



HOOVER INSTITUTION

1128 16TH ST, NW
WASHINGTON, DC

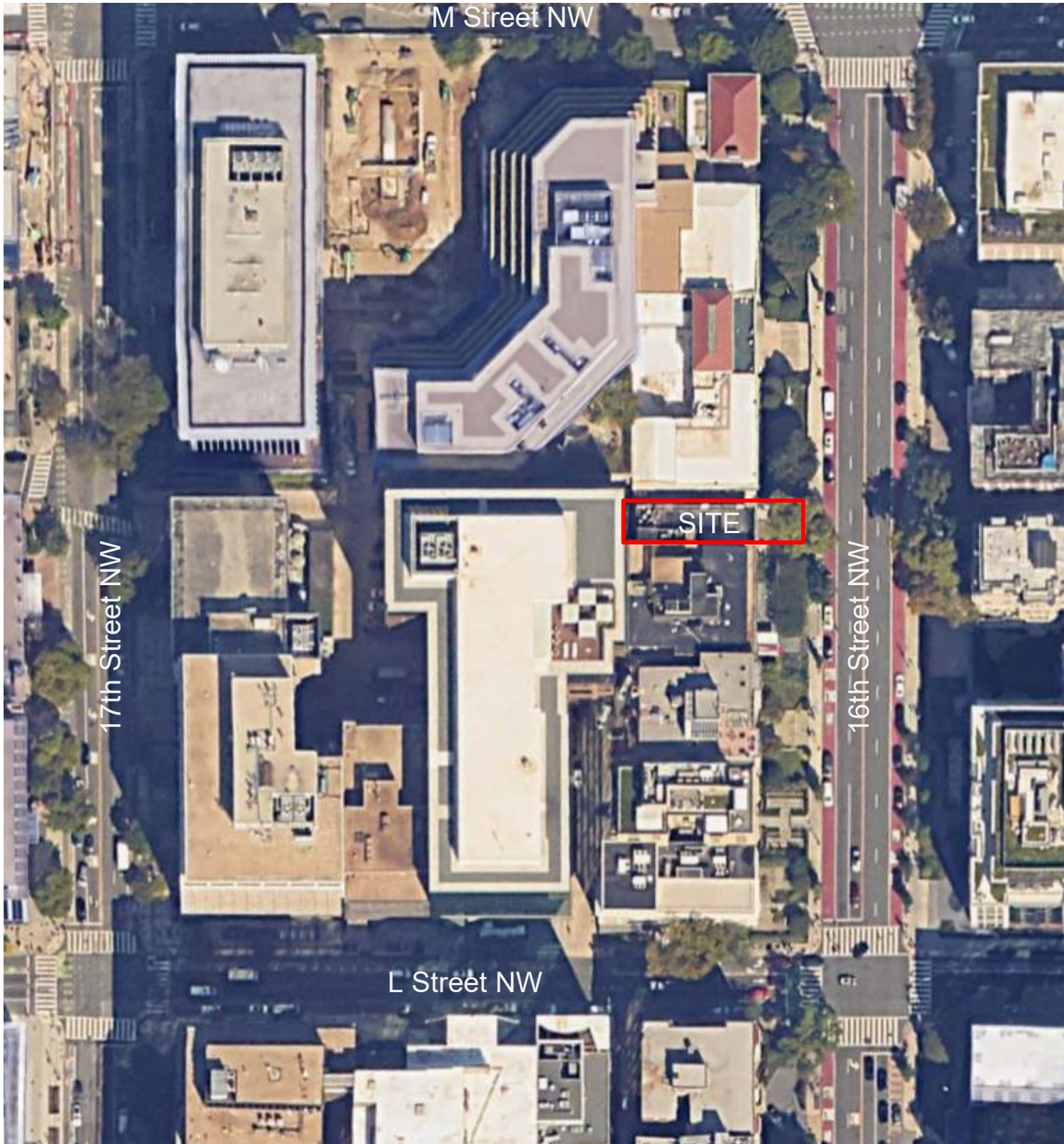


BZA DRAWING SUBMISSION
AUGUST 08, 2025

CUNNINGHAM | QUILL ARCHITECTS

Board of Zoning Adjustment
District of Columbia
CASE NO. 21380
EXHIBIT NO. 5
EHT ||| TRACERIES
HISTORIC PRESERVATION

1128 16TH ST, NW
08.08.2025



PROJECT NARRATIVE

Located within the Sixteenth Street Historic District, 1128 16th Street NW is an existing 4-story above grade, with basement, building that is located on the south corner of Sumner Row and 16th Street. Originally built as a private residence in the early 1900s, the existing building has served as an institutional office building since the middle of the 20th-century and undergone numerous comprehensive interior renovations and exterior repair work over the years. The proposed scope of work is focused on a first-class preservation, repair and maintenance of the exterior envelope and facade elements, as well as new proposed penthouse addition and rear egress stair addition in the existing rear yard niche.

TABLE OF CONTENTS

| | |
|--|--|
| 1. COVER | 17. DIFFICULTY I: ELEVATOR OVERRUN HEIGHT SECTION |
| 2. TABLE OF CONTENTS/LOCATION MAP | 18. DIFFICULTY I: ELEVATOR OVERRUN PLAN |
| 3. ZONING ANALYSIS | 19. DIFFICULTY I: ELEVATOR OVERRUN HEIGHT PLANS RESTRICTIONS |
| 4. EXISTING CONTEXT SITE PLAN | 20. DIFFICULTY I: ELEVATOR OVERRUN HEIGHT STREET PERSPECTIVES |
| 5. EXISTING CONTEXT PHOTOS | 21. DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT |
| 6. EXISTING CONTEXT PHOTOS CONT. | 22. DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT INFEASIBLE ALT. STAIR LOCATION AT 2ND FLOOR |
| 7. EXISTING SITE IMAGES | 23. DIFFICULTY AREA II: REAR STAIR ADDITIONS ELEVATIONS AND INTERIOR VIEWS |
| 8. EXISTING SITE PLAN | 24. DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT 2ND FLOOR EVENTS LAYOUTS |
| 9. PROPOSED SITE PLAN | 25. DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT NEIGHBOR COORDINATION |
| 10. AXONOMETRIC DIAGRAMS | 26. DIFFICULTY AREA III: FAR INCREASE SQ. FT. TABLE |
| 11. EXISTING BUILDING ELEVATIONS | |
| 12. PROPOSED BUILDING ELEVATION (NORTH) | |
| 13. PROPOSED BUILDING ELEVATIONS (EAST+WEST) | |
| 14. EXISTING FLOOR PLANS | |
| 15. PROPOSED FLOOR PLANS | |
| 16. PROPOSED BUILDING SECTION | |

1128 16TH ST, NW
08.08.2025

ZONING ANALYSIS

| 2016 District of Columbia Municipal Regulations (DCMR) Title 11 - Zoning Regulations | |
|--|---|
| 1128 16th Street, NW - Preliminary Zoning Analysis | |
| | |
| Property Information | |
| Project Address | 1128 16th Street, NW |
| Square / Suffix / Lot | 0183 0091 |
| Lot Size | 2,636.25sf |
| Building Size | ~9,680gsf (without "Cellar") / 12,100 (with Cellar level) |
| Current Certificate of Occupancy | CO1802300 (4/20/2018) "Office Space" |
| Zoning District | D-2 |
| Overlay Zone | Sixteenth Street Historic District |
| Credit Trade Area | Credit Trade Area 1 |
| Ward | Ward 2 |



| Zoning Information (D-2) - DCMR 11, Subtitle I | Allowed / Required | Existing | Comments / Proposed |
|---|--|---|---|
| Downtown (D) Zones Summary (I-100) | The purposes of the Downtown (D) zones (D-1-R, D-2, D-3, D-4, D-4-R, D-5, D-5-R, D-6, D-6-R, D-7, and D-8) are to provide for the orderly development and use of land and structures in areas the Comprehensive Plan generally characterized as: (a) Central Washington; or (b) Appropriate for a high-density mix of office, retail, service, residential, entertainment, lodging, institutional, and other uses, often grouped into neighborhoods with distinct identities. | | |
| D-2 Zone Purpose and Objective (I-508) | The purposes of the D-2 zone are to accommodate high-density housing with a limited amount and type of commercial use on only the ground floor and to ensure the scale of new development is compatible with the scale of the historic areas in the vicinity of lower 16th Street, N.W., 17th Street, N.W. near the White House and Judiciary Square. | | |
| By-Right Uses in Downtown Zones (and D-2) (I-300/513) | MU Group F of Subtitle U: always R, RF or RA; and General Institutional. A building in the D-2 zone is subject to the use regulations in Subtitle I, Chapter 3 and is not eligible to generate or receive credits otherwise enabled by Subtitle I, Chapters 8 and 9. | | |
| Matter of Right Uses per MU-F | Uses permitted as a matter of right in any R, RF, and RA zones and all uses permitted as a matter of right for MU-Use Group E; College or university that is an academic institution of higher learning. MU-E: College or university uses, except that in the MU-4 zone, a use that would otherwise not be permitted as a matter of right but for the university or college shall not be permitted; Education uses, private | | |
| Lot Occupancy (I-202) | Unless otherwise limited by regulations governing courts, side or rear yards, front setback or build-to lines, easements or historic preservation, each building on a lot in any D zone may occupy one hundred percent (100%) of its lot. | Less than 100% | Refer to Rear Yard requirements (I-205) |
| Density - Floor Area Ratio (FAR) (I-200/509) | Allowable Non-Residential Use: 3.5 <i>Allowable Residential Allowed: 6 / 7.2 IZ</i> A building in the D-2 zone is not eligible to generate or receive credits regulated by Subtitle I, Chapters 8 and 9. | Existing (estimated; penthouse SF not included): ~ 9,677gsf / 2,636.25sf = 3.67 FAR (does not include bottom floor as it is a considered a "Cellar") A "Cellar": That portion of a story partly below grade where the finished floor of the ground floor is less than five feet (5') above the adjacent natural or finished grade, which is the lower elevation. | Proposed Additions (exit stair addition) would increase the FAR by 0.18: ~10,141 /2,636.25 = 3.85 FAR Increasing the building's FAR as proposed will require variance approval from the BZA |
| Penthouses & Rooftop Structures (C-1505) | For the purposes of calculating floor area ratio for the building, the aggregate square footage of all levels or stories of a penthouse measuring six and one-half feet (6.5 ft.) or more in height shall be included in the gross floor area contributing to the total floor area ratio permitted for the building, with the following exceptions: (a) Penthouse mechanical space; (c) Penthouse habitable space, other than as exempted in paragraph (b) of this subsection, with a floor area ratio of less than four-tenths (0.4) | Existing: ~ 210 gsf (Stair and elevator overrun) | Proposed Penthouse Addition adds ~746 gsf 746 / 2,636.25 = 0.28 0.28 < 0.4 FAR, so Per C-1505.1-c, penthouse habitable space does not count toward total building FAR Proposed penthouse setback from all facades to be 1:1. As proposed, the penthouse setback fro the north edge is less than 1:1 to the elevator overrun. This would require a special exception approval from BZA |
| Build-To Line (I-511) | A building in the D-2 zone is not subject to front build-to regulations | N/A | N/A |
| Front Setback (I-512) | A front setback shall not be required for building in the D-2 zone | No front setback | As existing |
| Design (I-514) | A building in the D-2 zone is subject to the use regulations in Subtitle I, Chapter 3 and is not eligible to generate or receive credits otherwise enabled by Subtitle I, Chapters 8 and 9. | | |
| Rear Setback, Min (feet) (I-205) | A rear yard need not be provided: Within the depth specified in § Subtitle I 205.1 for the first twenty-five feet (25 ft.) above the mean finished grade at the middle of the rear of the structure and a horizontal plane) above the first plane; | ~ 8'-6-1/4" | No rear setback for the proposed addition (exit stair) up to 25' above the mean finished grade at the middle of the rear of the structure. Above the addition, the setback is as existing |
| Side Yard (I-206) | No side yard is required for any principal structure in a D zone | None | As existing |
| Height, Max (feet) (I-510) | 90' not including penthouse or rooftop structure. 20' for penthouse/rooftop structure | Building is less than 90' | The maximum permitted building height, not including the penthouse or rooftop structure, in the D-2 zone shall be limited to ninety feet (90 ft.) on the portion of the site occupied by a historic landmark or a contributing building within a historic district. (510.2) The maximum permitted height of a penthouse or rooftop structure shall be twenty feet (20 ft.). The maximum permitted number of stories for penthouse habitable space shall be one (1) plus a mezzanine, except a second story shall be permitted for penthouse mechanical space. (510.3) |
| GAR (I-208) | 0.3 | | Exceptions: A historic resource and any additions thereto subject to the provisions of Subtitle C § 601.7. A historic resource and any additions thereto are exempt from the requirement of this chapter as a result of a change of use or an increase of intensity of use, except that this chapter shall be applicable when any addition results in an increase in the gross floor area of the historic resource by fifty percent (50%) or more. For the purposes of this chapter a "historical resource" is a building or structure listed in the District of Columbia Inventory of Historic Sites or a building or structure certified in writing by the Historic Preservation Office as contributing to the character of the historic district in which it is located. |
| Parking (I-212) | Vehicle parking spaces are not required in D zones, other than areas west of the centerline of 20th Street, NW | No vehicle parking spaces | As existing |

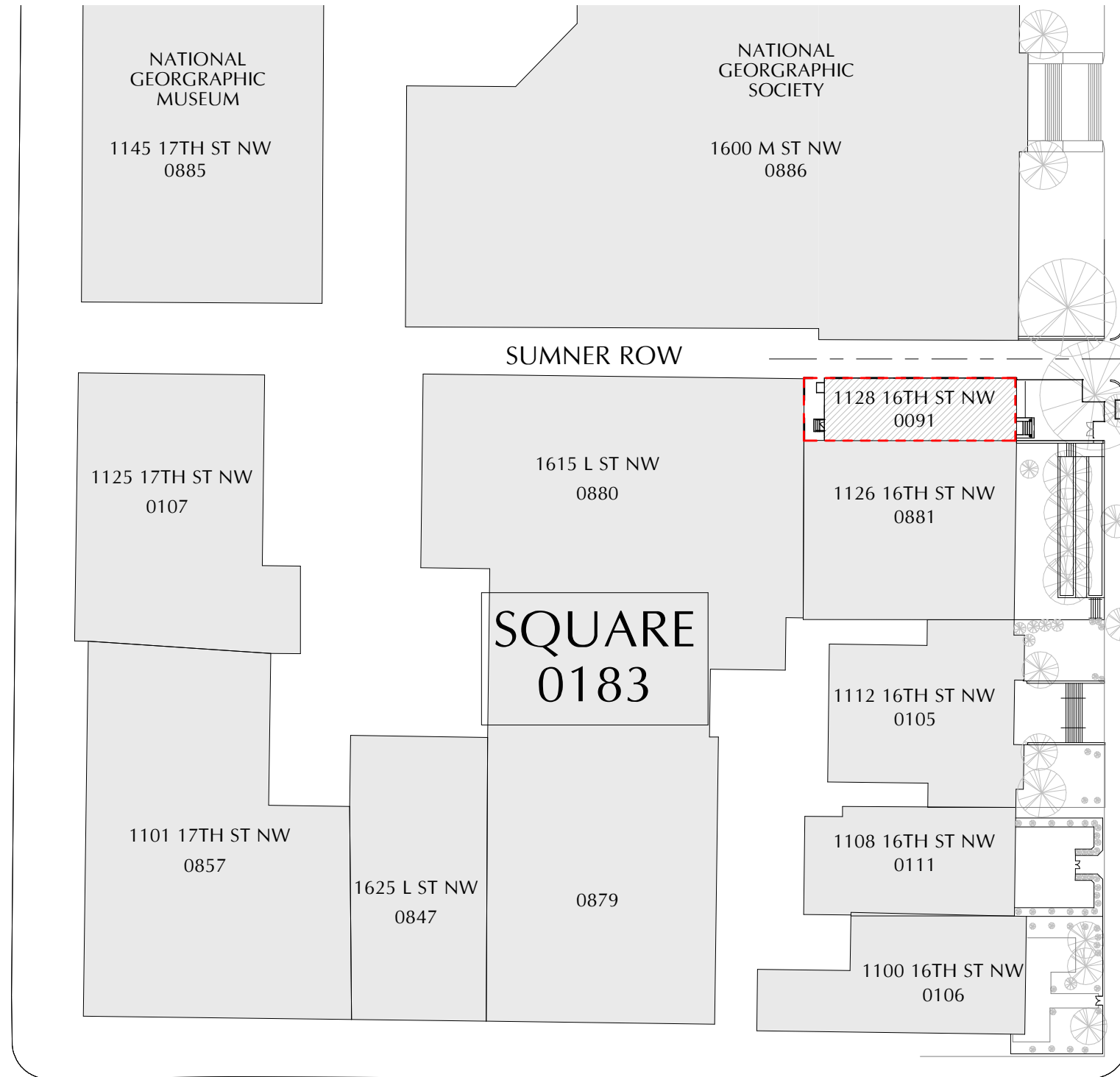
1128 16TH ST, NW

08.08.2025

EXISTING CONTEXT SITE PLAN

17TH ST NW

16TH ST NW



1/64" = 1'-0"



L ST NW

L ST NW

1128 16TH ST, NW

08.08.2025

EXISTING CONTEXT PHOTOS

EAST SIDE 16TH ST NW



1100 16TH ST NW



1112 16TH ST NW | 1108 16TH ST NW



1126 16TH ST NW (UNIDOS) | 1128 16TH ST NW



1600 M ST NW (NATIONAL GEOGRAPHIC)

WEST SIDE 16TH ST NW



1101 16TH ST NW



PARTIAL 1101 16TH ST NW | PARTIAL 1119 16TH ST NW



1119 16TH ST NW (RUSSIAN AMBASSADOR)



1135 16TH ST NW (UNIVERSITY CLUB)

1128 16TH ST, NW

08.08.2025

EXISTING CONTEXT PHOTOS CONT.



16TH STREETVIEW LOOKING NORTH TOWARDS 1128



16TH STREETVIEW CLOSE-UP LOOKING NORTH TOWARDS 1128



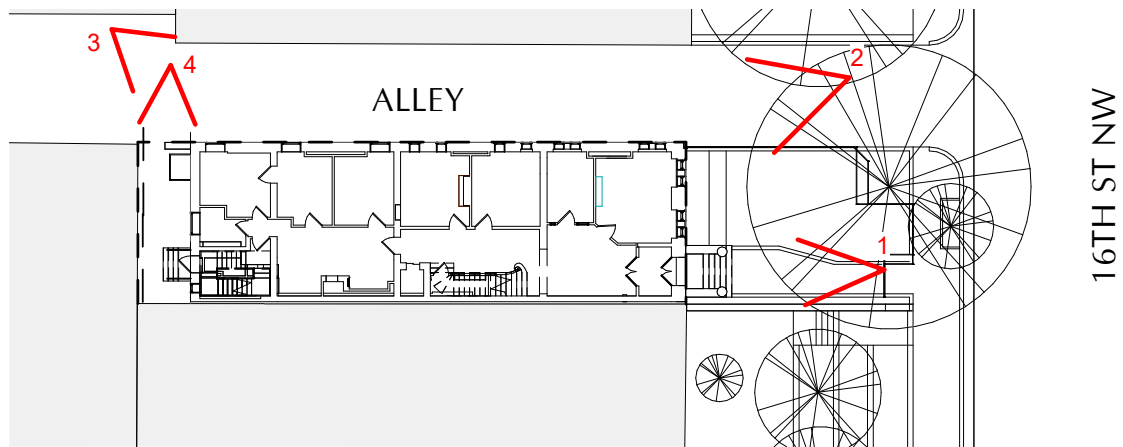
16TH STREETVIEW LOOKING SOUTH TOWARDS 1128



16TH STREETVIEW AT NATIONAL GEOGRAPHIC BUILDING LOOKING NORTH TOWARDS 1128

1128 16TH ST, NW
08.08.2025

EXISTING SITE IMAGES



1.



2.



3.

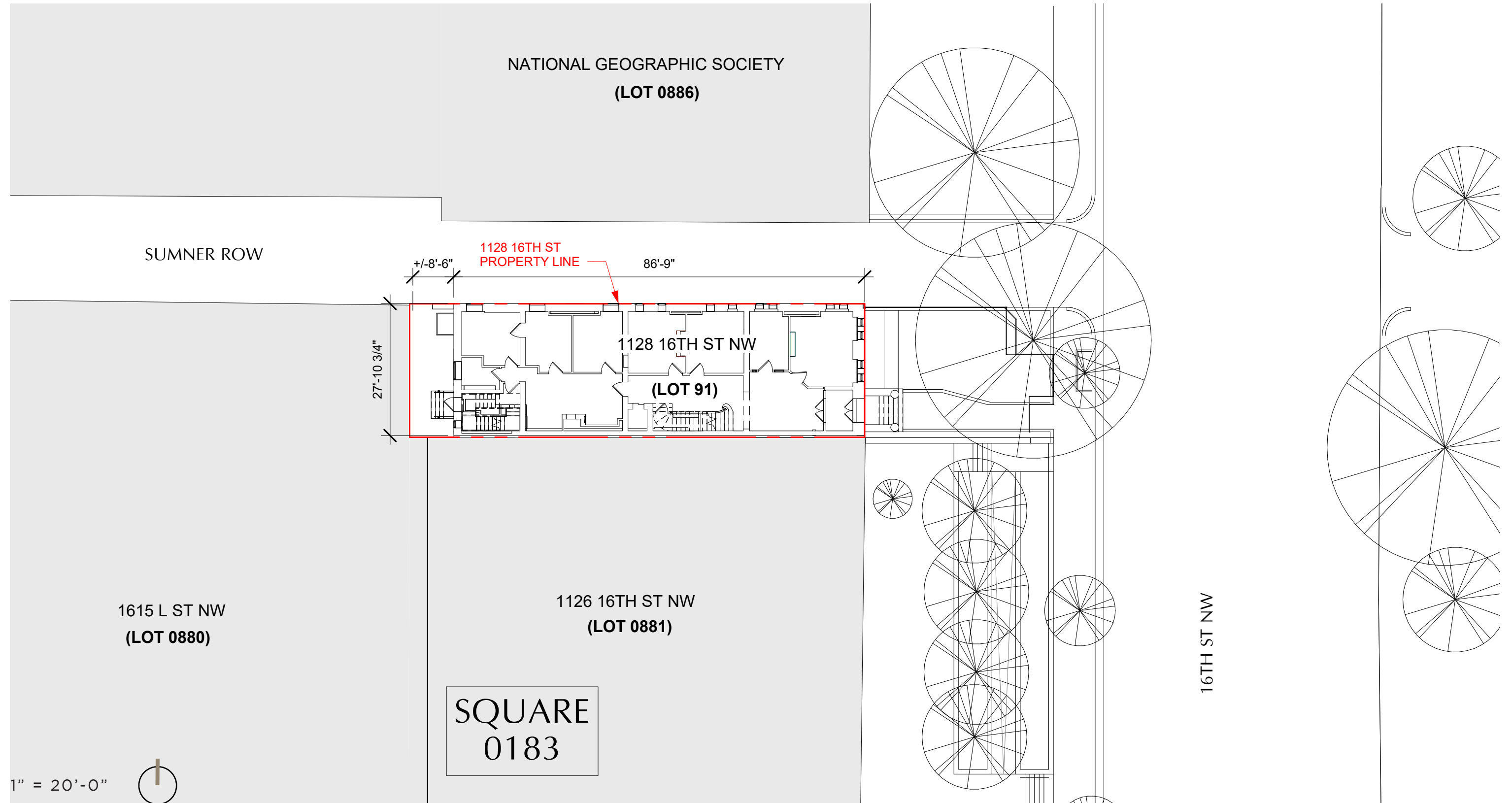


4.



1128 16TH ST, NW
08.08.2025

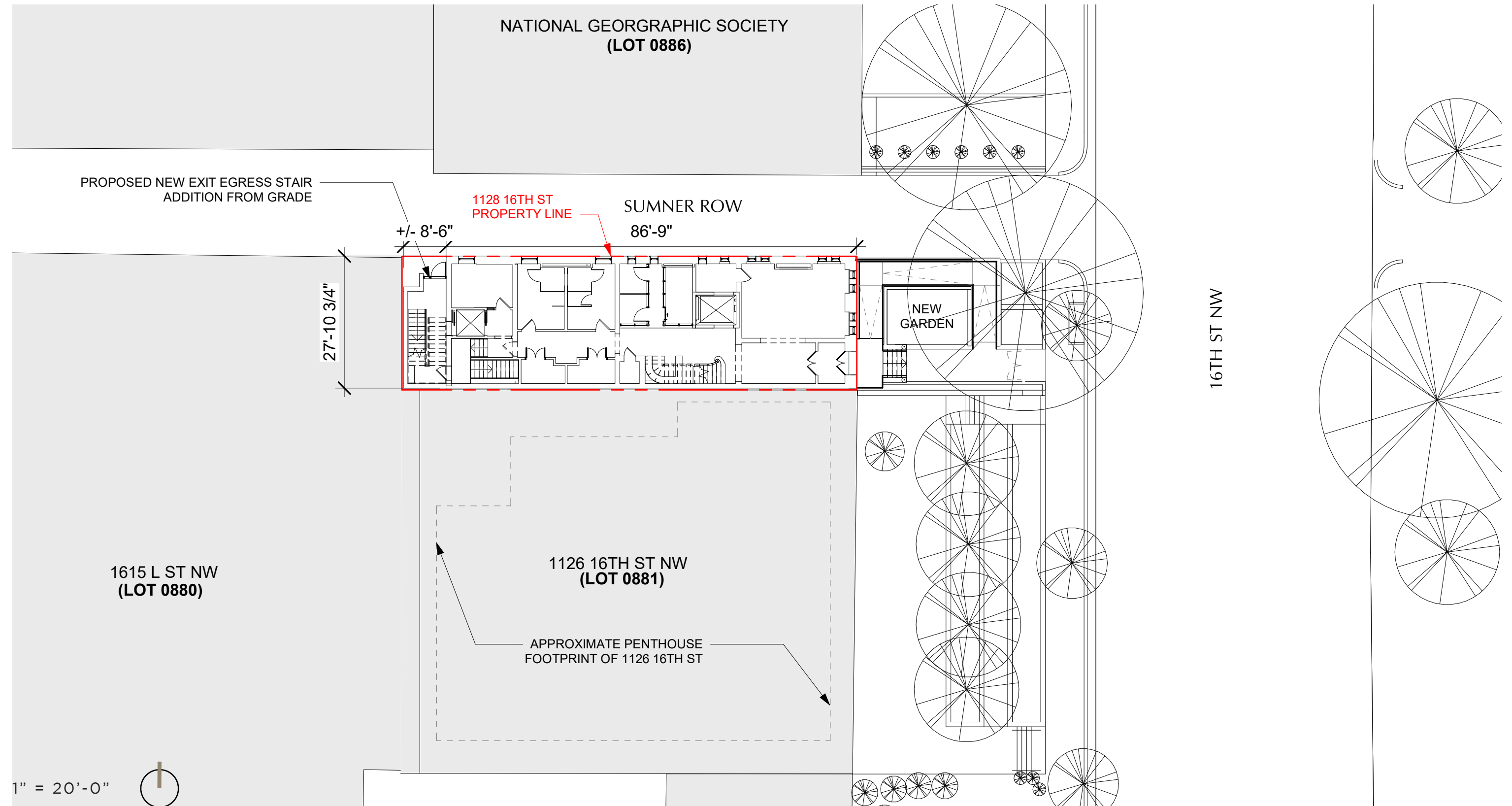
EXISTING SITE PLAN



1128 16TH ST, NW

08.08.2025

PROPOSED SITE PLAN



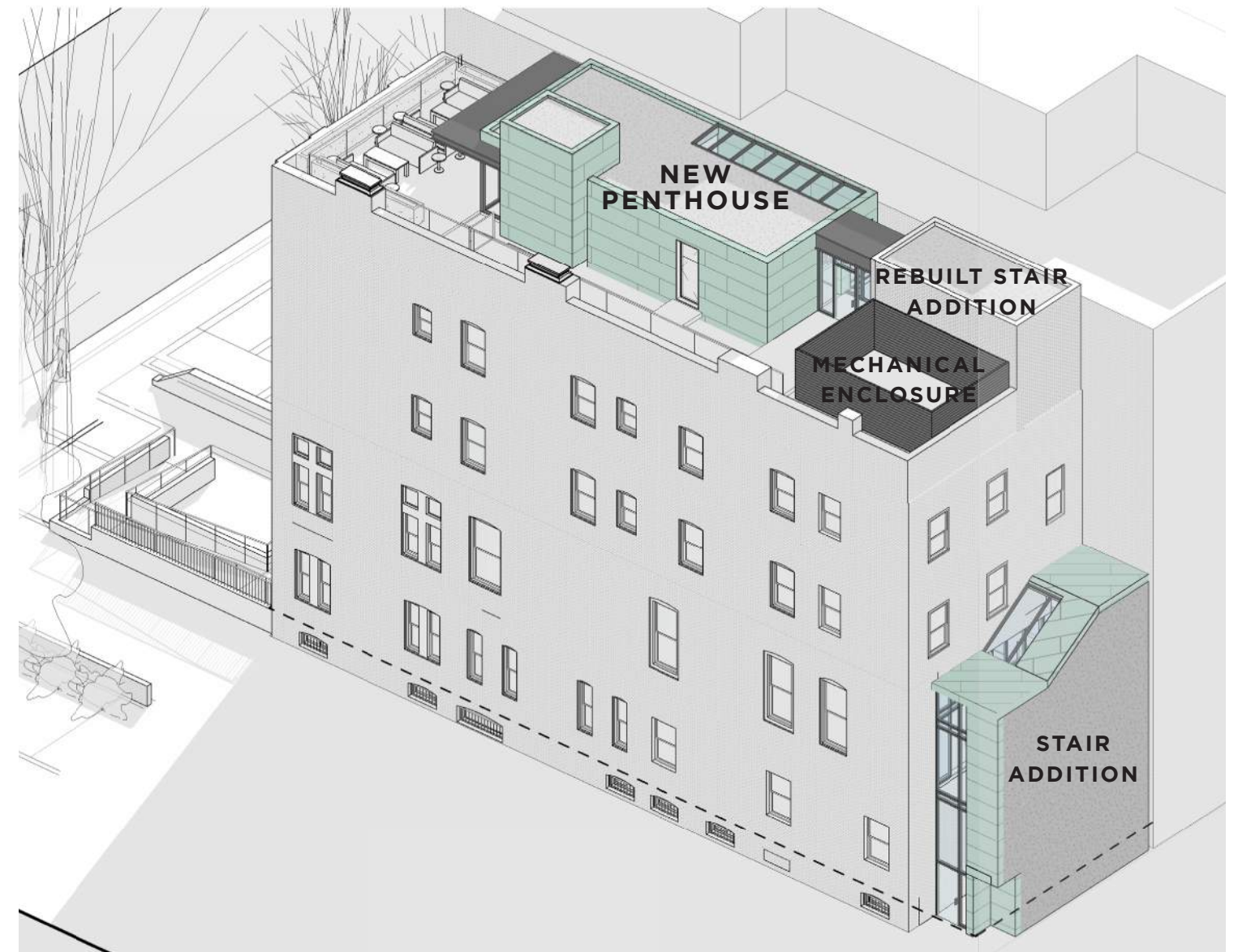
1" = 20'-0"

1128 16TH ST, NW
08.08.2025

AXONOMETRIC DIAGRAMS



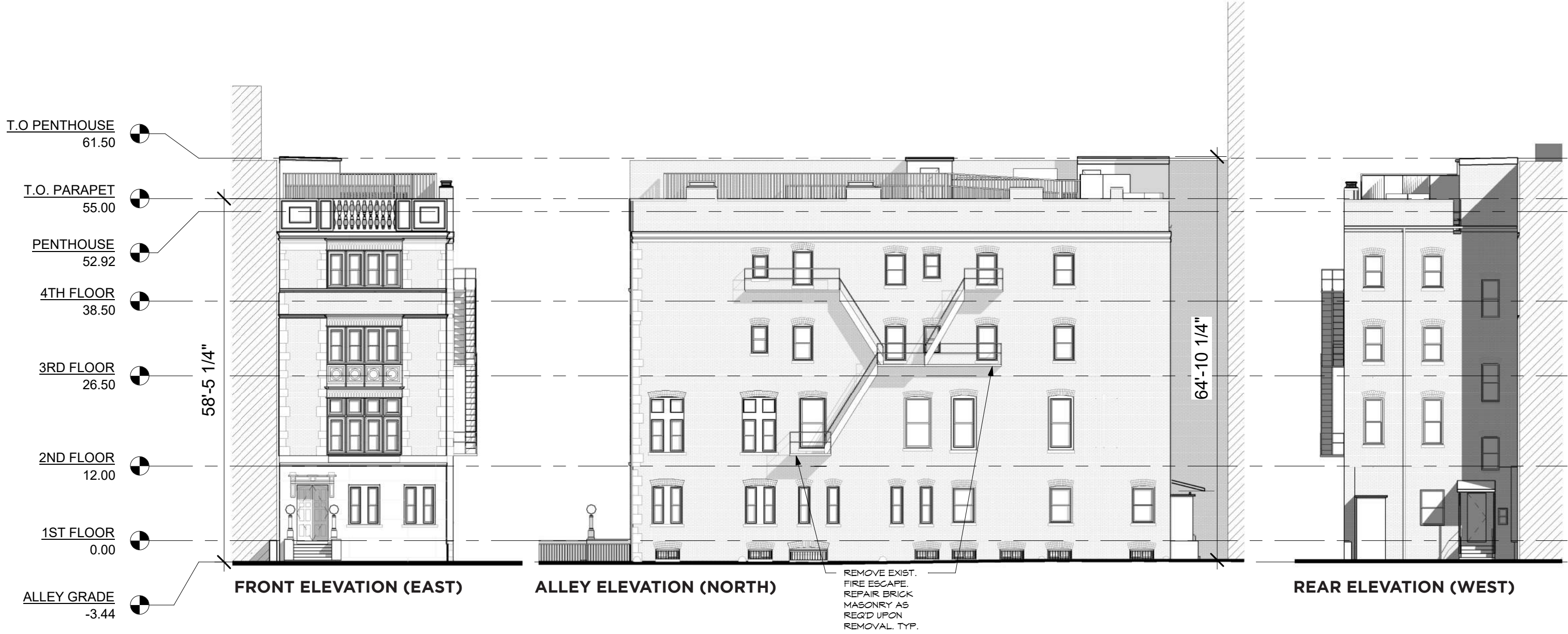
EXISTING BUILDING



PROPOSED ADDITIONS

1128 16TH ST, NW
08.08.2025

EXISTING BUILDING ELEVATIONS



1/16" = 1'-0"

1128 16TH ST, NW
08.08.2025

PROPOSED ELEVATIONS (NORTH)



3/32" = 1'-0"

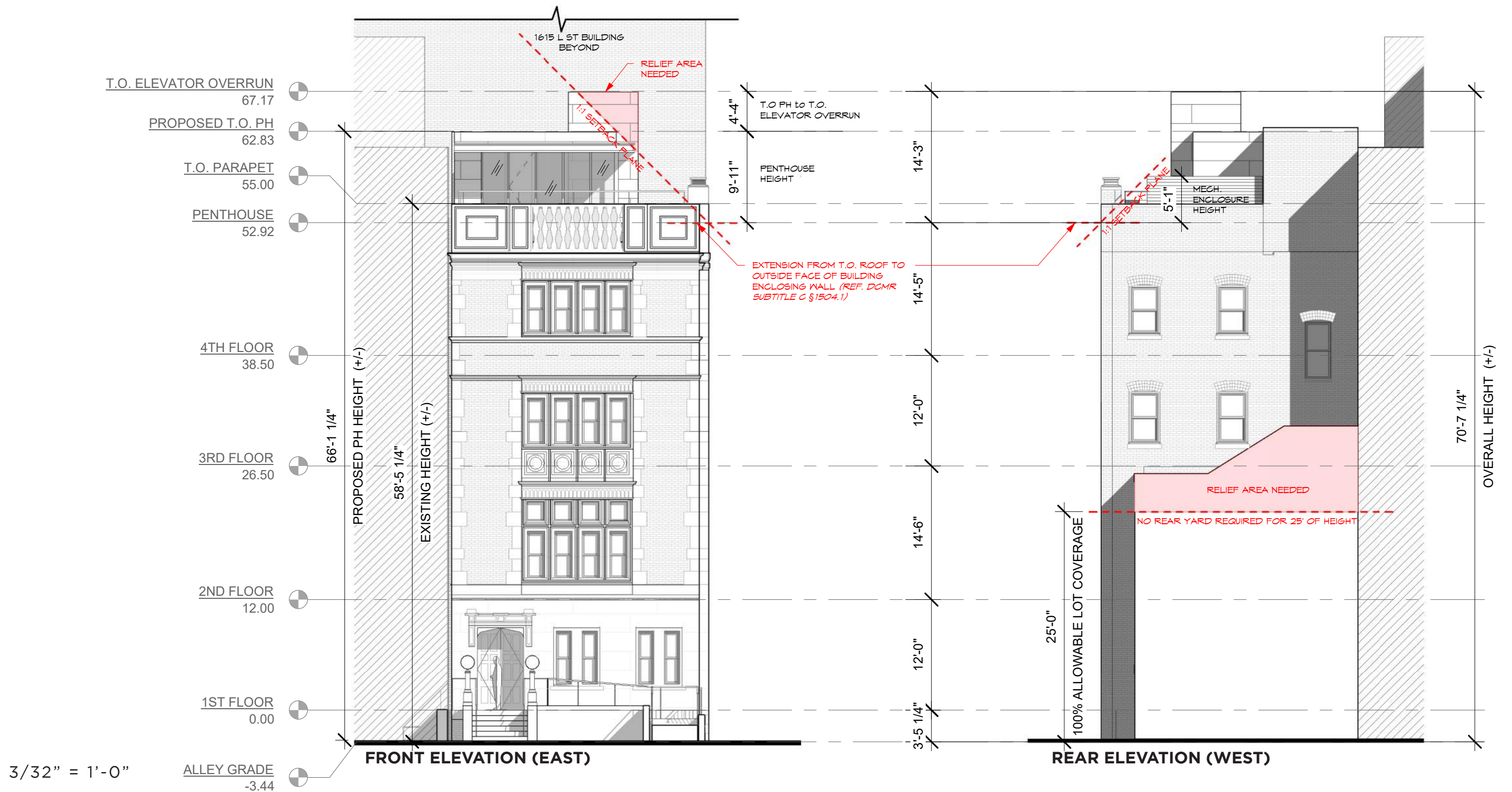


PROPOSED NEW WINDOWS TO MATCH EXISTING

1128 16TH ST, NW

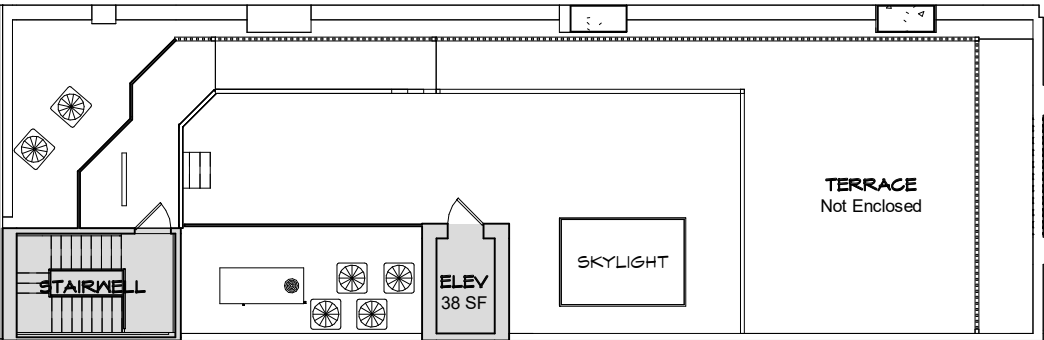
08.08.2025

PROPOSED ELEVATIONS (EAST + WEST)

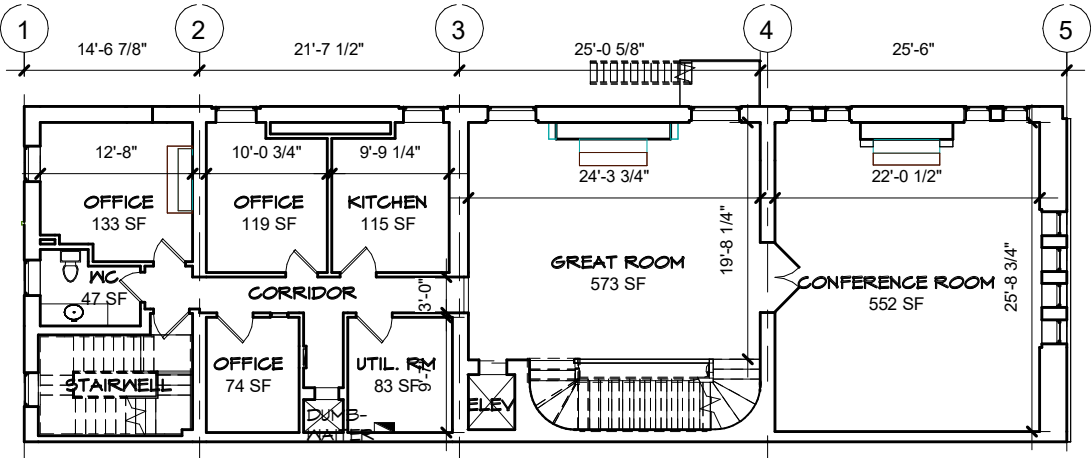


1128 16TH ST, NW
08.08.2025

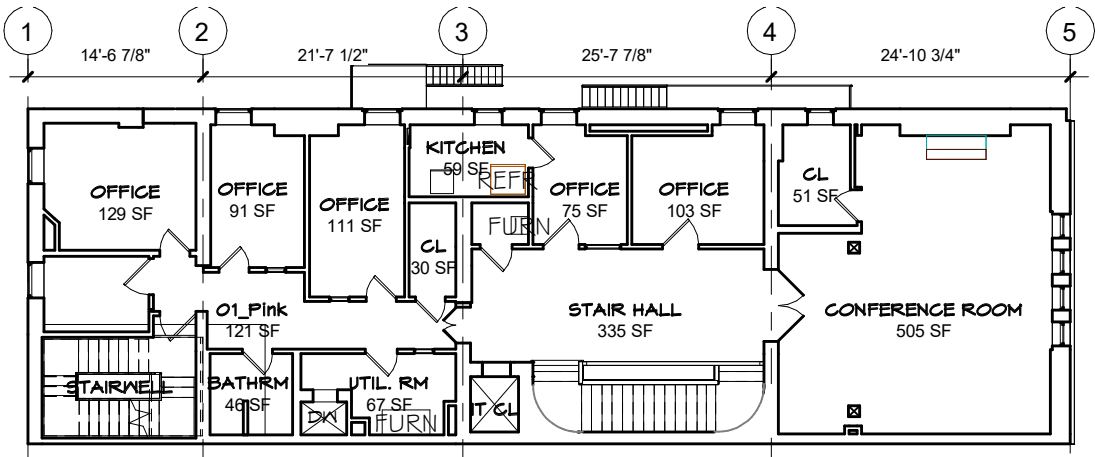
EXISTING FLOOR PLANS



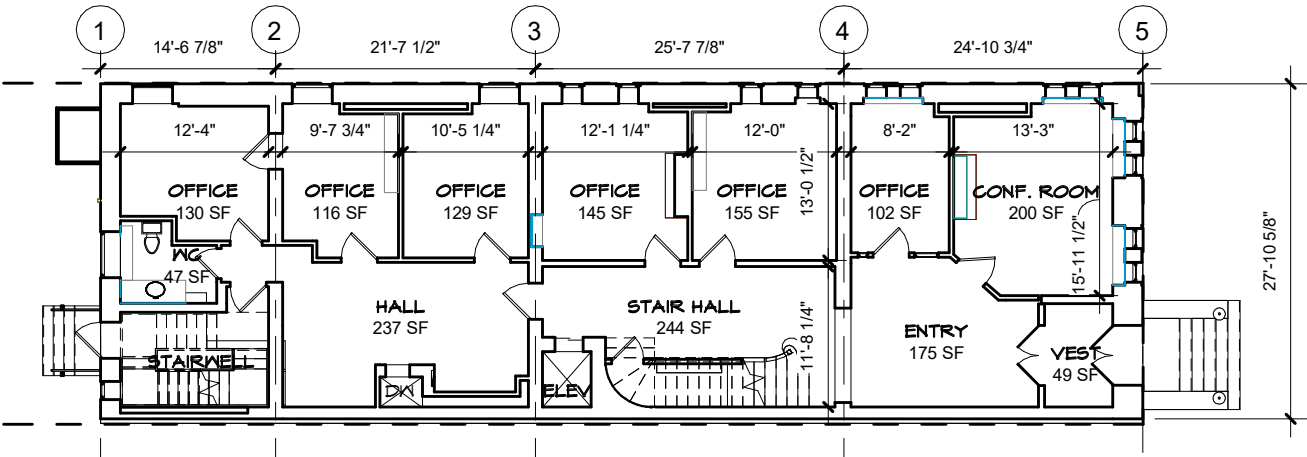
ROOF PLAN



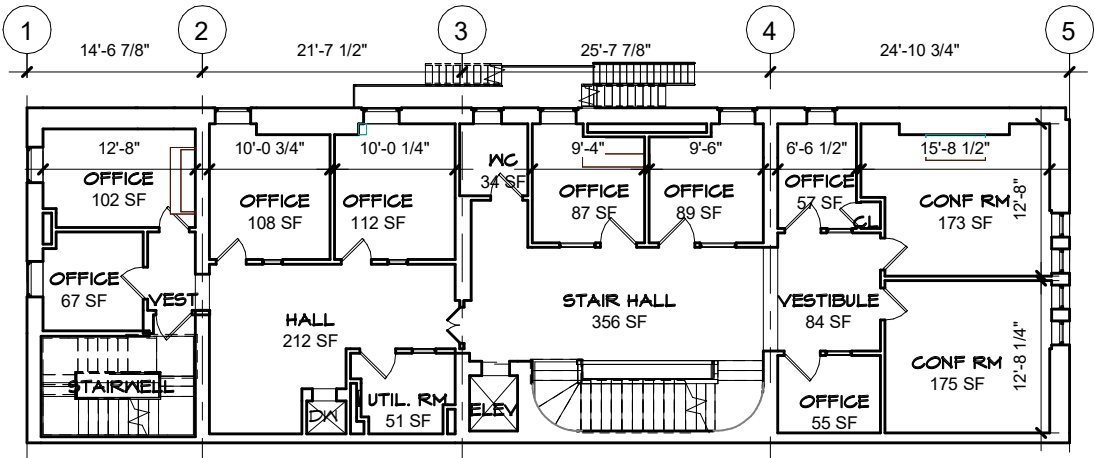
2ND FLOOR PLAN



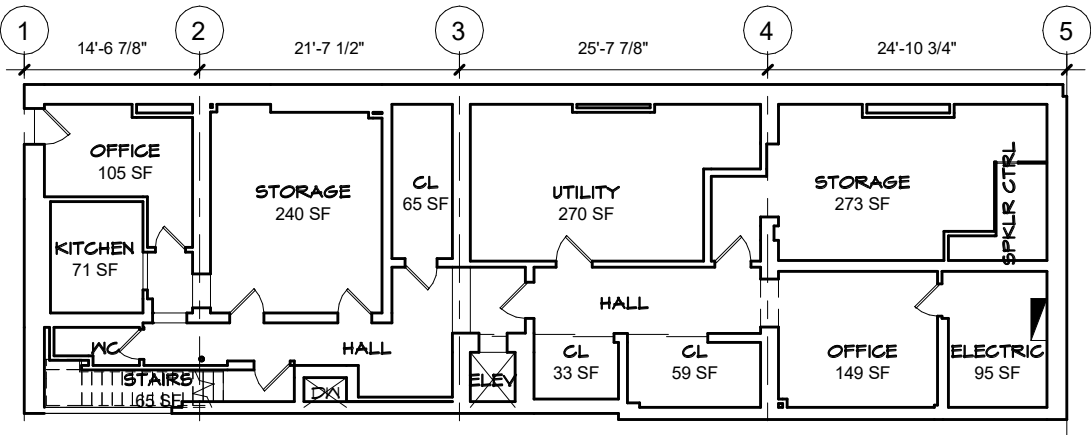
4TH FLOOR PLAN



1ST FLOOR PLAN



3RD FLOOR PLAN



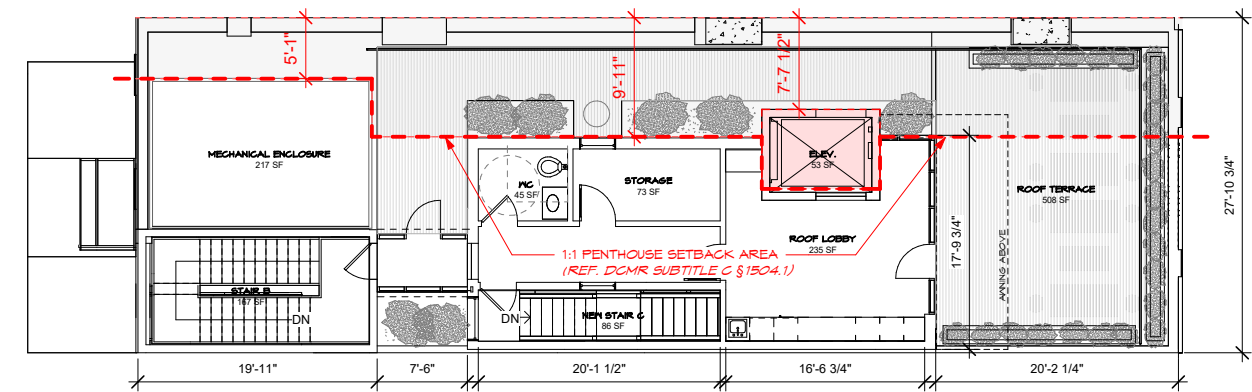
BASEMENT PLAN

1/16" = 1'-0"

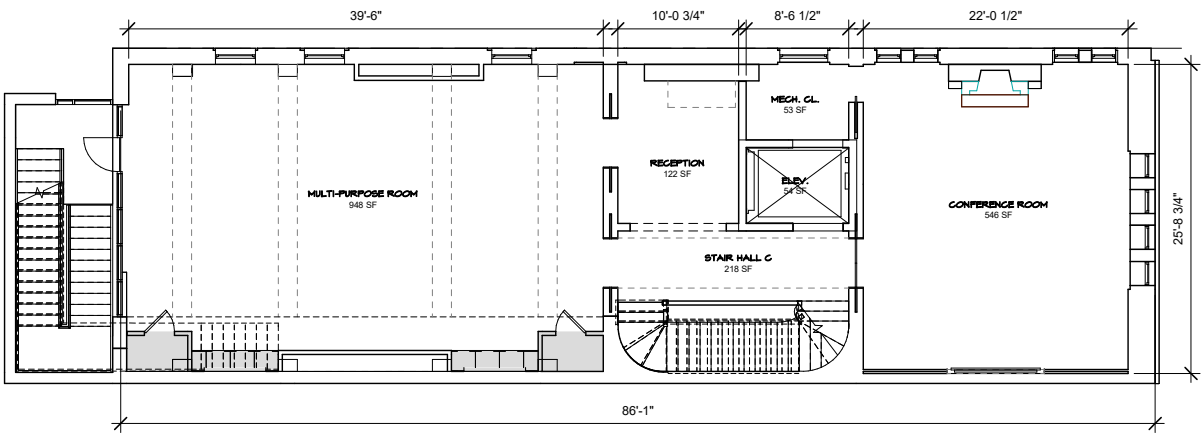


1128 16TH ST, NW
08.08.2025

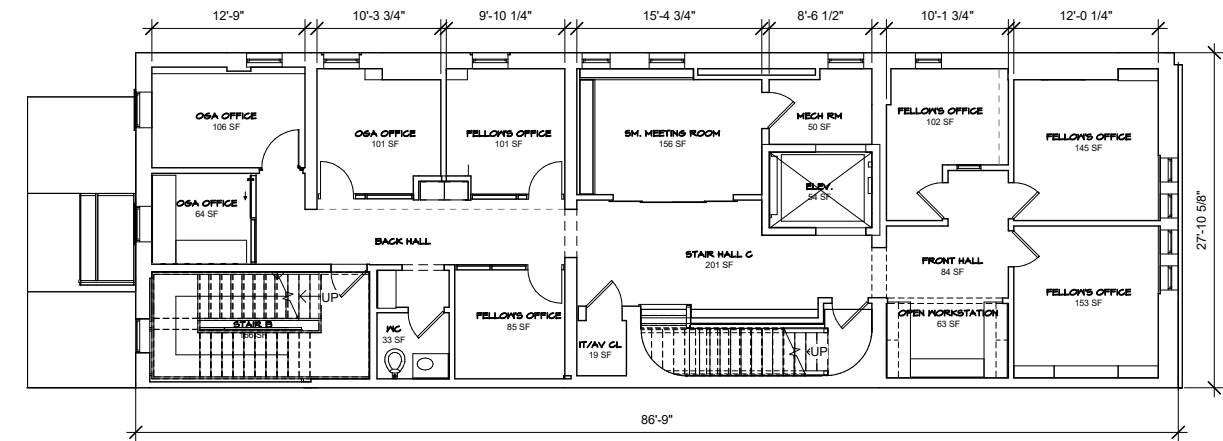
PROPOSED FLOOR PLANS



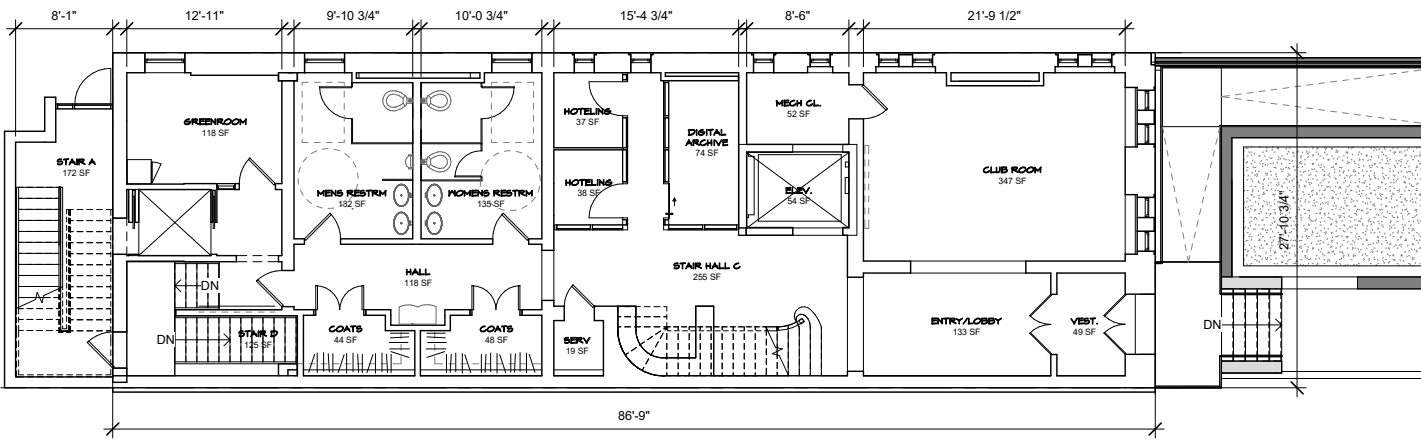
ROOF PLAN



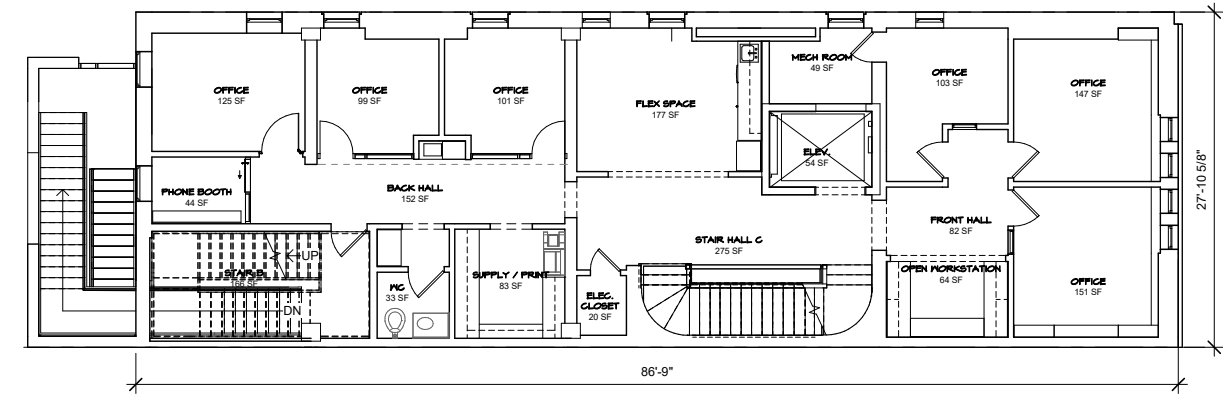
2ND FLOOR PLAN



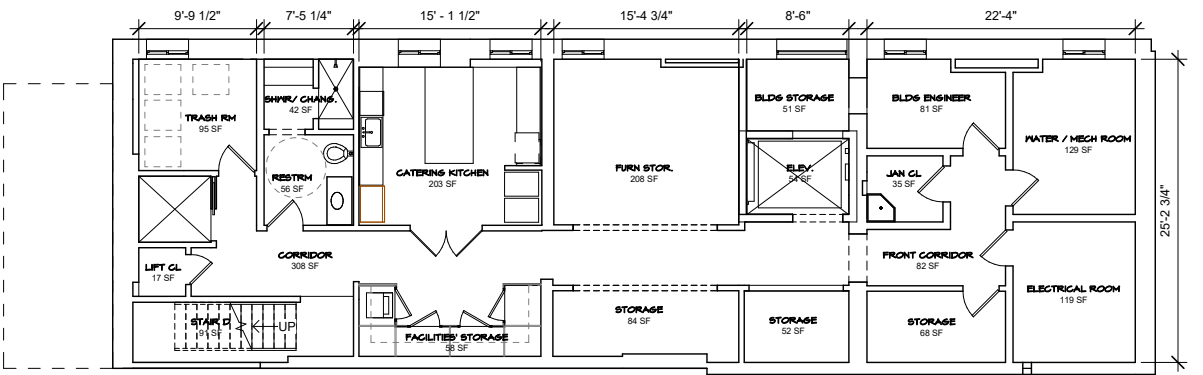
4TH FLOOR PLAN



1ST FLOOR PLAN



3RD FLOOR PLAN



BASEMENT PLAN

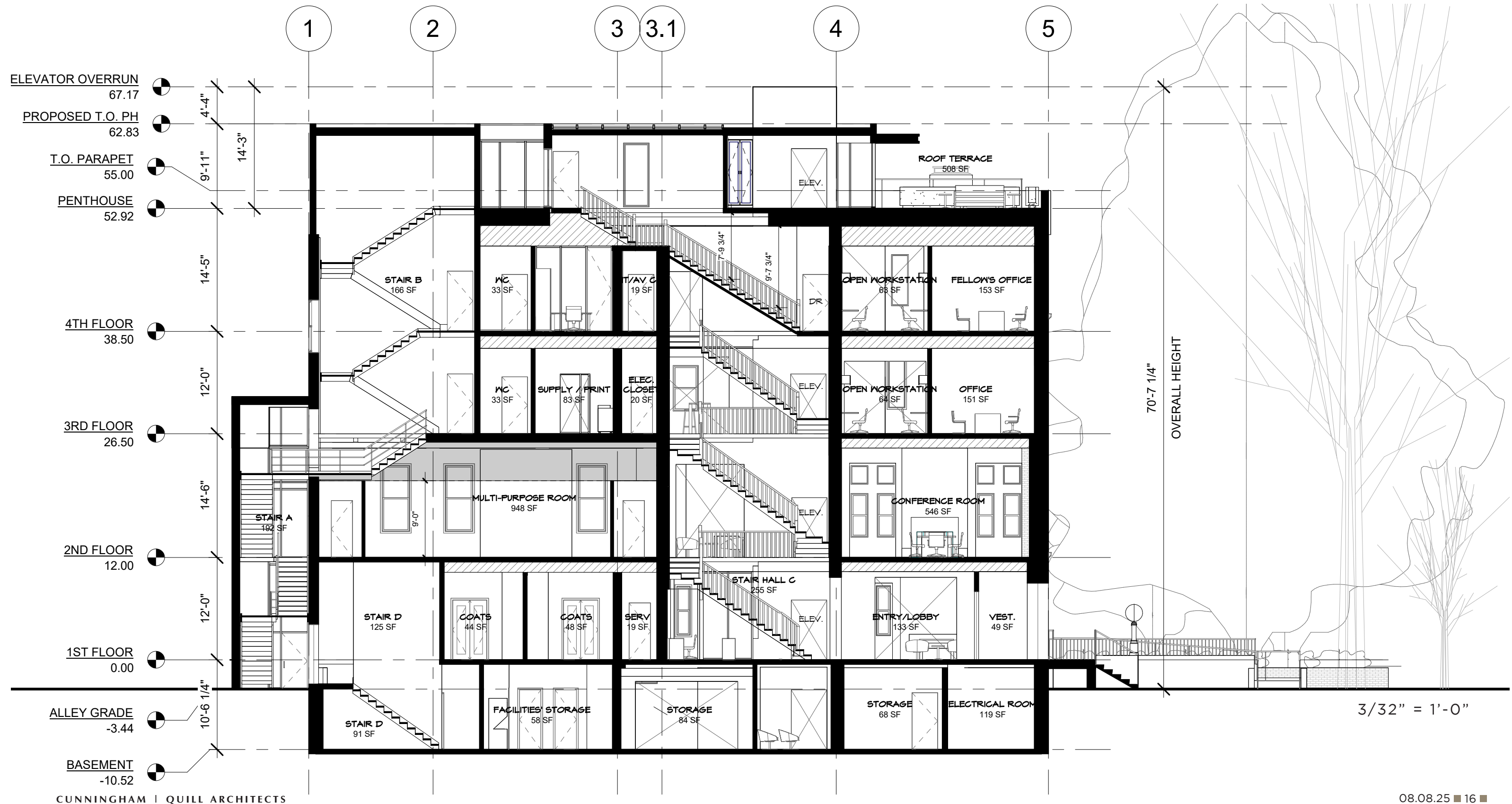
1/16" = 1'-0"



1128 16TH ST, NW

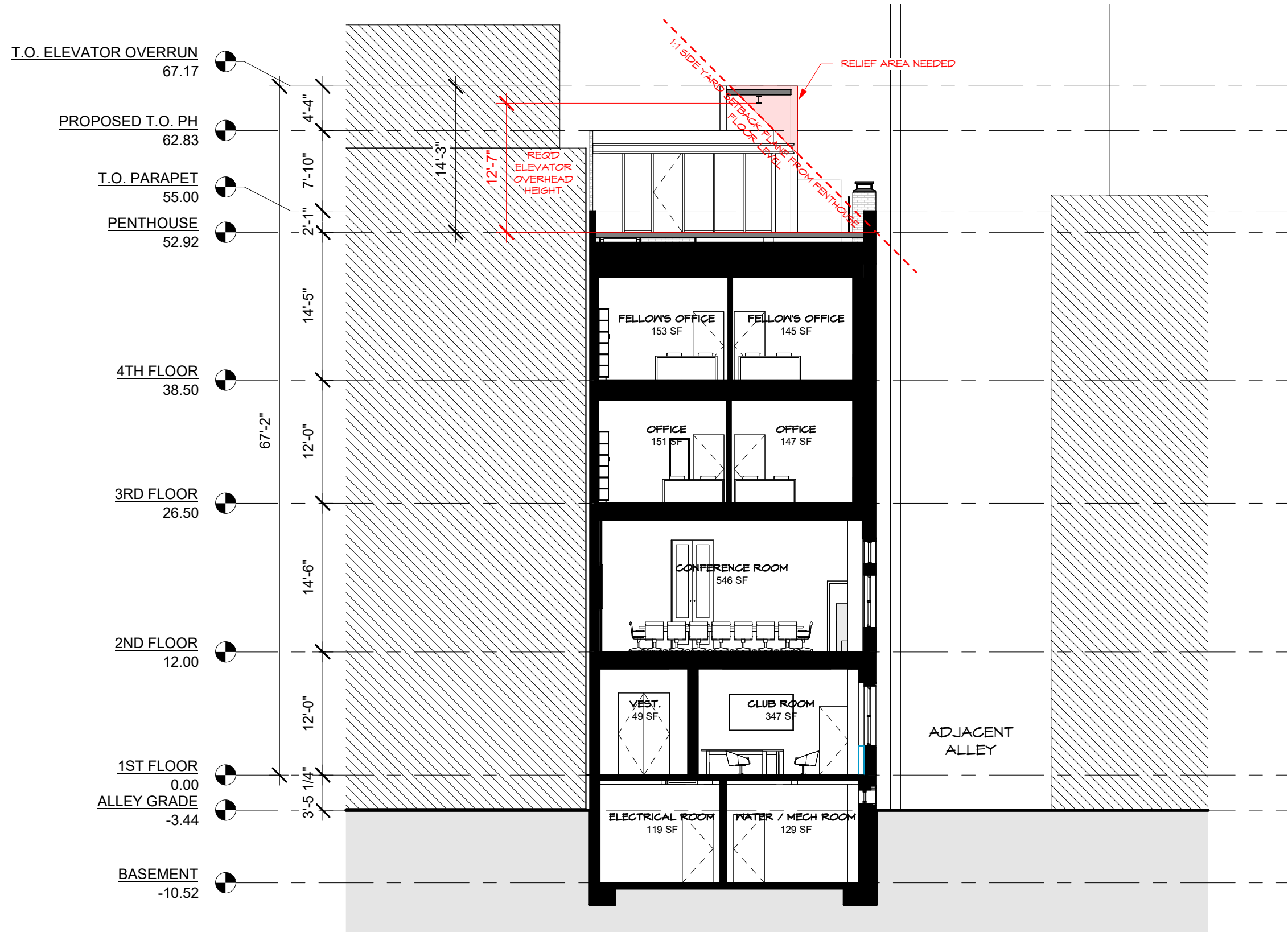
08.08.2025

PROPOSED BUILDING SECTION



1128 16TH ST, NW
08.08.2025

DIFFICULTY I: ELEVATOR OVERRUN
SECTION



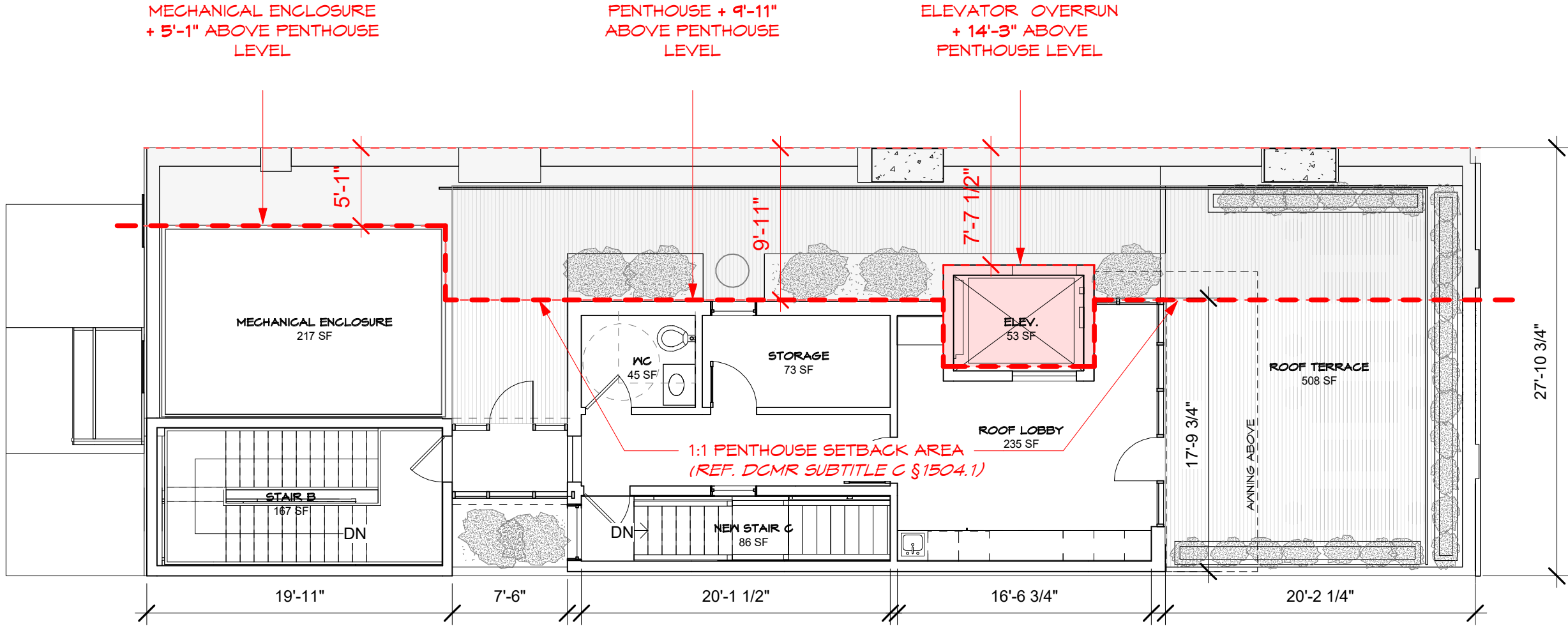
**ELEVATOR OVERRUN
REQUIREMENTS:**

The elevator overrun for the proposed elevator at 1128 16th ST NW is 12'-7". This measurement is taken from the finished floor of the top elevator stop (Penthouse Level) to the bottom of the hoist beam. This requires the overall height of the Elevator overrun construction to be 14'-3".

Due to plan Limitations, the new elevator must be placed closer to the north alley side facade of the building which encroaches on the penthouse setback of 1:1 from the exterior facade wall at the Penthouse level height. (DCMR Title 11, Subtitle C, Chapter 15, §1504.1)

1128 16TH ST, NW
08.08.2025

DIFFICULTY I: ELEVATOR OVERRUN
PLAN



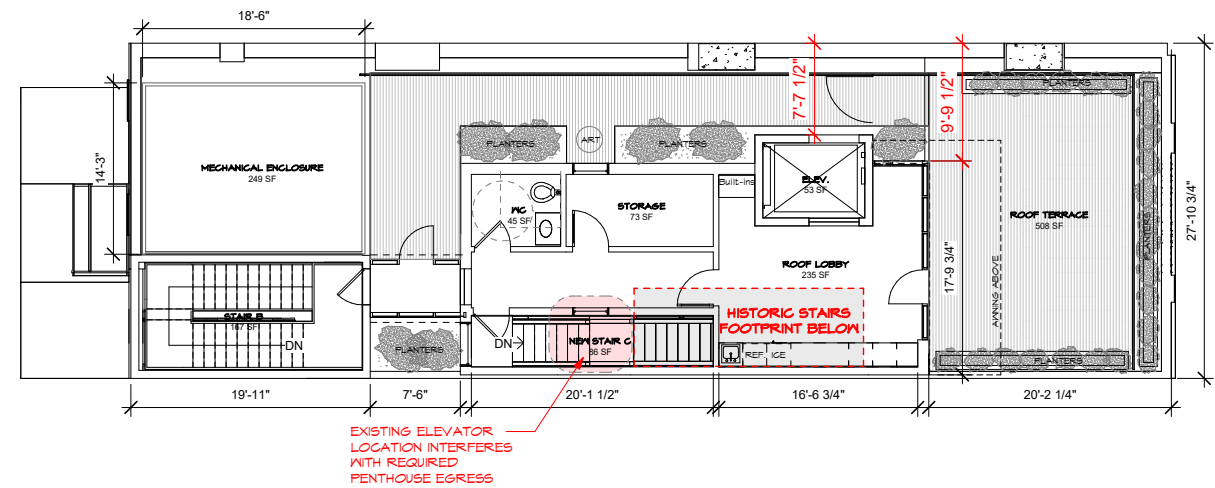
ROOF PLAN

1/8" = 1'-0"

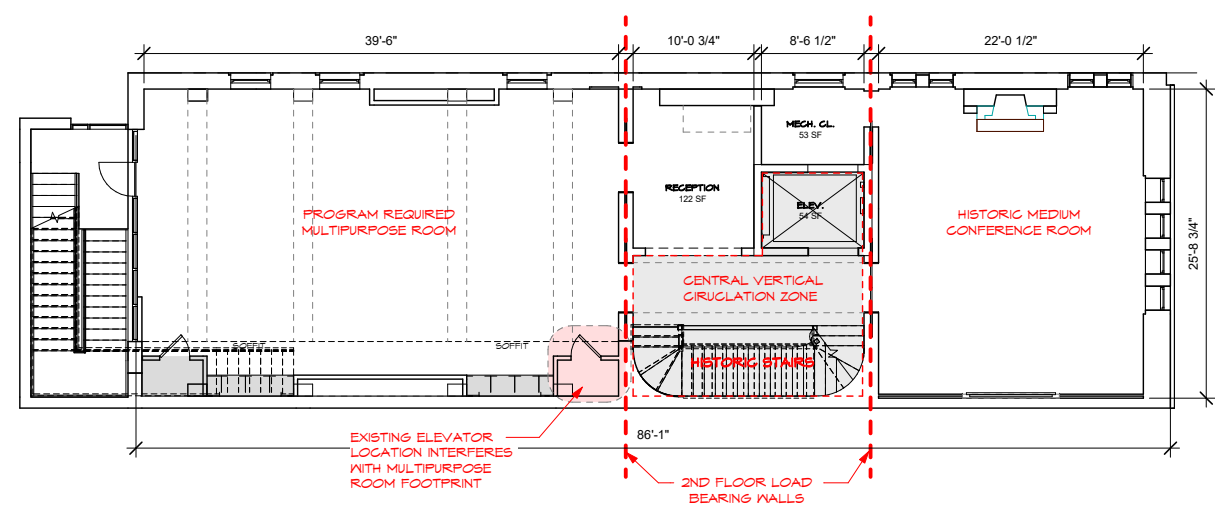
1128 16TH ST, NW
08.08.2025

DIFFICULTY I: ELEVATOR OVERRUN
PLAN RESTRICTIONS

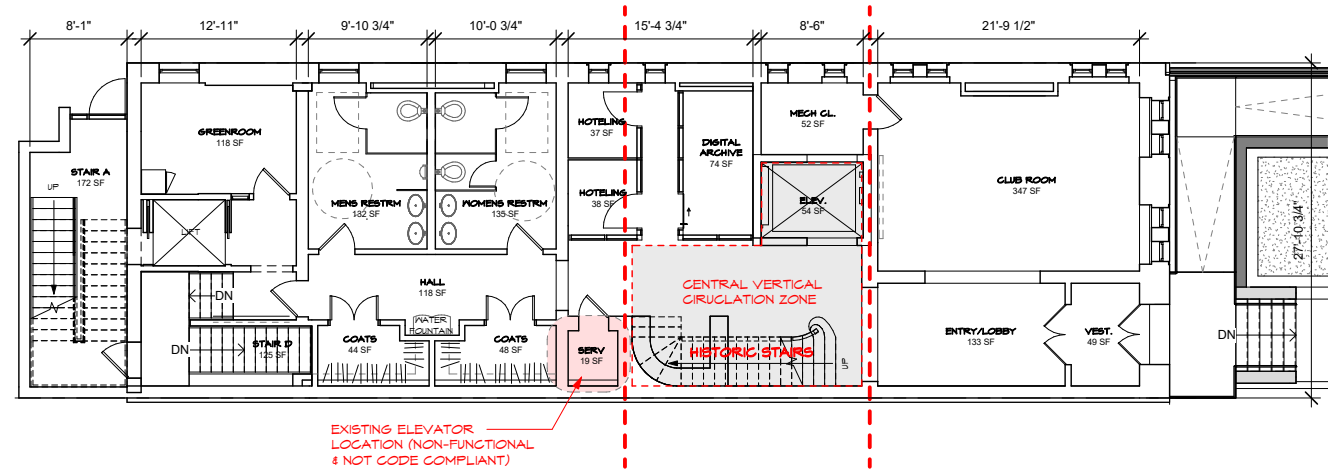
PENTHOUSE PLAN (3.)



2ND FLOOR PLAN (2.)



1ST FLOOR PLAN (1.)



ELEVATOR PLAN PLACEMENT REQUIREMENTS:

The plan for 1128 16th ST NW proposes replacing the existing non-functional and non-compliant elevator with a new elevator placed across from the existing historic stair. This new location creates a natural, purposeful space for public vertical circulation from the 1st floor to the penthouse. The elevator's new location is constrained by several factors including plan limitations on the 1st floor, 2nd floor, and Penthouse level:

1. FIRST FLOOR: The existing elevator is non-functional and does not meet current life safety building code requirements. The size of the new proposed elevator needs to be placed across from the stair to fit the building's plan.
2. SECOND FLOOR: The 2nd floor program provides a purposeful yet limited public vertical circulation zone that is centered around the existing historic stair. Programatic needs and two load-bearing walls constrain this space forcing the elevator to be placed across from the historic stair.
3. PENTHOUSE: The penthouse level addition will require two means of egress. This requires the historic stair to be extended up to the roof which leaves no area for a code compliant elevator along the south party wall that is immediately accessible to the main penthouse spaces.

1128 16TH ST, NW

08.08.2025

POTENTIAL ELEVATOR OVERRUN VIEW FROM STREET LEVEL:

(THESE VIEWS ARE TYPICALLY OBSTRUCTED YEAR-ROUND BY NEIGHBORING MAGNOLIA TREES ON NATIONAL GEOGRAPHIC SOCIETY PROPERTY)

**VIEW FROM CENTER OF 16TH ST****DIFFICULTY I: ELEVATOR OVERRUN
STREET PERSPECTIVES****VIEW FROM SIDEWALK AT ALLEY**

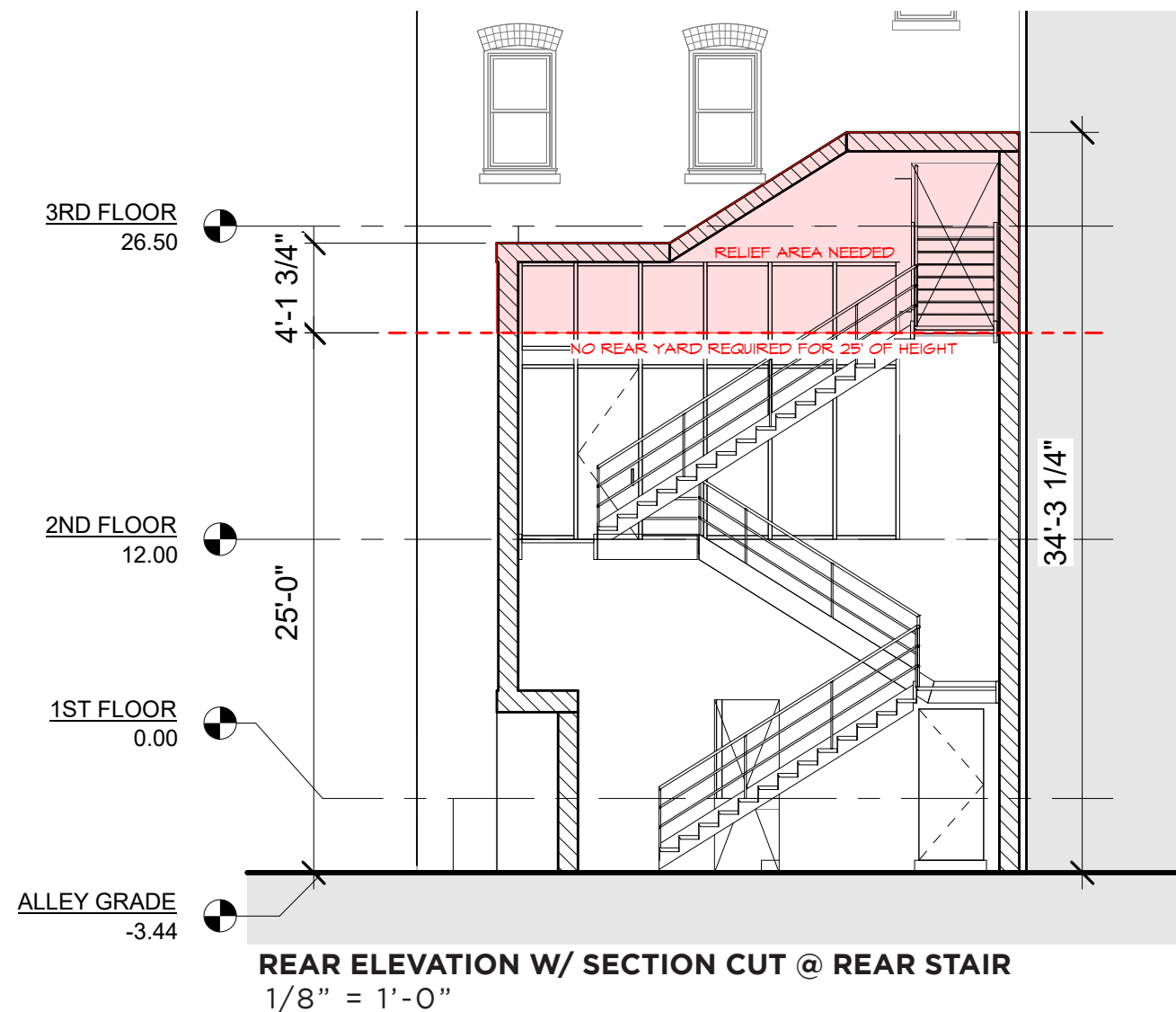
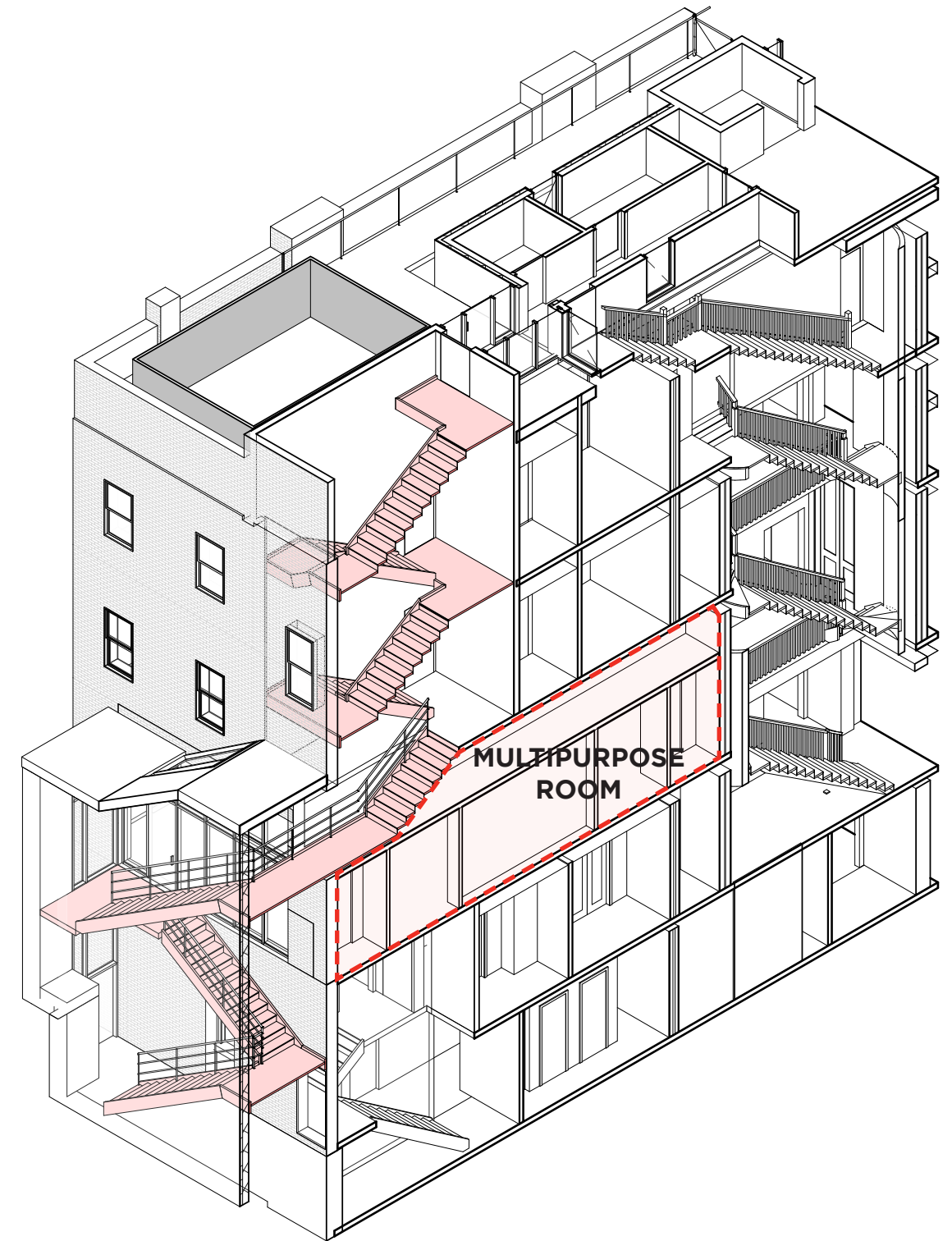
1128 16TH ST, NW

08.08.2025

REAR STAIR ADDITION RELIEF:

"Within the depth specified in § Subtitle I 205.1 for the first twenty-five feet (25 ft.) above the mean finished grade at the middle of the rear of the structure and a horizontal plane) above the first plane" (DCMR Title 11, Subtitle I, Chapter 2, §205.2)

Under the current zoning, the majority of the proposed rear stair addition is permitted. However, in order to effectively connect the new stair core to the rebuilt code-compliant stair on the 3rd and 4th floors, a special exception is needed. This additional height is necessary to achieve the code-required head heights at the 3rd floor transition from the rear addition to the internal rebuilt stair core within the building. This exception will ensure a safe, code-compliant vertical circulation that enhances the renovation of the existing building.

**DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT
SECTION & AXON****PARTIAL AXON SHOWING NEW EGRESS STAIR ADDITION**

1128 16TH ST, NW

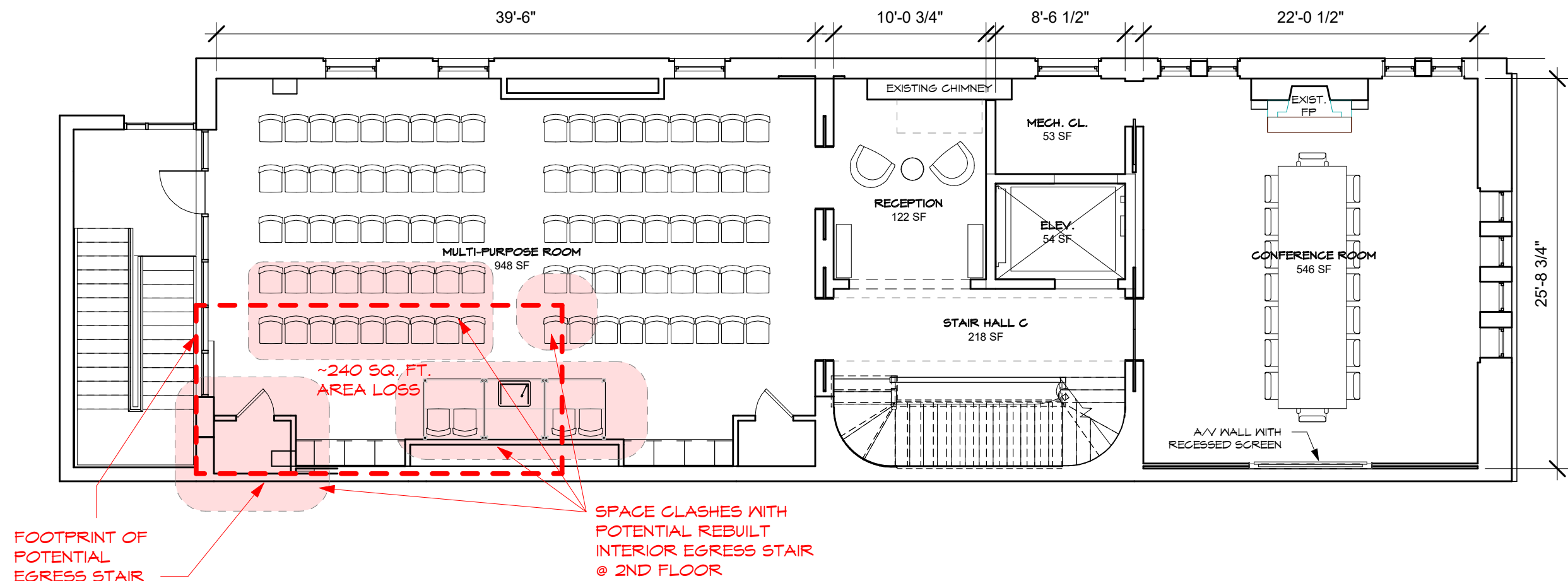
08.08.2025

DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT ALTERNATE STAIR LOCATION AT 2ND FLOOR

ALTERNATE EGRESS STAIR LOCATION IN-FEASIBILITY:

The proposed rear stair addition is strategically located to maximize usable floor area in the second-floor multipurpose room, ensuring sufficient space to meet the programmatic requirements of the space. The new stair also doubles as a functional design element that both provides extra daylight into the dark alley-bound site, and creates a feature wall for the west side of the multipurpose room that could serve as a background for lectures and speaking events that will be held in the room.

As a whole, the second floor serves as the central events and gathering level of the project; it will regularly accommodate Hoover's many speakers, lunches/dinners/banquets, panel presentations, ceremonies, and other gatherings. The new stair allows for an open and flexible layout, free from obstructions that would otherwise limit the capacity and functionality of the multipurpose room. Additionally, the new stair corrects existing code deficiencies by replacing the current non-compliant egress stair, thereby improving overall life safety and code compliance of the project. The diagram below shows the footprint of a code-compliant egress stair that is proposed for the 3rd and 4th floors. This footprint would diminish the form and function of the future multipurpose room.



1128 16TH ST, NW
08.08.2025



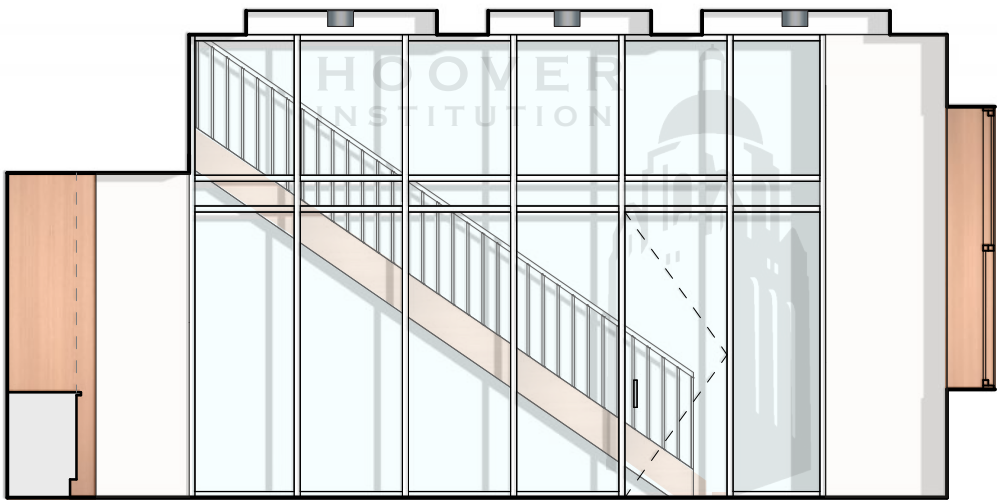
ALLEY ELEVATION AT REAR STAIR ADDITION (NORTH)
3/32" = 1'-0"

*ADJACENT BUILDING FEATURES ARE DRAWN BASED ON OBSERVATIONAL DATA

DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT
REAR ELEVATIONS AND INTERIOR VIEWS



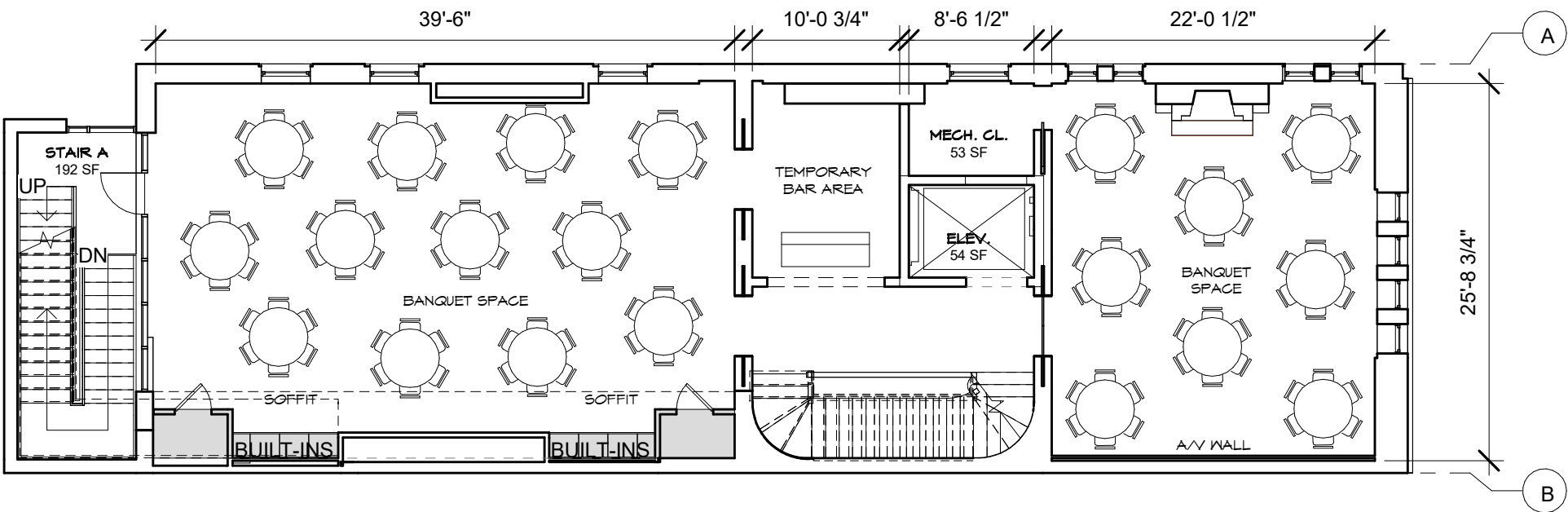
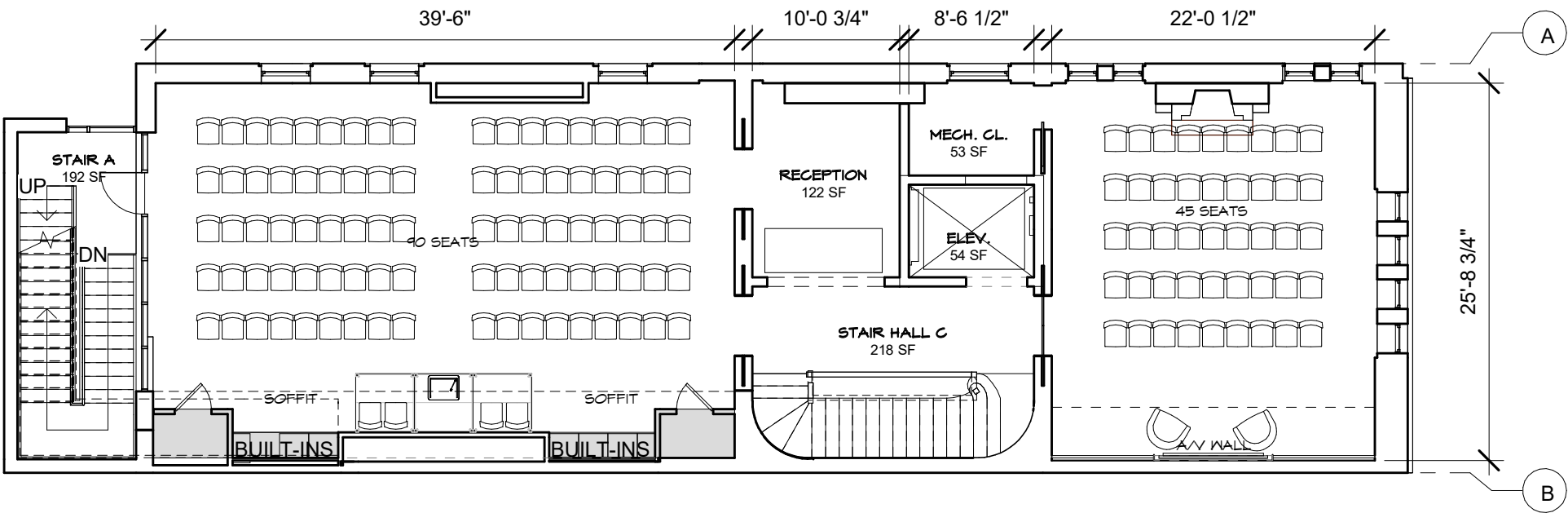
INTERIOR PERSPECTIVE OF MULTIPURPOSE
ROOM LOOKING TOWARDS STAIR ADDITION



WEST WALL INTERIOR ELEVATION

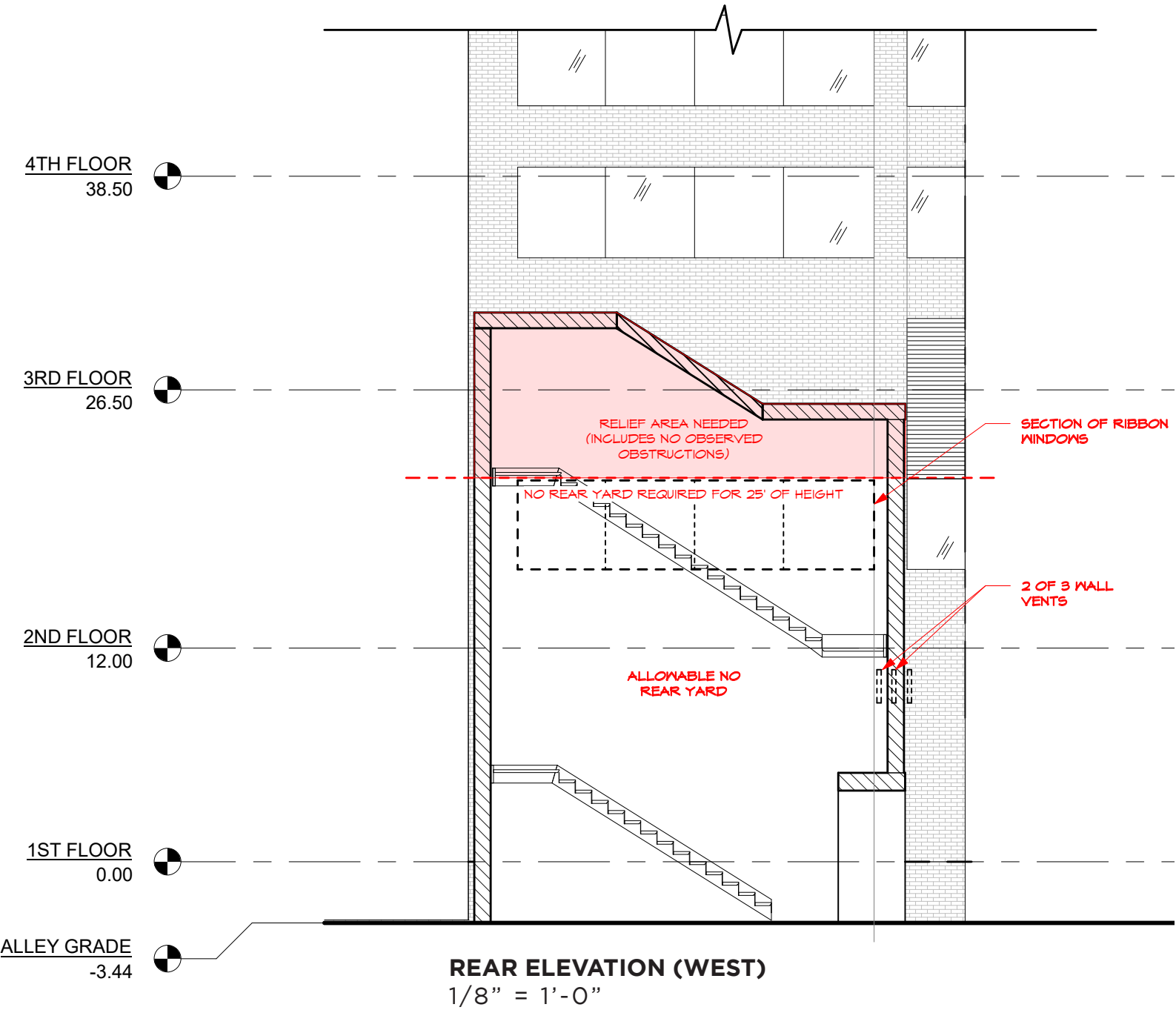
1128 16TH ST, NW
08.08.2025

DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT
2ND FLOOR EVENTS LAYOUTS



1128 16TH ST, NW
08.08.2025

DIFFICULTY AREA II: REAR STAIR ADDITION HEIGHT
NEIGHBOR COORDINATION



*PROPOSED REAR STAIR ADDITION LINES ARE APPROXIMATELY DRAWN BASED ON OBSERVATIONAL DATA

1128 16TH ST, NW
08.08.2025

DIFFICULTY AREA III: FAR INCREASE
SQ. FT. TABLE

| FLOORS | GROSS FLOOR AREA (PROPOSED) | GROSS FLOOR AREA (EXISTING) | PROPOSED INCREASE (SF) | FAR INCREASE |
|-----------|--------------------------------|--------------------------------|---------------------------|-----------------|
| CELLAR | - | - | - | - |
| 1ST FLOOR | 2,625 | 2,419 | 206 | 0.08 |
| 2ND FLOOR | 2,634 | 2,419 | 215 | 0.08 |
| 3RD FLOOR | 2,464 | 2,419 | 45 | 0.02 |
| 4TH FLOOR | 2,419 | 2,419 | - | |
| PENTHOUSE | - | - | - | - |
| TOTALS | 10,141 | 9,677 | 465 | |
| LOT AREA | 2,636 | 2,636 | 2,636 | |
| FAR | 3.85 | 3.67 | | 0.18 |