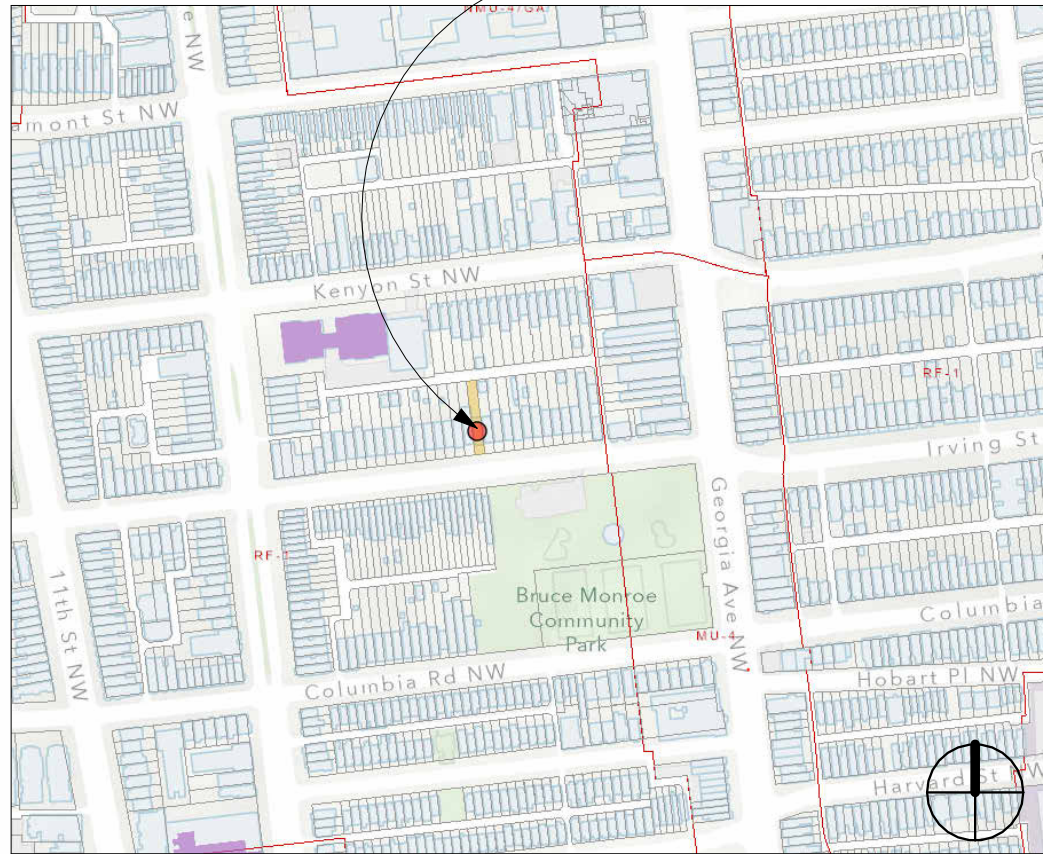


LOCATION MAP

SITE LOCATION



DRAWING LIST - BZA SET	
Sheet Number	Sheet Name
B301	BUILDING SECTION
B000	COVER SHEET
B201	ELEVATIONS
B100	FLOOR PLANS
B101	FLOOR PLANS
B102	FLOOR PLANS
B401	PERSPECTIVES
B103	SITE PLAN
B501	SOLAR STUDY
B502	SOLAR STUDY
B503	SOLAR STUDY
B504	SOLAR STUDY



ZONING INFO:

Address: 735 IRVING ST NW
WASHINGTON DC
SSL: 2891 0082
Zoning: RF-1
Historic District: NA
Lot Area: 2430 SQF
Lot Width : 18'
ANC: 1E03

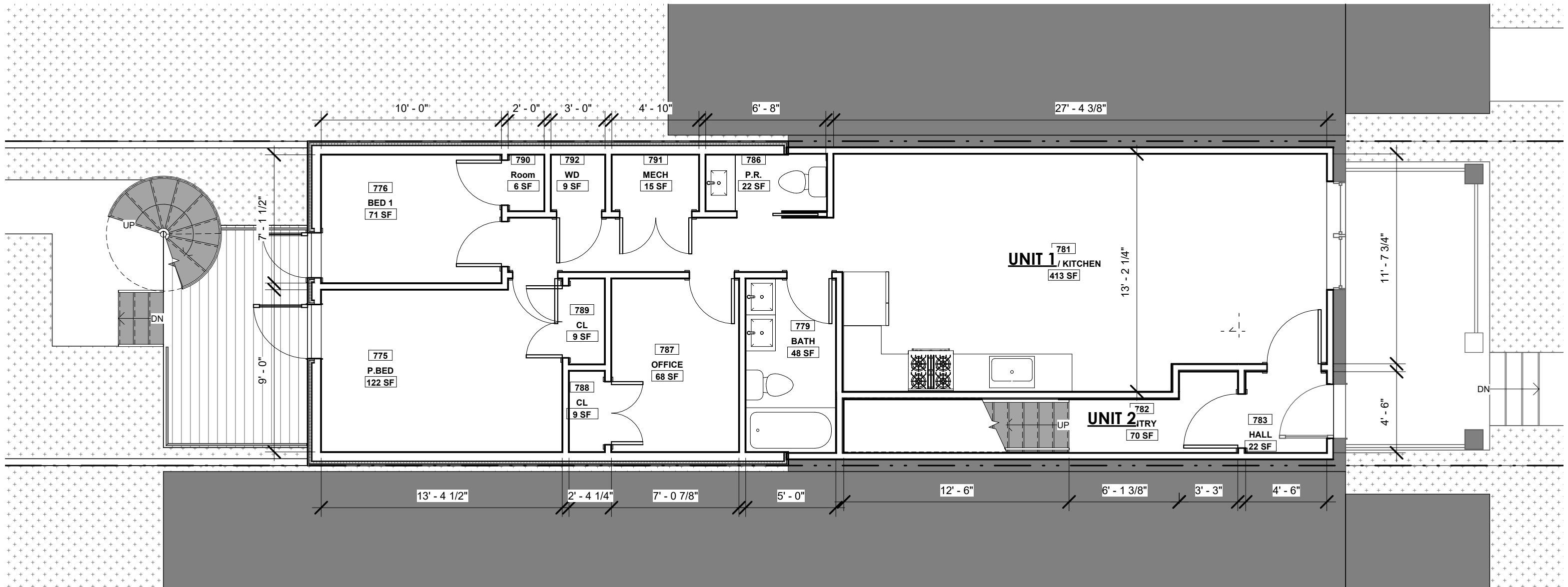
	EXISTING	ALLOWED	PROPOSED	
Land Use:	SINGLE FAMILY		TWO FAMILY FLAT	
# of Stories:	2	-	3	
Rear Yard:	75.1'	20'	49.6'	
Side Yard:	-	-	-	
Building Height:	24'	35'	34'	
Lot Occupancy:	34.2%	60%	52.4%	
	831.18 SQF		1274.5 SQF	
Gross Building Area(PER ZONING):	1662.36 SQF	4374 SQF	2886 SQF	
Parking:	1	1	1	NO CHANGE
Pervious Surface		20 %	23.4 %	
			570 sqf	

PROJECT INFO

PROPERTY OWNER: CECILIA PENIZA
OWNER ADDRESS: 735 IRVING ST NW
WASHINGTON DC

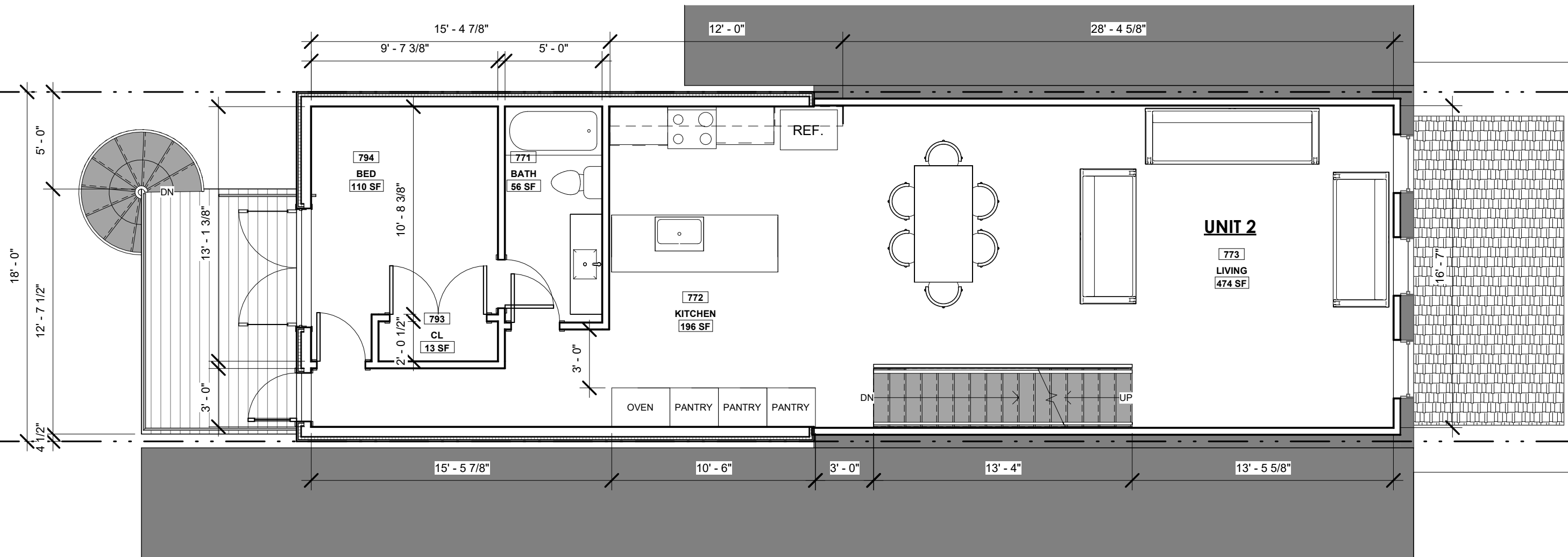
PROJECT NARATIVE - SCOPE OF WORK:

THIS PROJECT IS PROPOSING REAR AND TOP ADDITION TO EXISTING SINGLE FAMILY STRUCTURE TO CONVERT TO 2-UNIT RESIDENCE LOCATED AT 735 IRVING ST NW. NO UNDERPINNING IN SCOPE OF WORK.



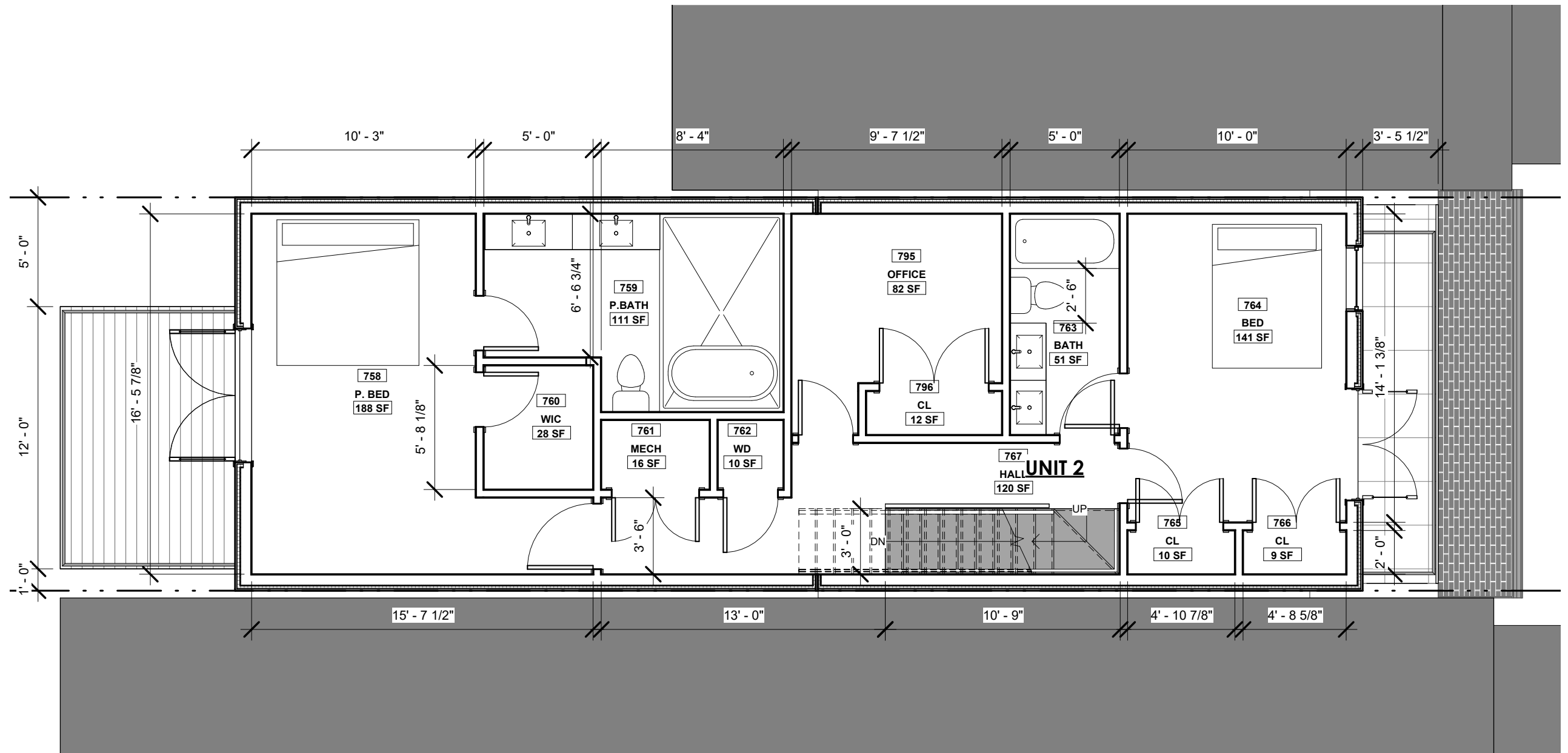
1 PROPOSED 1ST FLOOR PLAN

A201 | B100 3/16" = 1'-0"



1 PROPOSED 2ND FLOOR PLAN

A201 | B101 3/16" = 1'-0"



1 PROPOSED 3RD FLOOR PLAN

A201 | B102 3/16" = 1'-0"

PROPOSED REAR MULTISTORY DECK, TYP.

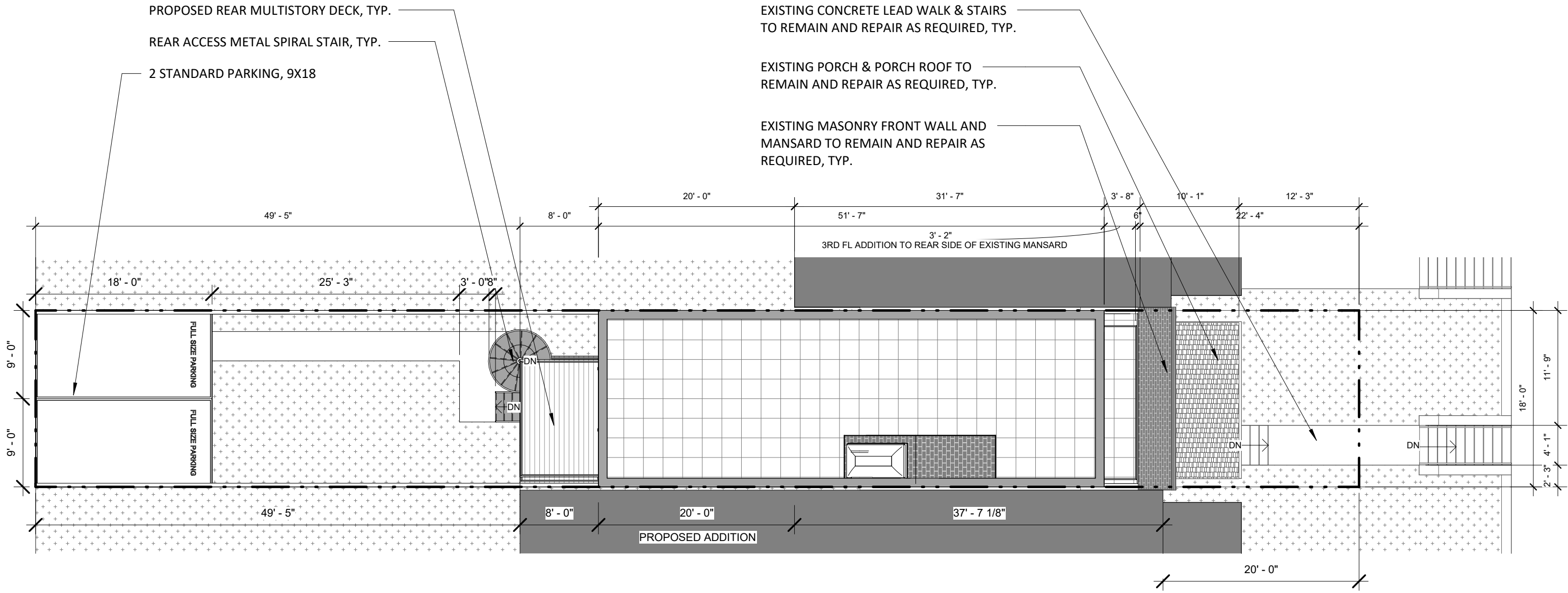
REAR ACCESS METAL SPIRAL STAIR, TYP.

2 STANDARD PARKING, 9X18

EXISTING CONCRETE LEAD WALK & STAIRS TO REMAIN AND REPAIR AS REQUIRED, TYP.

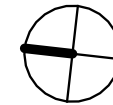
EXISTING PORCH & PORCH ROOF TO REMAIN AND REPAIR AS REQUIRED, TYP.

EXISTING MASONRY FRONT WALL AND MANSARD TO REMAIN AND REPAIR AS REQUIRED, TYP.



1 BZA SITE PLAN

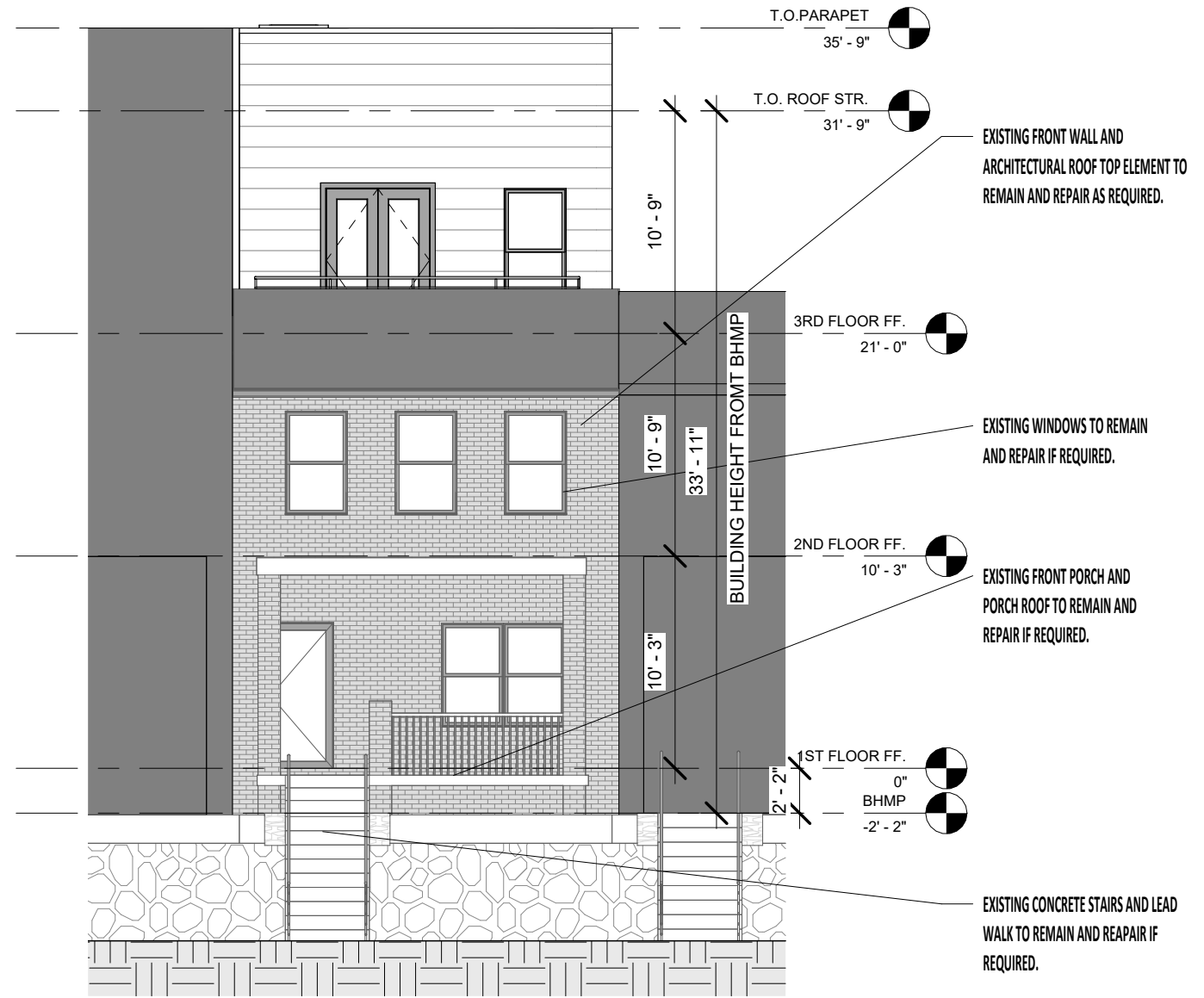
C202 | B103 1" = 10'-0"





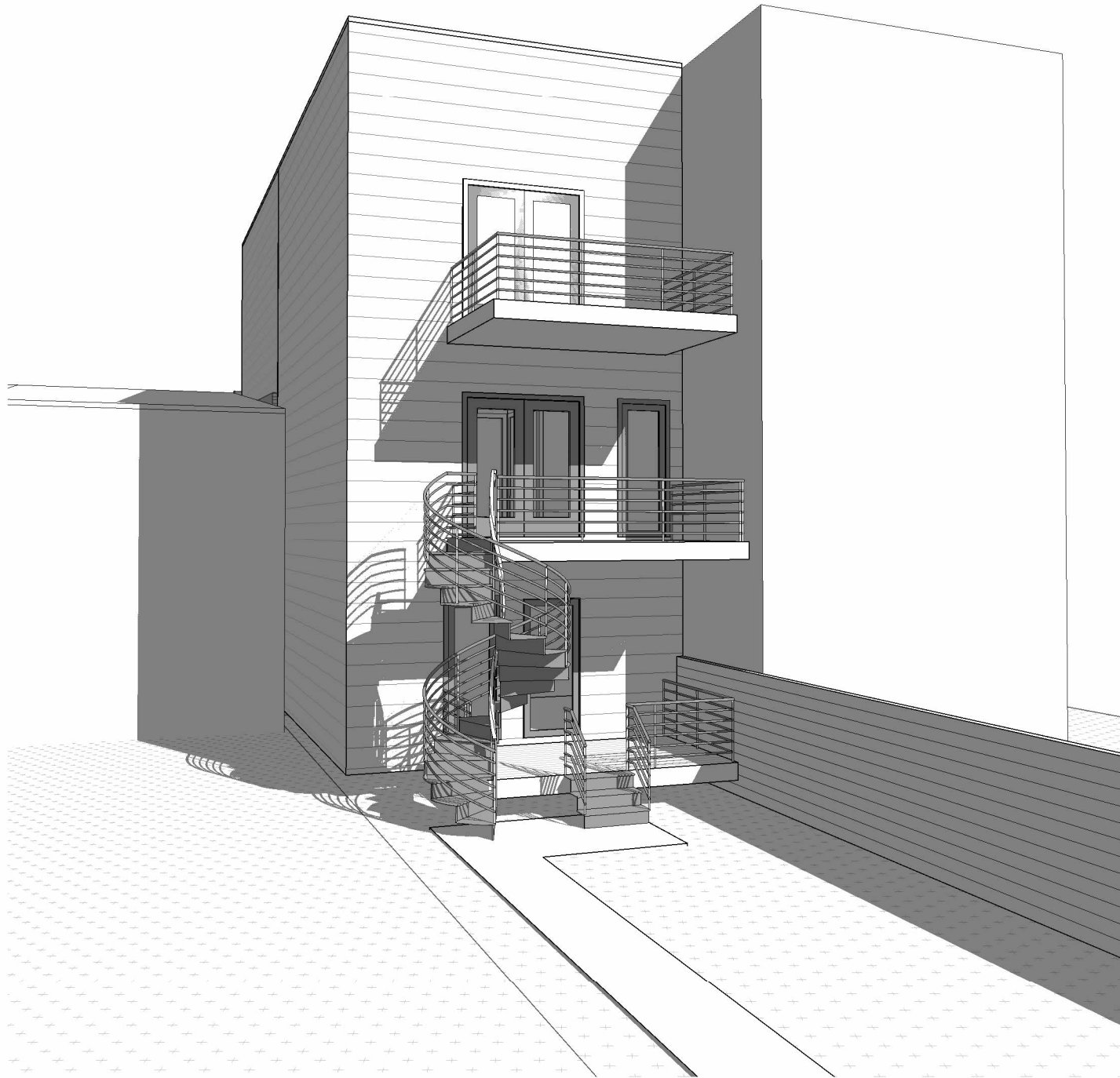
1 REAR ELEVATION..

B201 1/8" = 1'-0"



2 FRONT ELEVATION.

B201 1/8" = 1'-0"



2 REAR PERSPECTIVE
B401



1 FRONT PERSPECTIVE
B401