

932 SHEPHERD ST  
NW WASHINGTON DC  
20011

LOT: 0839                      SQUARE: 2906

RESIDENTIAL ROW  
BUILDING

PROJECT CODE -

OWNER  
1124 MORSE LLC  
  
OWNER ADDRESS  
41649 WHITE YARROW CT  
ASHBURN VA 20148

PROPERTY ADDRESS  
932 SHEPHERD ST NW  
WASHINGTON DC 20011

Square, Suffix, Lot  
2906 0839

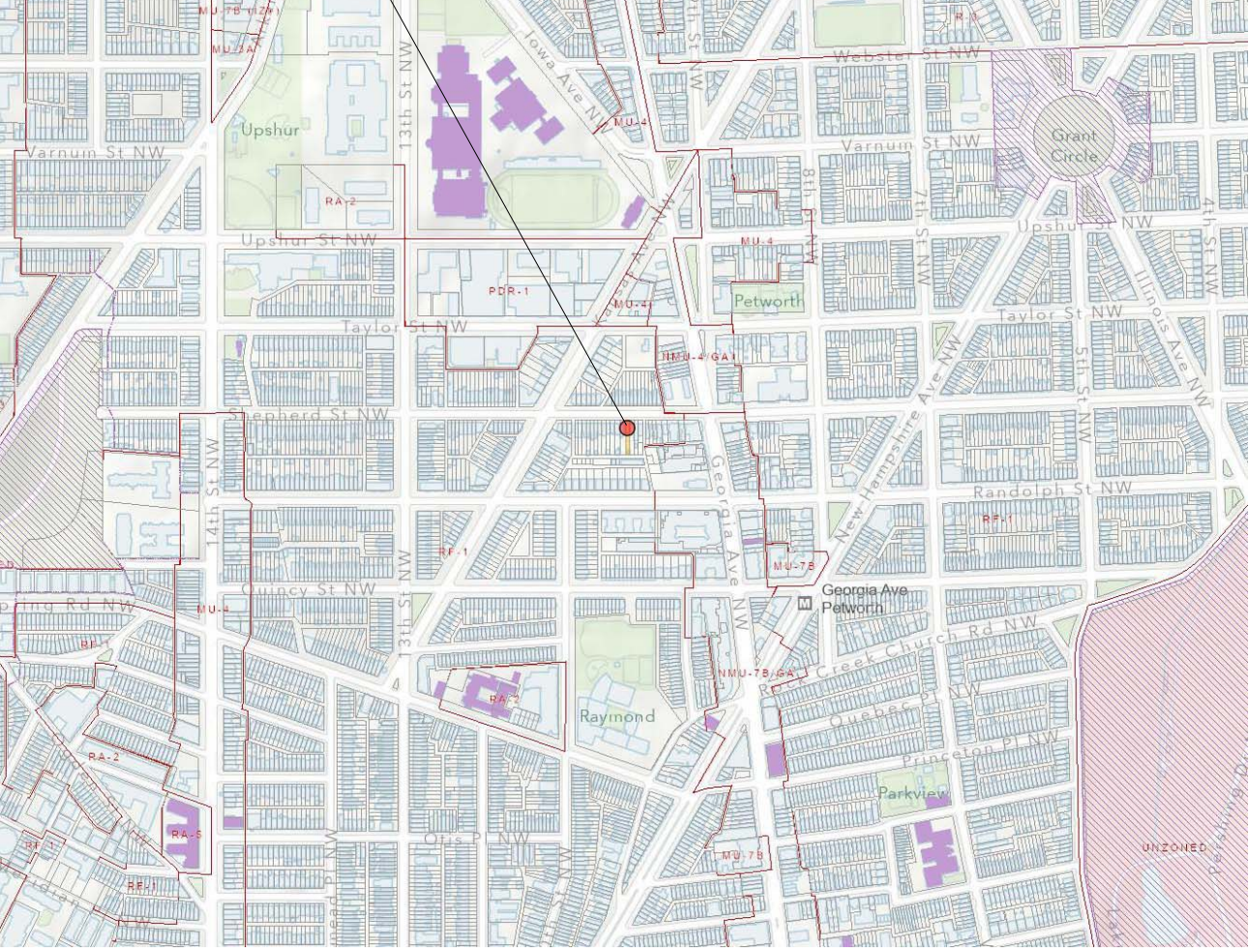
PROJECT DESIGN TEAM  
ONE DESIGN SERVICES

932 SHEPHERD ST NW  
WASHINGTON DC 20011  
BZA PACKAGE

LOCATION



VICINITY MAP



SYMBOLS

ABBREVIATIONS

<div>PLAN DETAIL REFERENCE</div> <div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div></div> <div>ELEVATION REFERENCE</div> <div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div></div> <div>SECTION REFERENCE</div> <div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div><div><div><div></div><div></div></div><div>DETAIL REFERENCE SHEET NUMBER</div></div></div> <div><div><div></div><div></div></div><div>EXISTING WALL TO BE REMOVED</div></div> <div><div><div></div><div></div></div><div>EXISTING WALL TO REMAIN</div></div> <div><div><div></div><div></div></div><div>NEW BRICK WALL</div></div> <div><div><div></div><div></div></div><div>NEW CMU WALL</div></div> <div><div><div></div><div></div></div><div>NEW STUD WALL</div></div>		<div>DOOR DESIGNATION</div> <div><div><div></div><div></div></div><div>WINDOW DESIGNATION</div></div> <div><div><div></div><div></div></div><div>PARTITION TYPE</div></div> <div><div><div></div><div></div></div><div>KEY NOTE</div></div> <div><div><div></div><div></div></div><div>ROOM NUMBER</div></div> <div><div><div></div><div></div></div><div>FIXTURE TYPE</div></div> <div><div><div></div><div></div></div><div>ELEVATION MARKER</div></div> <div><div><div></div><div></div></div><div>INTERIOR ELEVATION DESIGNATION</div></div> <div><div><div></div><div></div></div><div>ROOF SLOPE DIRECTION</div></div>		<div>AFF</div> <div>ABOVE FINISH FLOOR</div> <div>AA</div> <div>ALL AROUND</div> <div>ACOUS</div> <div>ACOUSTICAL</div> <div>AOT</div> <div>ACOUSTICAL CEILING TILE</div> <div>ADJ</div> <div>ADJUSTABLE</div> <div>ALUM</div> <div>ALUMINUM</div> <div>ANOD</div> <div>ANODIZED</div> <div>BD</div> <div>BOARD</div> <div>BLKG</div> <div>BLOCKING</div> <div>BS</div> <div>BOTH SIDES</div> <div>&lt;</div> <div>CENTER LINE</div> <div>CLG</div> <div>CEILING</div> <div>CMU</div> <div>CONCRETE MASONRY UNIT</div> <div>CONT</div> <div>CONTINUOUS</div> <div>DIA</div> <div>DIAMETER</div> <div>DIM</div> <div>DIMENSION</div> <div>DN</div> <div>DOWN</div> <div>DOUG</div> <div>DOUGLAS</div> <div>DR</div> <div>DOOR</div> <div>DTL</div> <div>DETAIL</div> <div>DWG</div> <div>DRAWING</div> <div>ELEC</div> <div>ELECTRICAL</div> <div>ELEV</div> <div>ELEVATION</div> <div>EQ</div> <div>EQUAL</div> <div>EQUIP</div> <div>EQUIPMENT</div> <div>EXST.</div> <div>EXISTING</div> <div>FF</div> <div>FINISH FLOOR</div> <div>FIXT</div> <div>FIXTURE</div> <div>FLR</div> <div>FLOOR</div> <div>FLUOR</div> <div>FLUORESCENT</div> <div>GFI</div> <div>GROUND FAULT INTERRUPTER</div> <div>GC</div> <div>GENERAL CONTRACTOR</div> <div>GL</div> <div>GLAZING</div> <div>GYP</div> <div>GYPSPUM</div> <div>GWB</div> <div>GYPSPUM WALL BOARD</div> <div>HDWR</div> <div>HARDWARE</div> <div>HM</div> <div>HOLLOW METAL</div>	<div>MAT</div> <div>MATERIAL</div> <div>MAX</div> <div>MAXIMUM</div> <div>MC</div> <div>MILLWORK CONTRACTOR</div> <div>MDF</div> <div>MEDIUM DENSITY FIBERBOARD</div> <div>MDO</div> <div>MEDIUM DENSITY OVERLAY</div> <div>MECH</div> <div>MECHANICAL</div> <div>MIN</div> <div>MINIMUM</div> <div>MISC</div> <div>MISCELLANEOUS</div> <div>MILDG</div> <div>MOLDING</div> <div>MO</div> <div>MASONRY OPENING</div> <div>MTD</div> <div>MOUNTED</div> <div>MTL</div> <div>METAL</div> <div>OC</div> <div>ON CENTER</div> <div>OPP</div> <div>OPPOSITE</div> <div>PLYWD</div> <div>PLYWOOD</div> <div>PL</div> <div>PLATE</div> <div>POL</div> <div>POLISHED</div> <div>PTD</div> <div>PAINTED</div> <div>RCP</div> <div>REFLECTED CEILING PLAN</div> <div>RND</div> <div>ROUND</div> <div>RO</div> <div>ROUGH OPENING</div> <div>SC</div> <div>SOLID CORE</div> <div>SIM</div> <div>SIMILAR</div> <div>SHT</div> <div>SHEET</div> <div>STND</div> <div>STAINED</div> <div>STL</div> <div>STEEL</div> <div>STOR</div> <div>STORAGE</div> <div>TEL</div> <div>TELEPHONE</div> <div>TYP</div> <div>TYPICAL</div> <div>TVE</div> <div>TO MATCH EXISTING</div> <div>UON</div> <div>UNLESS OTHERWISE NOTED</div> <div>VOT</div> <div>VINYL COMPOSITION TILE</div> <div>VERT</div> <div>VERTICAL</div> <div>VEN</div> <div>VENEEER</div> <div>VIF</div> <div>VERIFY IN FIELD</div> <div>VWC</div> <div>VINYL WALL COVERING</div> <div>W/</div> <div>WITH</div>
---	--	--	--	--	--

SCOPE OF WORKS

ADDITION, ALTERATION AND REPAIR  
ON A RESIDENTIAL ROW BUILDING. TO  
CONVERT UNIT TO 3 UNITS  
RESIDENTIAL.

- TO CONSTRUCT REAR ADDITION
- TO CONSTRUCT REAR DECK AND STAIR.
- TO CONSTRUCT THIRD FLOOR ADDITION AND ROOF DECK.
- TO UNDERPIN EXISTING CELLAR.
- TO INSTALL MEP ENTIRELY.
- TO CONSTRUCT PARKING PAD IN THE REAR YARD.
- TO REPLACE EXISTING FLOOR JOISTS IN PLACE.

DRAWING INDEX

Sheet List	
Sheet Number	Sheet Name
01	COVER
02	SITE PLANS
03	EXISTING DEMO LAYOUTS
04	PROPOSED LAYOUTS
05	ELEVATIONS
06	SECTION
07	AREA PLAN
08	LANDSCAPE SITE PLAN
09	SHADOW STUDY
10	SHADOW STUDY

FRONT PHOTO



ARIAL PHOTO

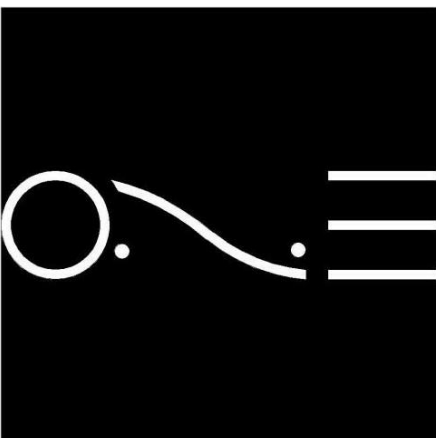


932 SHEPHERD ST

NW

DISTRICT OF COLUMBIA

20011



ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	MAY 2025

COVER

01

Board of Zoning Adjustment  
District of Columbia  
CASE NO. 21396  
EXHIBIT NO. 6

PROJECT DESIGN TEAM

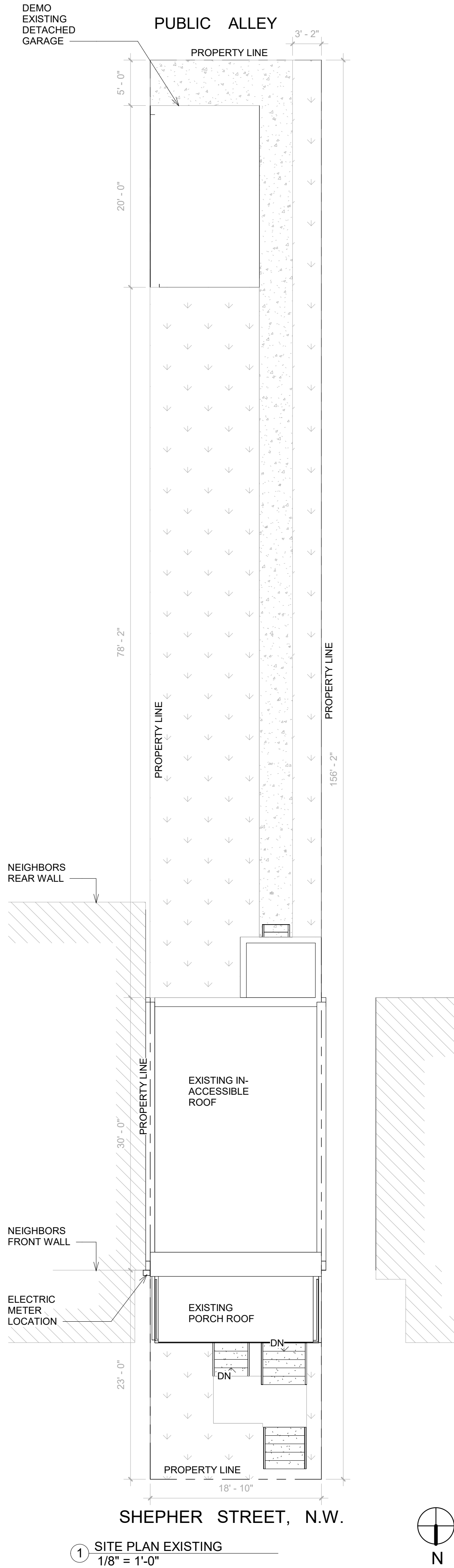
-IKECHEKWU AGBIM  
iagbim@gmail.com  
202-276-7796

-KHALID LAMAAFI  
allatmep@gmail.com  
512-621-2406

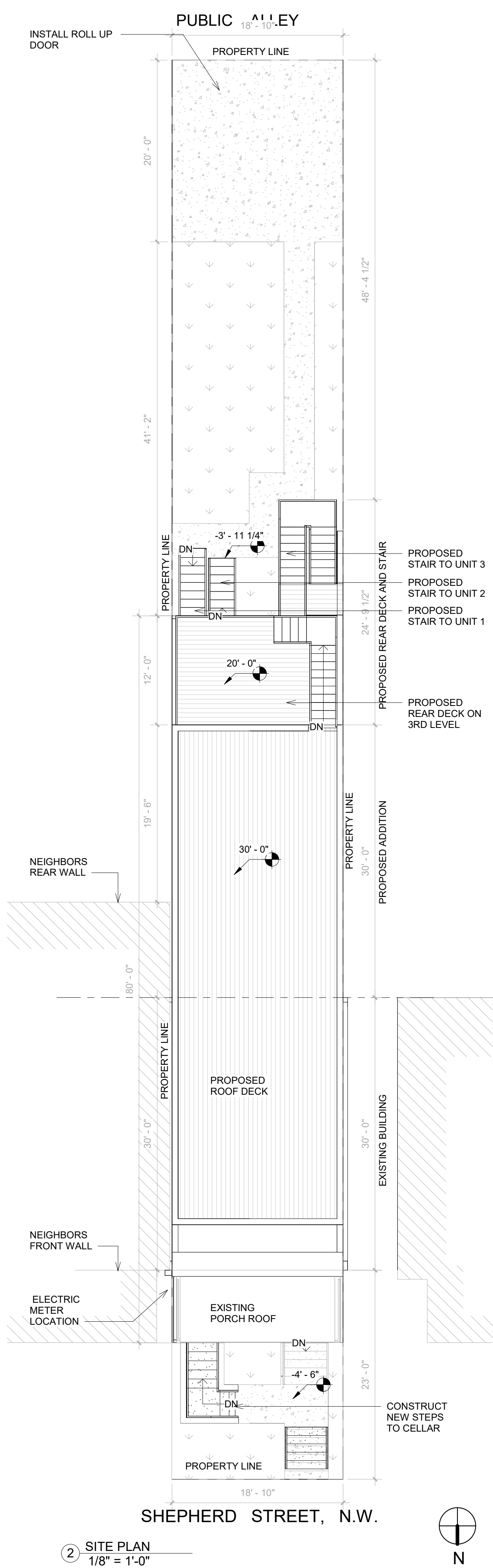
-DAGMAWI GEBREKIDAN  
dagi.abebe@gmail.com  
571-225-7211

-NASIR SIRAJ  
nas@makazoengineering.com  
202-853-2110





① SITE PLAN EXISTING  
1/8" = 1'-0"



② SITE PLAN  
1/8" = 1'-0"

GENERAL NOTES

GENERAL INFORMATION	EXISTING LOT	PROPOSED BUILDING
USE GROUP	R3	R3
TYPE OF CONSTRUCTION	VB	VB
FULLY SUPPRESSED (SPRINKLED)	NO	NO
LOT AREA	2939	2939
BUILDING FOOTPRINT	775	1630
		ABOVE GRADE: 1ST - 1130 SF
		TOTAL BUILDING SF - 1130 SF
		3RD - 1035 SF
		TOTAL = 3295 SF
		CELLAR - 1225 SF
		GFA = 4520 SF
BUILDING HEIGHT	2 story	34' -0" / 3 STORIES
NUMBER OF EXITS	3	3
SOUND TRANSMISSION	-	STC 52
SMOKE DETECTORS	YES	YES
CO DETECTORS	YES	YES
SPRINKLER	NO	YES
INSULATION		YES: EXTERIOR WALLS @ R19; ROOF @ R-49

GENERAL NOTES / ZONING CODE ANALYSIS

ZONING DISTRICT	RF-1	932 SHEPHERD ST NW WASHINGTON DC 20011
USE GROUP	R-3	TOTAL LOT AREA 2939_SF
LOT	0839	TOTAL LOT WIDTH
SQUARE	2906	137'-DEPTH & 18'-0" WIDTH

REQUIREMENT	EXISTING	ALLOWABLE / REQUIRED	PROPOSED
LOT OCCUPANCY	775 SF (24%)	1763 SF (60%)	1630 SF (55%)
HEIGHT	24 FT	35 FT (3 STORIES)	34 FT
SIDEYARD WIDTH	N/A	5 FT	N/A
REAR YARD SETBACK	78'-2"	20 FT MIN	48'-4 1/2"
PARKING	1	1	2
FRONT YARD	23 FT	WITHIN RANGE OF EX.	23 FT
DWELLING UNITS	1	2	3

932 SHEPHERD ST  
NW  
DISTRICT OF COLUMBIA  
20011

ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #

SCALE

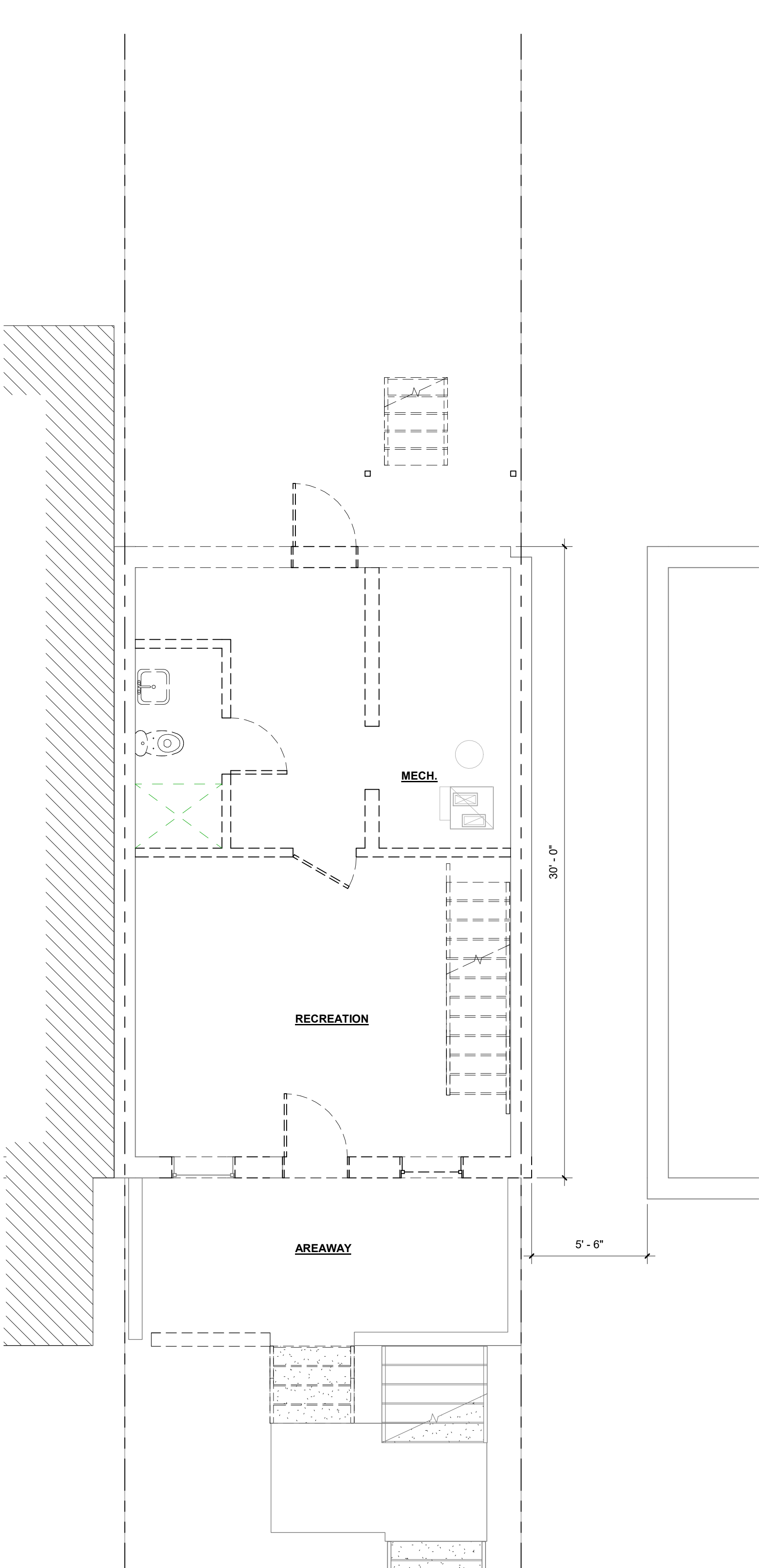
ISSUE DATE

AS INDICATED

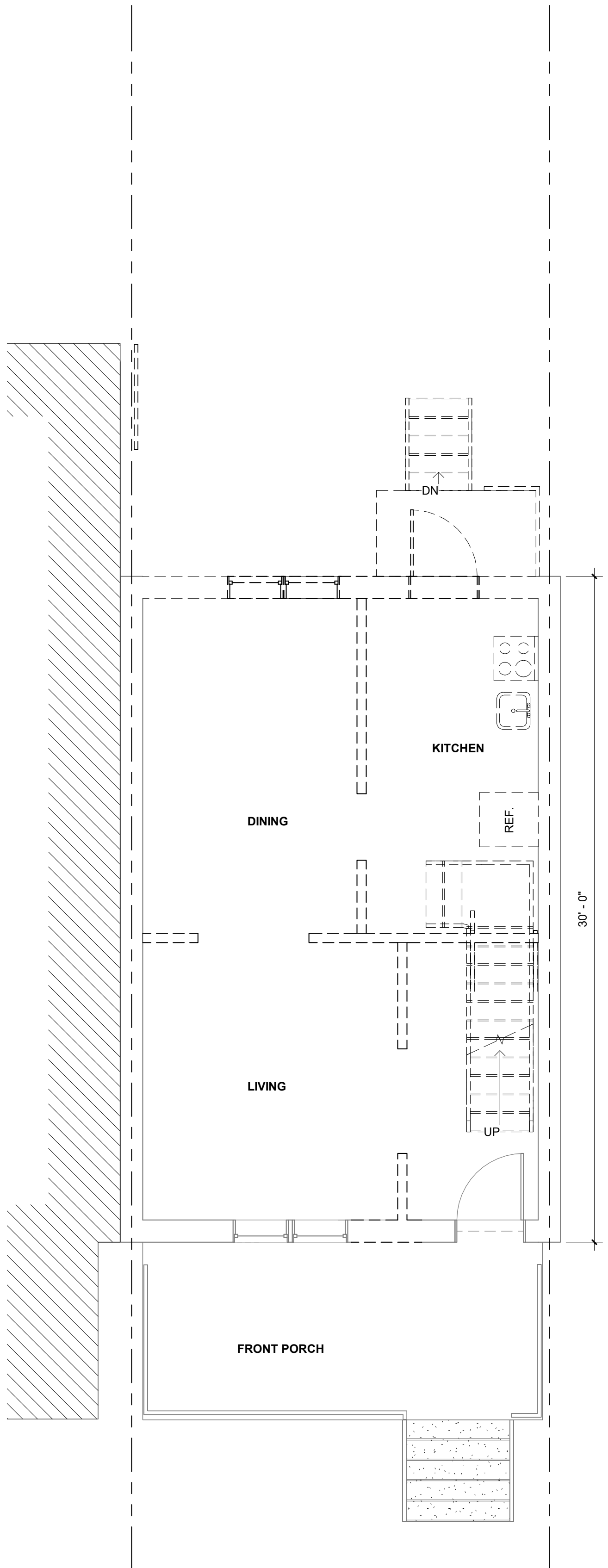
MAY 2025

SITE PLANS

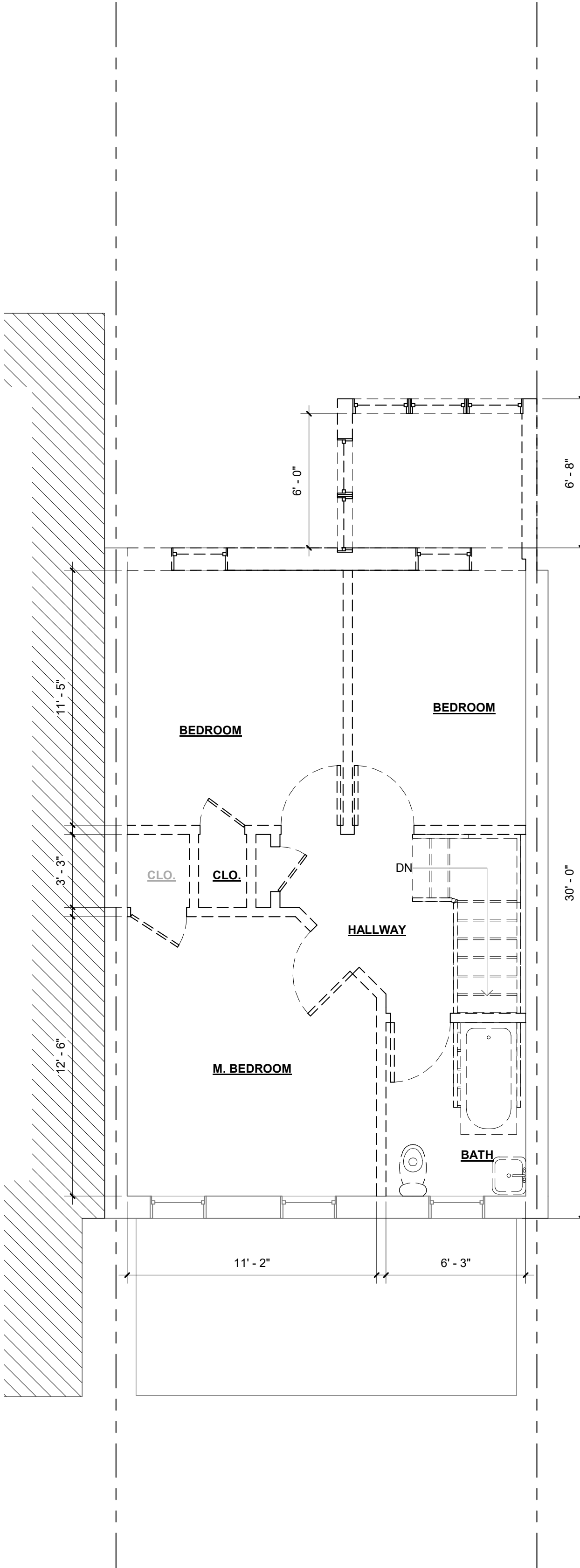
02



1 EXISTING - CELLAR  
1/4" = 1'-0"

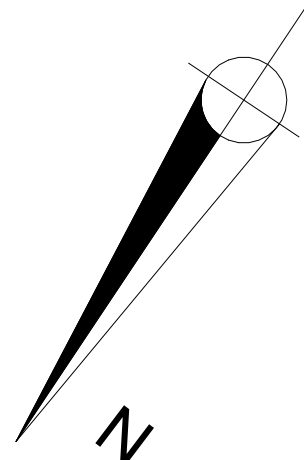


2 EXISTING - FIRST LEVEL Copy 1  
1/4" = 1'-0"

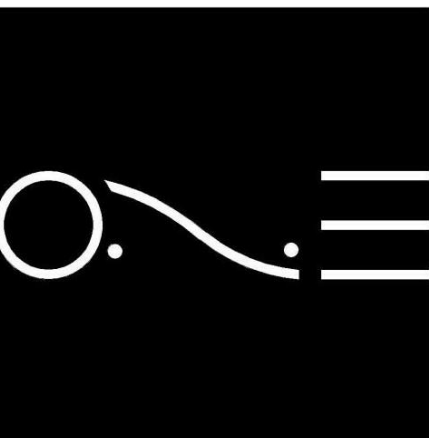


3 EXISTING - SECOND FLOOR  
1/4" = 1'-0"

	DEMO WALL
	NEW WALL
	EXISTING WALL
	EXISTING BRICK WALL
	EXISTING DOOR
	PROPOSED DOOR
	EXISTING WINDOW
	PROPOSED WINDOW



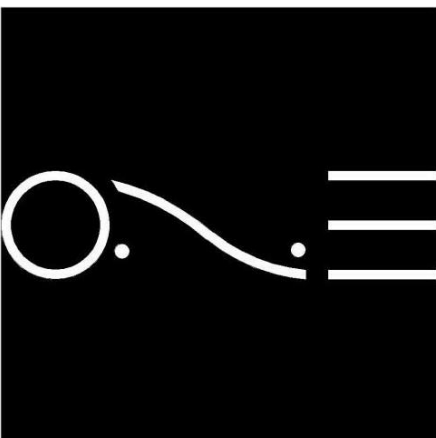
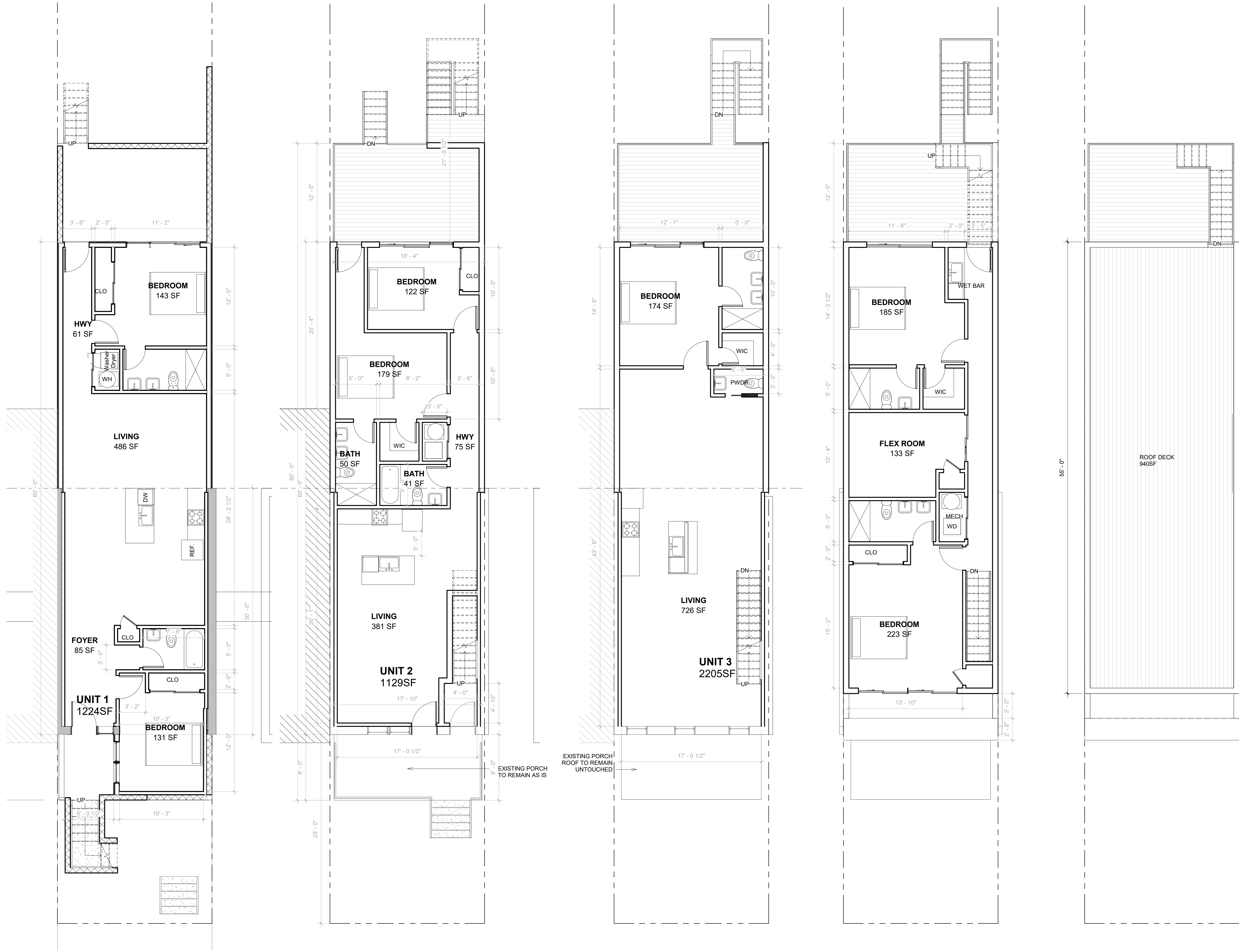
932 SHEPHERD ST  
NW  
DISTRICT OF COLUMBIA  
20011



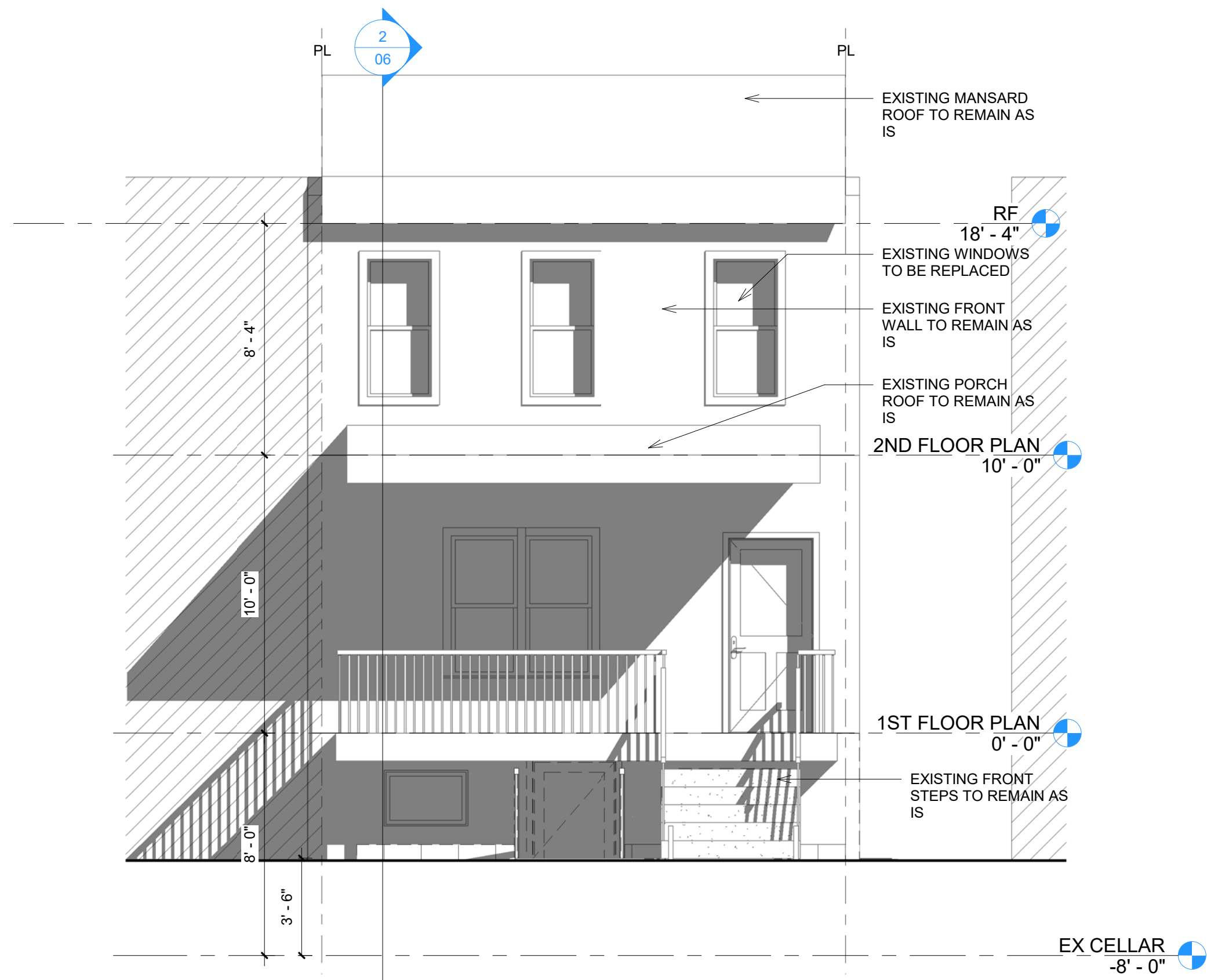
ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE AS INDICATED  
ISSUE DATE MAY 2025

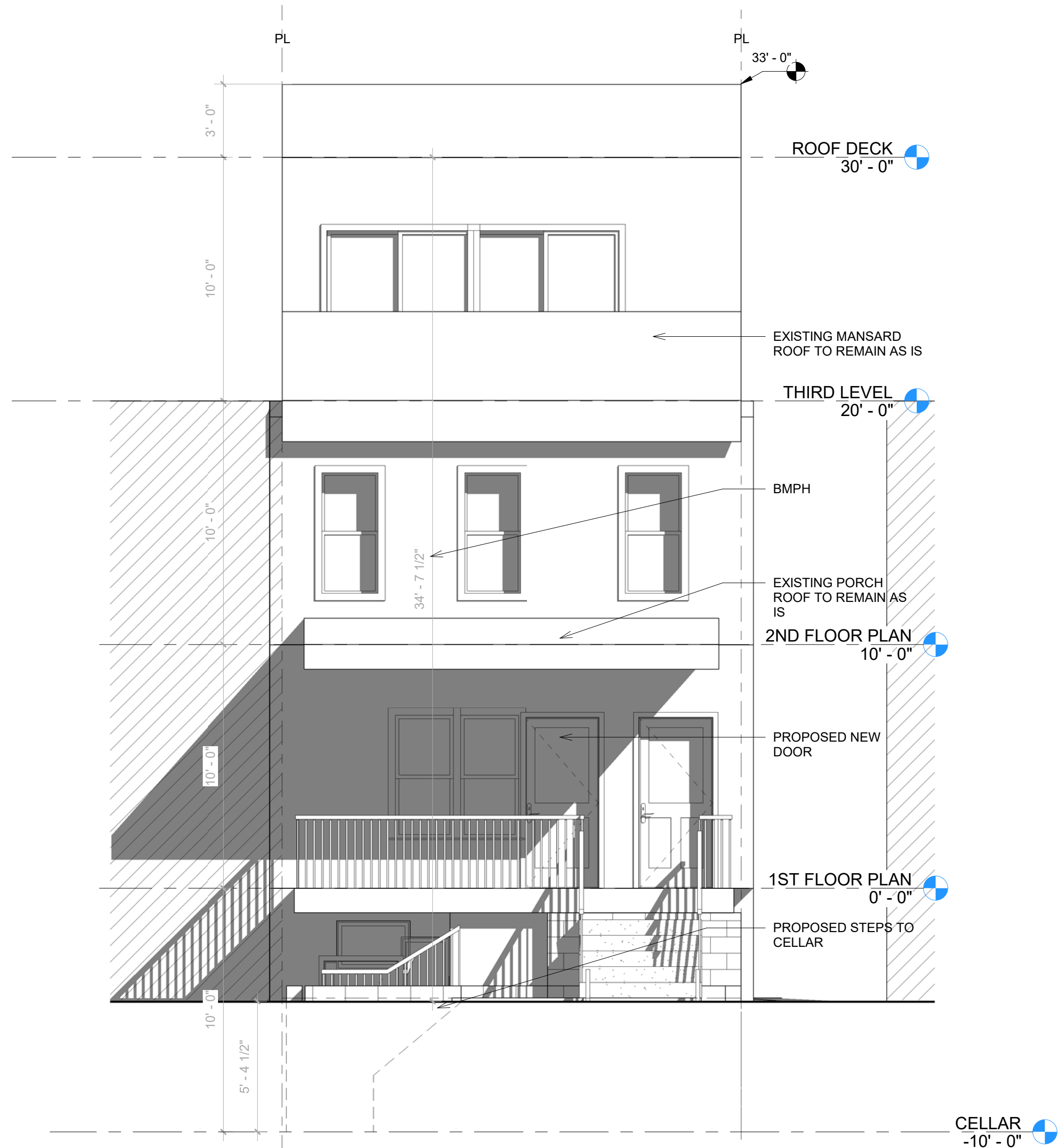
EXISTING  
DEMO  
LAYOUTS



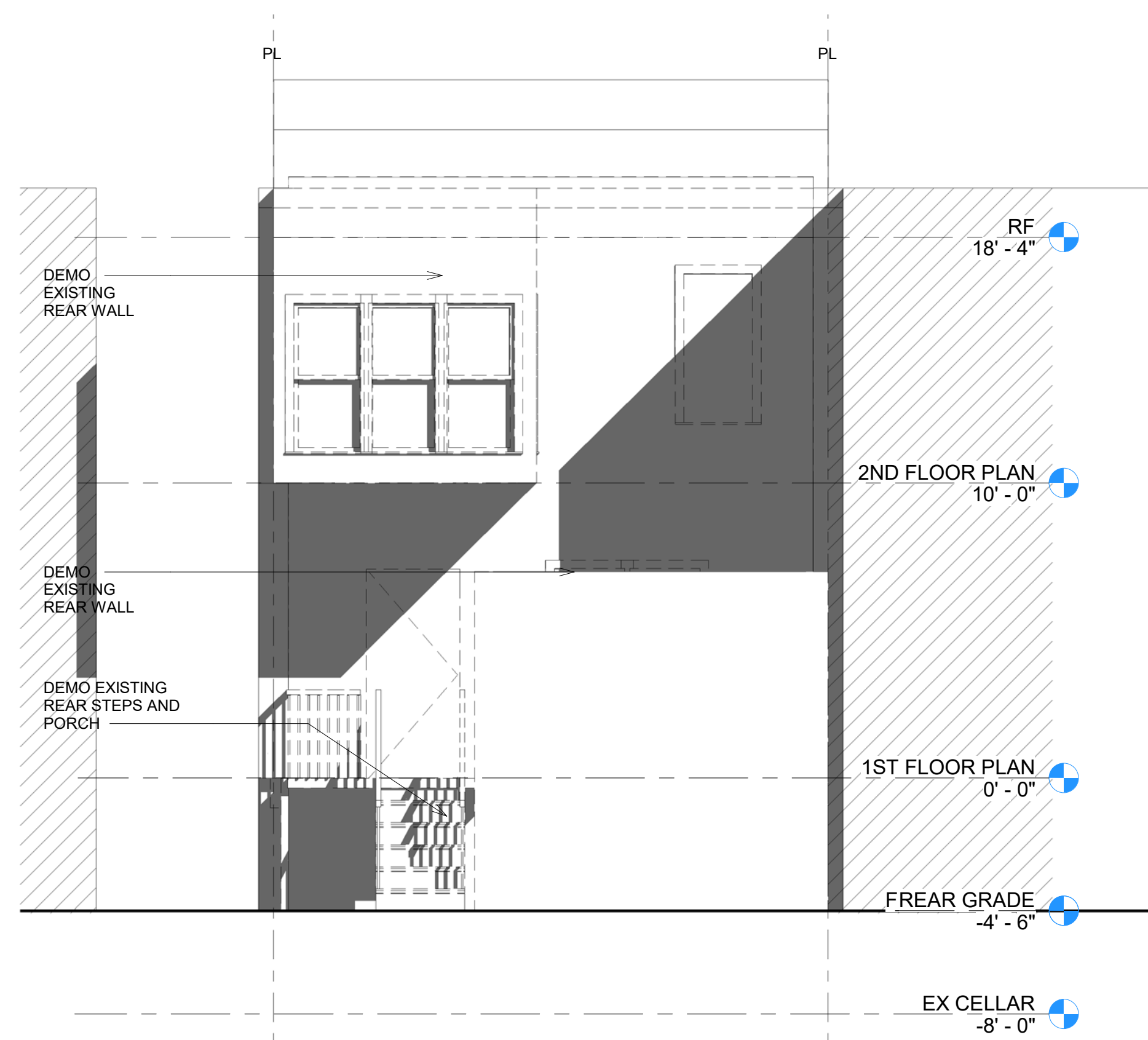




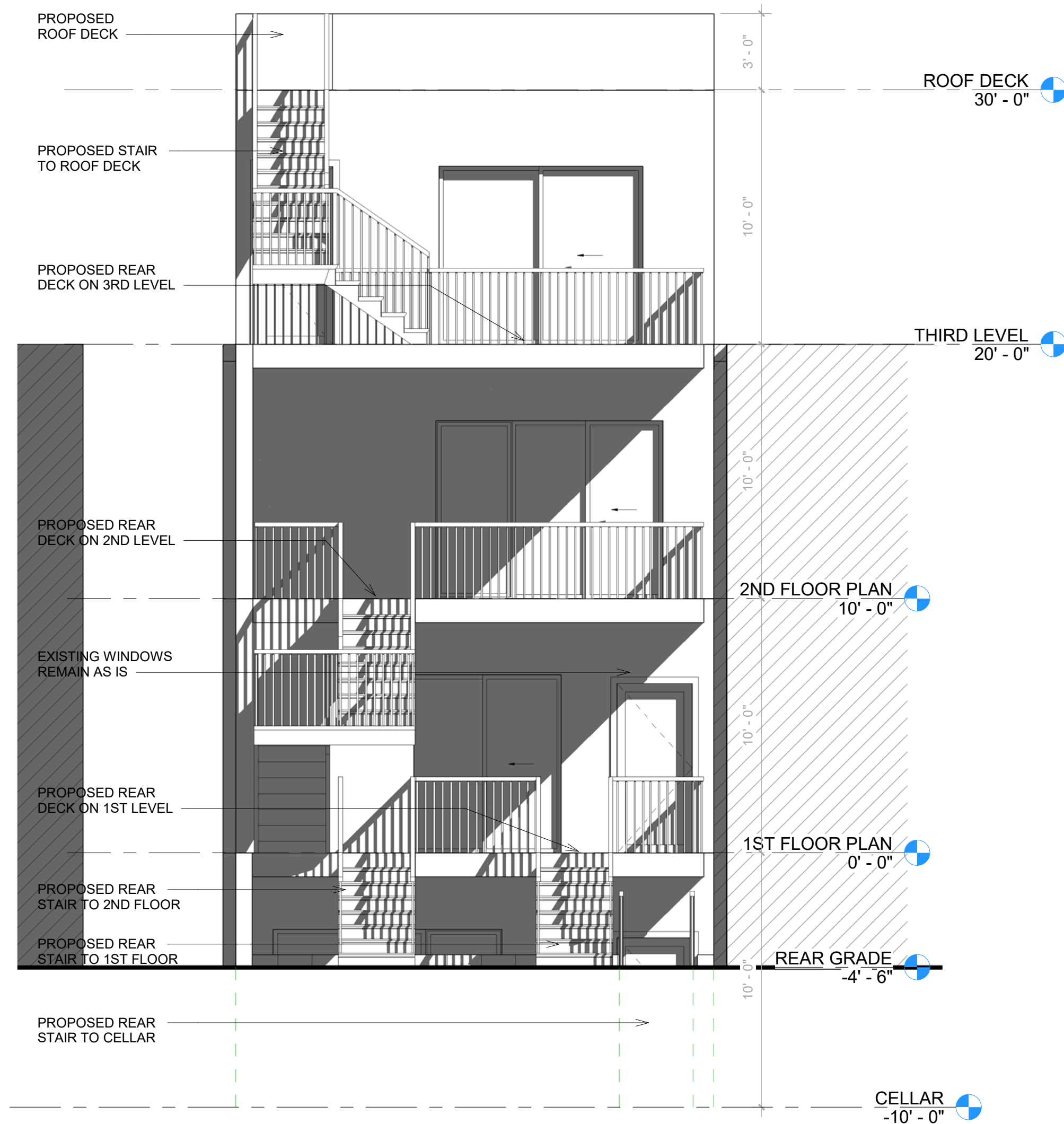
1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



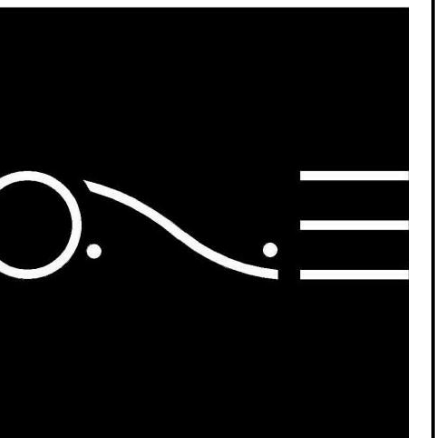
3 EXISTING REAR ELEVATION  
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION Copy 1  
1/4" = 1'-0"

932 SHEPHERD ST

NW  
DISTRICT OF COLUMBIA  
20011



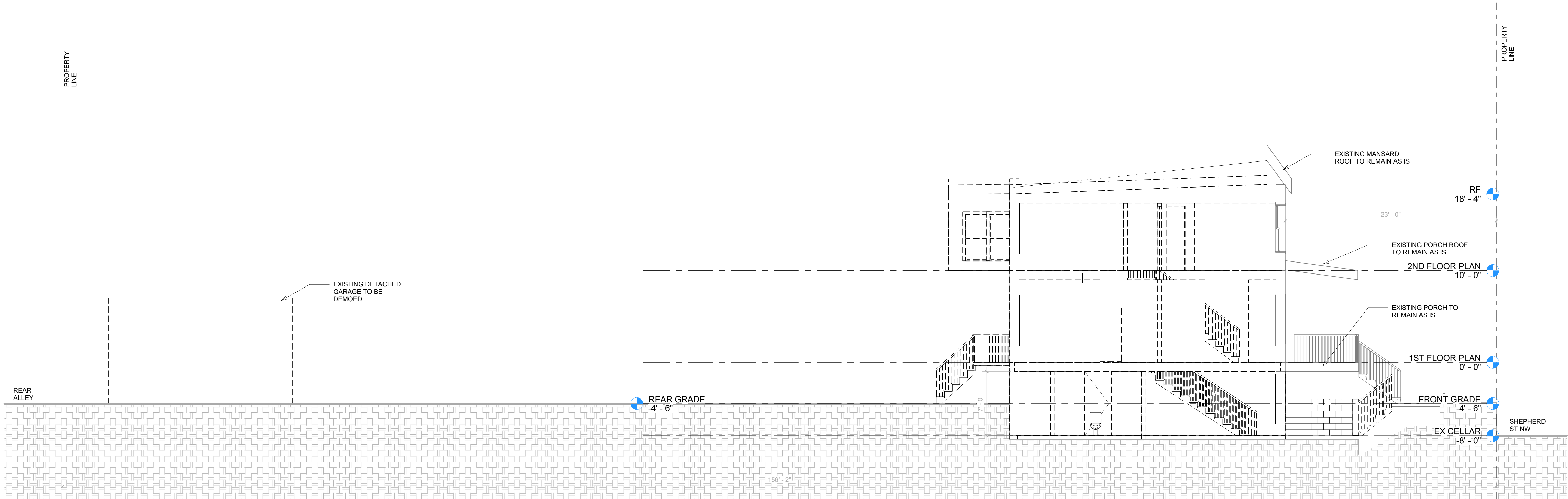
ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

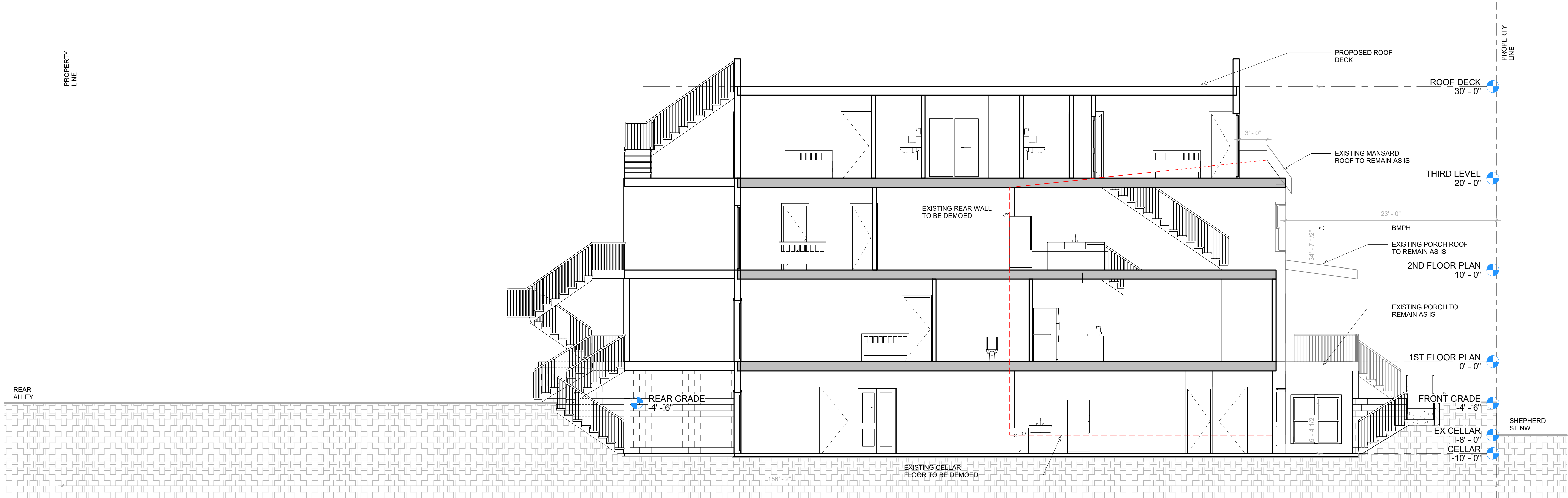
REVISION #  
SCALE AS INDICATED  
ISSUE DATE MAY 2025

ELEVATIONS

05



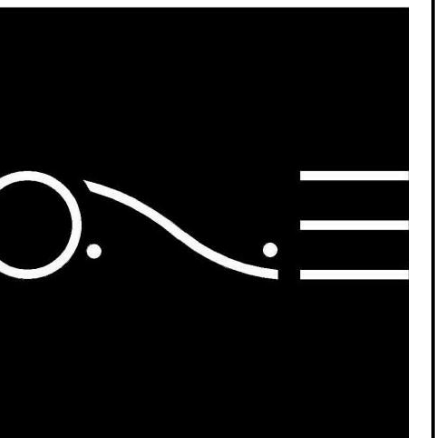
② LONGITUDINAL SECTION EXISTING  
3/16" = 1'-0"



① LONGITUDINAL SECTION  
3/16" = 1'-0"

932 SHEPHERD ST

NW  
DISTRICT OF COLUMBIA  
20011



ONE DESIGN SERVICES

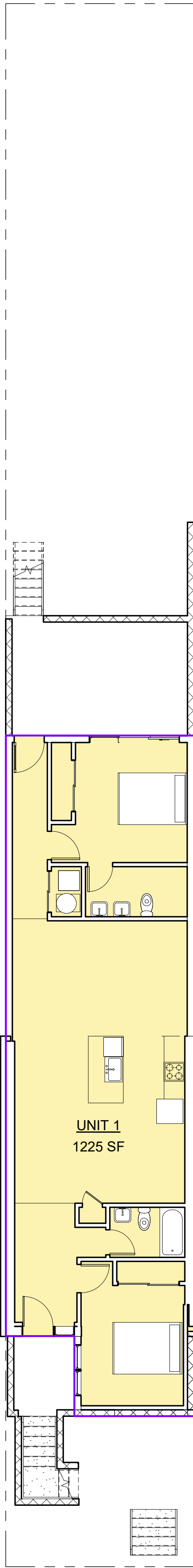
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE  
ISSUE DATE

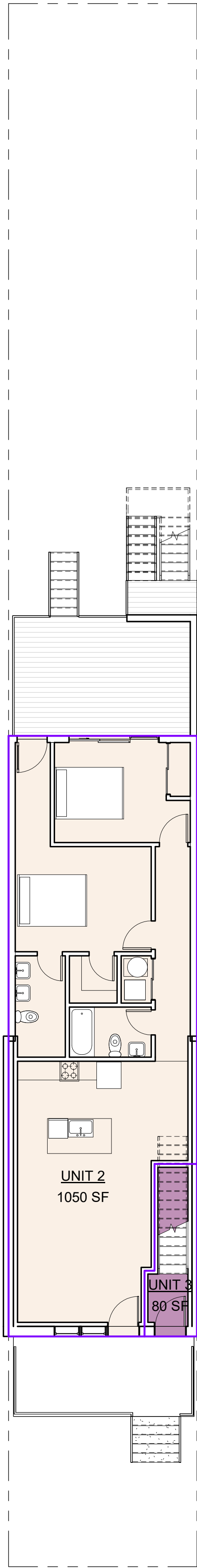
AS INDICATED  
MAY 2025

SECTION

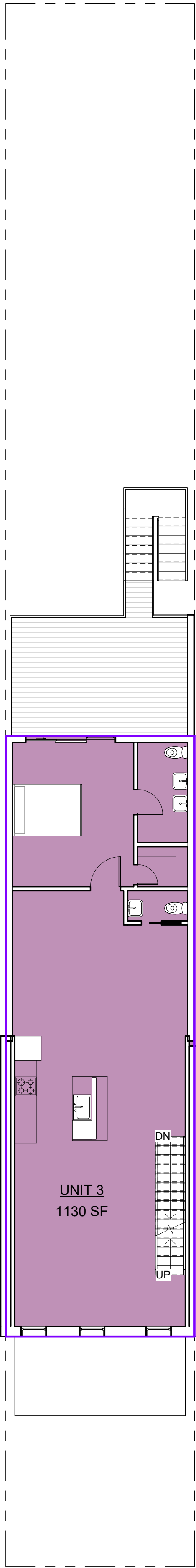
06



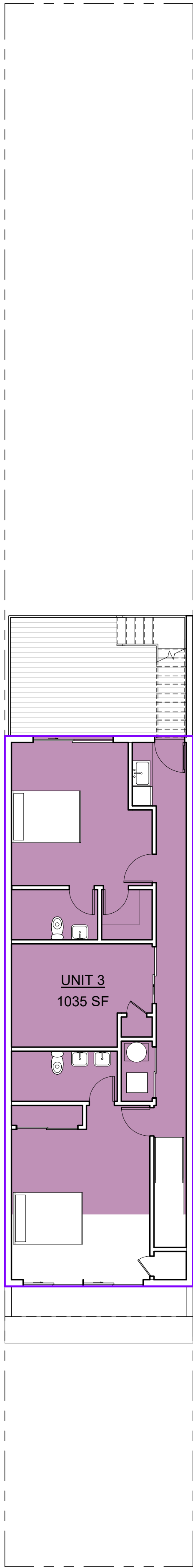
① CELLAR  
1/8" = 1'-0"



② 1ST FLOOR PLAN  
1/8" = 1'-0"



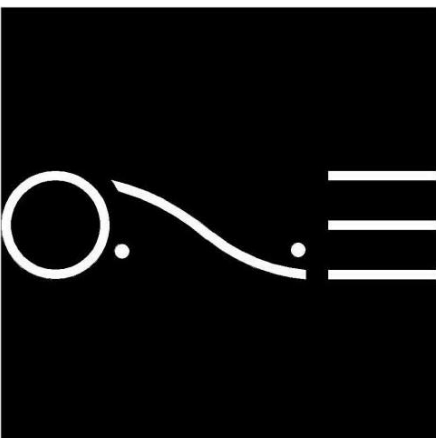
③ 2ND FLOOR PLAN  
1/8" = 1'-0"



④ THIRD LEVEL  
1/8" = 1'-0"

UNITS AREA		
Name	Area	Level
UNIT 1	1225 SF	CELLAR
UNIT 2	1050 SF	1ST FLOOR PLAN
UNIT 3	80 SF	1ST FLOOR PLAN
UNIT 3	1130 SF	2ND FLOOR PLAN
UNIT 3	1035 SF	THIRD LEVEL

932 SHEPHERD ST  
NW  
DISTRICT OF COLUMBIA  
20011



ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

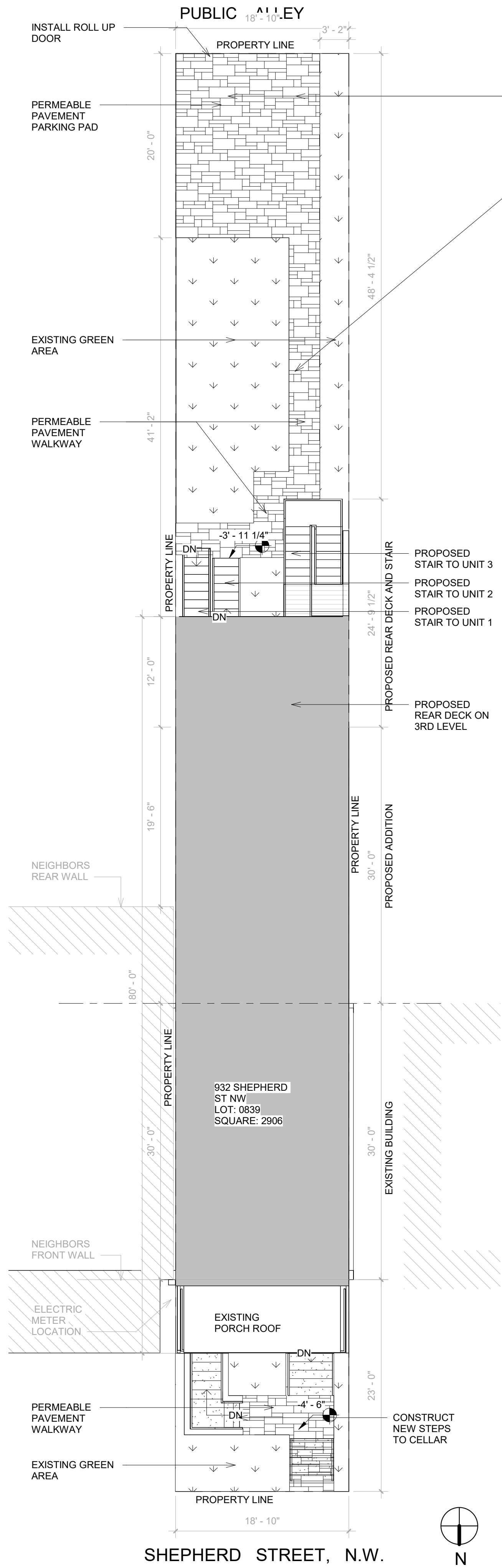
REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
MAY 2025

AREA PLAN

07





PERMEABLE PAVEMENT SPECIFICATION



BLU 80 mm  
DESCRIPTION: Paver TEXTURE: Smooth

PALLET OVERVIEW

1	1	1
1	1	1
1	1	1

Specifications per pallet		Imperial	Metric
Cubing		84.96 ft³	790 m³
Weight		3,095 lbs	1,404 kg
Number of rows		8	
Coverage per row		10.62 ft²	0.99 m²
Linear coverage per row		9.75 lin. ft	2.97 lin. m

NOTES

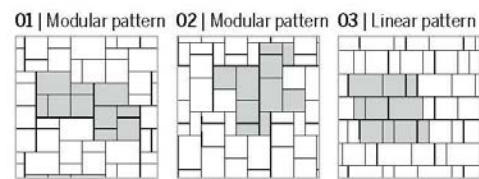
See page 44 to 47 for more technical information. When used in a permeable pavement application, see page 82 to 89 for more technical information.

JOINT WIDTH: 9/32" (7 mm)  
% OF SURFACE OPENING: 3.0 %

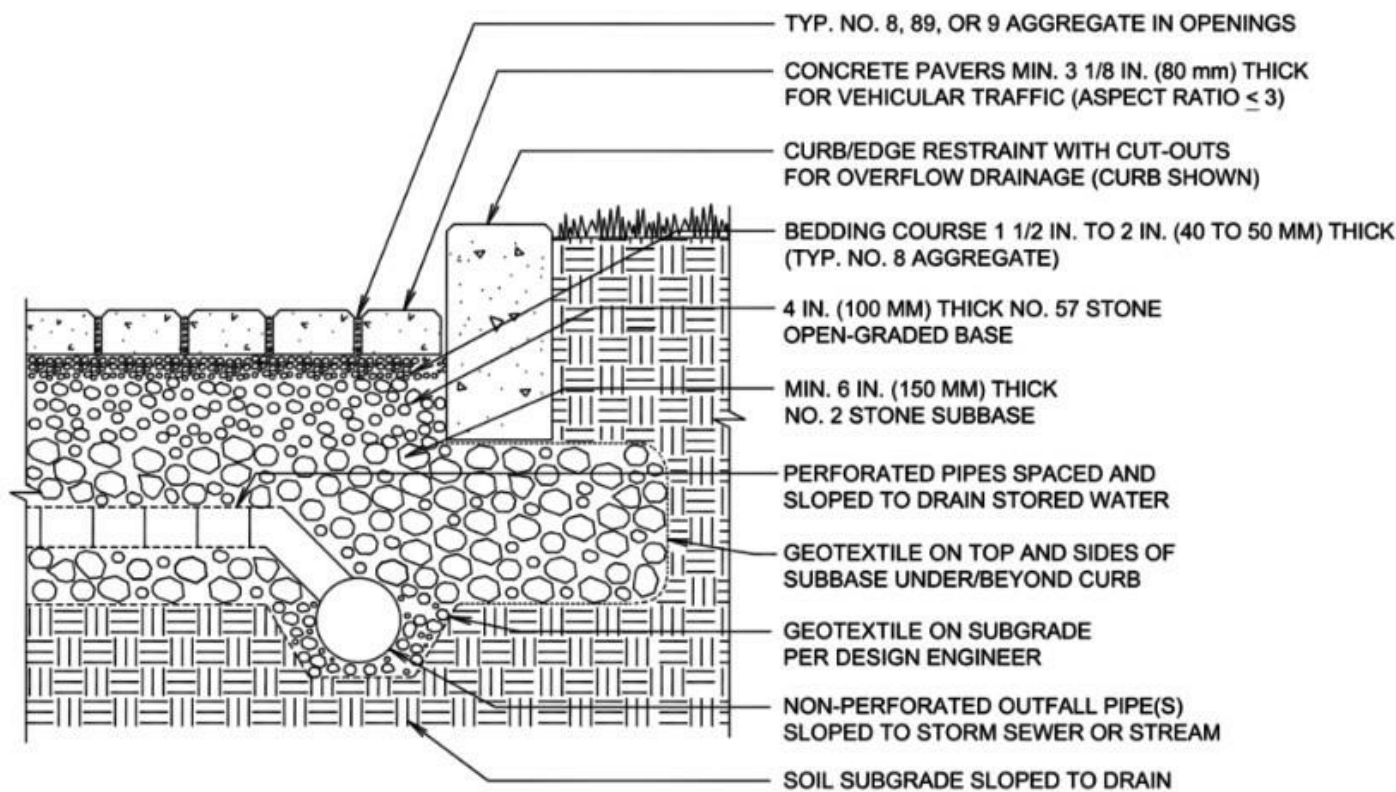
Unit dimensions		in	mm	Units / pallet
Height		3 1/4	80	32 units
Depth		13	330	
Length		6 1/2	165	

1	Height	3 1/4	80	32 units
	Depth	13	330	
	Length	13	330	

1	Height	3 1/4	80	16 units
	Depth	13	330	
	Length	19 1/2	495	



Patterns are for design inspiration only. The installer is responsible to calculate & purchase the correct amount of material.



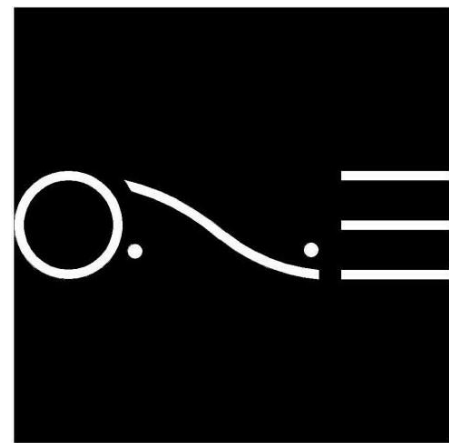
- NOTES:
- 2 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
  - NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICP PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
  - NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.

PERMEABLE PAVER / CURB DETAIL

SITE PLAN LEGEND

- PROPOSED BUILDING
- PROPOSED PERMEABLE PAVERS
- GREEN AREA
- EXISTING CONCRETE PAD

932 SHEPHERD ST  
NW  
DISTRICT OF COLUMBIA  
20011



ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
MAY 2025

LANDSCAPE  
SITE PLAN

08