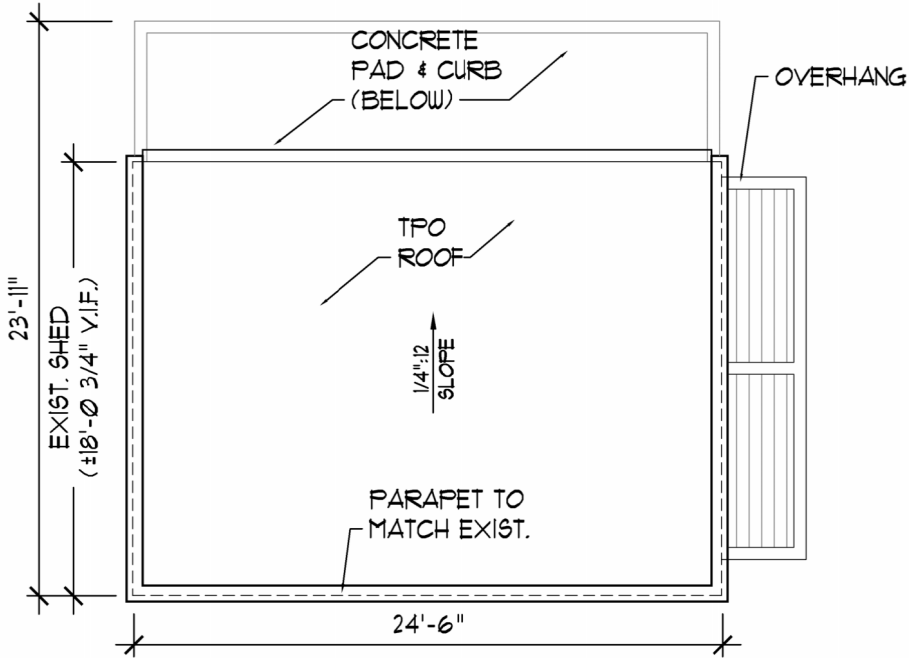
1 SHED ROOF PLAN - EXIST.  
SCALE: 1/8" = 1'-0"

PERMITTED GARAGE (PHASE 1) - PLANS & SECTION

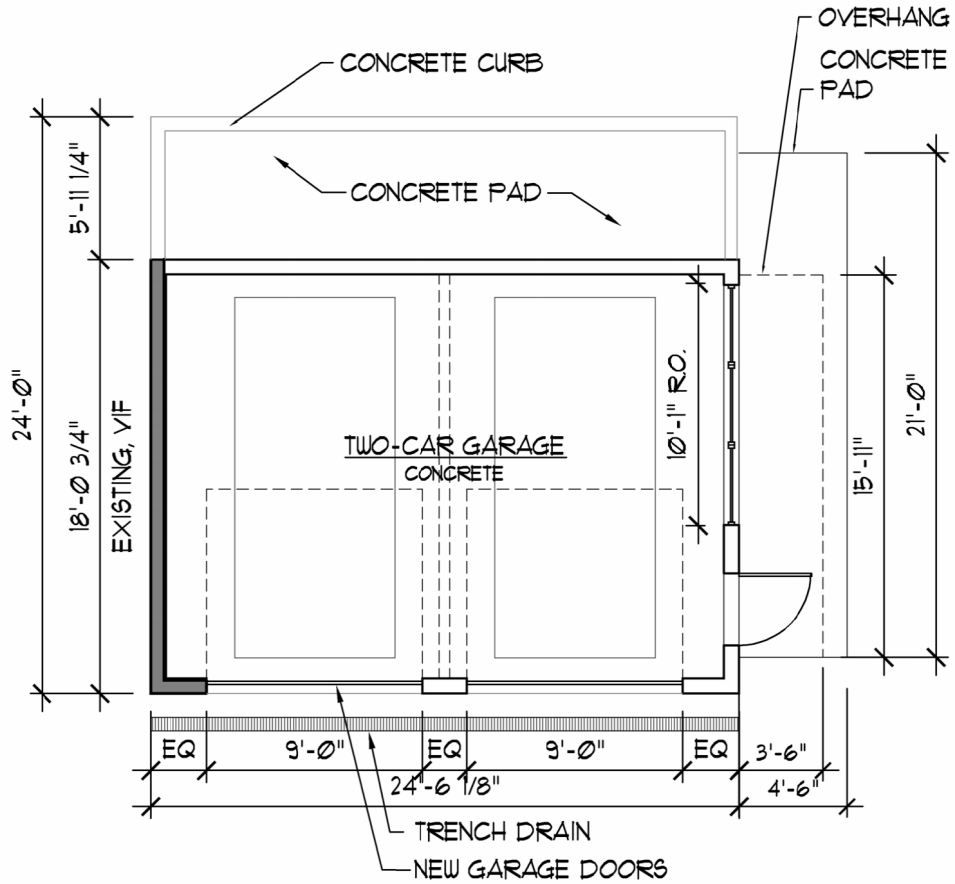
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3 GARAGE SECTION - PERMITTED  
SCALE: 1/8" = 1'-0"



2 GARAGE ROOF PLAN - PERMITTED  
SCALE: 1/8" = 1'-0"



1 GARAGE FLOOR PLAN - PERMITTED  
SCALE: 1/8" = 1'-0"

KEY:

- EXISTING WALLS
- NEW WALLS



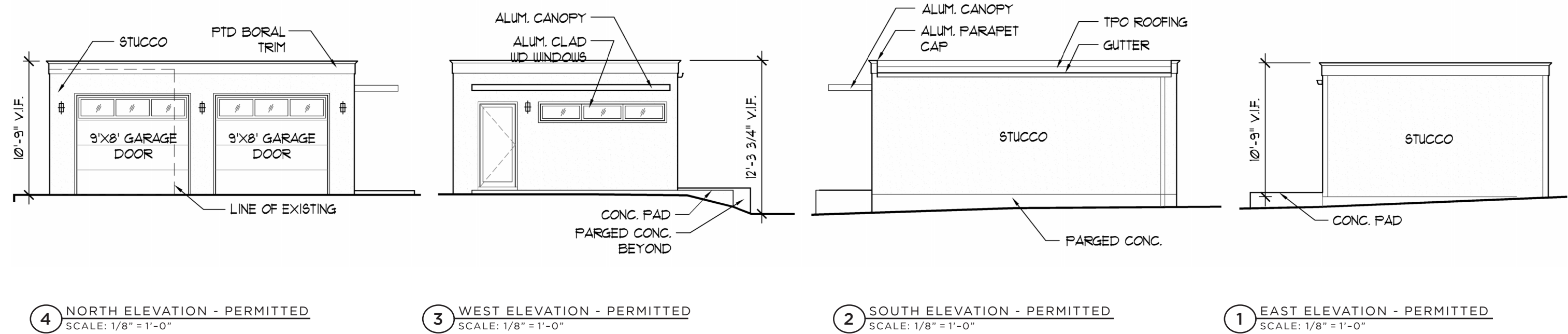
PERMITTED GARAGE (PHASE 1) - ELEVATIONS

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KEY:

EXISTING WALLS

NEW WALLS



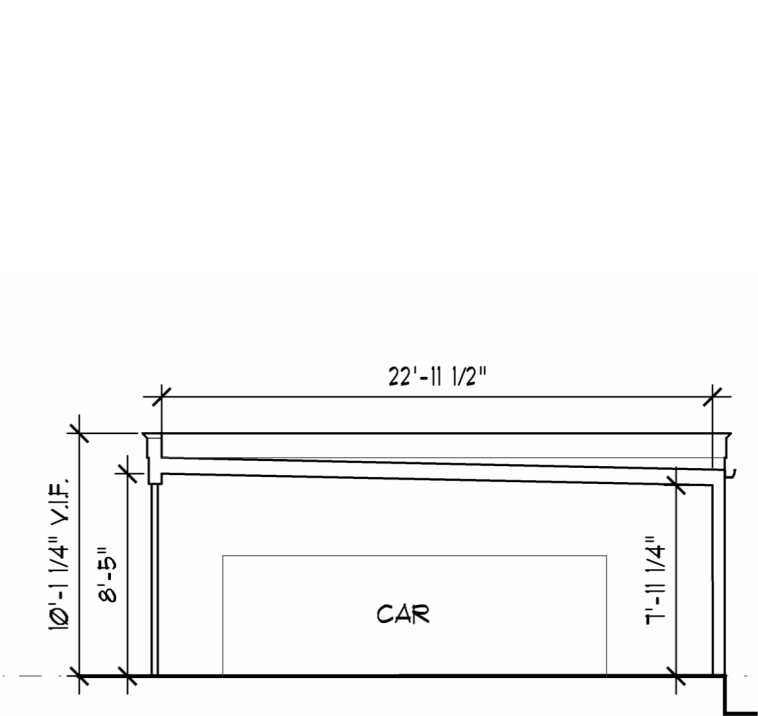
PROPOSED GARAGE (PHASE 2) - PLANS & SECTION

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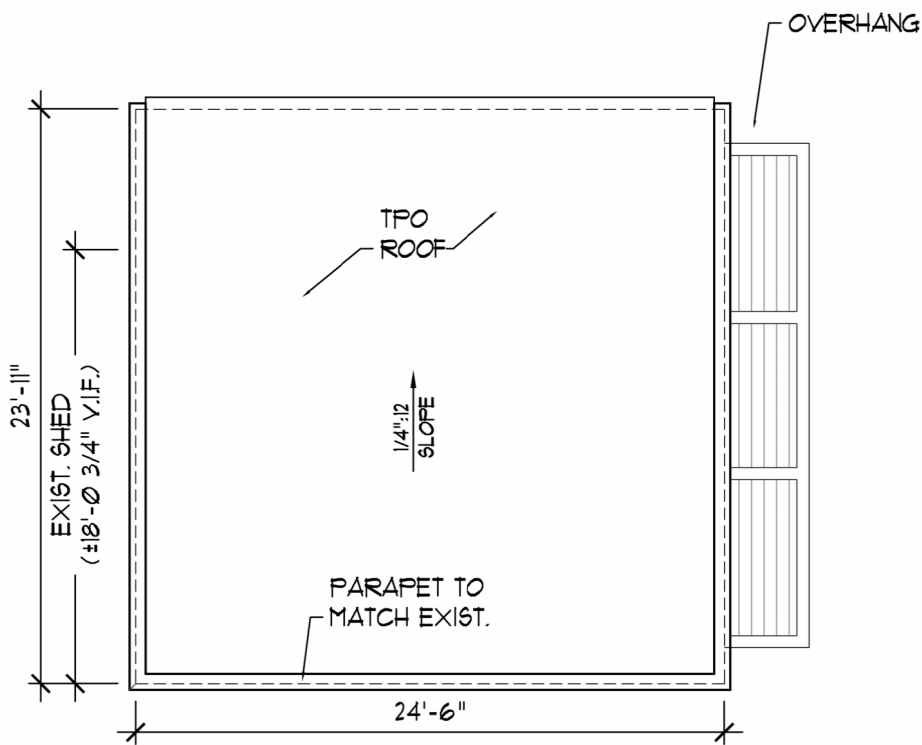
KEY:

EXISTING WALLS

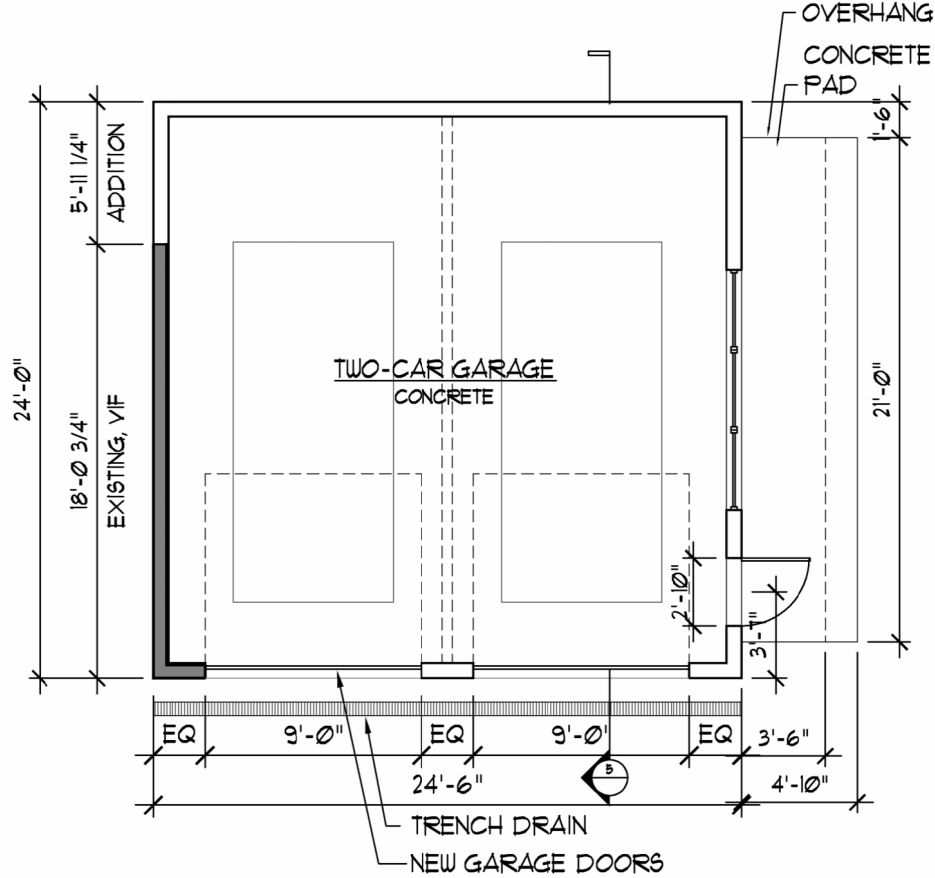
NEW WALLS



3 GARAGE SECTION - PROPOSED  
SCALE: 1/8" = 1'-0"



2 GARAGE ROOF PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



1 GARAGE FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"

PROPOSED GARAGE (PHASE 2) - ELEVATIONS

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KEY:

EXISTING WALLS

NEW WALLS

