

PROPOSED RENOVATION FOR:

# Williams Donohue Residence

4401 Garrison St NW  
Washington, DC 20016

GENERAL NOTES

- REFER TO CONSTRUCTION DRAWINGS (CLIENT APPROVED CHANGE ORDERS, DRAWINGS, DESIGN TEAM'S SUPPLEMENTAL INSTRUCTIONS, AND RESPONSES TO REQUESTS FOR INFORMATION) PREPARED BY THE CSDI DESIGN TEAM, STRUCTURAL CONSULTANT, AND MEP CONSULTANT)
- FOR THE PURPOSE OF THESE DRAWINGS "OTS" (OWNER TO SUPPLY) SHALL MEAN ITEM PROVIDED BY OWNER, ASSEMBLED AND INSTALLED BY CONTRACTOR AS PART OF THE WORK OF THIS CONTRACT; THE ABBREVIATION "N.I.C." (NOT IN CONTRACT) SHALL MEAN ITEM PROVIDED AND INSTALLED BY OWNER UNDER SEPARATE CONTRACT.
- THE SUBCONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING CSDI UNIVERSAL SUBCONTRACTOR AGREEMENT, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE SUBCONTRACTOR TO FULLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DOCUMENTS, WILL NOT ENTITLE HIM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION.
- SHOULD THE SUBCONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE CONSTRUCTION DOCUMENTS, OR BE IN DOUBT AS TO THE MEANING AND INTENTION OF ANY ITEM OR REQUIREMENT, HE SHALL NOTIFY THE PRODUCTION MANAGER (P.M.) AT ONCE.

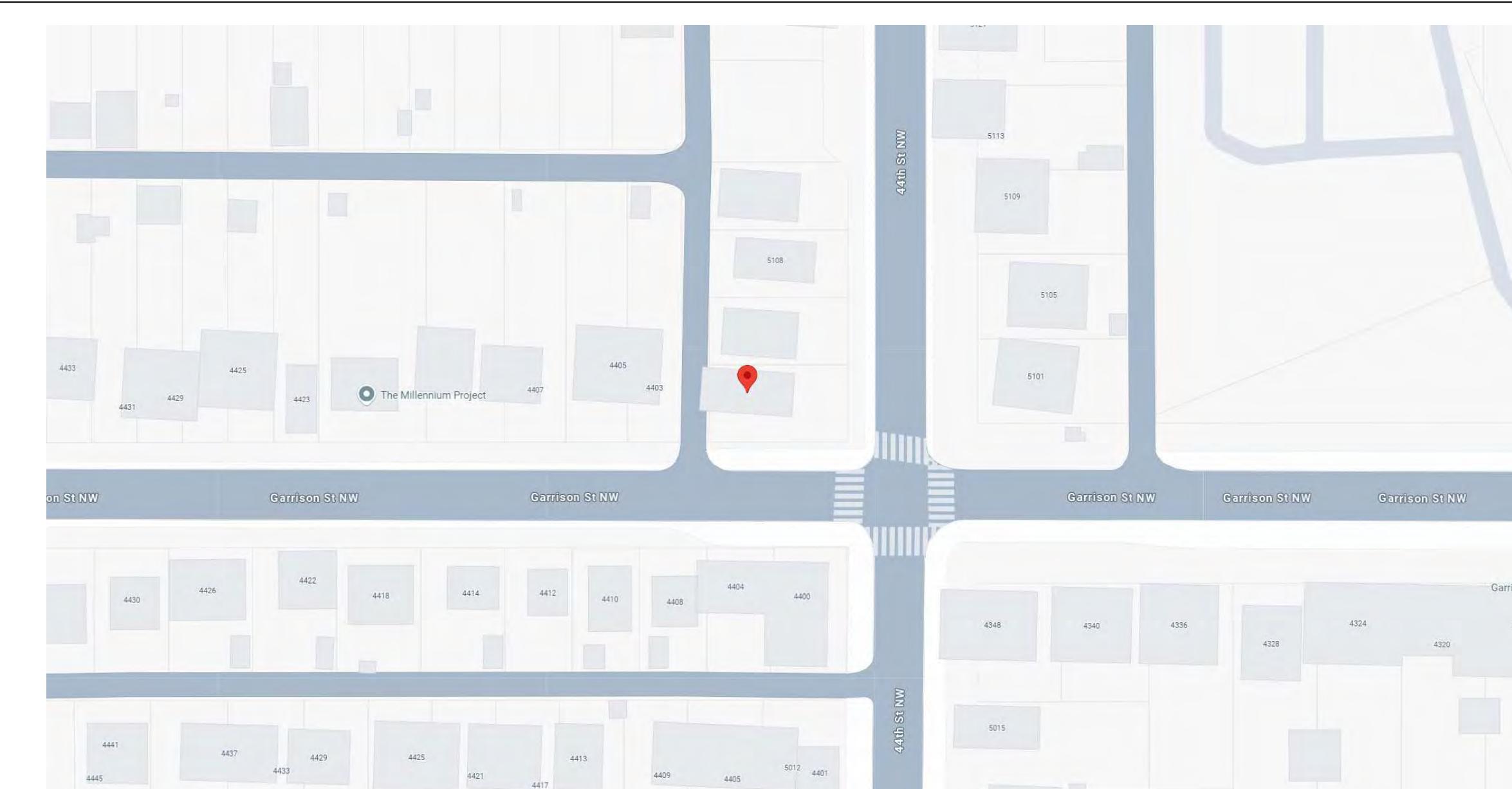
- THE SUBCONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND CITY BUILDING CODES AND ALL OTHER APPLICABLE ORDINANCES AND AUTHORITIES. THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED WITH THE INTENTION OF INCORPORATING ALL SUCH ISSUES, HOWEVER, THE SUBCONTRACTOR IS TO VERIFY THAT ALL COMPONENTS DO, INDEED, SATISFY THESE REQUIREMENTS, ASSURE COMPLIANCE BY ALL OF SUBCONTRACTOR'S PERSONNEL AND SUPPLIERS, AND SHOULD ANY DISCREPANCIES BE IDENTIFIED, NOTIFY THE P.M. AND THE CSDI DESIGN TEAM PROMPTLY FOR CLARIFICATION SO AS TO MINIMIZE IMPACT UPON THE JOB COST AND SCHEDULE.
- ALL REQUESTS BY SUBCONTRACTORS OR SUPPLIERS FOR CLARIFICATION OR ADDITIONAL INFORMATION MUST BE FORWARDED IN WRITING THROUGH THE P.M. TO THE CSDI DESIGN TEAM.
- THE SUBCONTRACTOR SHALL USE EXTREME CARE TO MINIMIZE INTERFERENCE OF ADJACENT PROPERTIES AND STREETS AND OTHER SUBCONTRACTORS ASSOCIATED WITH WORK ON THE SITE / PROJECT.
- THE SUBCONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE CSDI DESIGN TEAM OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

DO NOT SCALE DRAWINGS



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VICINITY MAP



PROJECT INFORMATION:

LOT: 0080  
SQUARE: 1581  
LOT AREA: 3776.5 SF  
NEIGHBORHOOD: 001 - American University  
WARD: 3  
YEAR BUILT: 1933  
ZONING: R-2

SETBACKS:  
FRONT: NO LESSER OR GREATER THAN THE EXISTING SETBACKS ON THE SAME SIDE:  
8 FT. ON FREE STANDING SIDES  
MAX. BUILDING HT: MAX 40 FT.  
MAX BUILDING STORY: 3  
LOT OCCUPANCY: 40 % MAX.  
PERVIOUS SURFACE: 30% MIN

ZONING ANALYSIS:

	EXISTING	ALLOWABLE	PROPOSED	
COMPLIANCE	BLDG FOOTPRINT 1,079.67 SF LOT OCCUPANCY 28.57%	1,510.6 SF 40%	1,121 SF 34.00%	YES YES
SET BACKS	FRONT: 8'-10" COMPLIANT: 7'-9" RIGHT: 15' LEFT: 23'-11"	15' 8' 15' 20'-MIN	NO CHANGE NO CHANGE NO CHANGE 15'-2"	(E) NON- (E) NON- YES TO BZA
HEIGHTS	MAX. BLDG. HT. 30'-0" MAX. LEVEL 2 STORY FAR N/A	40' MAX 3 STORY N/A	NO CHANGE 2 STORY N/A	YES YES YES
PERVIOUS SURFACE	47.98% PERVIOUS SURFACE 1807.74	30% 1132.95 SF	48.63% 1847.83	YES YES
Impervious Surface	52.13% Impervious Surface 1968.67 SF	70% 2643.55 SF	51.37% 1939.67SF	YES YES

BUILDING CODES & STANDARDS

2017 DCRC 2017 DCEBC  
2015 IRC 2015 IEBC  
2017 DCECC 2017 DCGCC  
2017 DCMR 12B SUPPLEMENT  
2017 DCMR 12J SUPPLEMENT  
2015 IECC WITH 2017 DCMR 12I SUPPLEMENT  
2015 IGCC WITH 2017 DCMR 12K SUPPLEMENT

CONSTRUCTION TYPE

Existing and new floors, roof, interior wood framed walls and partitions - Traditional wood-framed construction.  
Exterior bearing and non-bearing walls - Traditional wood framed construction.  
Shared property line party walls - Existing non-combustible and unprotected brick masonry walls.

FIRE RATING OF EXISTING CONSTRUCTION

Floors, roofs, interior bearing and non-bearing walls and partitions: REQUIRED/ PROVIDED - 0/0 (zero) hours  
Exterior walls: REQUIRED/ PROVIDED - 0 hours/ Actual non-combustible and unprotected existing brick walls - 2 hours  
Brick party walls - NON-combustible and unprotected: REQUIRED/ PROVIDED - 2/2 hours  
Ceiling heights for all floors: Actual/Provided -7 feet minimum DCRC/IRC-R305.1)

INTERIOR FINISHES

WALLS AND CEILINGS: Fire spread index - 200 maximum (DCRC/IRC - R302.9.1), smoke developed - and smoke developed indexes - 450 maximum (DCRC/IRC-R302.9.2).  
INSULATION: Flame spread index - 25 maximum (DCRC/IRC-R302.10.1, smoke developed index - 450 maximum).

All construction materials and products and finishes manufacturers' specifications shall comply with VOC (Volatile Organic Compound) limits requirements of DCGCC/GCC.  
VOC LIMITS

Acoustical tiles and wall systems ..... 806.5  
Adhesives and sealants ..... 806.2  
Flooring ..... 806.4  
Insulation ..... 806.6  
Paints and coatings ..... 806.3

PROJECT DESCRIPTION

- Construction of a new Screened Porch addition, extending from the existing Mudroom rear bump out. The foundation of the new screened porch will be excavated to create a new concrete storage area by building new retaining walls and concrete stairway down to the Basement french doors this will be in place of the existing concrete ramp.  
- The concrete stairs and an adjacent portion of the existing retaining wall will have new matte black powder coated metal railings.  
- The new screened porch will include composite decking, composite railings, and full height insect screening along the walls, and under the decking within the screened porch. The screened porch will have vaulted ceilings, finished with PVC bead board, and the addition will be trimmed in engineered wood trim boards.  
- The addition will also have a deck landing with stairs down to new concrete driveway where the ramp was removed.  
- The new addition will also have matching Hardie plank siding at the gable end, and all of the new and patch siding at the main house and Mudroom rear bump out will be painted to match existing. The Screened Porch trim and beadboard ceiling will also be painted.

sheet title:

Cover Sheet

sheet scale:

sheet date:

08/06/2025

drawing revisions:

date:

description:  
BZA PERMIT

rev#



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proposed renovation

for:

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4401 Garrison St NW  
Washington, DC 20016

sheet title:

Cover Sheet

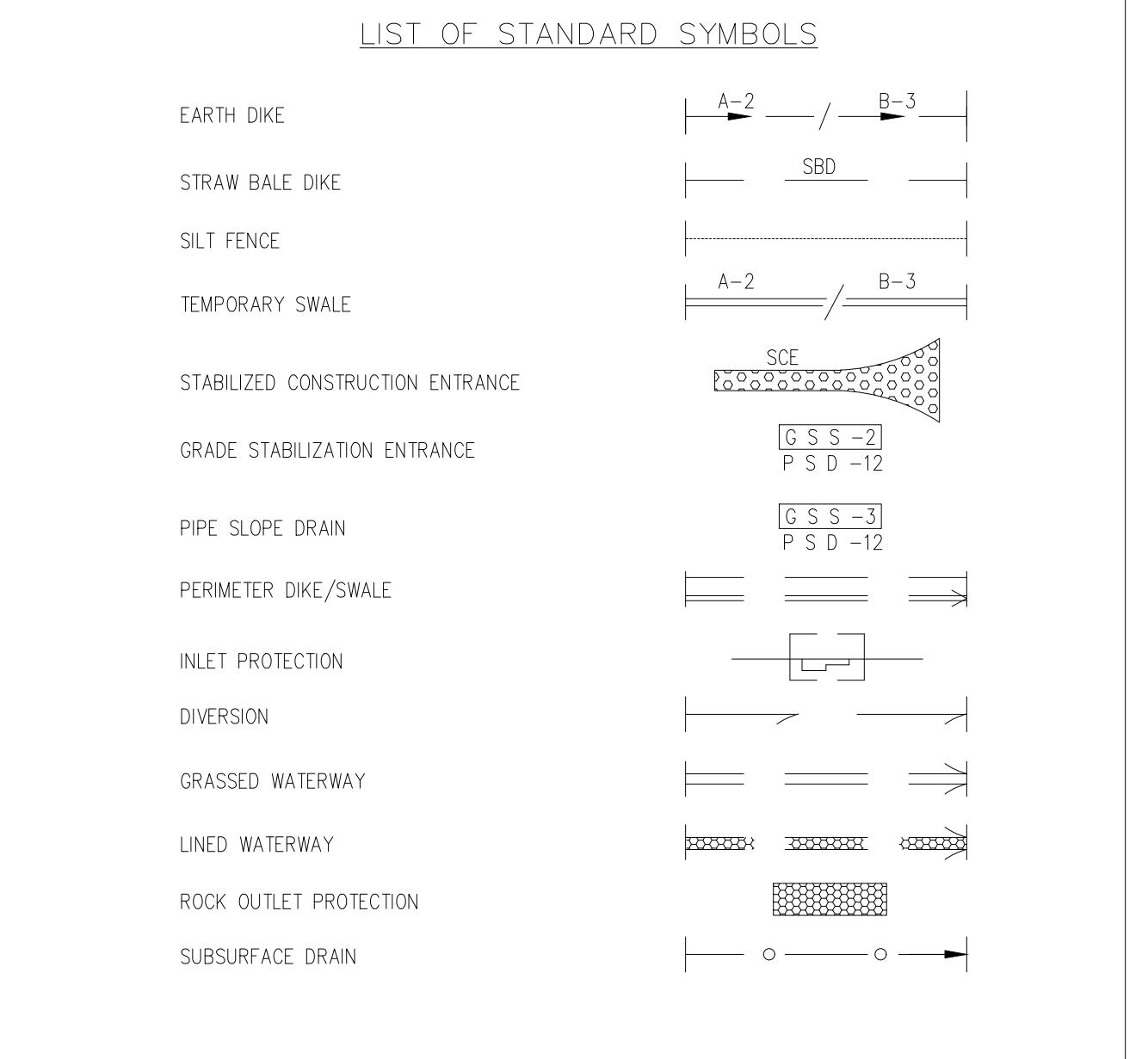
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Board of Zoning Adjustment  
Case No. 21374  
EXHIBIT NO. 7



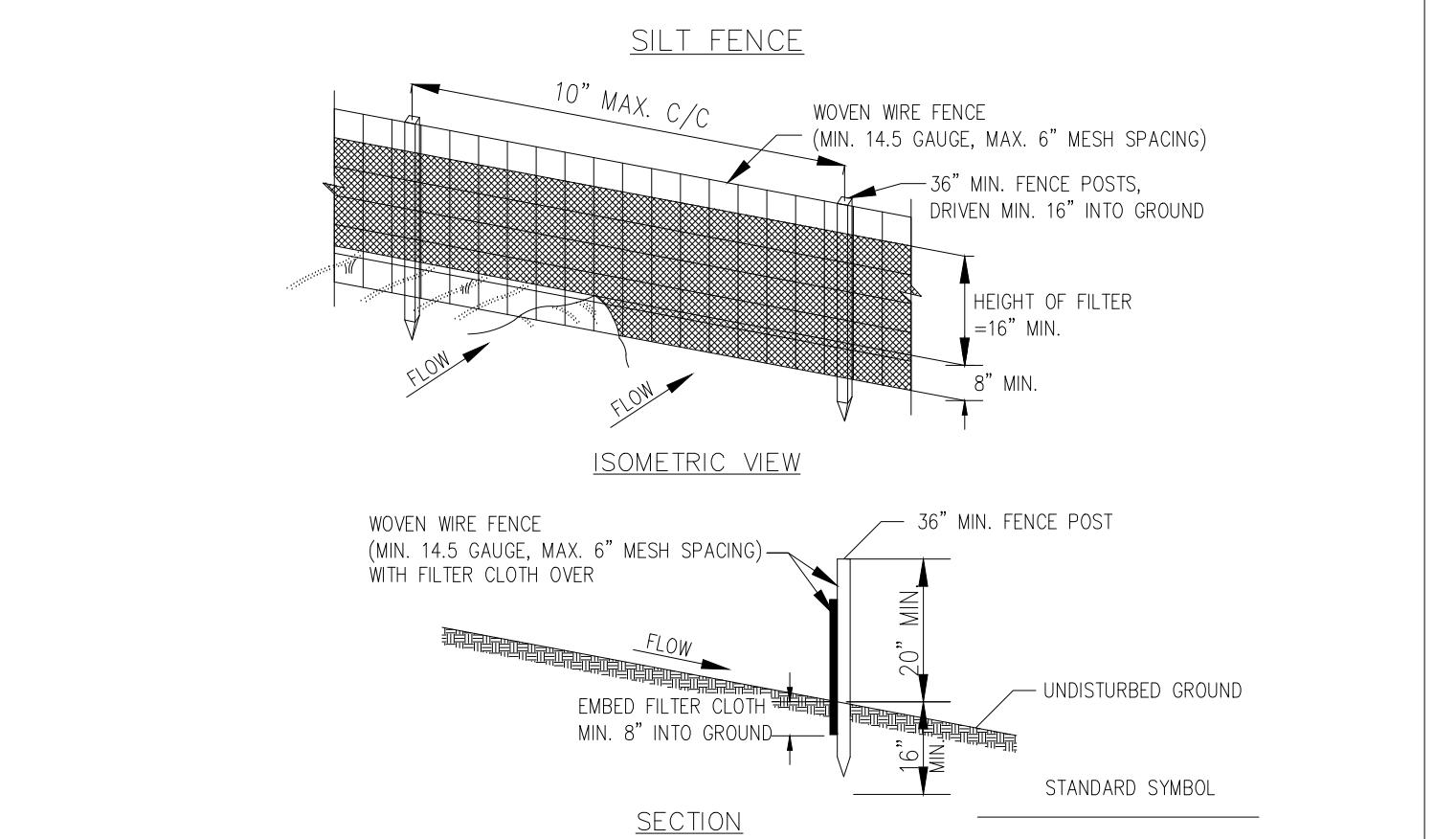
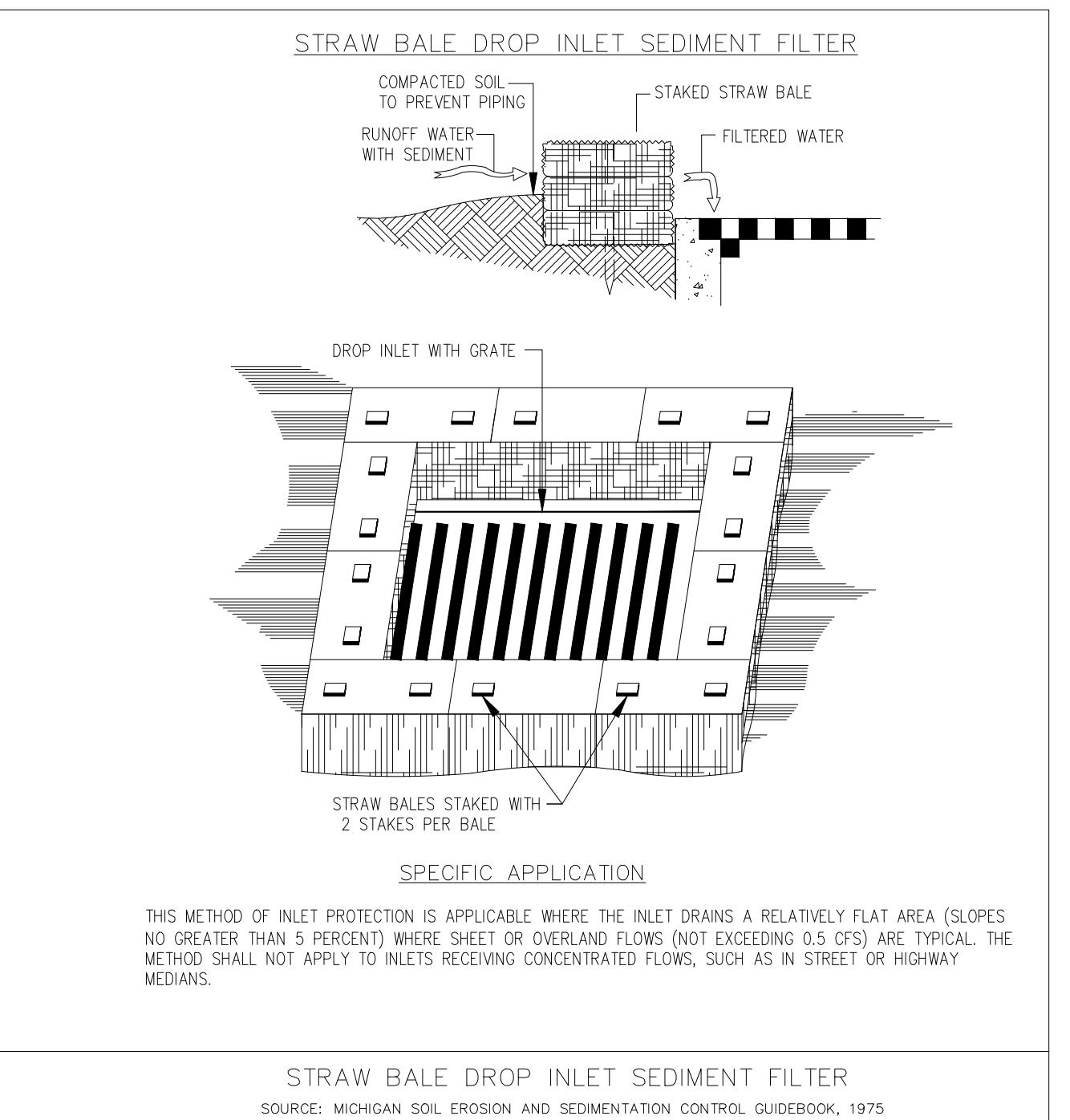
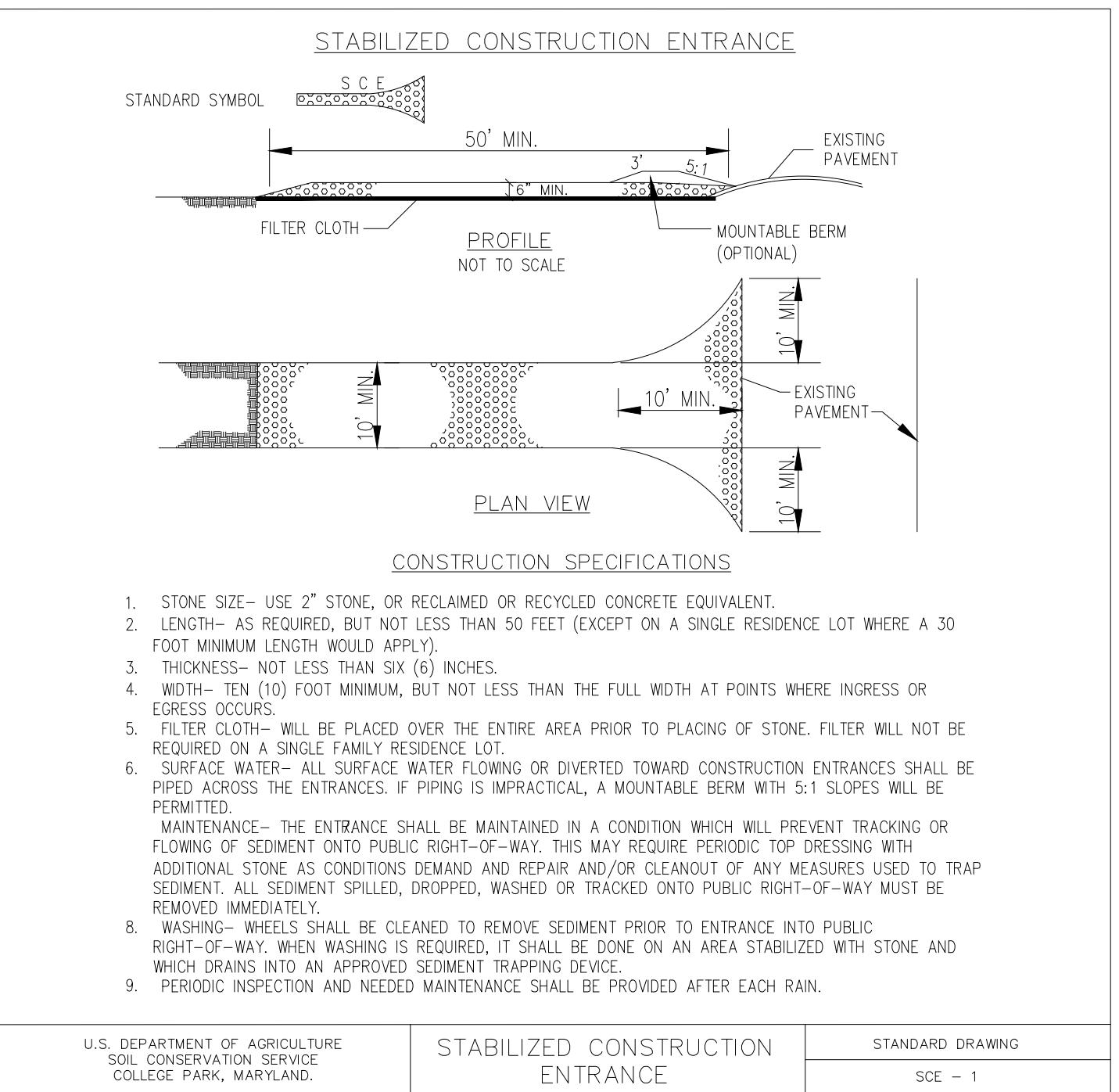
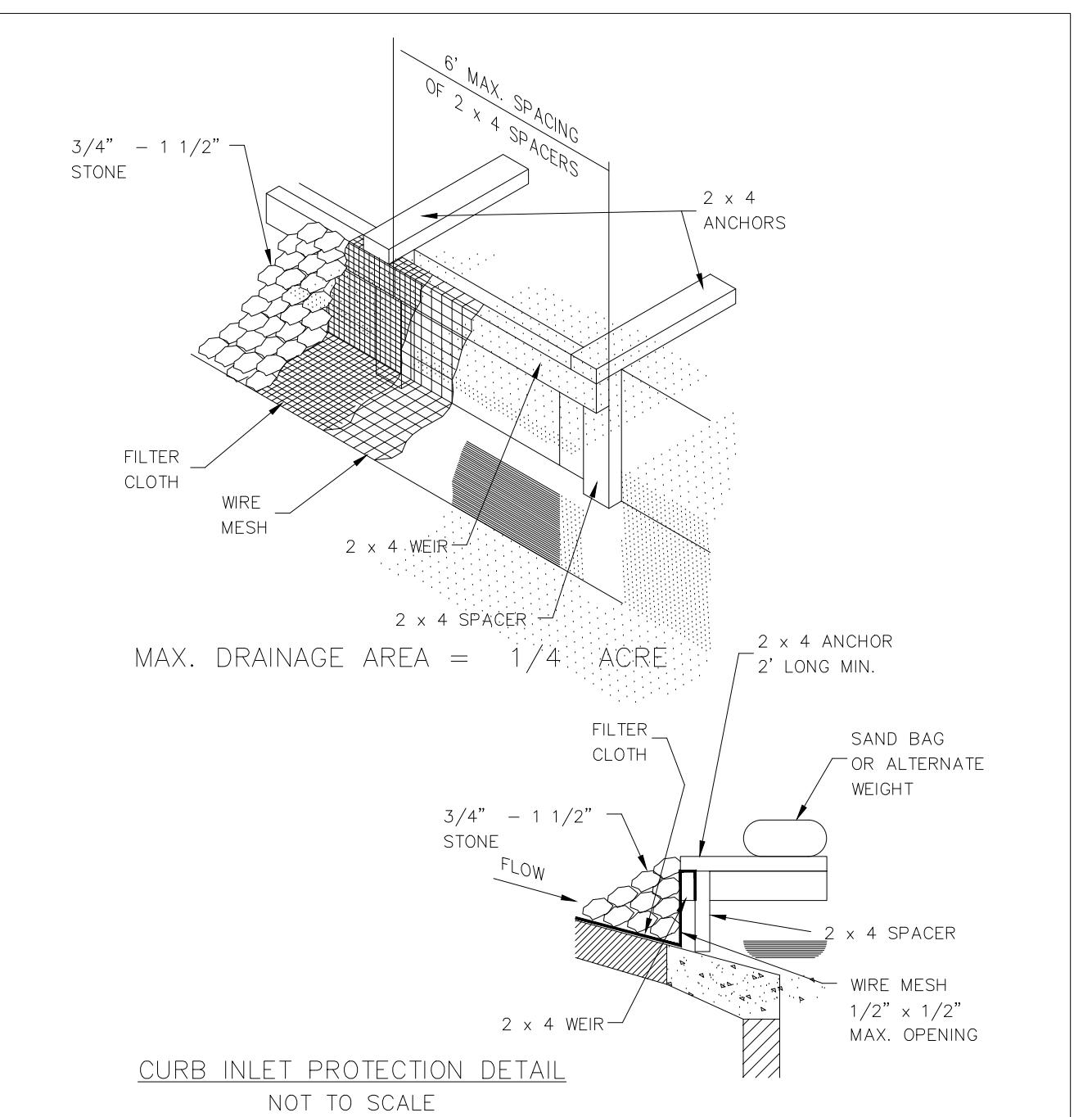
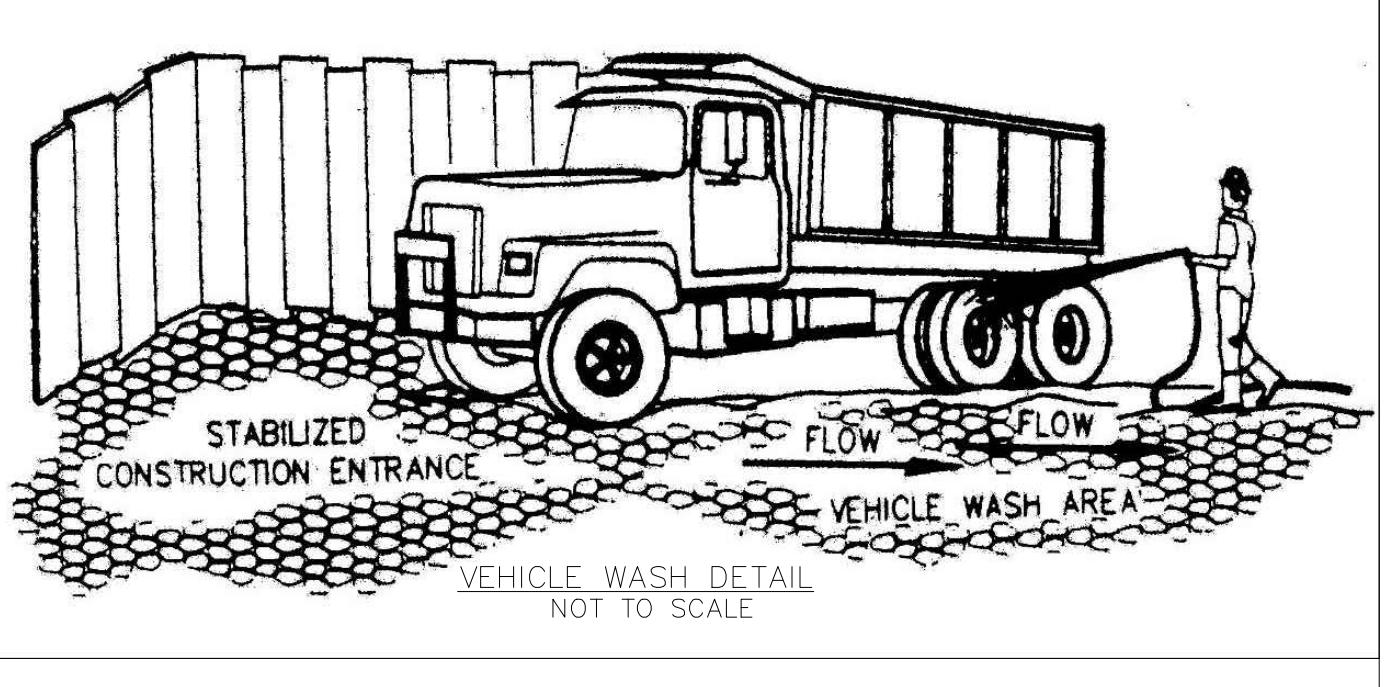
#### EROSION CONTROL NOTES :

1. A SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM SITE.
3. ALLEY AND /OR STREETS/ SIDEWALKS SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL CATCH BASINS OR DRAIN AREAS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
5. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
6. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 33% OF CAPACITY, CLEAN OUT OF SAME IS REQUIRED.
7. ANY STOCKPILING, REGARDLESS OF LOCATION, SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR DURATION OF PROJECT.
8. AFTER RAZE OR DEMOLITION, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOD, PAVERS, BRICKBAT, MULCH, ETC.



#### EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

1. ALL EROSION SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AS SHOWN ON PLAN.
4. NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.



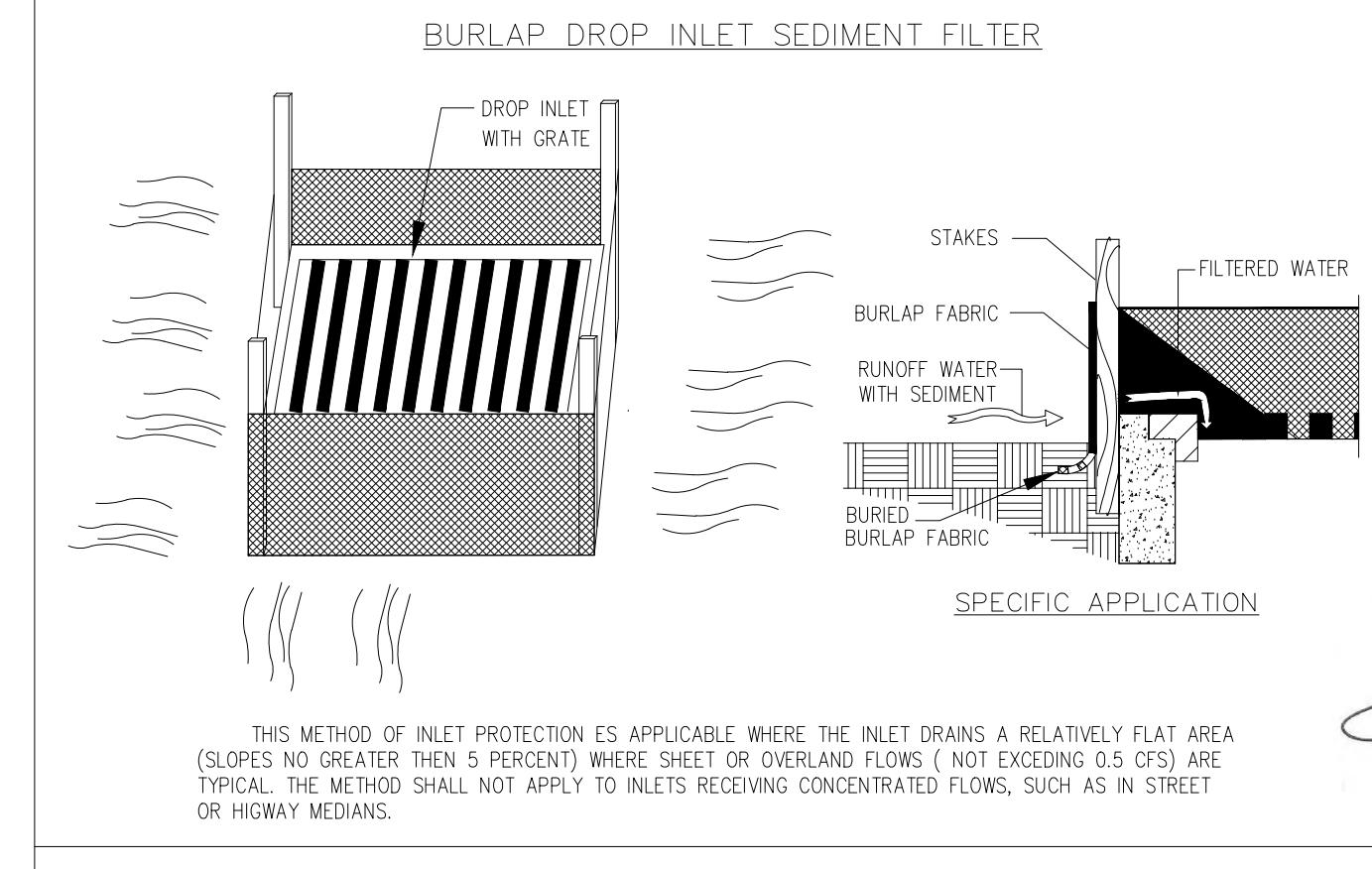
**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND.

**SILT FENCE**

STANDARD DRAWING  
SF-1



THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.

#### BURLAP DROP INLET SEDIMENT FILTER

DISTRICT OF COLUMBIA  
QUINTON WORRELL  
No. PE6864  
PROFESSIONAL ENGINEER

sheet title:

Site Plan

sheet scale:

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08/06/2025

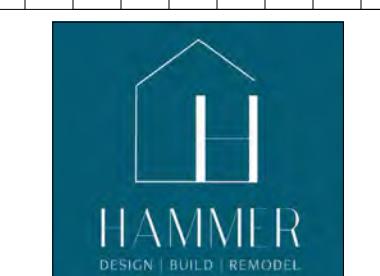
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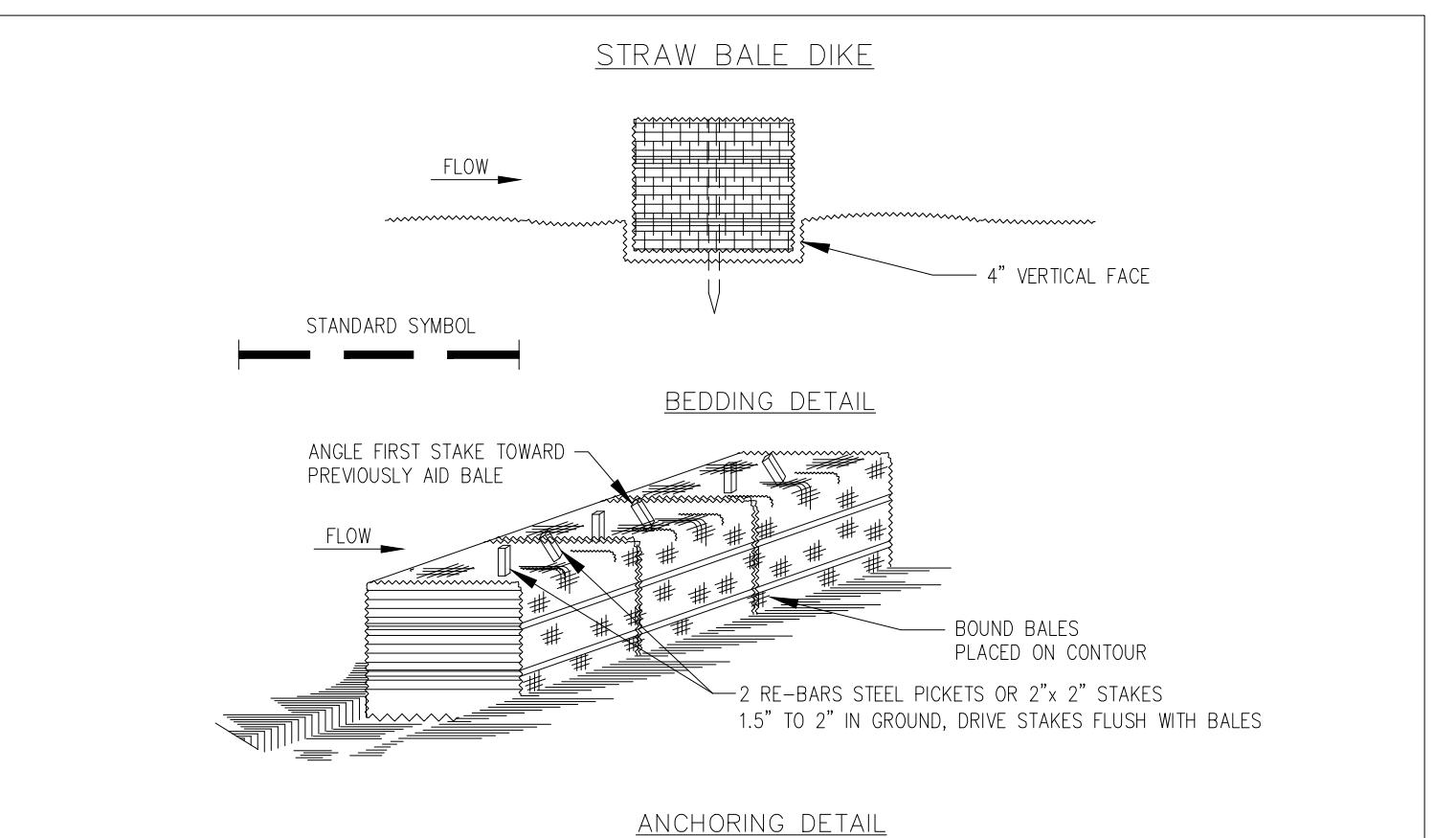
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**ANCHORING DETAIL**

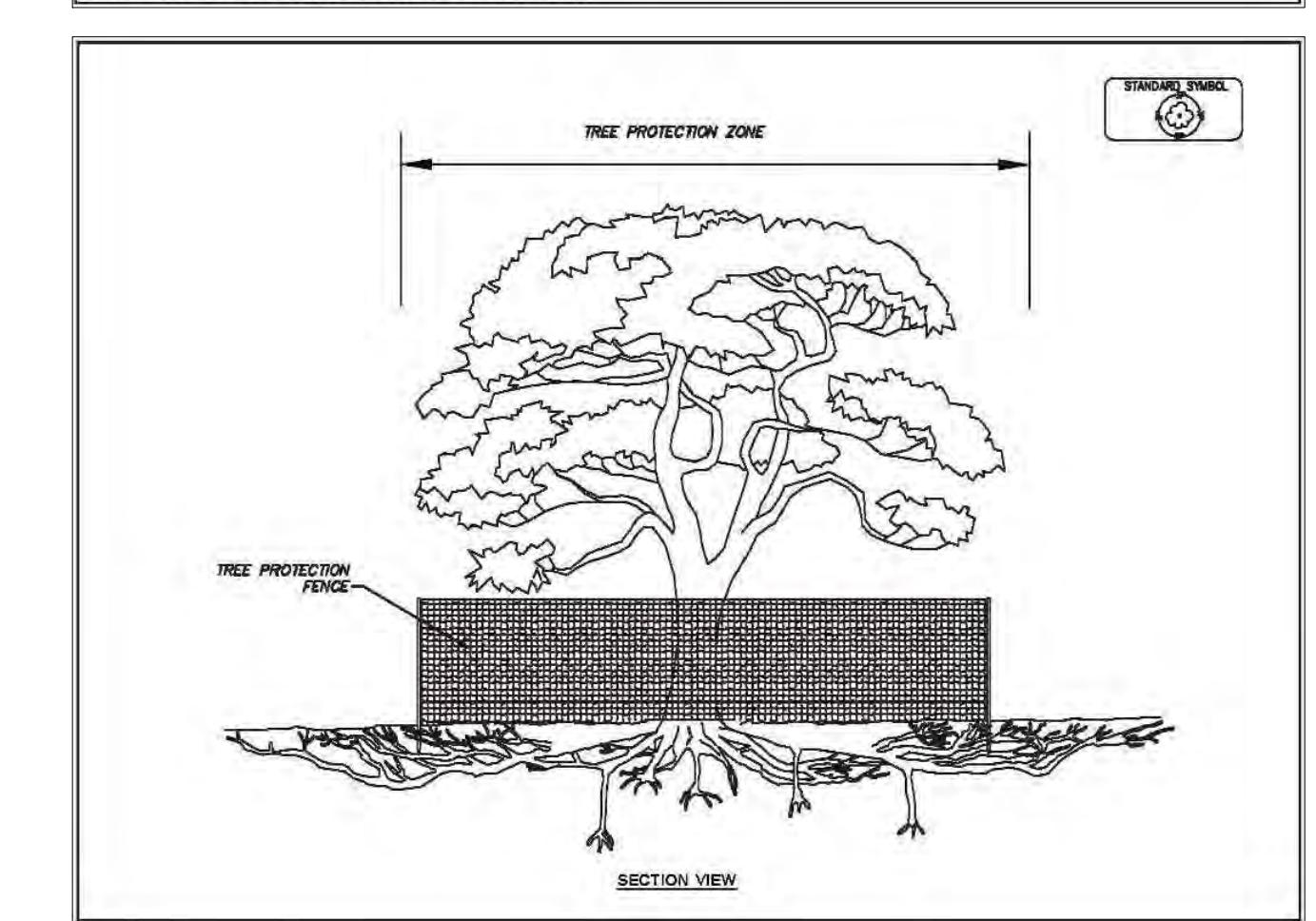
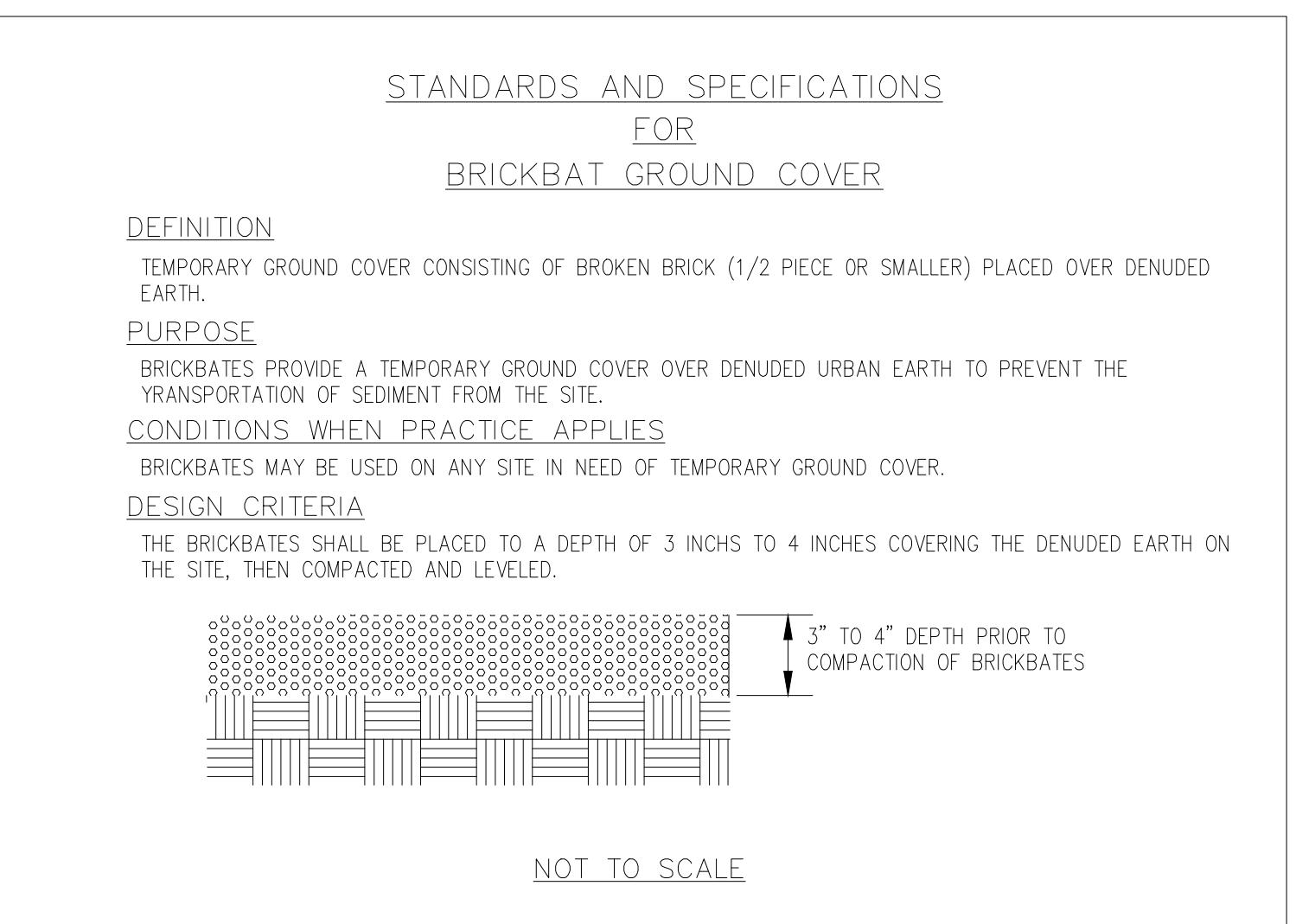
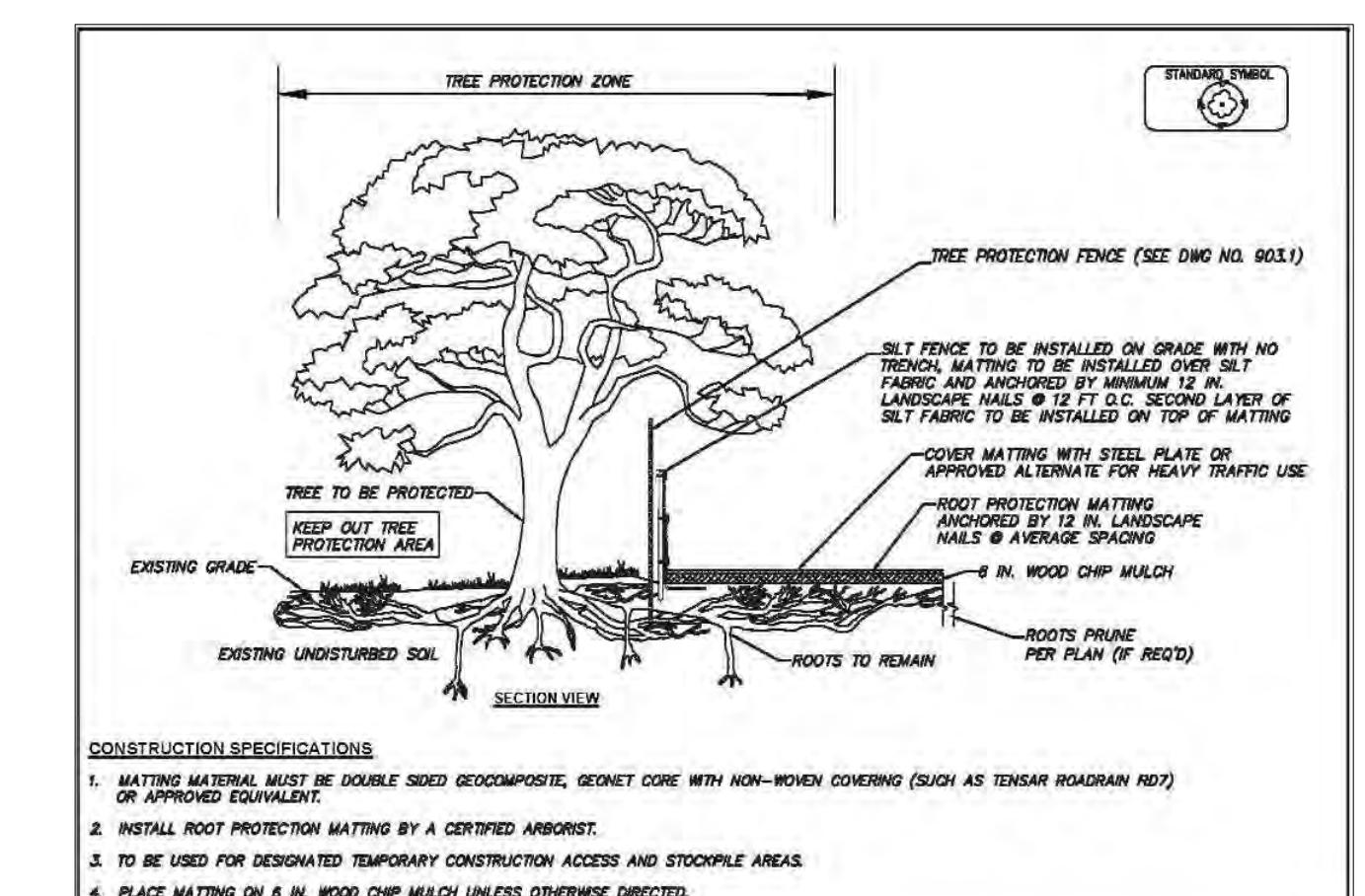
CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST BALE IN EACH ROW SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR/REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND.

**STRAW BALE DIKE**

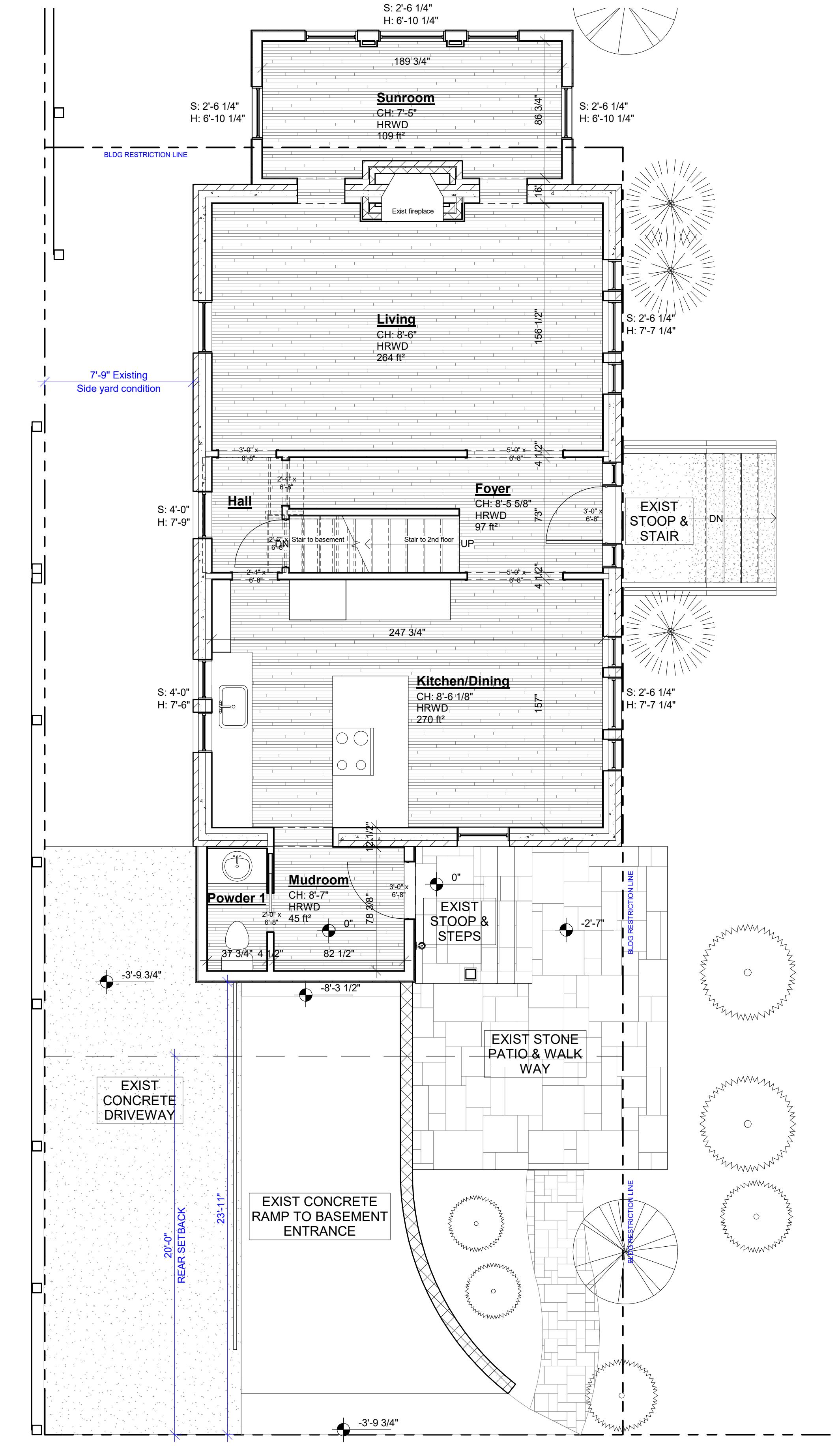
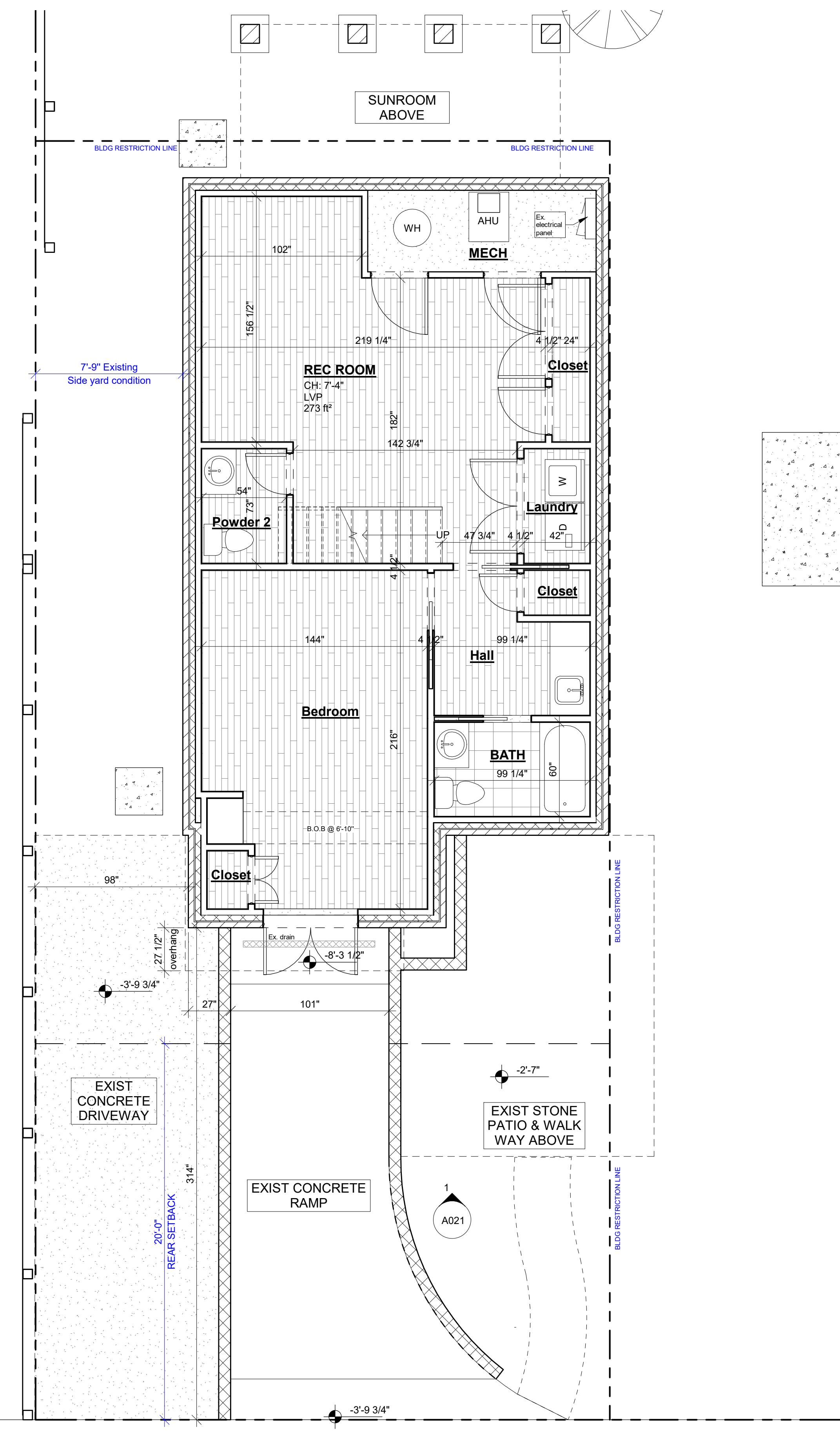
STANDARD DRAWING  
SBD-1



proposed renovation  
for:  
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4401 Garrison St NW  
Washington, DC 20016

sheet title:  
Site Plan

SEC-02  
24X36



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1 EXISTING PLAN - BASEMENT  
A010 1/4" = 1'-0"

2 EXISTING PLAN - 1ST FLOOR  
A010 1/4" = 1'-0"



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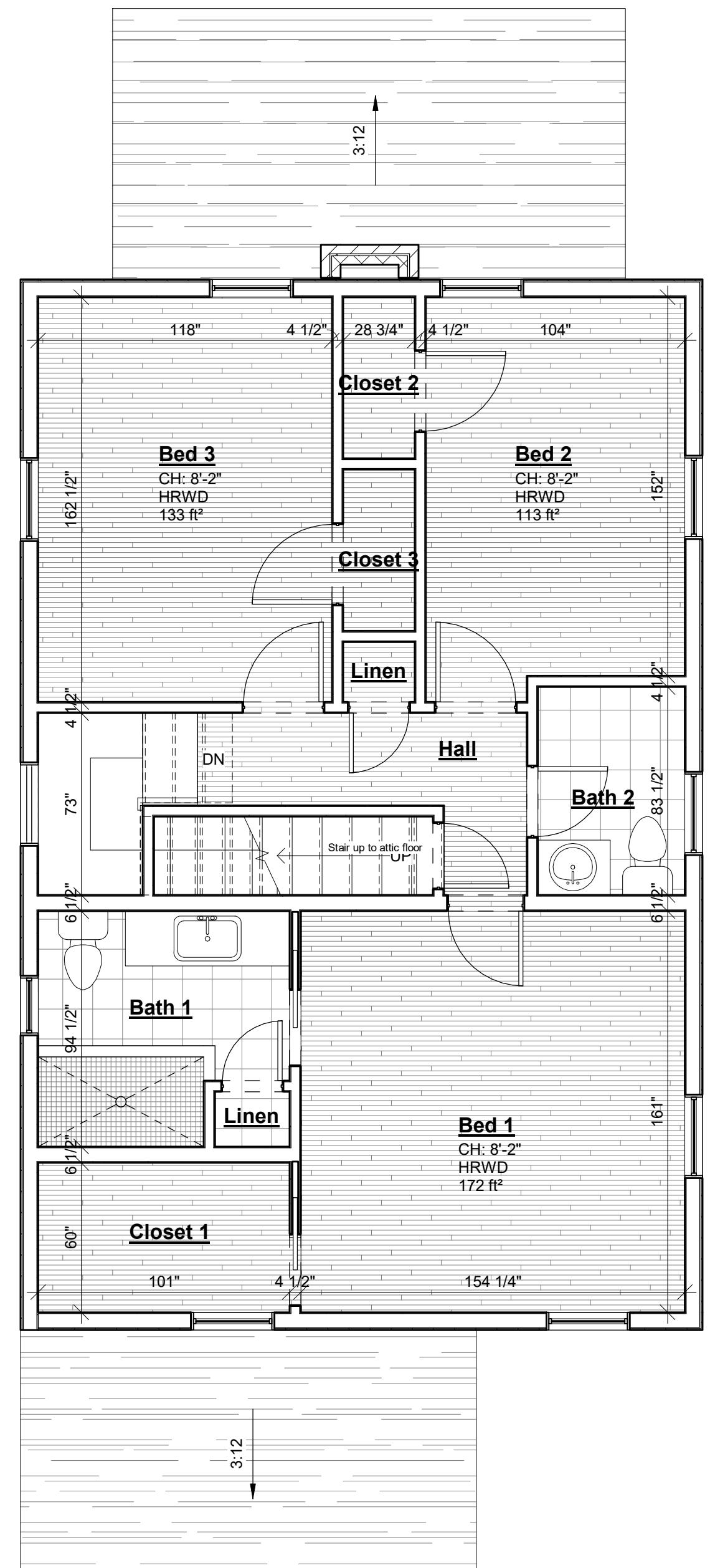
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4401 Garrison St NW

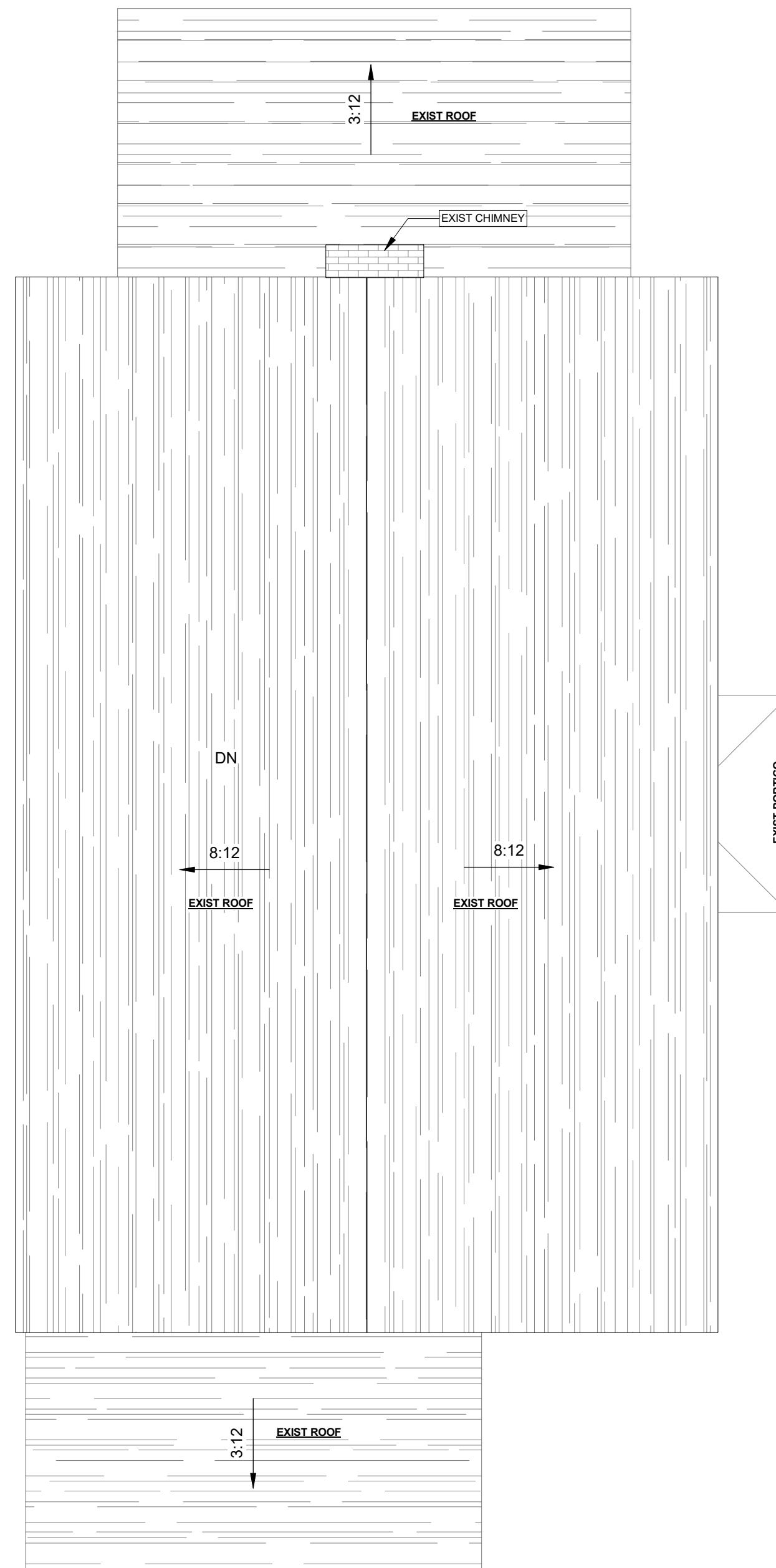
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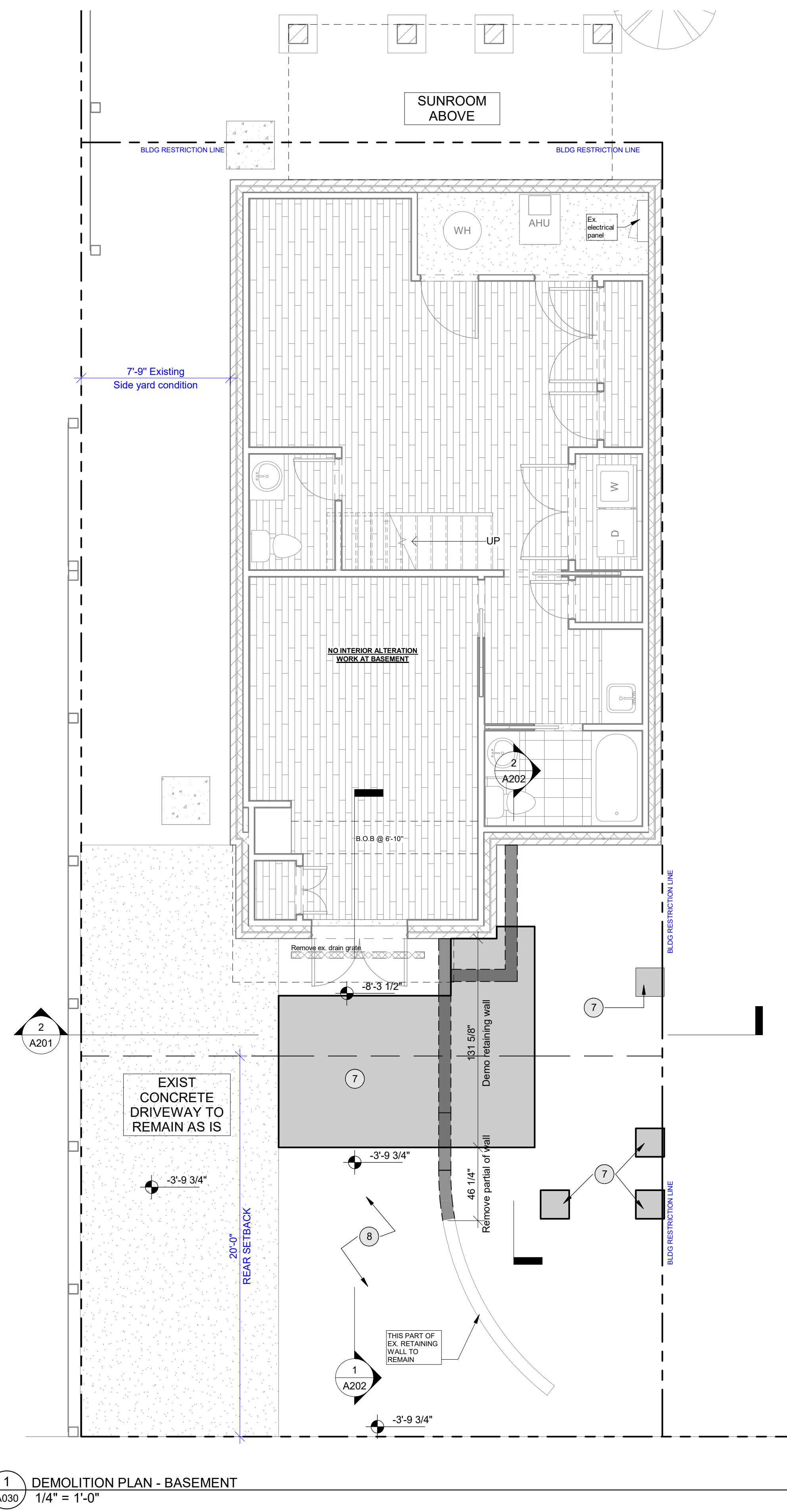
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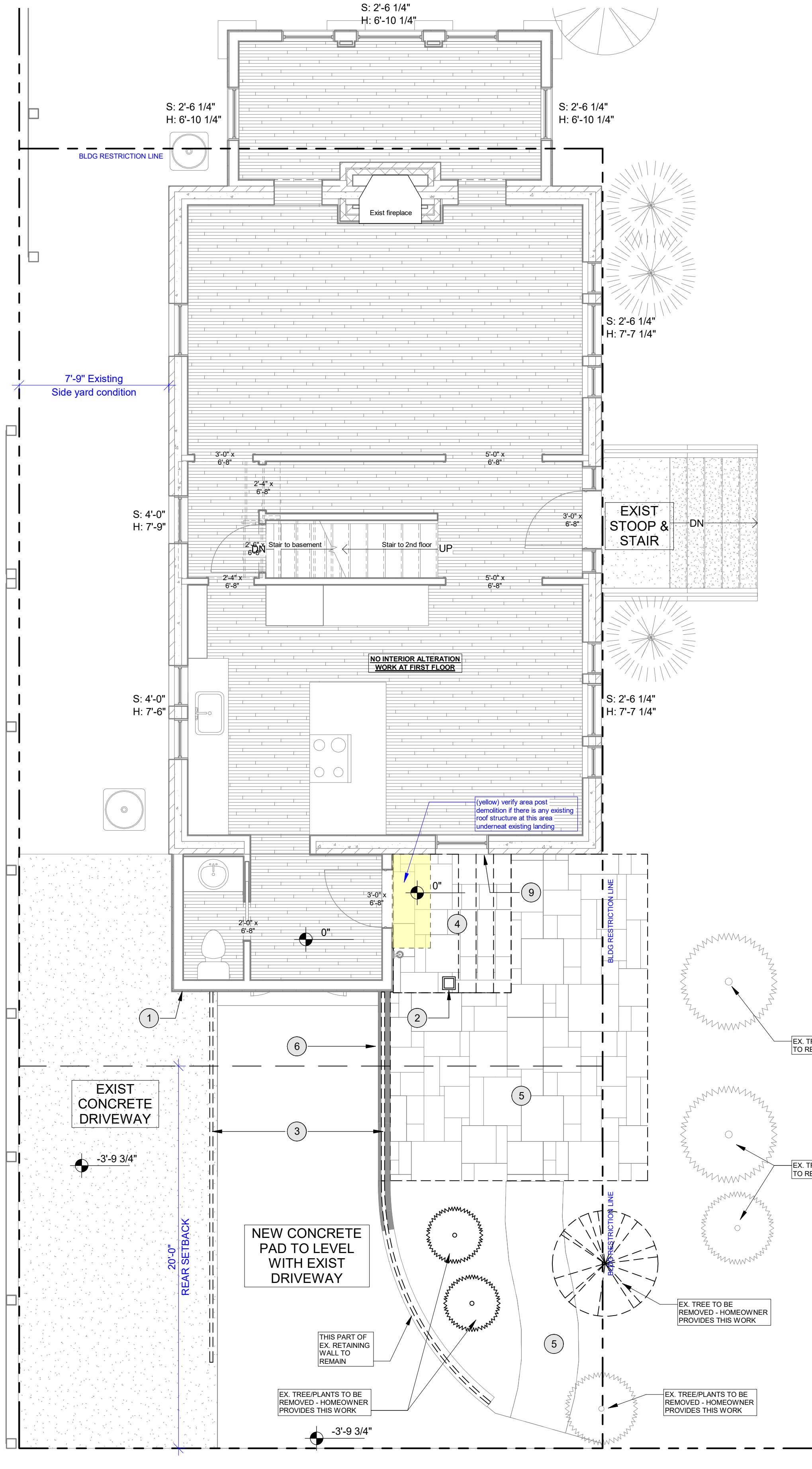
1 EXISTING PLAN - SECOND FLOOR  
A011 1/4" = 1'-0"



2 EXISTING PLAN - ROOF  
A011 1/4" = 1'-0"



1 DEMOLITION PLAN - BASEMENT  
A030 1/4" = 1'-0"



2 DEMOLITION PLAN - 1ST FLOOR  
A030 1/4" = 1'-0"

### CONSTRUCTION NOTE:

**Protection & Cleaning**

- Provide labor and material for covering & protecting of work area and pathways
- Provide labor for covering & protecting of decking during remainder of construction
- Provide materials for covering & protecting of installed fixtures, cabinetry, and flooring during remainder of construction
- Provide labor and materials for general sweeping and dusting (from construction debris) of remodeled areas only, upon completion
- Provide materials for temporary facility toilet rental onsite during construction

**Trash Hauling**

- Provide labor for loading & hauling of construction debris by small truck load
- Provide materials for loading & hauling of construction debris by small truck load

**Site, Excavation & Concrete**

- Provide labor and materials for hauling and disposal of demolished concrete by dump truck.
- Provide labor and materials for hauling and disposal of excavated dirt by dump truck
- Provide materials and labor for excavation of dirt, mini excavator equipment, no rocks larger than 16" digging bucket
- Provide materials and labor for concrete pump truck services.

NOTE: Homeowner to provide removal of any shrubs or trees within work area, including DC Urban Forestry tree inspection, and/or tree removal permit (if required) prior to start of work by Hammer.

# sheet title:

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# Demolition Plans

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### descripción

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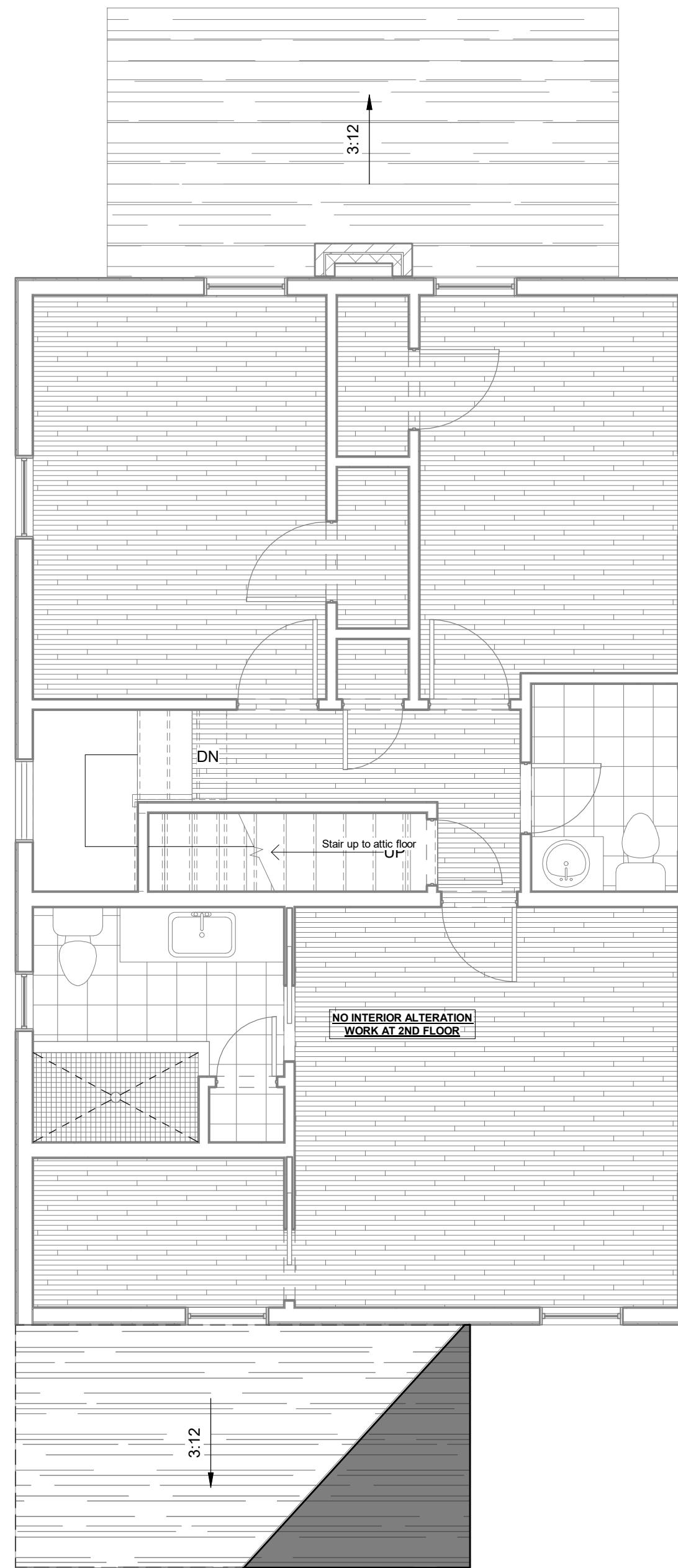
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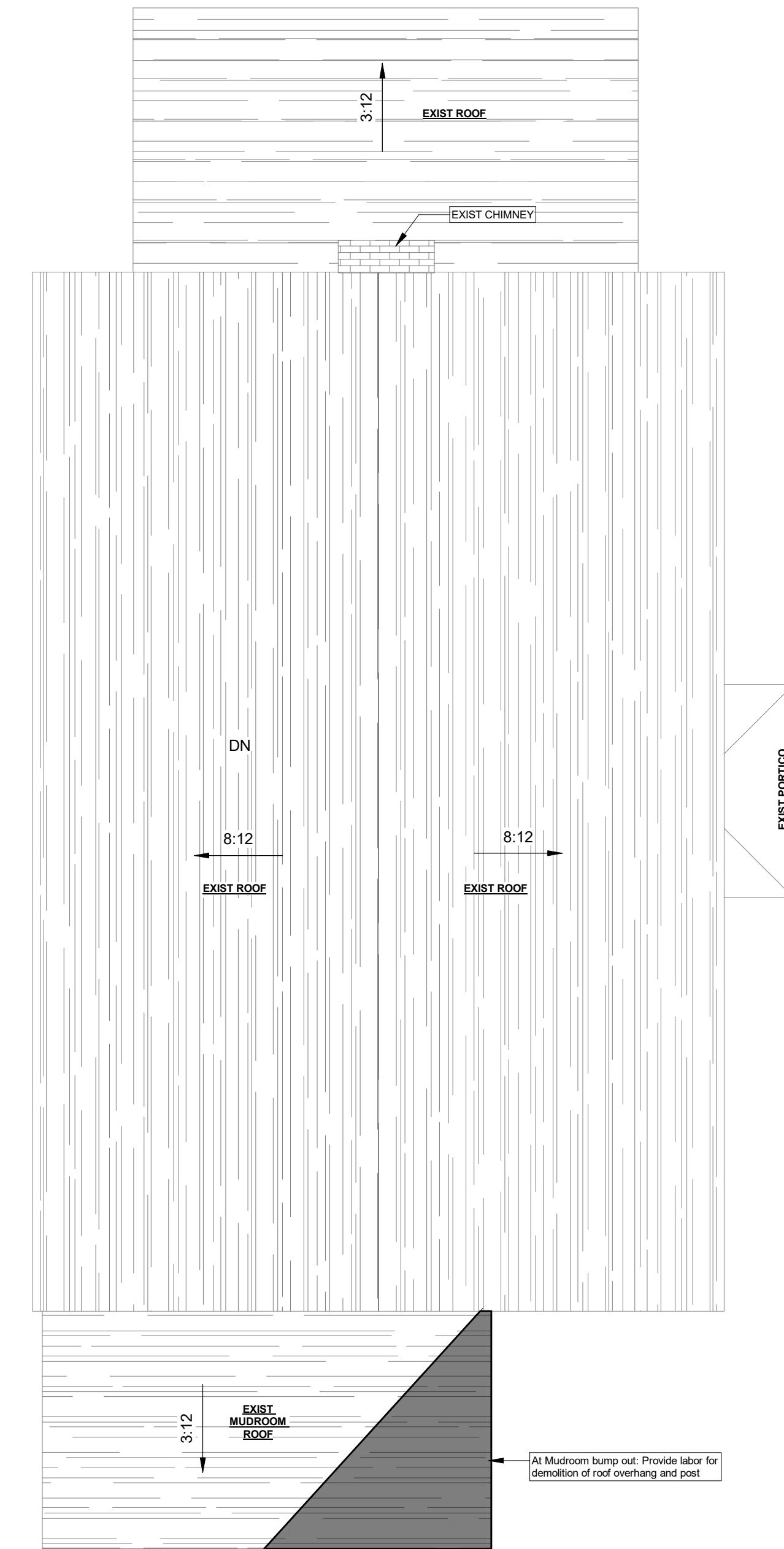
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## Demolition Plans

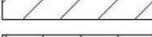
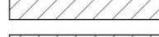
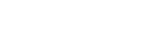
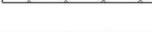
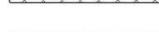
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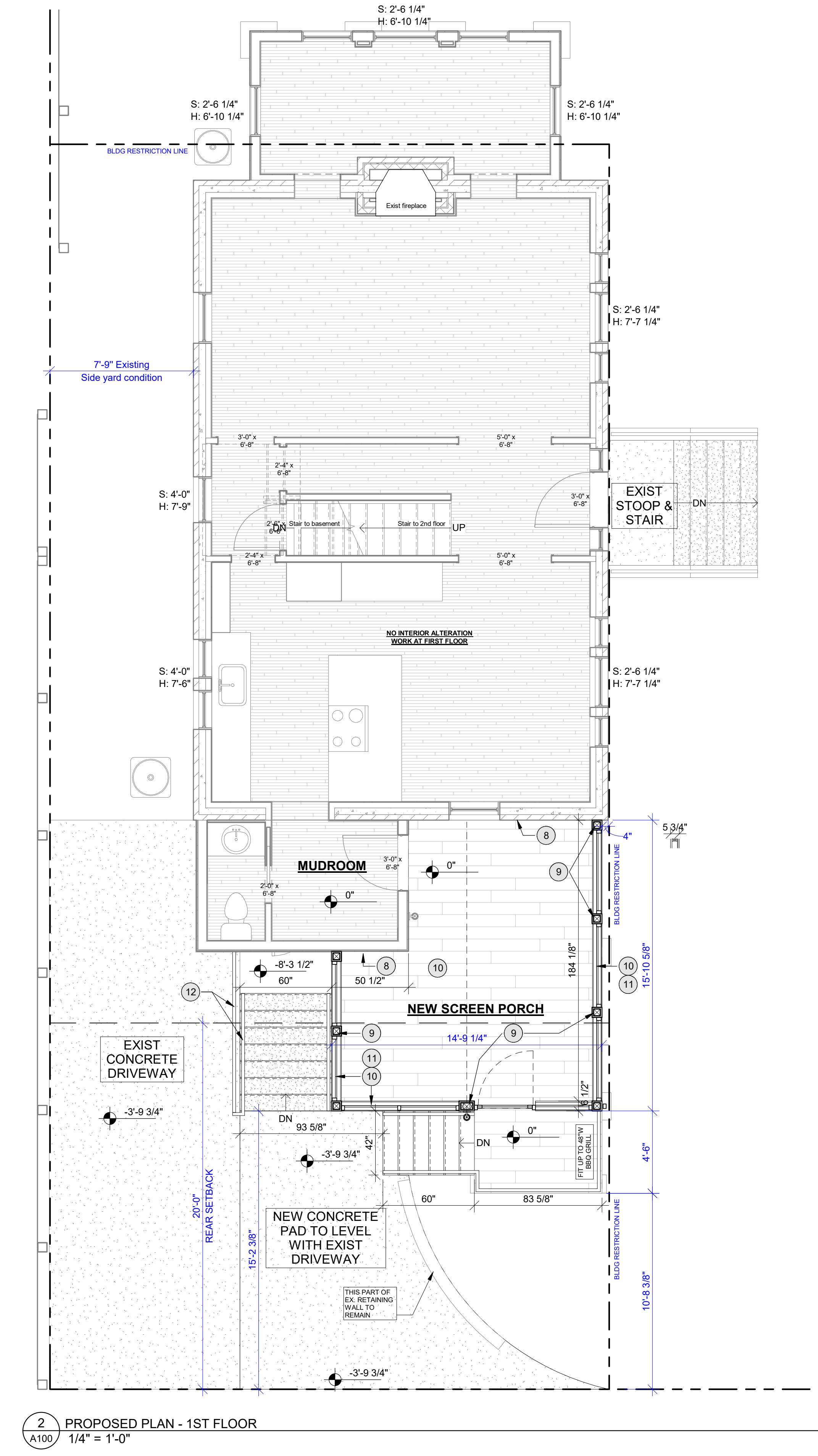
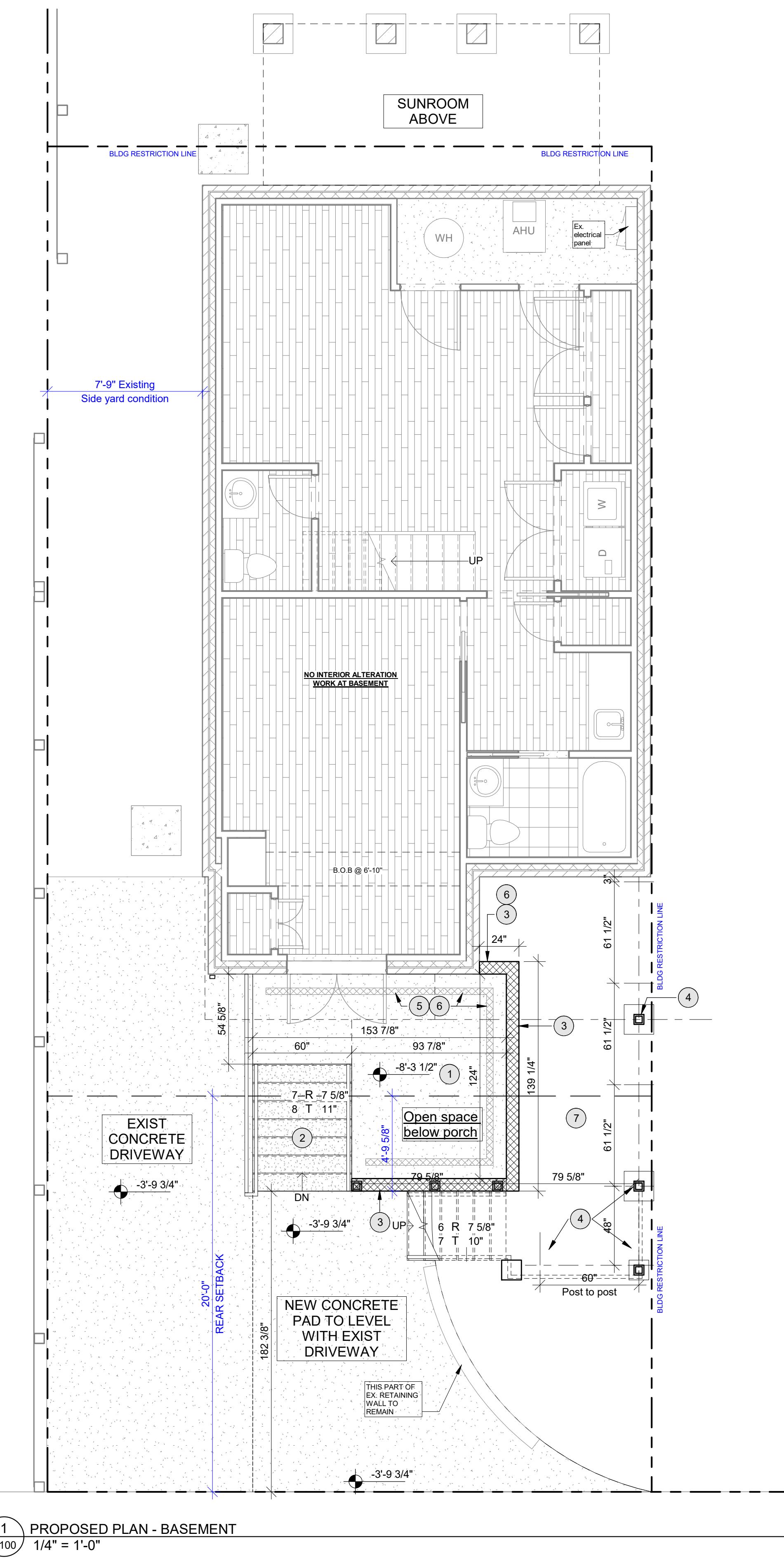
1 DEMOLITION PLAN - SECOND FLOOR  
A031 1/4" = 1'-0"



3 DEMOLITION PLAN - ROOF  
A031 1/4" = 1'-0"

<u>LEGEND</u>			
	→	DEMOLITION NOTE TAG	
	→	PROPOSE NEW NOTE TAG	
		NEW WINDOW TAG	
		NEW DOOR TAG	
— — —		ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS SHOWN "DASHED" SHALL BE REMOVED	
<u>WALL TYPE</u>			
	EXISTING	NEW	DEMO WALLS
POURED CONCRETE			
CONCRETE BLOCK			
BRICK			
BRICK VENEER ON CONCRETE BLOCK			
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			
WOOD STUD W/ INTERIOR GWB			

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<b>Demolition Plans</b>									
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proposed renovation for:	Williams Donohue Residence	4401 Garrison St NW Washington, DC 20016							
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A031									



**CONSTRUCTION NOTE:**

- NOTE: New retaining wall will tie into existing remaining portion of retaining wall. Poured concrete retaining wall will have a visible different texture than the existing retaining walls, and will not have any masonry capping.
- NOTE: No concrete painting included in this scope of work.
- NOTE: Homeowner to provide any preparation and/or installation of hardscaping post completion of project by Hammer

**Drywall**

- Provide a contingency Budget of \$ 3,000 for the point up and repairs to existing drywall to connect wiring to electrical panel and/or before touch up painting. Final scope and cost TBD onsite post rough ins.

**Painting**

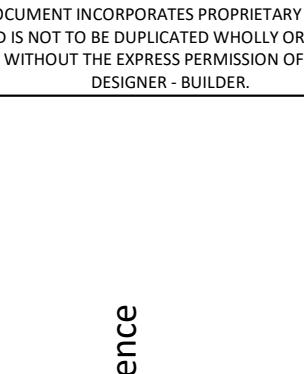
- At Screened Porch, Mudroom bump out: Provide labor and materials for application of 2 coats of Sherwin Williams Duration exterior paint at new siding and trim boards only; includes 1 gable end of aluminum siding at main home.

**Landscaping**

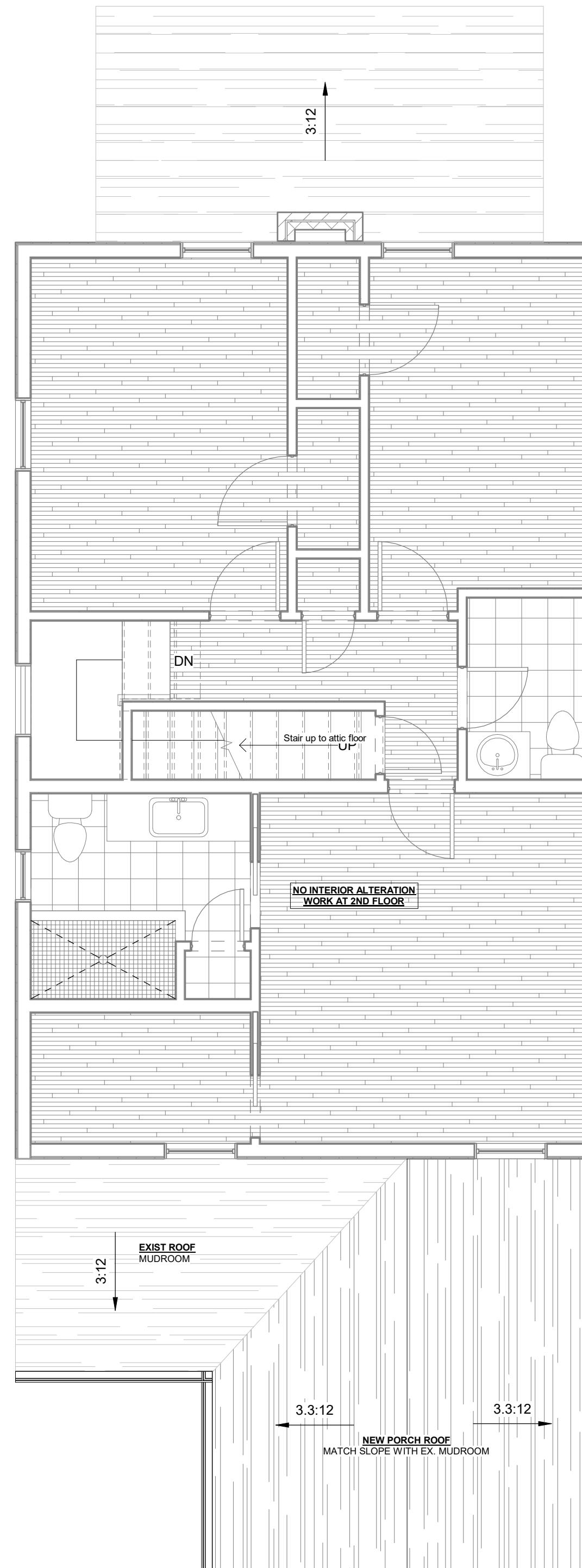
- NOTE: Straw cover and grass seed only at disturbed areas; no sod or watering included.
- NOTE: No new garden and/or landscaped beds to be installed. No warranty on salvaged plants, shrubs.
- NOTE: Contingency Budgets are subject to change based upon actual work required in the field.
- NOTE: No upgrades to existing utility service are included in this proposal (electrical, water, gas).

<u>LEGEND</u>			
2	DEMOLITION NOTE TAG		
2	PROPOSE NEW NOTE TAG		
A	NEW WINDOW TAG		
2	NEW DOOR TAG		
<u>WALL TYPE</u>			
	EXISTING	NEW	DEMO WALLS
POURED CONCRETE			
CONCRETE BLOCK			
BRICK			
BRICK VENEER ON CONCRETE BLOCK			
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			
WOOD STUD W/ INTERIOR GWB			

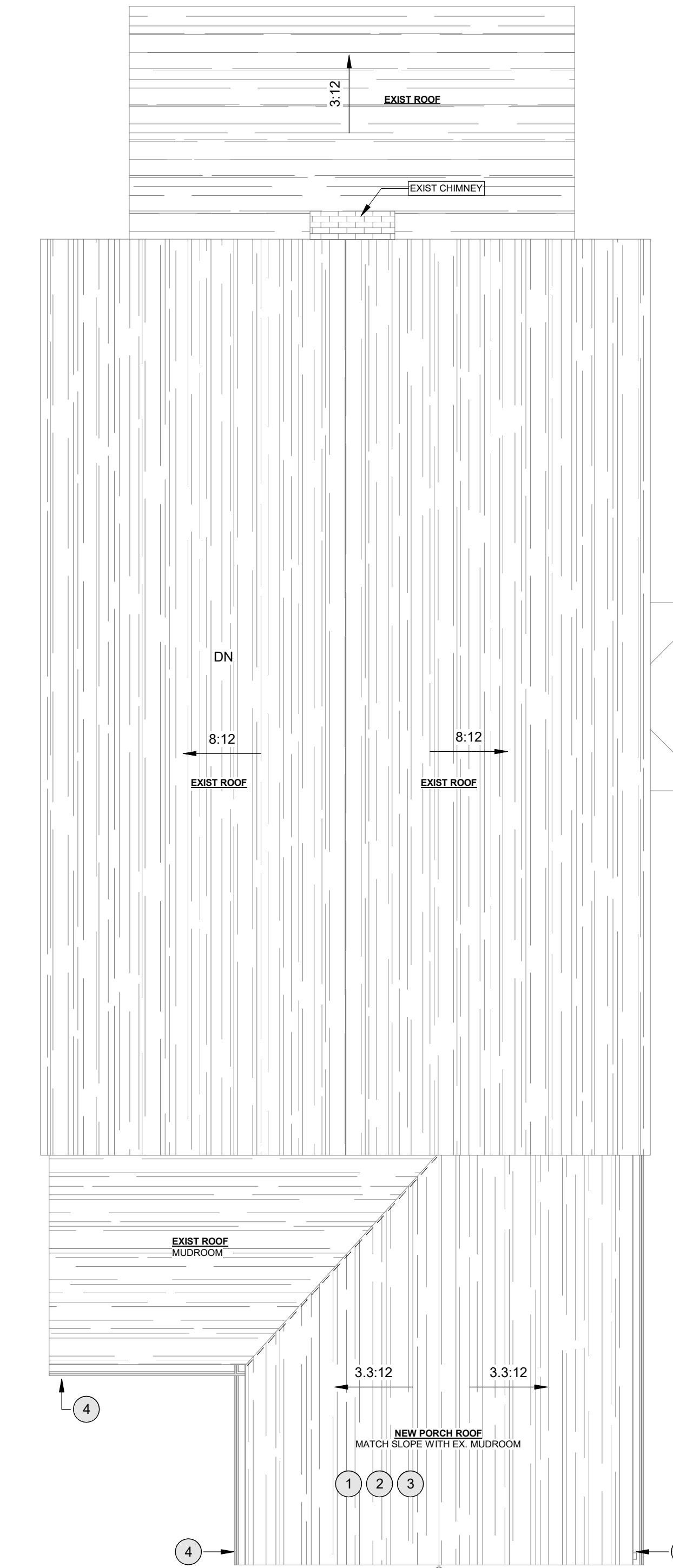
PROPOSE NEW NOTE	
Note Number	Note Text
1	Provide labor and materials to form and pour concrete ramp and slab
2	Provide labor and materials to form and pour concrete steps and side stringer wall
3	Provide materials and labor to form and pour reinforced continuous concrete footing, 12" x 60" with rebar. Provide materials and labor for installation of poured cement 8" retaining walls, reinforced. Provide labor and materials for application of moisture barrier coating at new concrete walls. NOTE: New retaining wall will tie into existing remaining portion of retaining wall. Poured concrete retaining wall will have a visible different texture than the existing retaining walls, and will not have any masonry capping.
4	Provide labor and materials for forming and pouring concrete piers
5	Provide materials and labor for installation of new retaining wall perimeter drain at concrete walls connect back to existing storm drain at ramp
6	Provide labor and material for installation of new perimeter trench drain, NDS 4" metal grate type across Basement entrance and along new retaining walls. To connect to existing stormwater management drain pipe at Basement entrance.
7	At Screened Porch: Provide materials and labor to install 2" deep of standard 3/8" Pea gravel mixed beige color, over landscaping weed cover
8	At Screened Porch: Provide labor and material for framing of floor structure, joists, rim joist, and ledger.
9	At Screened Porch: Provide labor and material for framing of exterior wall framing, 4x4 posts
10	At Screened Porch: Provide labor and material for installation of 1 in. x 6 in. x 8 ft. PVC Beaded Ceiling Board, at vaulted ceiling
10	At Screened Porch: Provide labor and materials for installation of Original Screeneze Screen system, white framing, with BetterVue screen. Includes screening between deck joists and composite decking
11	At Screened Porch, Deck: Provide labor and materials for installation of composite deck railing system.
12	Provide labor and materials for finishing of new metal railings in matte black powder coating, including delivery. Provide labor and materials for fabrication and installation of standard, non-ornate, iron railings along new steps

sheet title:	
<h1>Proposed Plans</h1>	
sheet scale:	
sheet date:	
08/06/2025	
drawing revisions:	
rev.#	description:
	BZA/ PERMIT
	
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proposed renovation for:	Williams Donohue Residence 4401 Garrison St NW Washington, DC 20016
sheet title:	
<h1>Proposed Plans</h1>	
<b>A100</b>	

# A100



6  
A101 PROPOSED PLAN - SECOND FLOOR  
1/4" = 1'-0"



1  
A101 PROPOSED PLAN - ROOF  
1/4" = 1'-0"

<u>LEGEND</u>			
2	→	DEMOLITION NOTE TAG	
2	→	PROPOSE NEW NOTE TAG	
A		NEW WINDOW TAG	
2		NEW DOOR TAG	
<u>WALL TYPE</u>	EXISTING	NEW	DEMO WALLS
POURED CONCRETE			
CONCRETE BLOCK			
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BRICK VENEER ON CONCRETE BLOCK			
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			
WOOD STUD W/ INTERIOR GWB			

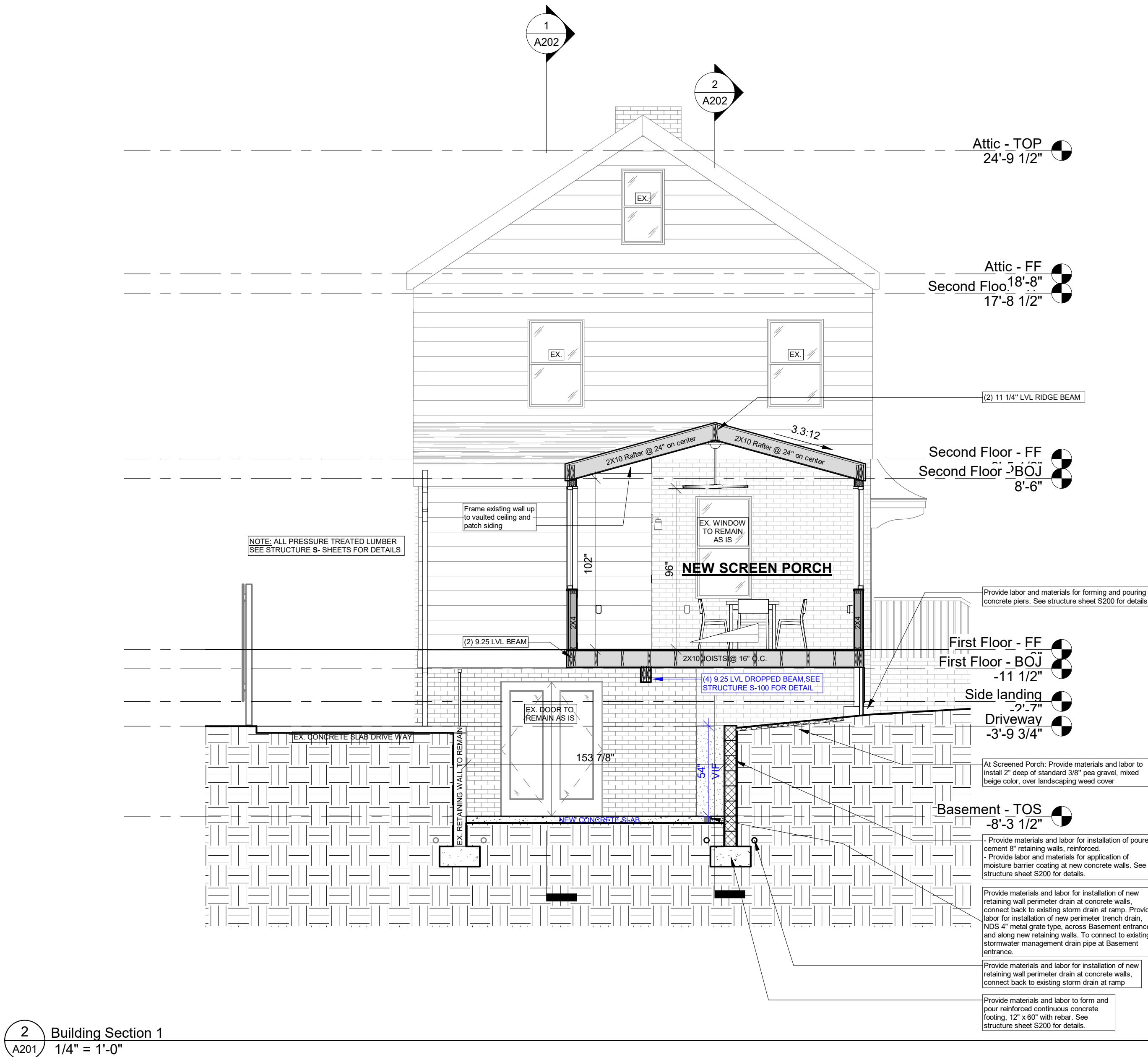
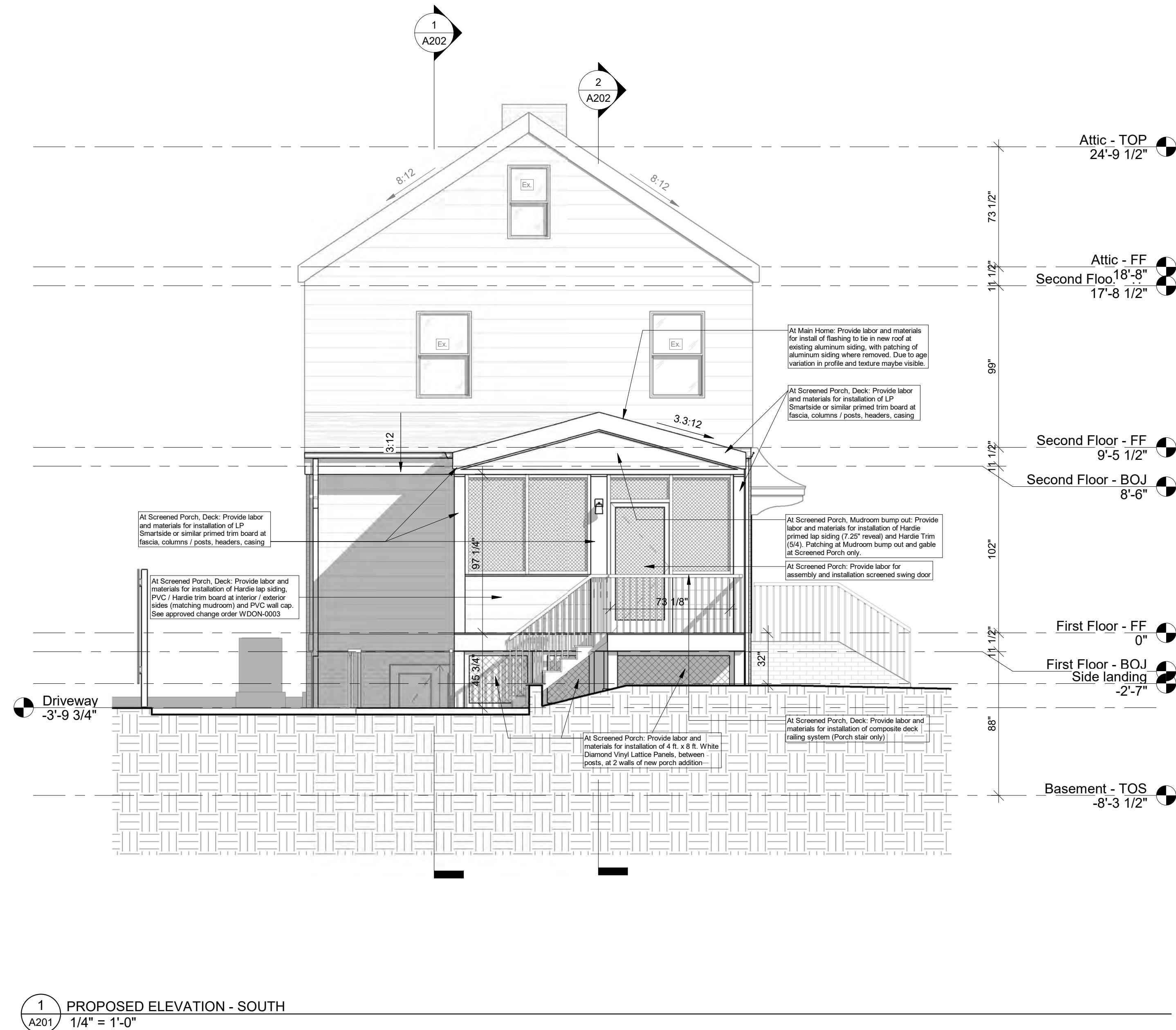
PROPOSE NEW NOTES	
Note Number	Note Text
1	At Screened Porch: Provide labor and material for framing of gable roof framing, 2x10 lumber with double LVL ridge beam, and ledger at main home wall
2	At Screened Porch: Provide labor and material for framing of gable roof sheathing, 5/8" OSB
3	At Screened Porch, Mudroom bump out: Provide labor and materials to install Certainteed Landmark Pro asphalt shingle system. Existing main house roofing to remain as-is.
4	At Screened Porch: Provide materials and labor for installation of drainage and downspout system where affected, tie into existing or on to grade; white K style 5" with 3" x 4" down spouts; aluminum;

A101



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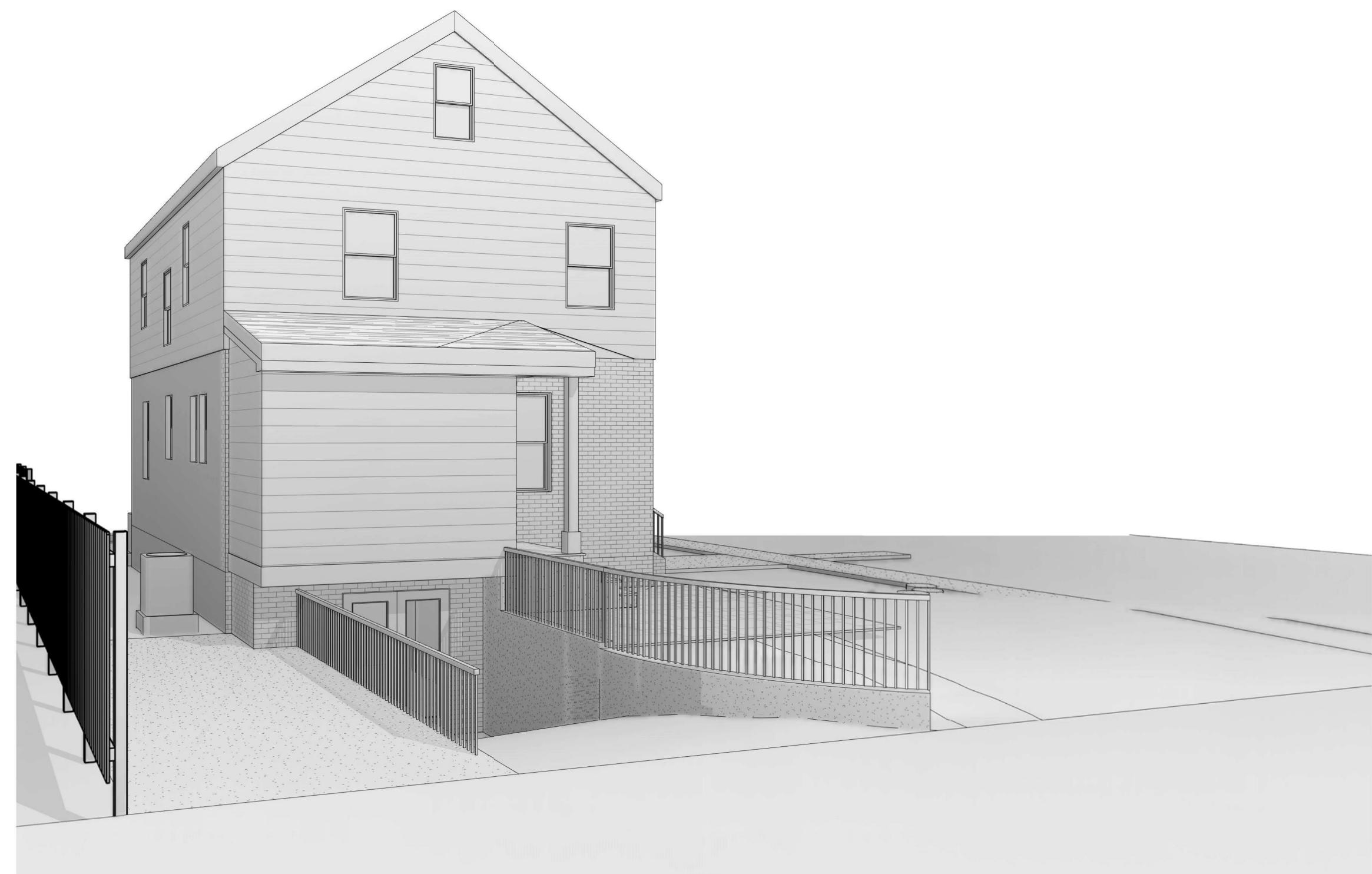
# A200



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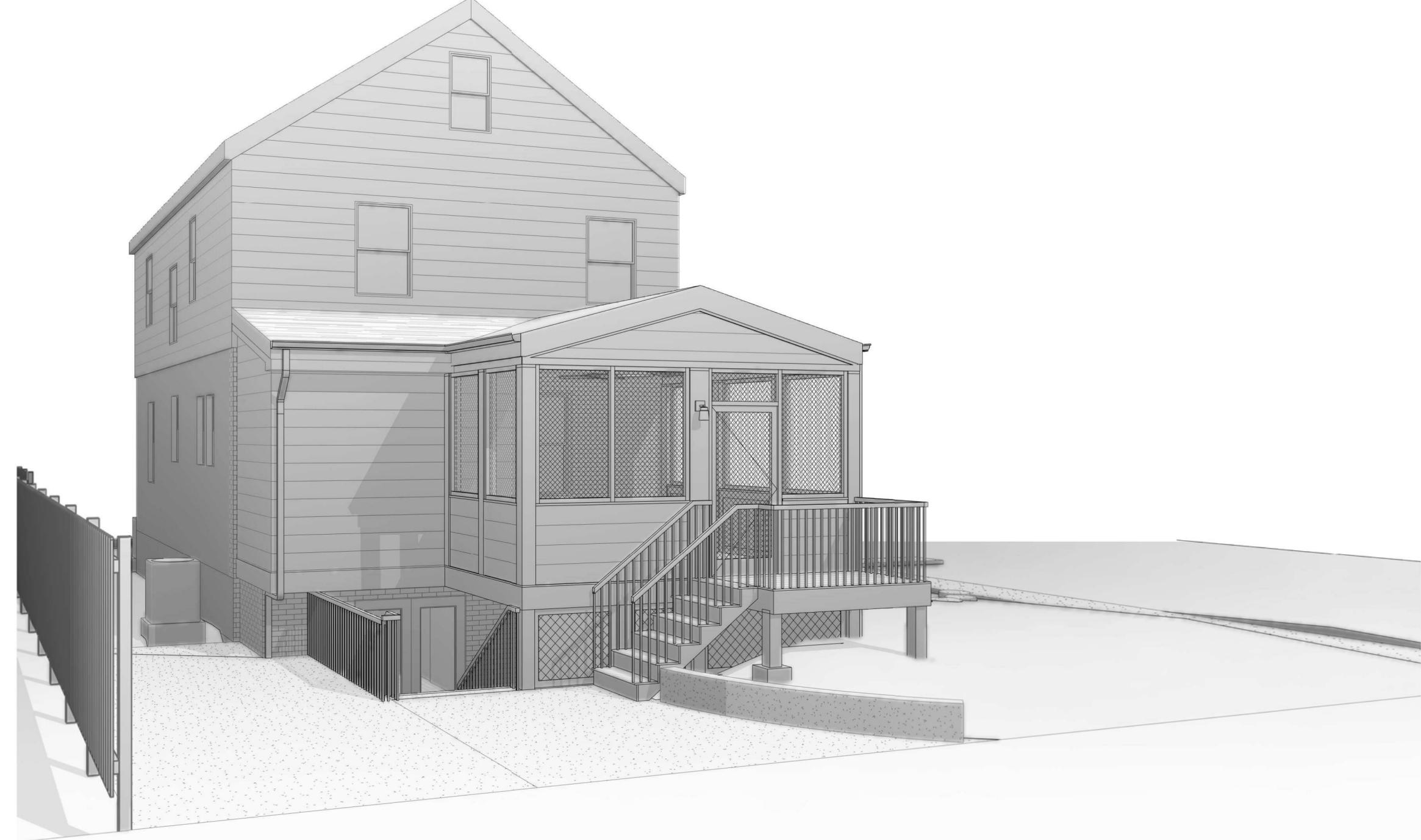
## Existing 3D view 2



## 2 Existing 3D view



### 3 Proposed 3D view



## 4 Proposed 3D view

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Williams Donohue Residence  
4401 Garrison St NW

title:

## Views

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# A400