

Williams Donohue Residence

GENERAL NOTES

1. REFER TO CONSTRUCTION DRAWINGS (CLIENT APPROVED CHANGE ORDERS, DRAWINGS, DESIGN TEAM'S SUPPLEMENTAL INSTRUCTIONS, AND RESPONSES TO REQUESTS FOR INFORMATION) PREPARED BY THE CSDI DESIGN TEAM, STRUCTURAL CONSULTANT, AND MEP CONSULTANT), INCLUDING ALL PACKAGES FOR SPECIFIC, ADDITIONAL INFORMATION.
2. FOR THE PURPOSE OF THESE DRAWINGS "OTS" (OWNER TO SUPPLY) SHALL MEAN ITEM PROVIDED BY OWNER, ASSEMBLED AND INSTALLED BY CONTRACTOR AS PART OF THE WORK OF THIS CONTRACT; THE ABBREVIATION "N.I.C." (NOT IN CONTRACT) SHALL MEAN ITEM PROVIDED AND INSTALLED BY OWNER UNDER SEPARATE COVENANT.
3. THE SUBCONTRACTOR SHALL FULLY MAINTAIN HIMSELF WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING CSDI UNIVERSAL SUBCONTRACTOR AGREEMENT, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE SUBCONTRACTOR TO FULLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DOCUMENTS, WILL NOT ENTITLE HIM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION.
4. SHOULD THE SUBCONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE CONSTRUCTION DOCUMENTS, OR BE IN DOUBT AS TO THE MEANING AND INTENTION OF ANY ITEM OR REQUIREMENT, HE SHALL NOTIFY THE PRODUCTION MANAGER (P.M.) AT ONCE.
5. THE SUBCONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND CITY BUILDING CODES AND ALL OTHER APPLICABLE ORDINANCES AND AUTHORITIES. THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED WITH THE INTENTION OF INCORPORATING ALL SUCH ISSUES. HOWEVER, THE SUBCONTRACTOR IS TO VERIFY THAT ALL COMPONENTS DO, INDEED, SATISFY THESE REQUIREMENTS. ASSURE COMPLIANCE BY ALL OF SUBCONTRACTOR'S PERSONNEL AND SUPPLIERS, AND SHOULD ANY DISCREPANCIES BE IDENTIFIED, NOTIFY THE P.M. AND THE CSDI DESIGN TEAM PROMPTLY FOR CLARIFICATION SO AS TO MINIMIZE THE IMPACT UPON THE JOB AND SCHEDULE.
6. ALL REQUESTS BY SUBCONTRACTORS OR SUPPLIERS FOR CLARIFICATION OR ADDITIONAL INFORMATION MUST BE FORWARDED IN WRITING THROUGH THE P.M. TO THE CSDI DESIGN TEAM.
7. THE SUBCONTRACTOR SHALL USE EXTREME CARE TO MINIMIZE INTERFERENCE OF ADJACENT PROPERTIES AND STREETS AND OTHER SUBCONTRACTORS ASSOCIATED WITH WORK ON THE SITE / PROJECT.
8. THE SUBCONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS OF THE JOB SITE AND NOTIFY THE CSDI DESIGN TEAM OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
9. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

<u>PROJECT INFORMATION:</u>	<u>AREA CALCULATIONS:</u>
LOT: 0080	BLDG FOOTPRINT
SQUARE: 1581	EXISTING: 136.14 SF + 860.0 SF
LOT AREA: 3776.5 SF	+ 83.53 SF = 1,079.67 SF
HISTORIC DISTRICT: N/A	ADDITION = 204 SF
NEIGHBORHOOD: 001 - American University	BLDG TOTAL = 1283.67 SF
WARD: 3	DRIVEWAY+SIDEWALK = 51 + 556 + 49 SF
YEAR BUILT: 1933	TOTAL IMPIEVIOUS = 656 SF
ZONING: R-2	
SETBACKS:	TOTAL IMPIEVIOUS (N)
FRONT: NO LESSER OR GREATER THAN THE	BUILDING + DRIVEWAY/WAY
EXISTING SETBACKS ON THE SAME	+ SIDEWALK = 1939.67 SF
BLOCK	LOT AREA : 3776.5 SF
SIDES: 8 FT. ON FREE STANDING SIDES	IMPIEVIOUS AREA = 51.37%
REAR: 20 FT.	
MAX. BUILDING HT: MAX 40 FT.	AREA OF DISTURBANCE : 707 SF
MAX BUILDING STORY: 3	VOLUME OF DISTURBANCE: 792 SF
LOT OCCUPANCY: 40 % MAX.	VOLUME OF DISTURBANCE = 29.33 CU YD
PERVIOUS SURFACE: 30% MIN	

<u>ZONING ANALYSIS:</u>				
	EXISTING	ALLOWABLE	PROPOSED	
COMPLIANCE				
BLDG FOOTPRINT	1,079.67 SF	1,510.6 SF	1,121 SF	YES
LOT OCCUPANCY	28.57%	40%	34.00%	YES
<u>SET BACKS</u>				
FRONT	8'-10"	15'	NO CHANGE	(E) NON-
COMPLIANT				
RIGHT	7' - 9"	8'	NO CHANGE	(E) NON-
COMPLIANT				
LEFT	15'	15'	NO CHANGE	YES
REAR	23' - 11"	20'- MIN	15'-2"	TO BZA
<u>HEIGHTS</u>				
MAX. BLDG. HT.	30'-0"	40' MAX	NO CHANGE	YES
MAX. LEVEL	2 STORY	3 STORY	2 STORY	YES
FAR	N/A	N/A	N/A	
PERVIOUS SURFACE	47.86%	30%	48.63%	YES
PERVIOUS SURFACE	1807.74	1132.95 SF	1847.83	YES
Impervious Surface	52.13%	70%	51.37%	YES
Impervious Surface	1968.67 SF	2643.55 SF	1939.67SF	YES

CONSTRUCTION TYPE

Existing and new floors, roof, interior wood framed walls and partitions -
Traditional wood-framed construction.
Exterior bearing and non-bearing walls - Traditional wood framed construction.
Shared property line party walls - Existing non-combustible and unprotected brick masonry walls

FIRE RATING OF EXISTING CONSTRUCTION

Floors, roofs, interior bearing and non-bearing walls and partitions: REQUIRED/
AND PROVIDED - 0/0 (zero) hours
Exterior walls: REQUIRED/PROVIDED - 0 hours/ Actual non-combustible and
unprotected existing brick walls - 2 hours)
Brick party walls - NON-combustible and unprotected: REQUIRED/PROVIDED -
2/2 hours.
Ceiling heights for all floors: Actual/Provided -/7 feet minimum DCRC/IRC-
R305.1)

INTERIOR FINISHES

WALLS AND CEILINGS: Fire spread index – 200 maximum (DCRC/IRC -
R302.9.1), smoke developed - and smoke developed indexes – 450 maximum
(DCRC/IRC-R302.9.2).

INSULATION: Flame spread index – 25 maximum (DCRC/IRC-R302.10.1, smoke
developed index – 450 maximum.

All construction materials and products and finishes manufacturers' specifications
shall comply with VOC (Volatile Organic Compound) limits requirements of
DCGCC/IGCC.

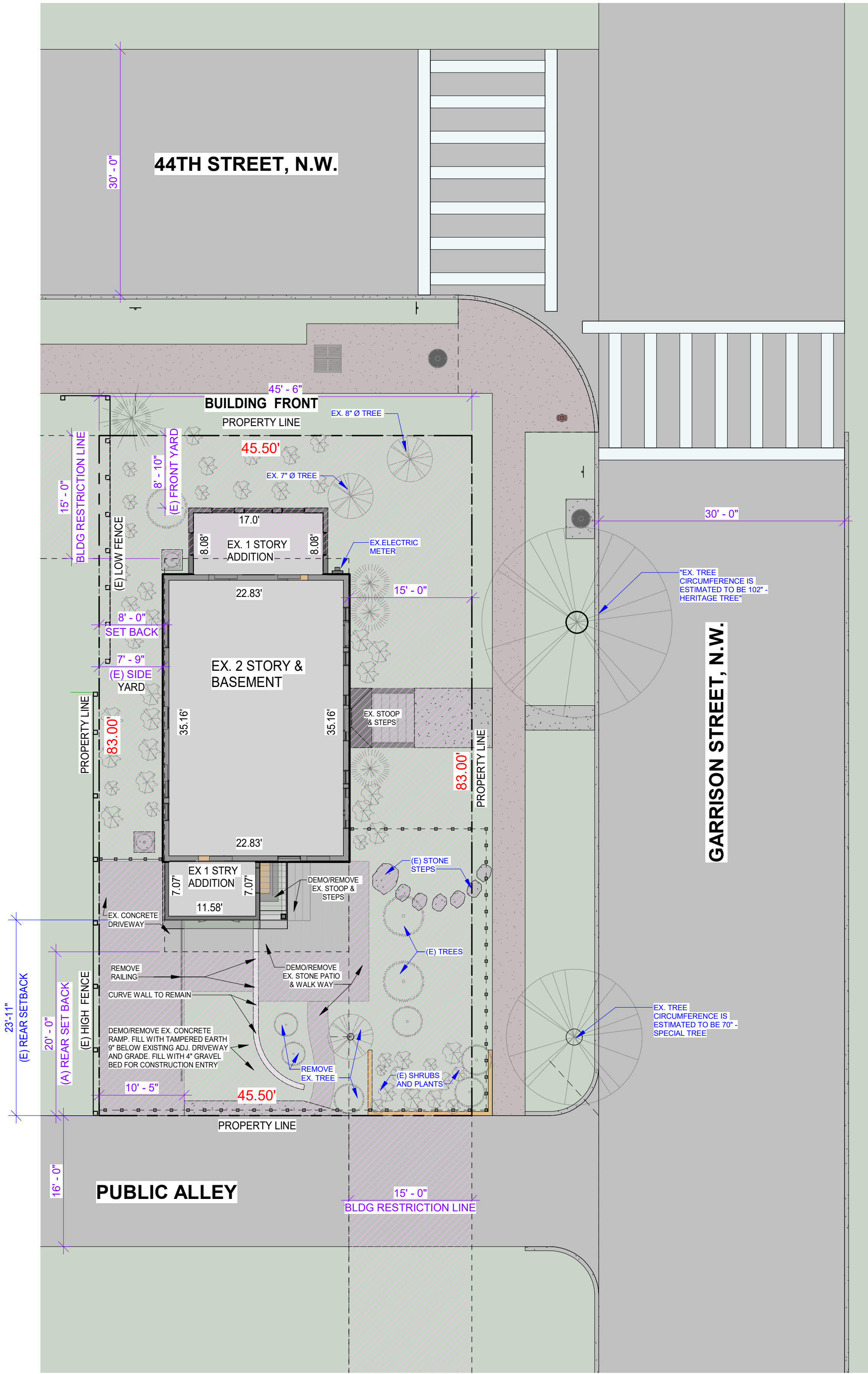
VOC LIMITS

Acoustical tiles and wall systems	806.5
Adhesives and sealants	806.2
Flooring.	806.4
Insulation.	806.6
Paints and coatings.	806.3

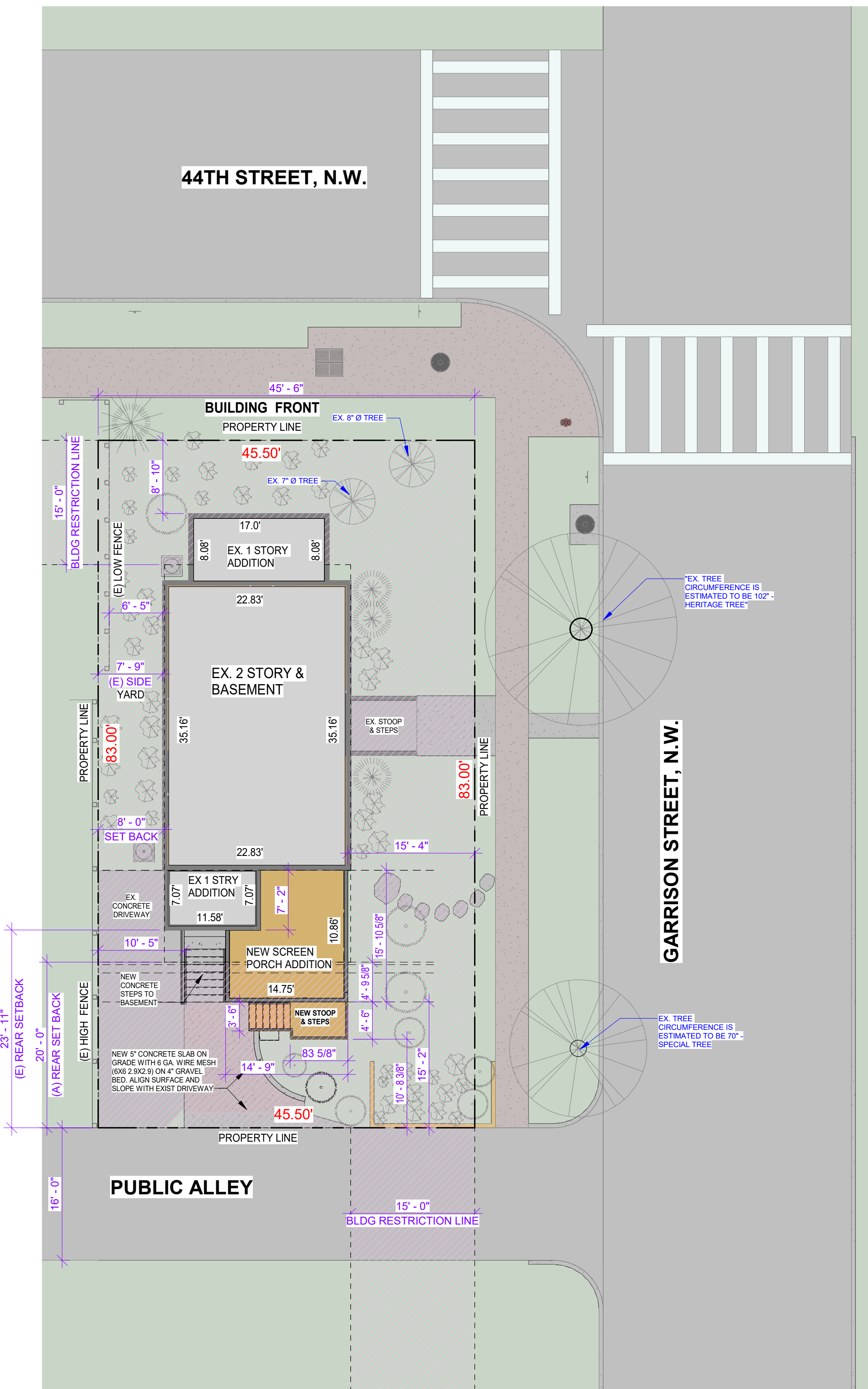
Williams Donohue Residence

Addition and Renovation

4401 Garrison St NW Washington, DC 20016



1 SITE PLAN - EXISTING
SEC-01 1" = 10'-0"



2 SITE PLAN - PROPOSE
SEC-02 1" = 10'-0"

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LOT: 0080
SQUARE: 1581
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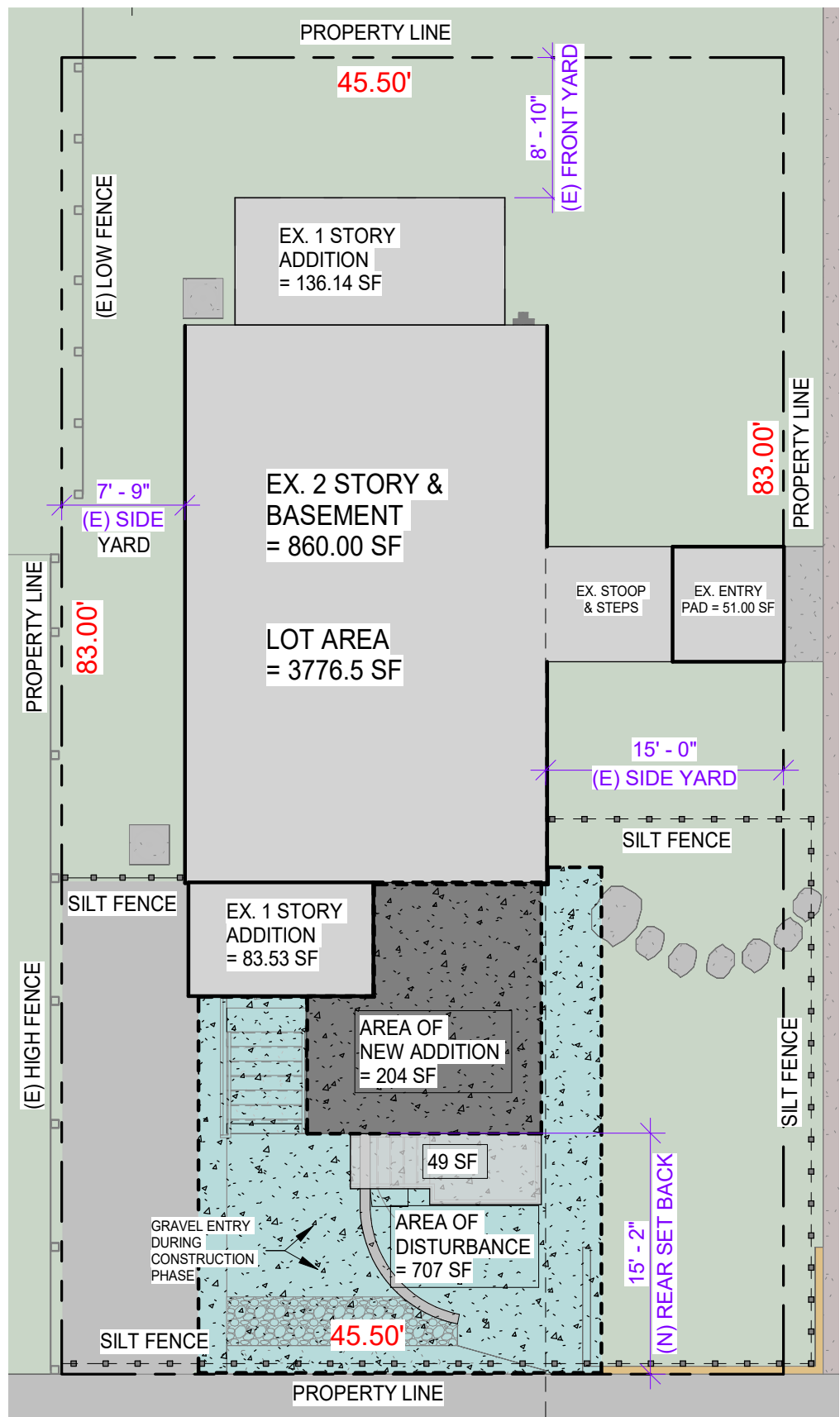
SETBACKS:
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SIDES: 8 FT. ON FREE STANDING SIDES
REAR: 20 FT.
MAX. BUILDING HT.: MAX 40 FT.
MAX BUILDING STORY: 3
LOT OCCUPANCY: 40% MAX.
PERVIOUS SURFACE: 30% MIN

AREA CALCULATIONS:

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+ SIDEWALK = 1939.67 SF
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AREA OF DISTURBANCE: 707 SF
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ZONING ANALYSIS:

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LOT OCCUPANCY	28.57%	40%	34.00%	YES
FRONT SET BACKS				
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3 SITE PLAN
SEC-03 1" = 10'-0"

LEGENDS:

BUILDING RESTRICTION OR SET BACKS	BUILDING RESTRICTION
SITE LAWN	PROPERTY LINE
ASPHALT ROAD PAVEMENT AND DRIVEWAY	SILT FENCE
GRAVEL ENTRY	LIMIT OF DISTURBANCE
AREA OF DISTURBANCE	
NEW ADDITION	
EXISTING HOUSE AND PADS	



sheet title:

Site Plan

sheet scale:

sheet date:

08/06/2025

drawing revisions:

date:	description:	rev.#
	Permit	

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proposed renovation for:
Williams Donohue Residence
4401 Garrison St NW
Washington, DC 20016

sheet title:

Site Plan

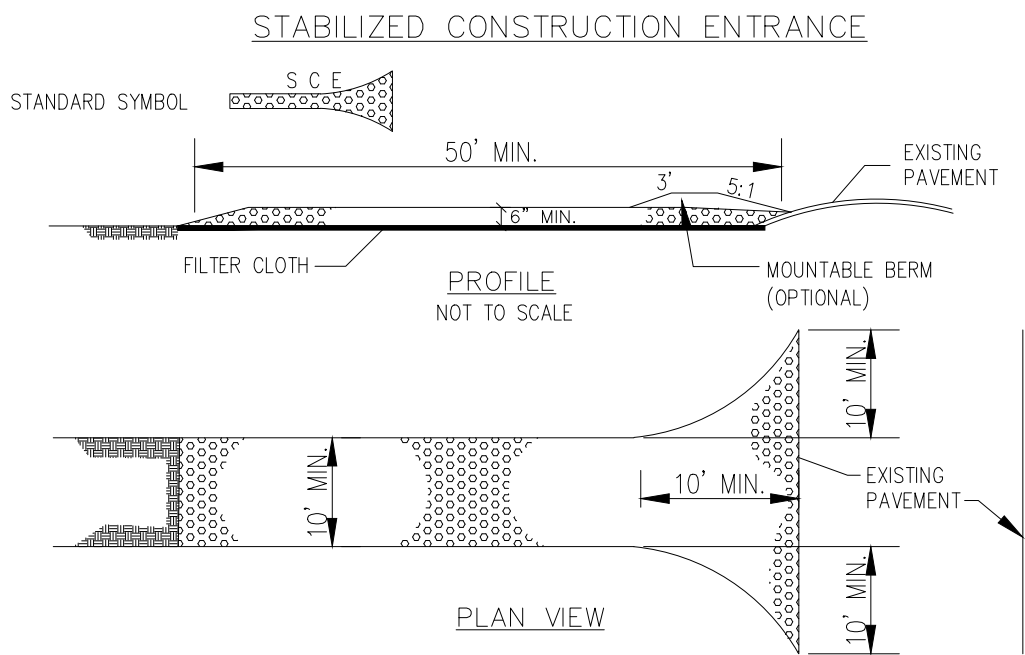
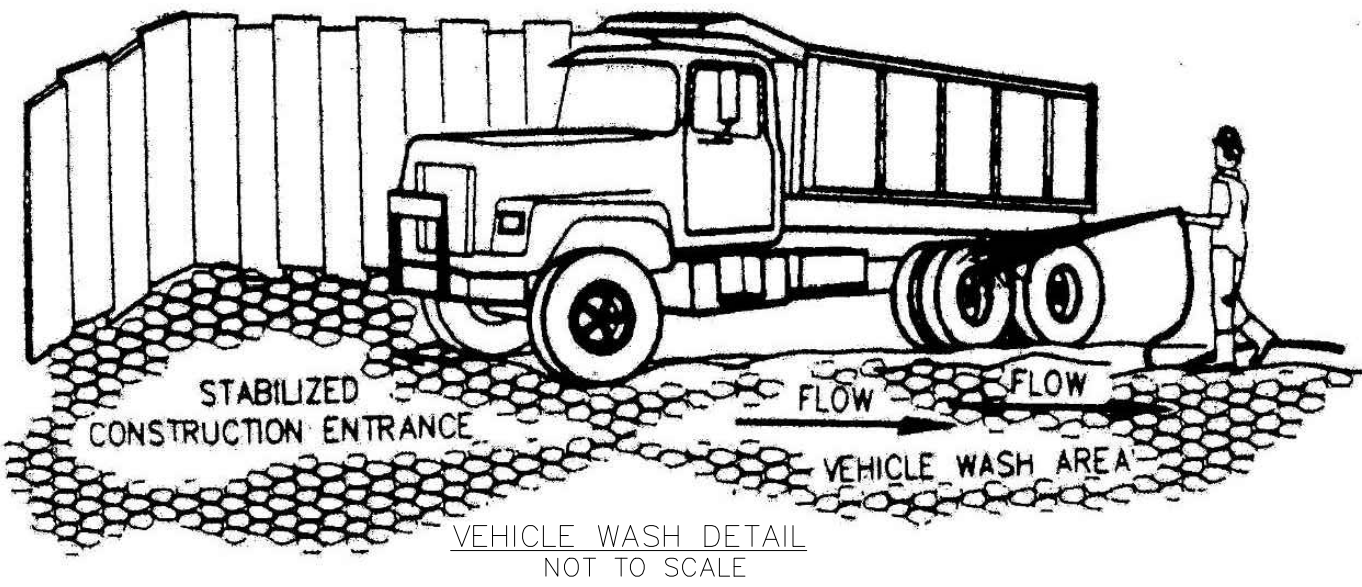
SEC-01

EROSION CONTROL NOTES :

1. A SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM SITE.
3. ALLEY AND /OR STREETS/ SIDEWALKS SHALL BE SWEEPED CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL CATCH BASINS OR DRAIN AREAS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
5. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTORCTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
6. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 33% OF CAPACITY, CLEAN OUT OF SAME IS REQUIRED.
7. ANY STOCKPILING, REGARDLESS OF LOCATION, SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR DURATION OF PROJECT.
8. AFTER RAZE OR DEMOLITION, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOD, PAVERS55, BRICKBAT, MULCH, ETC.

EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

1. ALL EROSION SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AS SHOWN ON PLAN.
4. NO DISTURBED AREA WILL BE DENUEDED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.



CONSTRUCTION SPECIFICATIONS

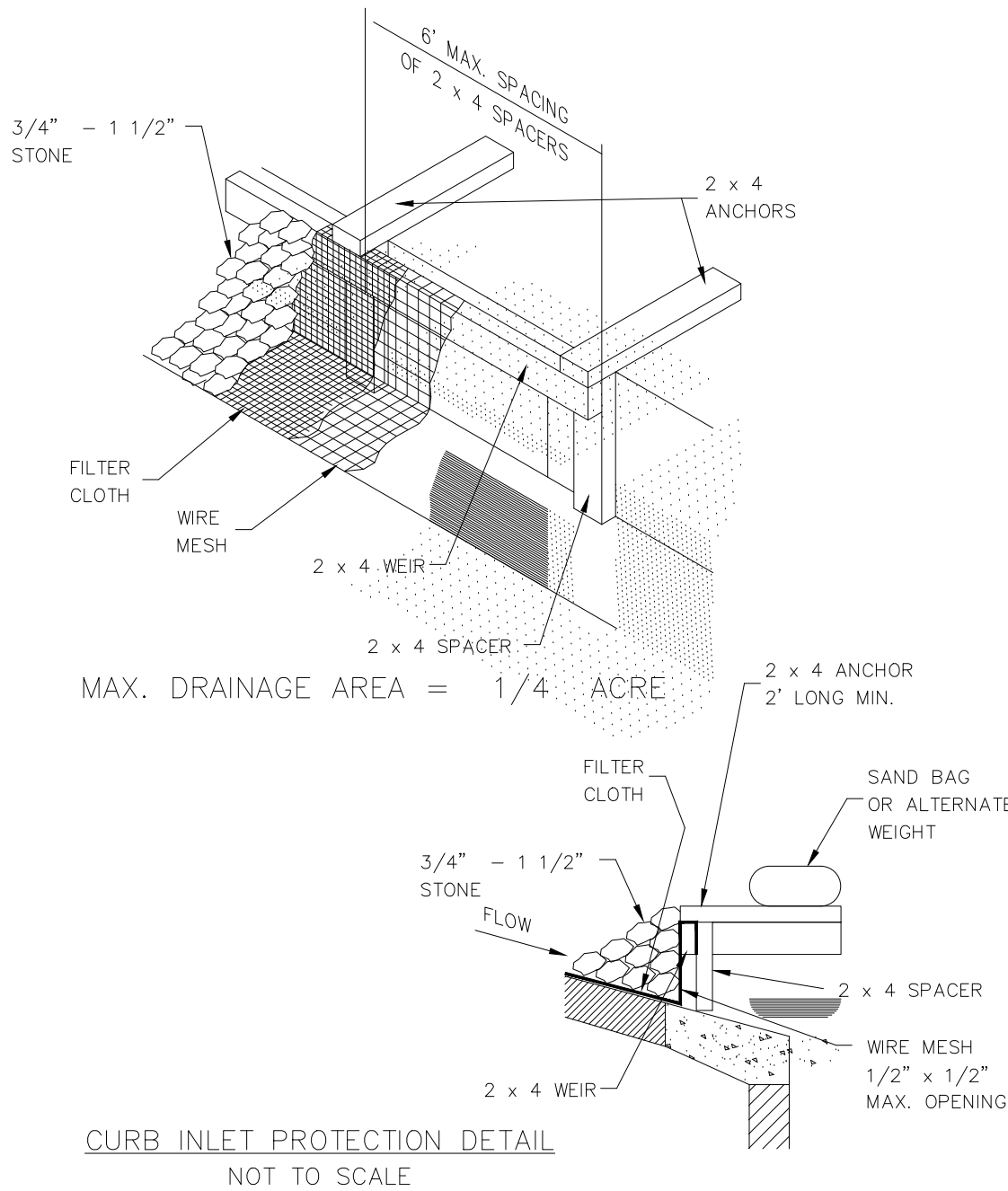
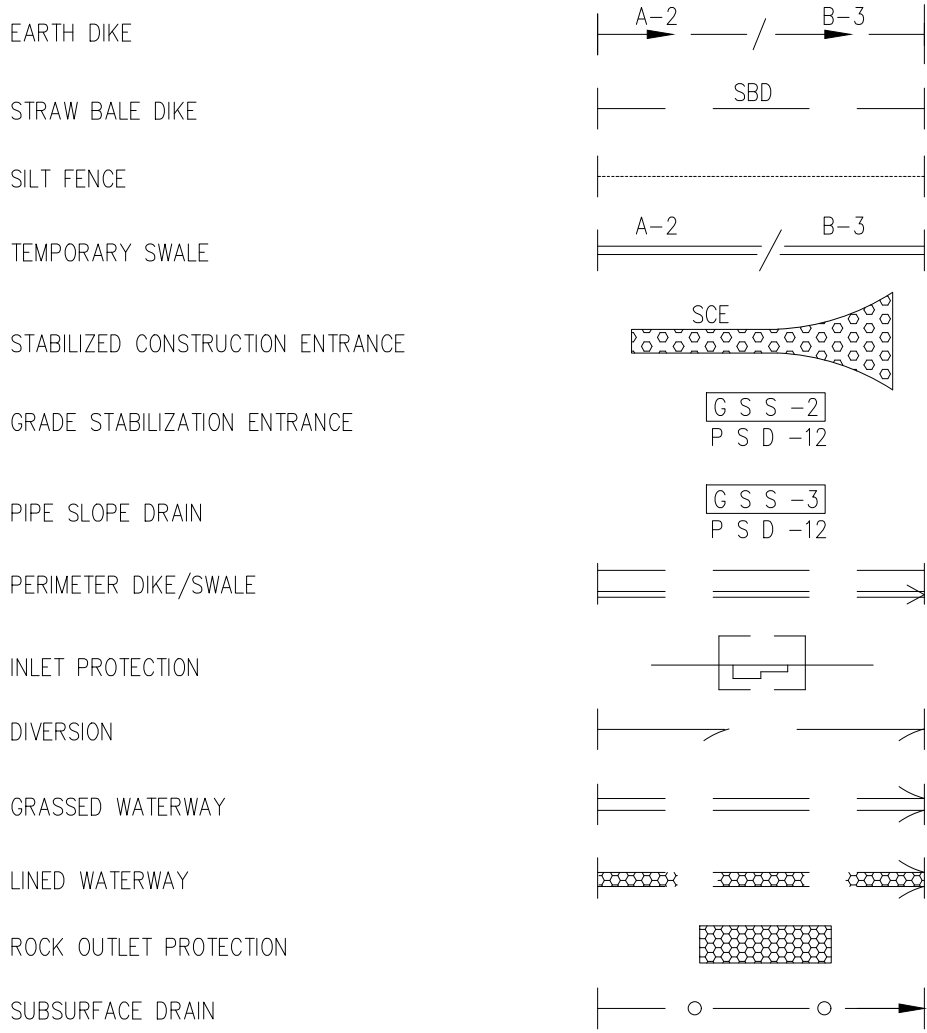
1. STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH- AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS- NOT LESS THAN SIX (6) INCHES.
4. WIDTH- TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCES. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

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SOIL CONSERVATION SERVICE
COLLEGE PARK, MARYLAND.

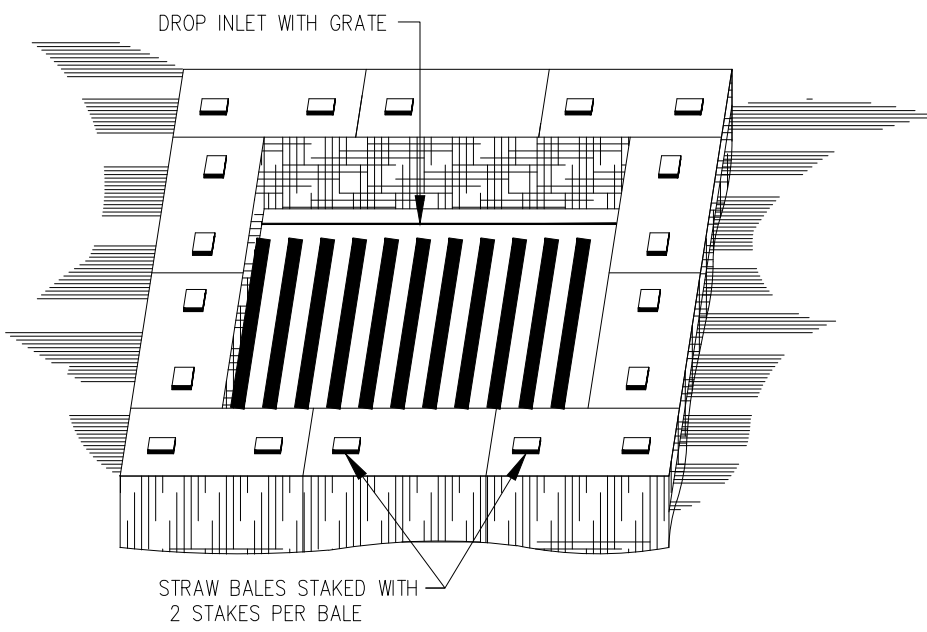
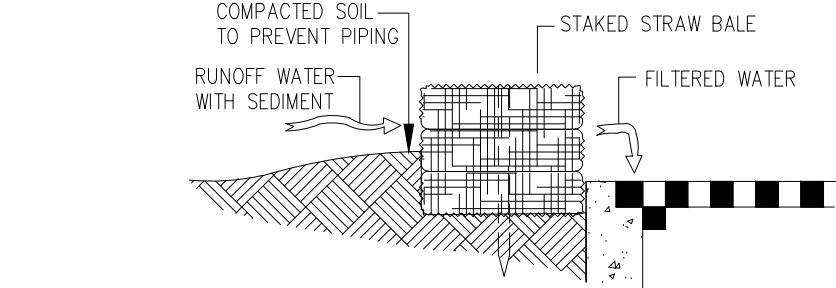
STABILIZED CONSTRUCTION
ENTRANCE

STANDARD DRAWING
SCE - 1

LIST OF STANDARD SYMBOLS



STRAW BALE DROP INLET SEDIMENT FILTER



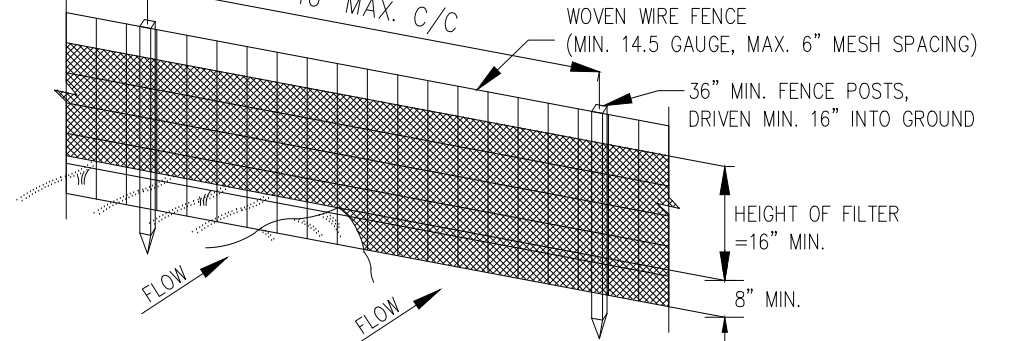
SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

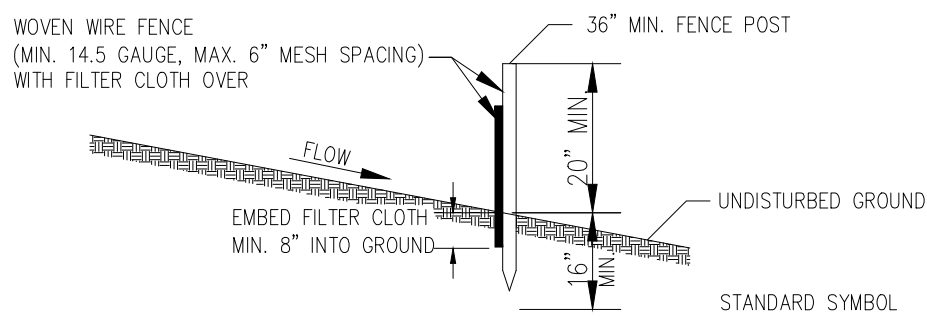
STRAW BALE DROP INLET SEDIMENT FILTER

SOURCE: MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL GUIDEBOOK, 1975

SILT FENCE



ISOMETRIC VIEW



SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

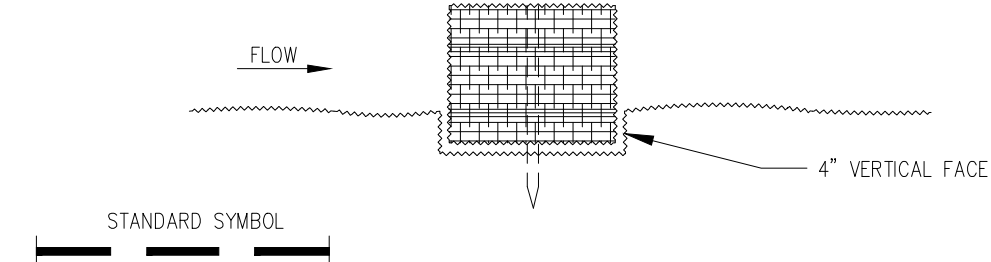
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BUGLES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FENCE: WOVEN WIRE, 14.5 GAUGE, 6" MAX. MESH OPENING
- FILTER CLOTH: FILTER X, MIRAFI 100X, STAB-LINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

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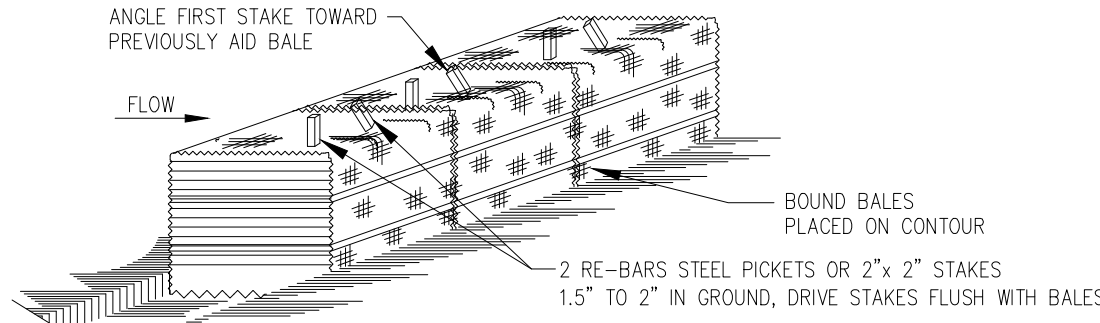
SILT FENCE

STANDARD DRAWING
SF-1

STRAW BALE DIKE



BEDDING DETAIL



ANCHORING DETAIL

CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE, THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER, STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

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STRAW BALE DIKE

STANDARD DRAWING
SBD-1

STANDARDS AND SPECIFICATIONS
FOR
BRICKBAT GROUND COVER

DEFINITION

TEMPORARY GROUND COVER CONSISTING OF BROKEN BRICK (1/2 PIECE OR SMALLER) PLACED OVER DENUEDED EARTH.

PURPOSE

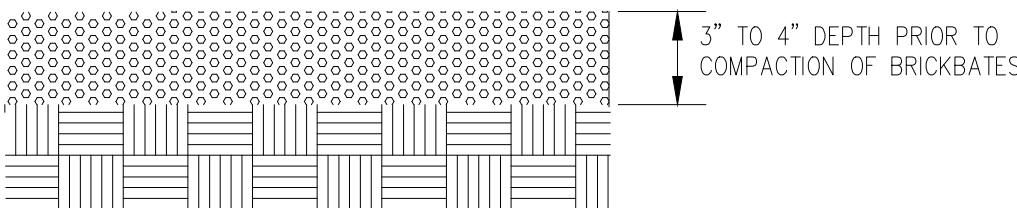
BRICKBATES PROVIDE A TEMPORARY GROUND COVER OVER DENUEDED URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

CONDITIONS WHEN PRACTICE APPLIES

BRICKBATES MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

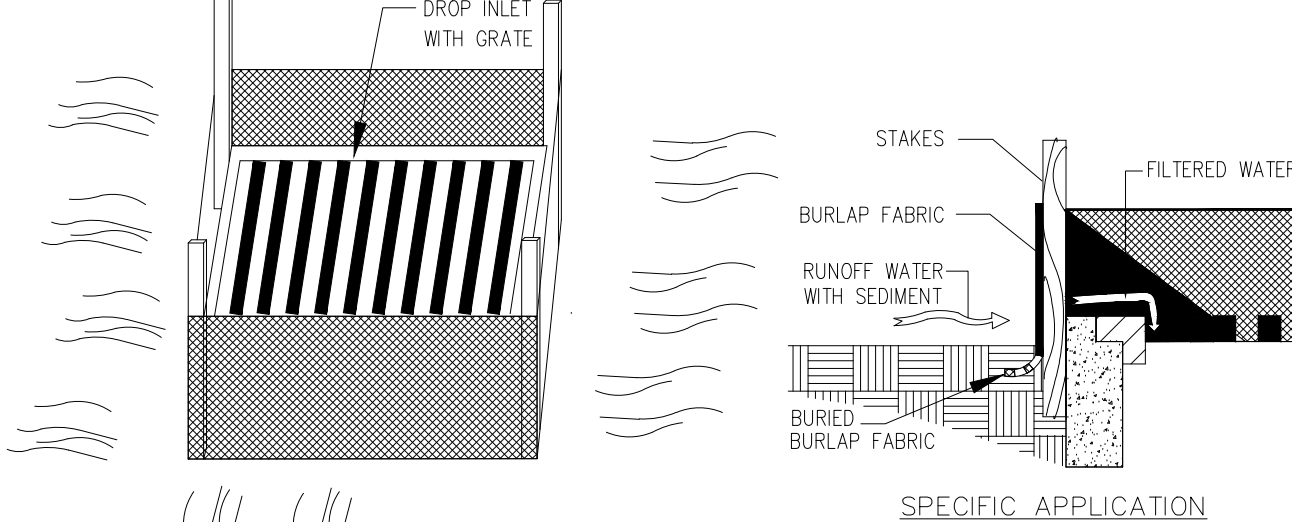
DESIGN CRITERIA

THE BRICKBATES SHALL BE PLACED TO A DEPTH OF 3 INCHS TO 4 INCHES COVERING THE DENUEDED EARTH ON THE SITE, THEN COMPACTED AND LEVELED.



NOT TO SCALE

BURLAP DROP INLET SEDIMENT FILTER

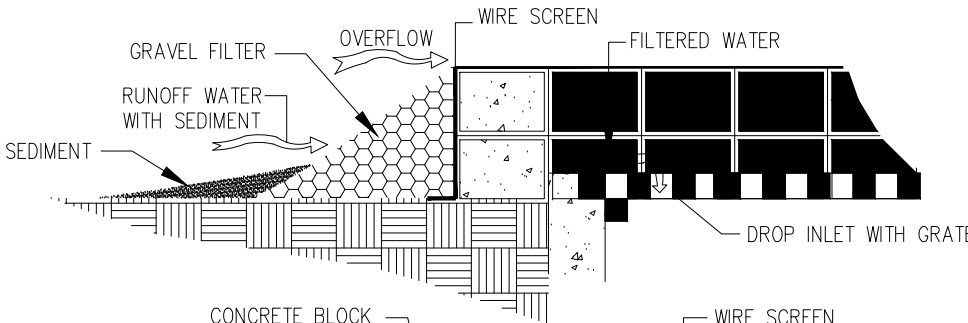


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION ES APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THEN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

BURLAP DROP INLET SEDIMENT FILTER

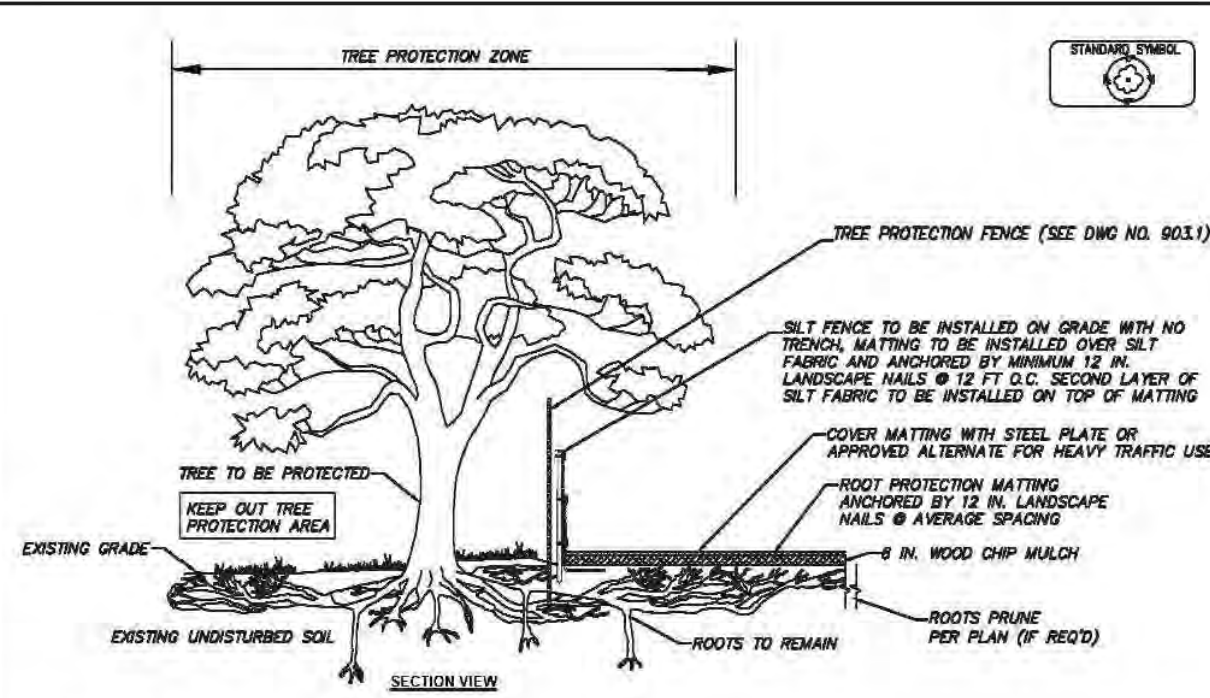
BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER



SPECIFIC APPLICATION

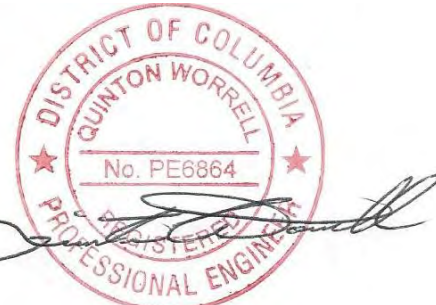
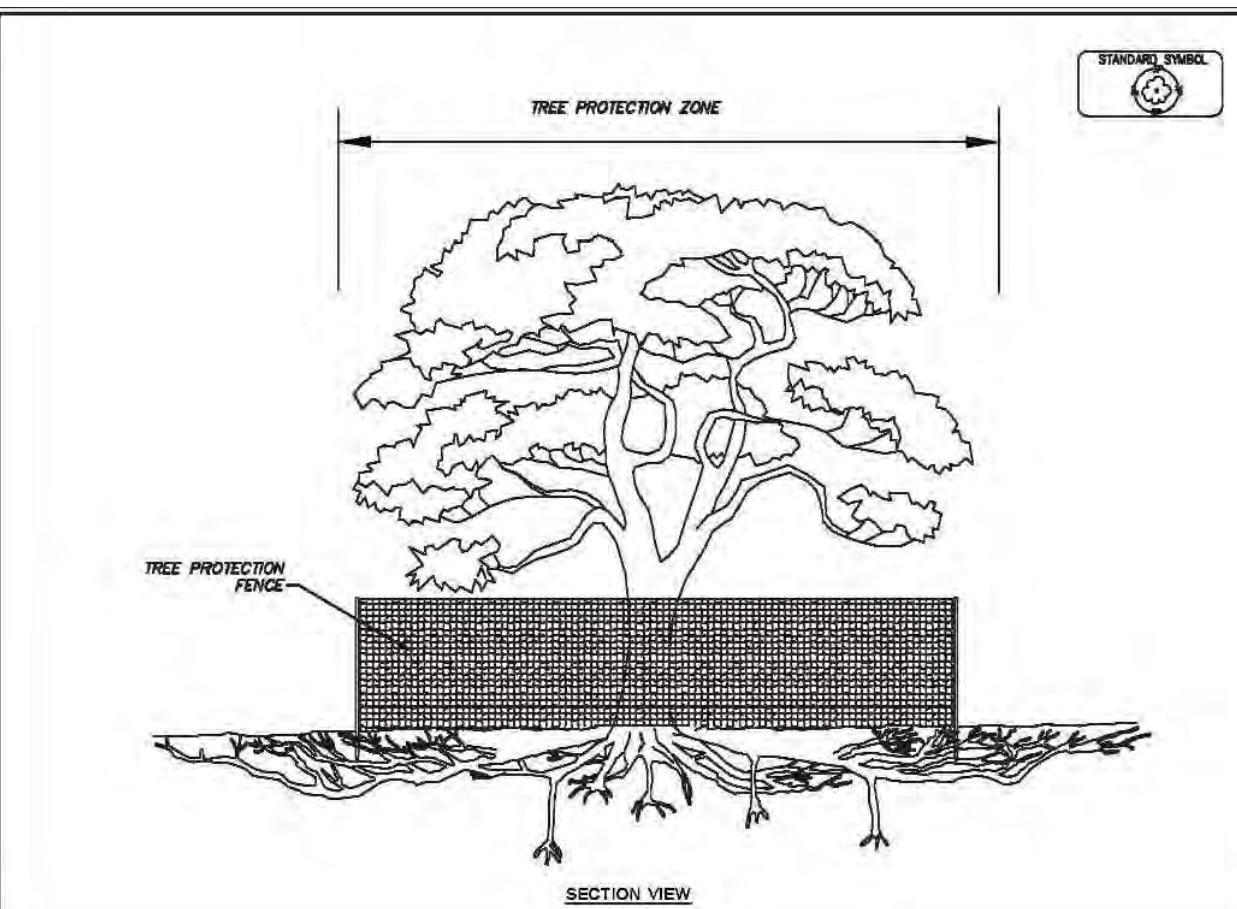
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER



CONSTRUCTION SPECIFICATIONS

1. MATTING MATERIAL MUST BE DOUBLE SIDED GEOTEXTILE, GEOTEXTILE CORE WITH NON-WOVEN COVERING (SUCH AS TENSAR ROADBARN R80) OR APPROVED EQUIVALENT.
2. INSTALL ROOT PROTECTION MATTING BY A CERTIFIED ARBORIST.
3. TO BE USED FOR DESIGNATED TEMPORARY CONSTRUCTION ACCESS AND STOCKPILE AREAS.
4. PLACE MATTING ON 6 IN. WOOD CHIP MULCH UNLESS OTHERWISE DIRECTED.
5. FOR HEAVY TRAFFIC AREAS, COVER MATTING WITH STEEL PLATES.



sheet title:

Site Plan

sheet scale:

sheet date:

08/06/2025

drawing revisions:

date:									
description:	Permit								
rev.#									



P: 301.603.0625
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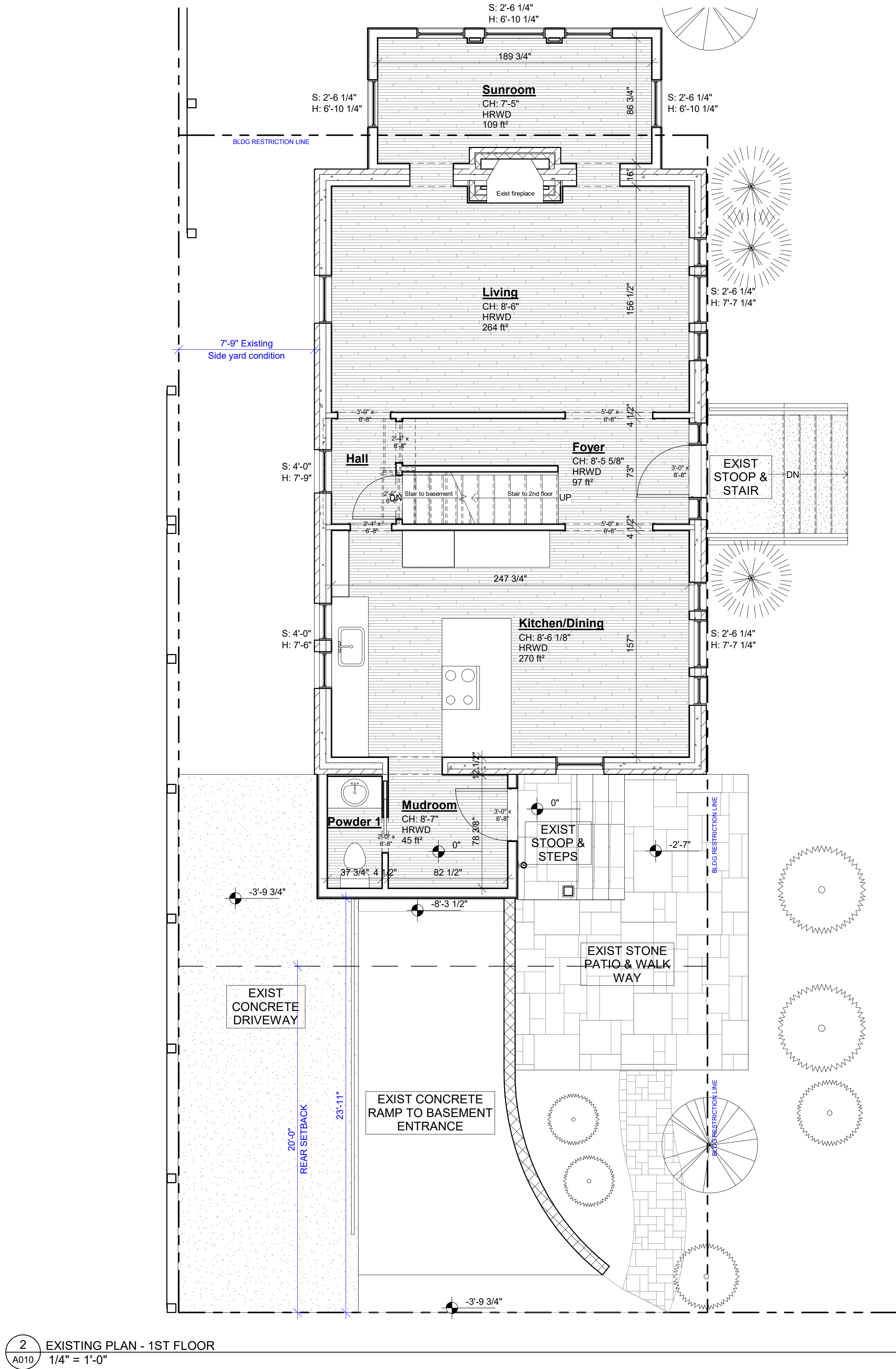
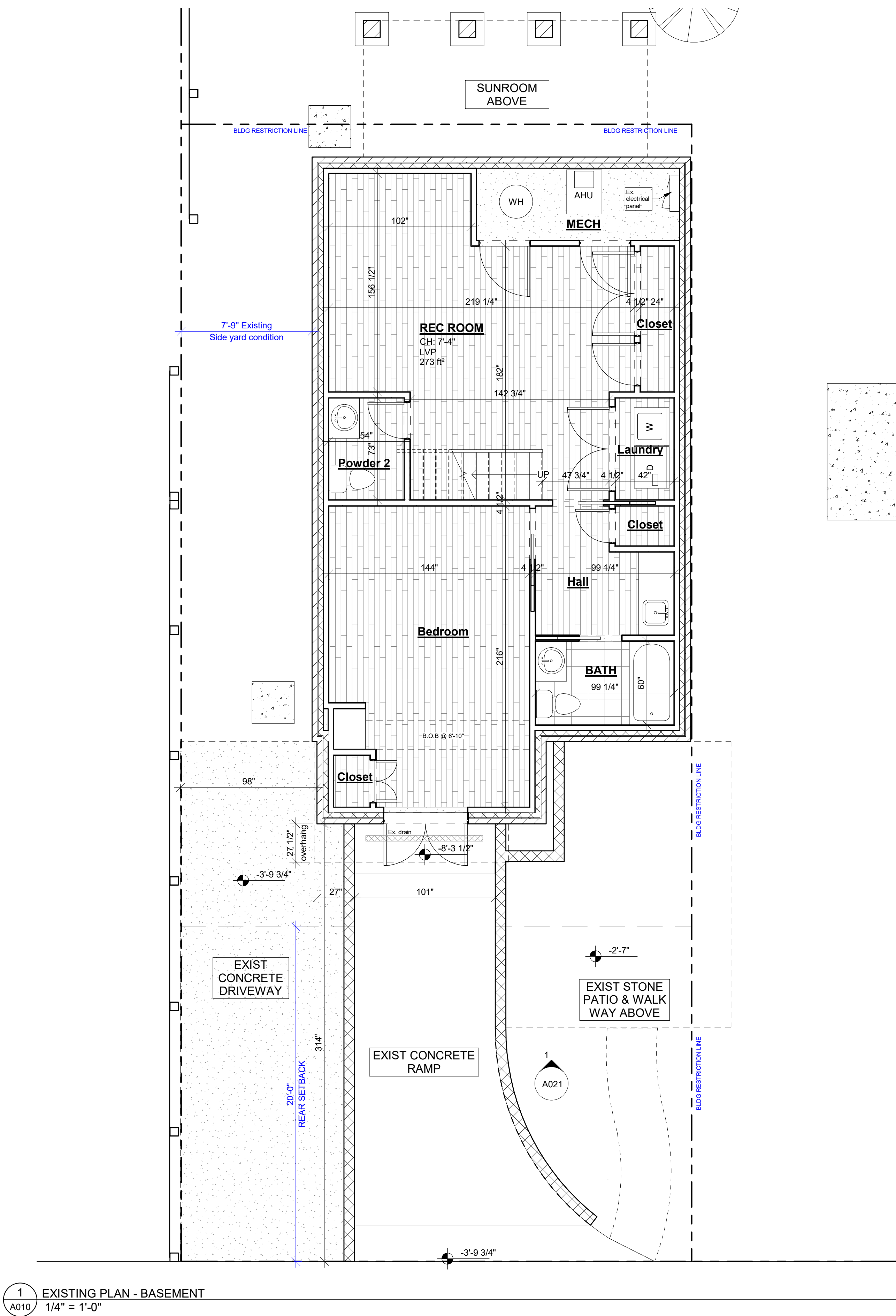
proposed/renovation
for:
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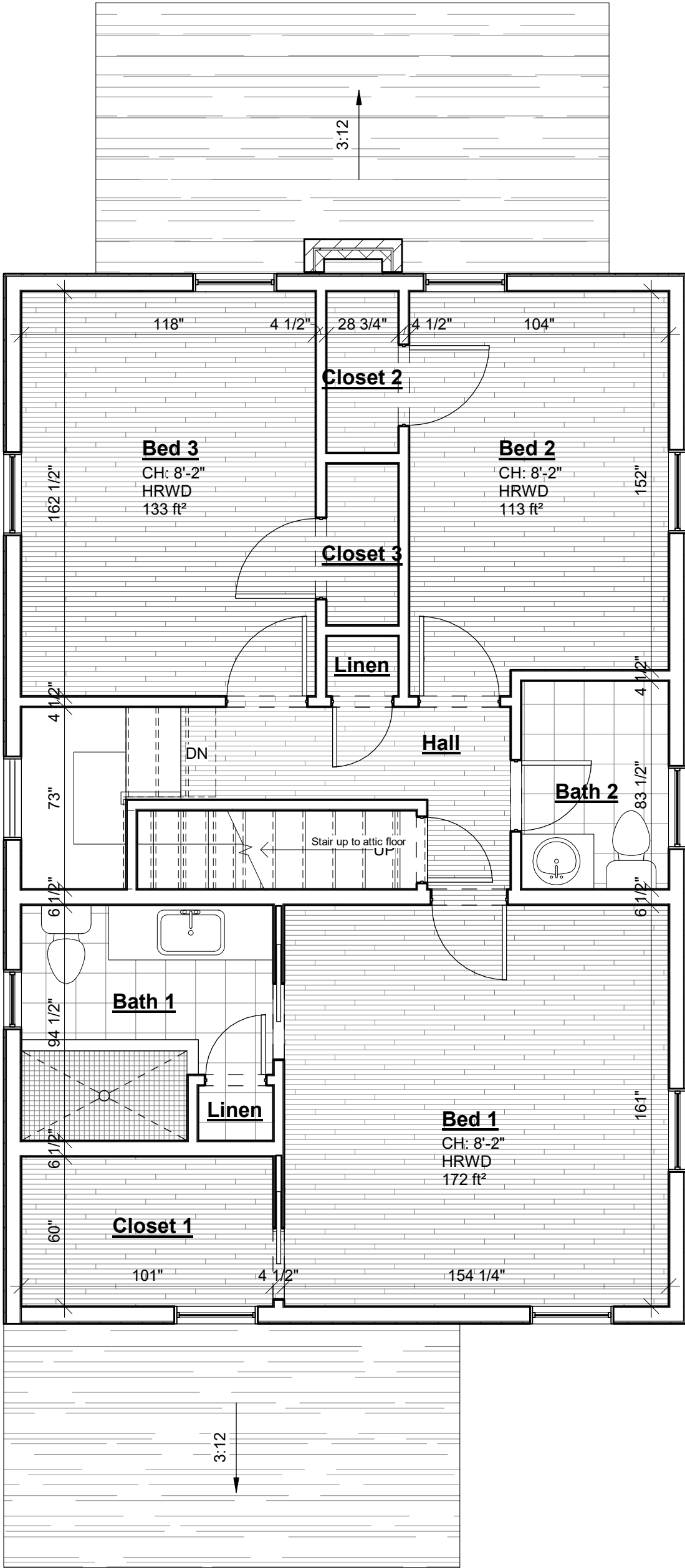
Site Plan

SEC-02

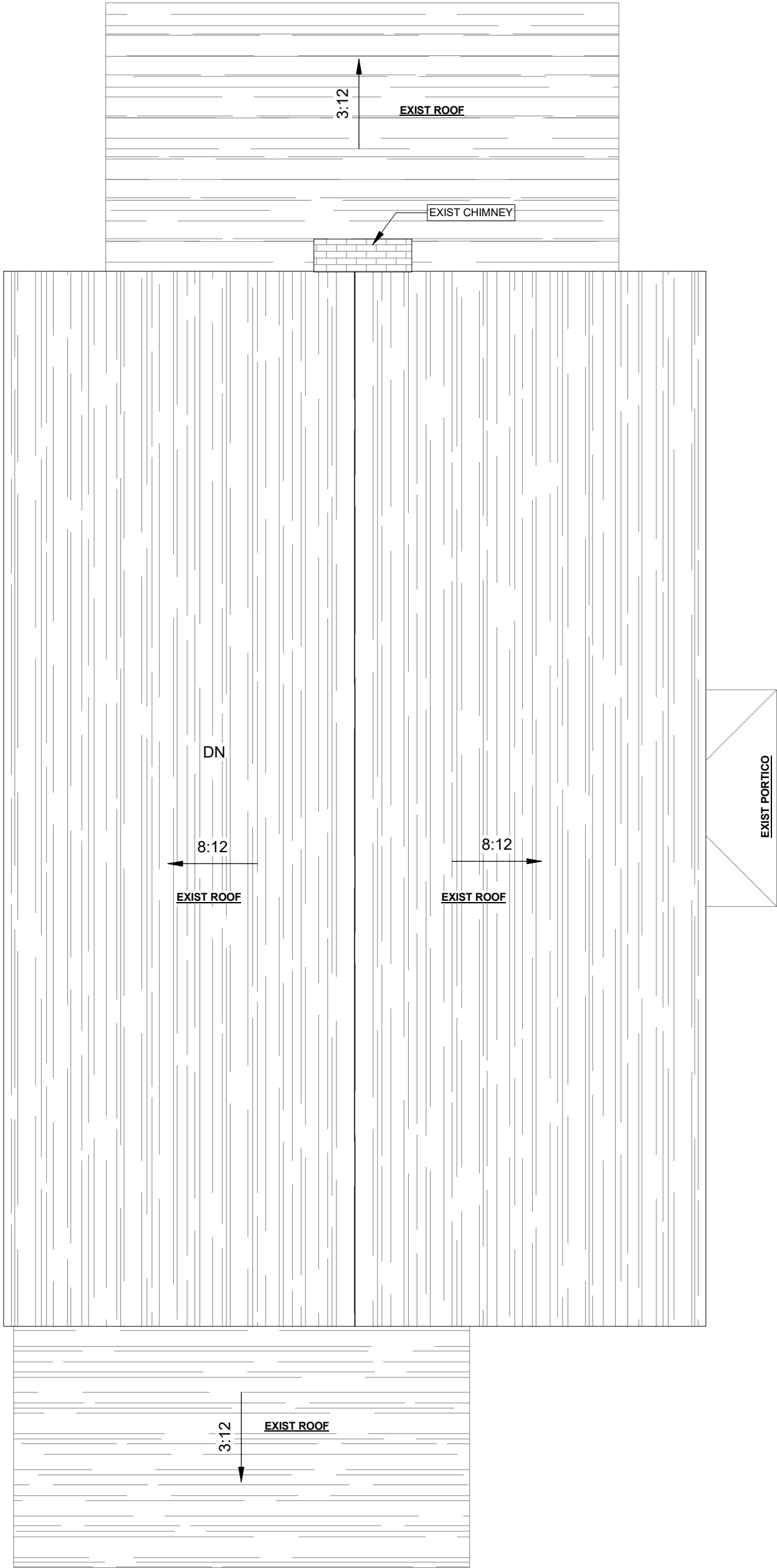
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proposed renovation for:	Williams Donohue Residence 4401 Garrison St NW Washington, DC 20016					
sheet title:						
Existing Plans						
A010						



1
A011
EXISTING PLAN - SECOND FLOOR
1/4" = 1'-0"



2
A011
EXISTING PLAN - ROOF
1/4" = 1'-0"

sheet title:

Existing Plans

sheet scale:

sheet date:

08/06/2025

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date:						

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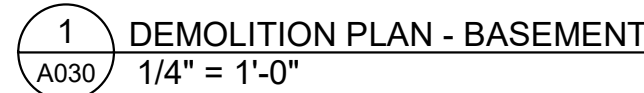
proposed renovation for:
Williams Donohue Residence
4401 Garrison St NW
Washington, DC 20016

sheet title:

Existing Plans



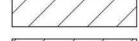
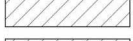


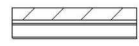
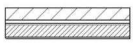



A011

24X36



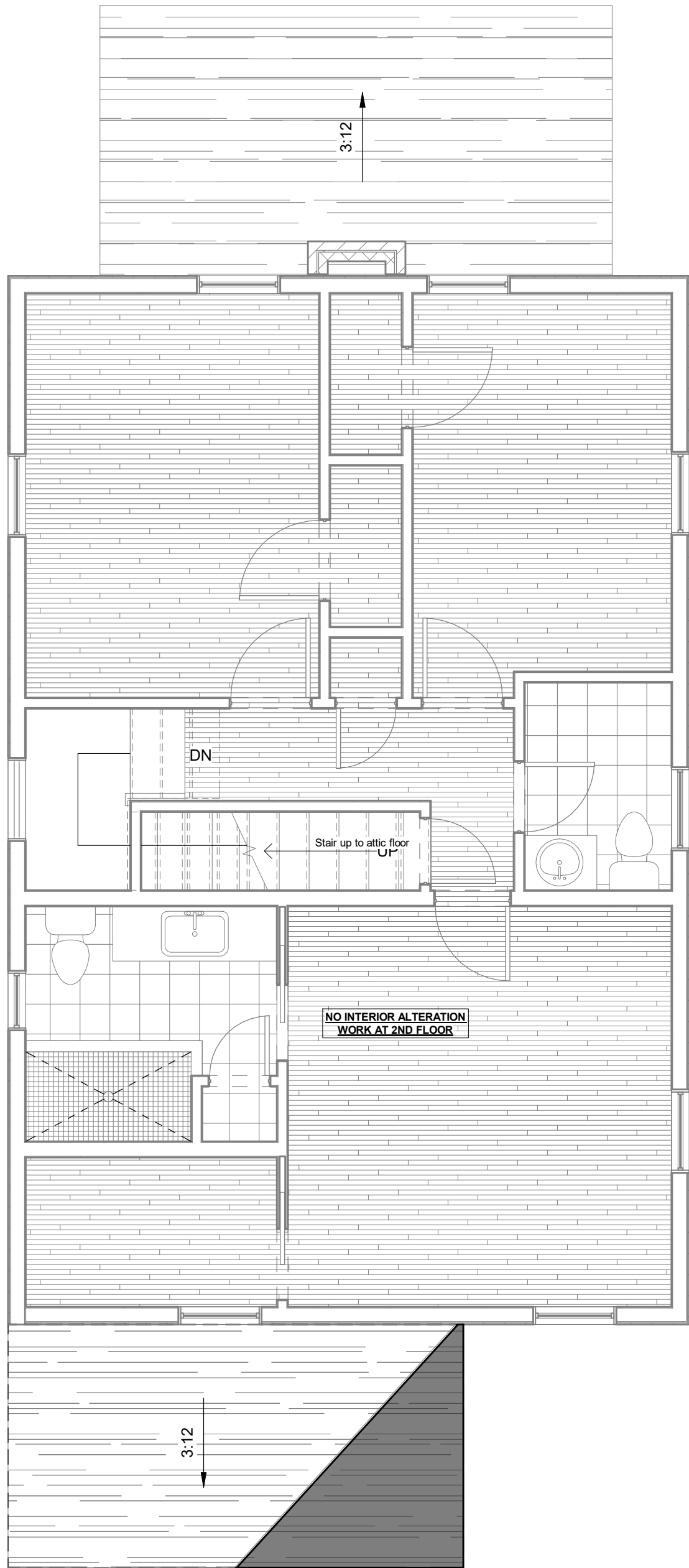
- Protection & Cleaning
 - Provide labor and material for covering & protecting of work area and pathways
 - Provide labor for covering & protecting of decking during remainder of construction
 - Provide materials for covering & protecting of installed fixtures, cabinetry and flooring during remainder of construction
 - Provide labor and materials for general sweeping and dusting (from construction debris) of remodeled areas only, upon completion
 - Provide materials for temporary facility toilet rental onsite during construction
- Trash Hauling
 - Provide labor for loading & hauling of construction debris by small truck load
 - Provide materials for loading & hauling of construction debris by small truck load
- Site, Excavation & Concrete
 - Provide labor and materials for hauling and disposal of demolished concrete by dump truck
 - Provide labor and materials for hauling and disposal of excavated dirt by dump truck
 - Provide materials and labor for excavation of dirt, mini excavator equipment, no rocks larger than 16" digging bucket
 - Provide materials and labor for concrete pump truck services.

NOTE: Homeowner to provide removal of any shrubs or trees within work area, including DC Urban Forestry tree inspection, and/or tree removal permit (if required) prior to start of work by Hammer.

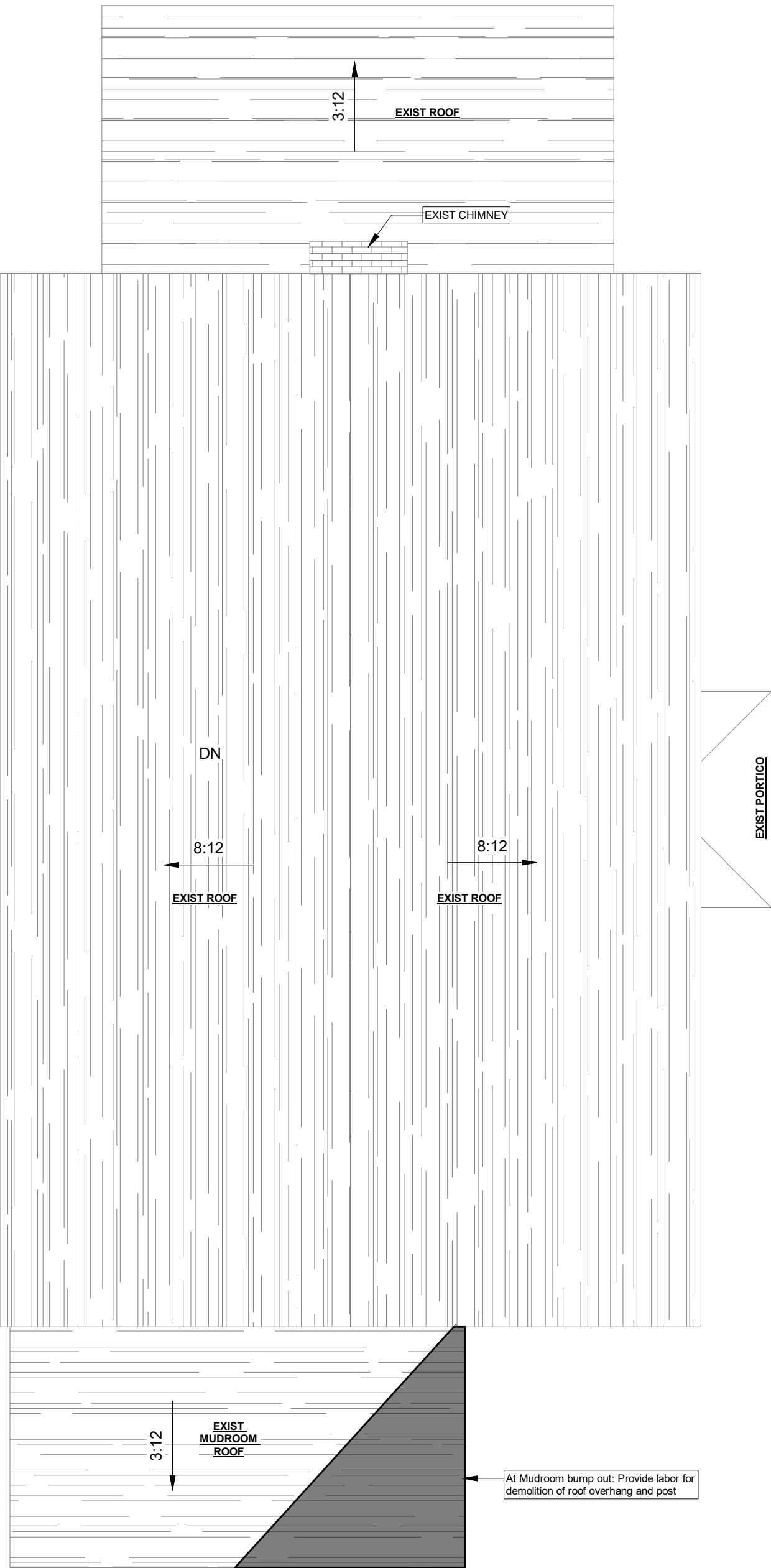
LEGEND		
<div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">2</div>	→	DEMOLITION NOTE TAG
<div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">2</div>	→	PROPOSE NEW NOTE TAG
<div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">A</div>		NEW WINDOW TAG
<div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">2</div>		NEW DOOR TAG
--- --- ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS SHOWN "DASHED" SHALL BE REMOVED		
WALL TYPE		
POURED CONCRETE	EXISTING	NEW
CONCRETE BLOCK		
BRICK		
BRICK VENEER ON CONCRETE BLOCK		
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB		
WOOD STUD W/ INTERIOR GWB		
		DASHED WALLS
DEMOLITION NOTE		
Note Number	Note Text	
1	At Mudroom bump out: Provide labor for demolition of gutter and downspout	
2	At Mudroom bump out: Provide labor for demolition of gutter and downspout	
3	At Exterior: Provide labor for removal of painted iron railings at patio, and at painted. Provide labor and materials for patching, fill-in with cement colored epoxy, of holes	
4	Provide labor for demolition of concrete stoop and steps to Mudroom	
5	Provide labor for demolition and SALVAGE of flagstone patio on crushed blue stone	
6	Provide labor for demolition of portion of concrete retaining wall at patio side only and concrete ramp to Basement. Opposite retaining wall and rest of concrete driveway to remain as-is.	
7	Provide labor and materials for hauling and disposal of excavated dirt by dump truck. Provide materials and labor for excavation of dirt, mini excavator equipment, no rocks/larger than 16" digging bucket.	
8	Provide materials and labor for fill-in at new concrete slab, backfilling at walls, and grading at excavated soil only	
9	At Basement: Relocate existing bathroom exhaust duct at Basement ceiling to new foundation wall penetration. VIF location during construction.	

24X36

1 DEMOLITION PLAN - SECOND FLOOR
A031 1/4" = 1'-0"



3 DEMOLITION PLAN - ROOF
A031 1/4" = 1'-0"



LEGEND

2 → DEMOLITION NOTE TAG

2 → PROPOSE NEW NOTE TAG

A NEW WINDOW TAG

2 NEW DOOR TAG

--- ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS SHOWN "DASHED" SHALL BE REMOVED

WALL TYPE

	EXISTING	NEW	DEMO WALLS
POURED CONCRETE	[Pattern]	[Pattern]	---
CONCRETE BLOCK	[Pattern]	[Pattern]	---
BRICK	[Pattern]	[Pattern]	---
BRICK VENEER ON CONCRETE BLOCK	[Pattern]	[Pattern]	---
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB	[Pattern]	[Pattern]	---
WOOD STUD W/ INTERIOR GWB	[Pattern]	[Pattern]	---

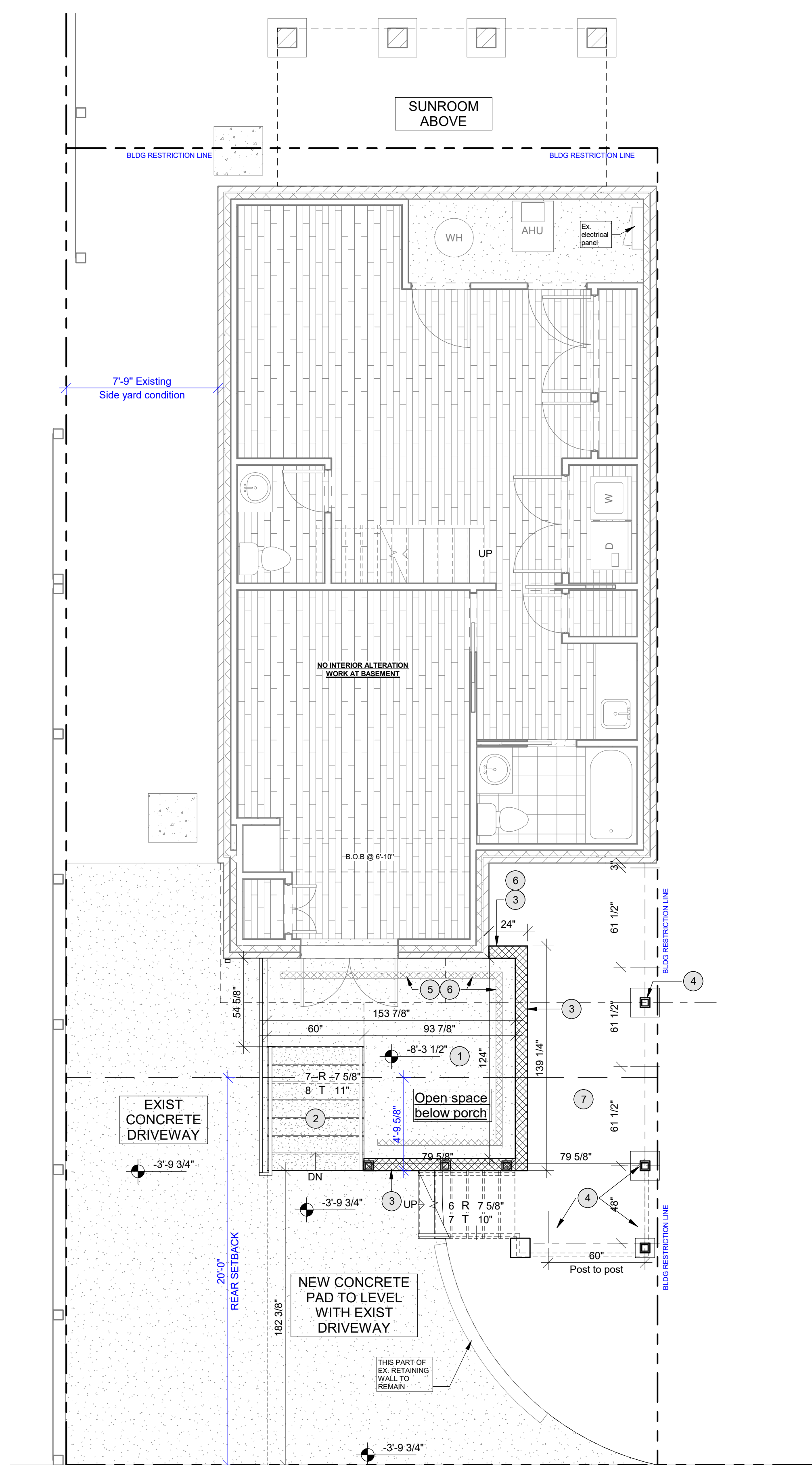
sheet title:		
Demolition Plans		
sheet scale:		
sheet date:		
08/06/2025		
drawing revisions:		
date:		
description:	BZA/ PERMIT	
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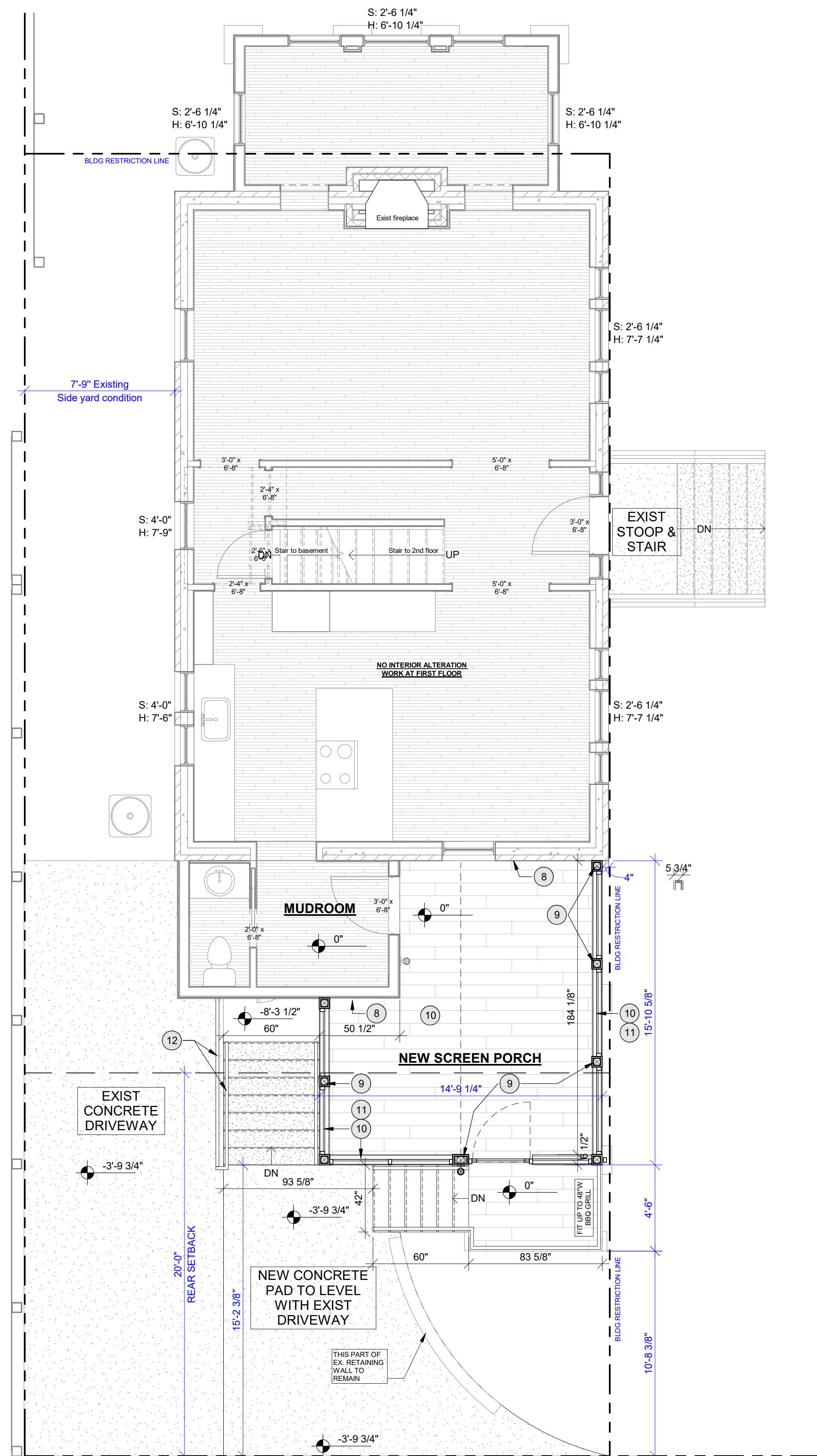
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sheet title:	
Demolition Plans	
A031	

24X36



1 PROPOSED PLAN - BASEMENT
1/4" = 1'-0"



2 PROPOSED PLAN - 1ST FLOOR
1/4" = 1'-0"

CONSTRUCTION NOTE:

- NOTE: New retaining wall will tie into existing remaining portion of retaining wall. Poured concrete retaining wall will have a visible different texture than the existing retaining walls, and will not have any masonry capping.
- NOTE: No concrete painting included in this scope of work.
- NOTE: Homeowner to provide any preparation and/or installation of hardscaping post completion of project by Hammer

Drywall

- Provide a contingency Budget of \$ 3,000 for the point up and repairs to existing drywall to connect wiring to electrical panel and/or before touch up painting. Final scope and cost TBD onsite post rough ins.

Painting

- At Screened Porch, Mudroom bump out: Provide labor and materials for application of 2 coats of Sherwin Williams Duration exterior paint at new siding and trim boards only; includes 1 gable end of aluminum siding at main home.

Landscaping

- NOTE: Straw cover and grass seed only at disturbed areas; no sod or watering included.
- NOTE: No new garden and/or landscaped beds to be installed. No warranty on salvaged plants, shrubs.
- NOTE: Contingency Budgets are subject to change based upon actual work required in the field.
- NOTE: No upgrades to existing utility service are included in this proposal (electrical, water, gas).

LEGEND

- 2 DEMOLITION NOTE TAG
- 2 PROPOSE NEW NOTE TAG
- A NEW WINDOW TAG
- 2 NEW DOOR TAG

WALL TYPE

	EXISTING	NEW	DEMO WALLS
POURED CONCRETE			
CONCRETE BLOCK			
BRICK			
BRICK VENEER ON CONCRETE BLOCK			
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			
WOOD STUD W/ INTERIOR GWB			

PROPOSE NEW NOTE	
Note Number	Note Text
1	Provide labor and materials to form and pour concrete ramp and slab
2	Provide labor and materials to form and pour concrete steps and side stringer wall
3	Provide materials and labor to form and pour reinforced continuous concrete footing, 12" x 60" with rebar. Provide materials and labor for installation of poured cement 8" retaining walls, reinforced. Provide labor and materials for application of moisture barrier coating at new concrete walls. NOTE: New retaining wall will tie into existing remaining portion of retaining wall. Poured concrete retaining wall will have a visible different texture than the existing retaining walls, and will not have any masonry capping.
4	Provide labor and materials for forming and pouring concrete piers
5	Provide materials and labor for installation of new retaining wall perimeter drain at concrete walls, connect back to existing storm drain at ramp
6	Provide labor and material for installation of new perimeter trench drain, NDS 4" metal grate type, across Basement entrance and along new retaining walls. To connect to existing stormwater management drain pipe at Basement entrance.
7	At Screened Porch: Provide materials and labor to install 2" deep of standard 3/8" Pea gravel mixed beige color, over landscaping weed cover
8	At Screened Porch: Provide labor and material for framing of floor structure, joists, rim joist, and ledger.
9	At Screened Porch: Provide labor and material for framing of exterior wall framing, 4x4 posts
10	At Screened Porch: Provide labor and material for installation of 1 in. x 6 in. x 8 ft. PVC Beaded Ceiling Board, at vaulted ceiling
10	At Screened Porch: Provide labor and materials for installation of Original Sreenze Screen system, white framing, with BetterVue screen. Includes screening between deck joists and composite decking
11	At Screened Porch, Deck: Provide labor and materials for installation of composite deck railing system.
12	Provide labor and materials for finishing of new metal railings in matte black powder coating, including delivery. Provide labor and materials for fabrication and installation of standard, non-ornate, iron railings along new steps

sheet title:

Proposed Plans

sheet scale:

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08/06/2025

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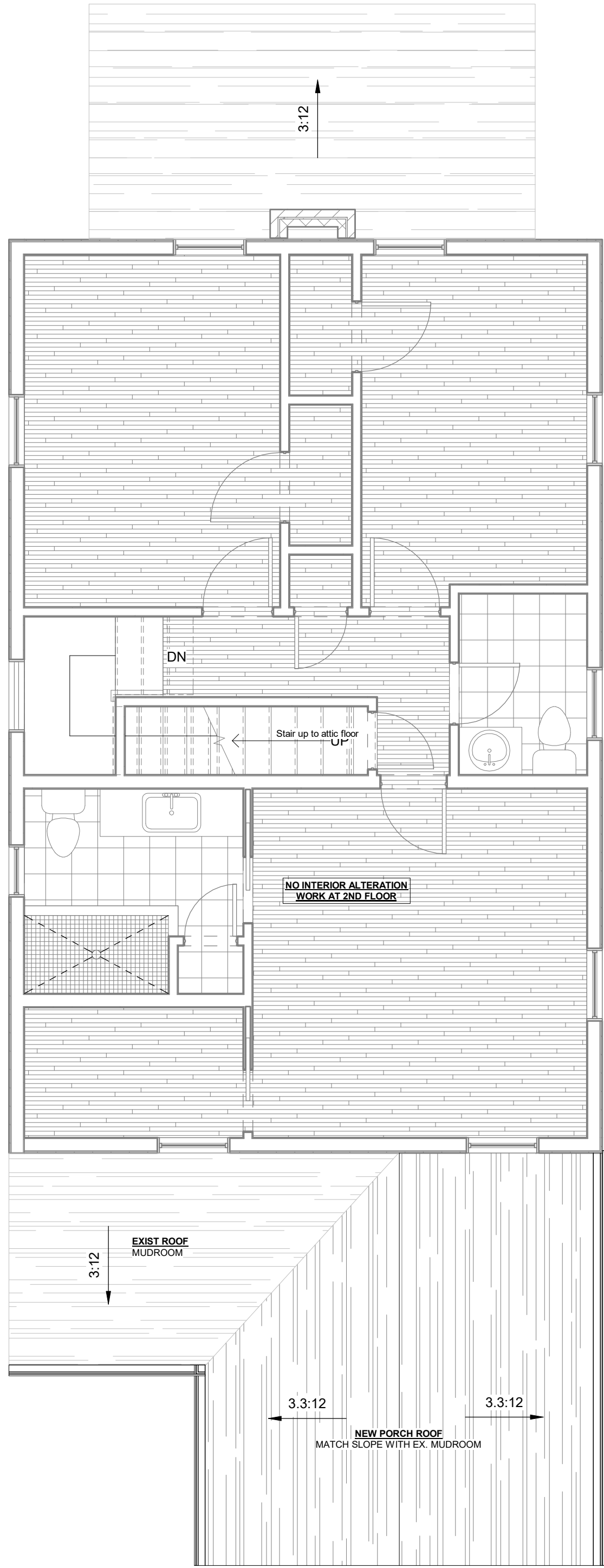
proposed renovation for:

Williams Donohue Residence
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Washington, DC 20016

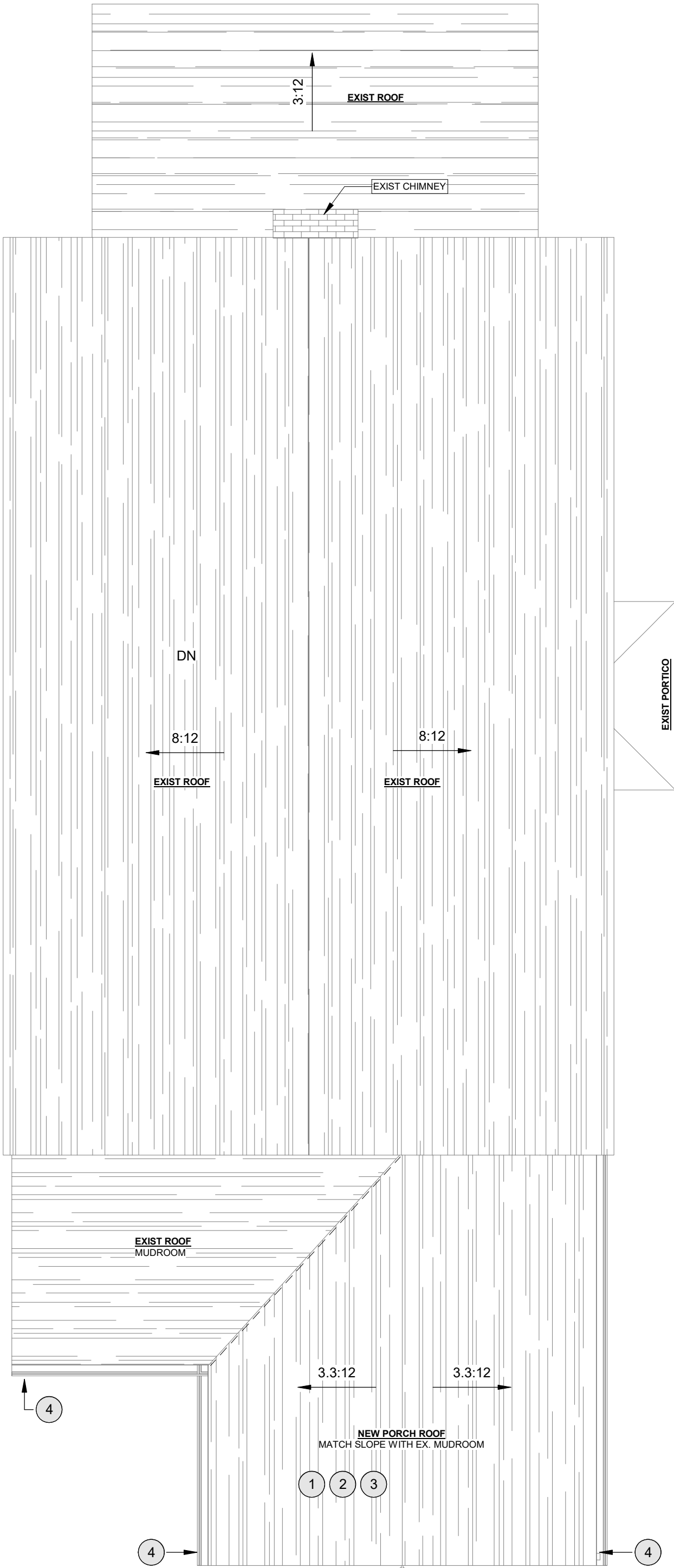
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Proposed Plans















A100



6
A101 PROPOSED PLAN - SECOND FLOOR
1/4" = 1'-0"



1
A101 PROPOSED PLAN - ROOF
1/4" = 1'-0"

LEGEND			
	→	DEMOLITION NOTE TAG	
	→	PROPOSE NEW NOTE TAG	
		NEW WINDOW TAG	
		NEW DOOR TAG	
WALL TYPE			
POURED CONCRETE	EXISTING	NEW	DEMO WALLS
CONCRETE BLOCK			---
BRICK			---
BRICK VENEER ON CONCRETE BLOCK			---
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			---
WOOD STUD W/ INTERIOR GWB			---

PROPOSE NEW NOTES	
Note Number	Note Text
1	At Screened Porch: Provide labor and material for framing of gable roof framing, 2x10 lumber with double LVL ridge beam, and ledger at main home wall
2	At Screened Porch: Provide labor and material for framing of gable roof sheathing, 5/8" OSB
3	At Screened Porch, Mudroom bump out: Provide labor and materials to install Certainteed Landmark Pro asphalt shingle system. Existing main house roofing to remain as-is.
4	At Screened Porch: Provide materials and labor for installation of drainage and downspout system where affected, tie into existing or on to grade; white K style 5" with 3" x 4" down spouts; aluminum;

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Proposed Plans

sheet scale:

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Williams Donohue Residence
4401 Garrison St NW
Washington, DC 20016

sheet title:

Proposed Plans

A101

24X36

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1 PROPOSED ELEVATION - EAST
A200 1/4" = 1'-0"



2 PROPOSED ELEVATION - WEST
A200 1/4" = 1'-0"

DISCLAIMER: DRAWING MAY NOT SHOW THE EXACT PRODUCT (DESIGN/STYLE/PROFILE), ONLY FOR REFERENCING THE SIZE,DIMENSION AND LOCATION OF SELECTED PRODUCT.

sheet title:
Proposed Exterior Elevations
sheet scale:

sheet date:
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date:	description:	rev.#
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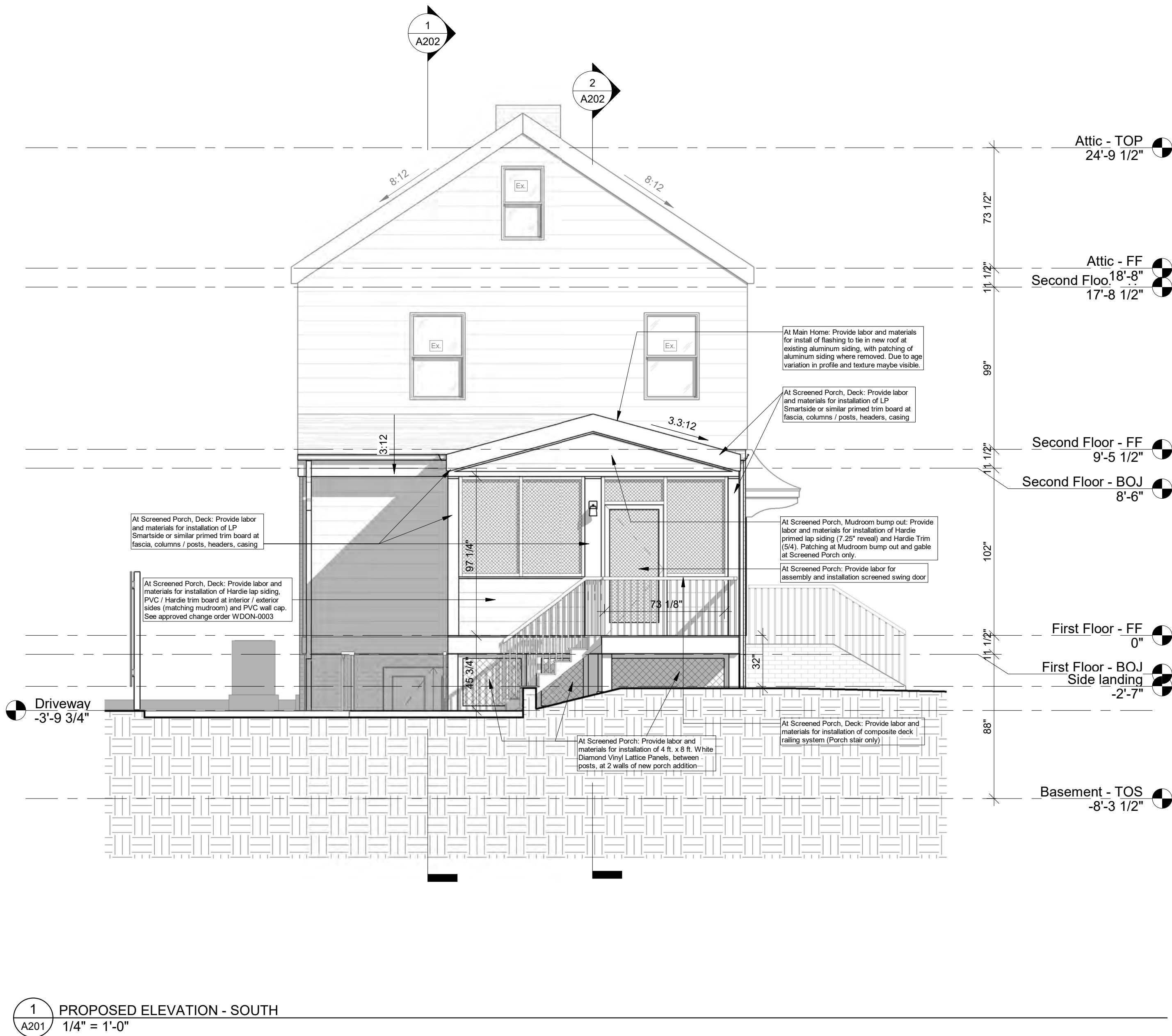
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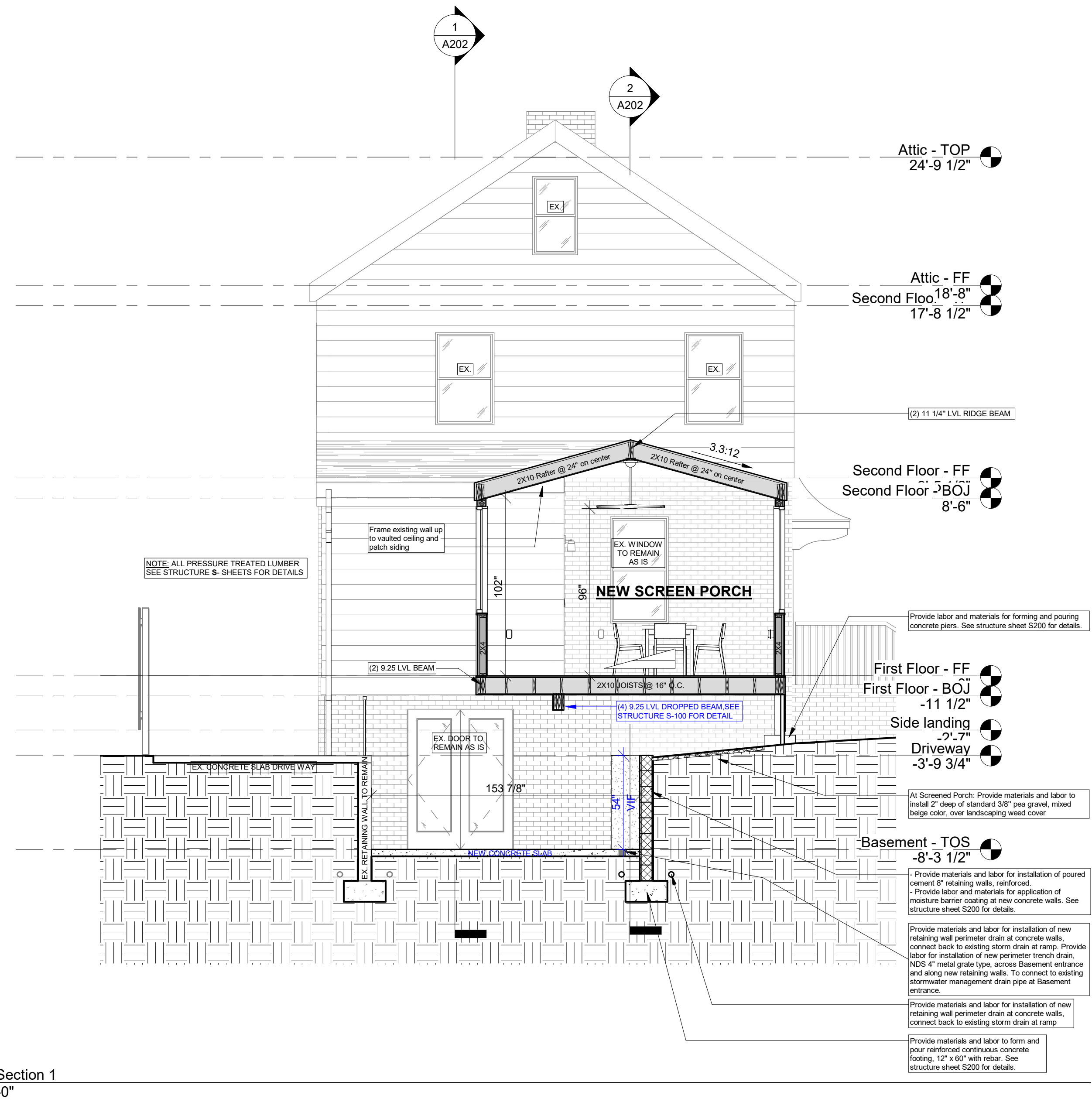
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Proposed Exterior Elevations

A200
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1 PROPOSED ELEVATION - SOUTH
1/4" = 1'-0"



2 Building Section 1
1/4" = 1'-0"

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sheet title:
Proposed
Elevation +
sections
sheet scale:

sheet date:
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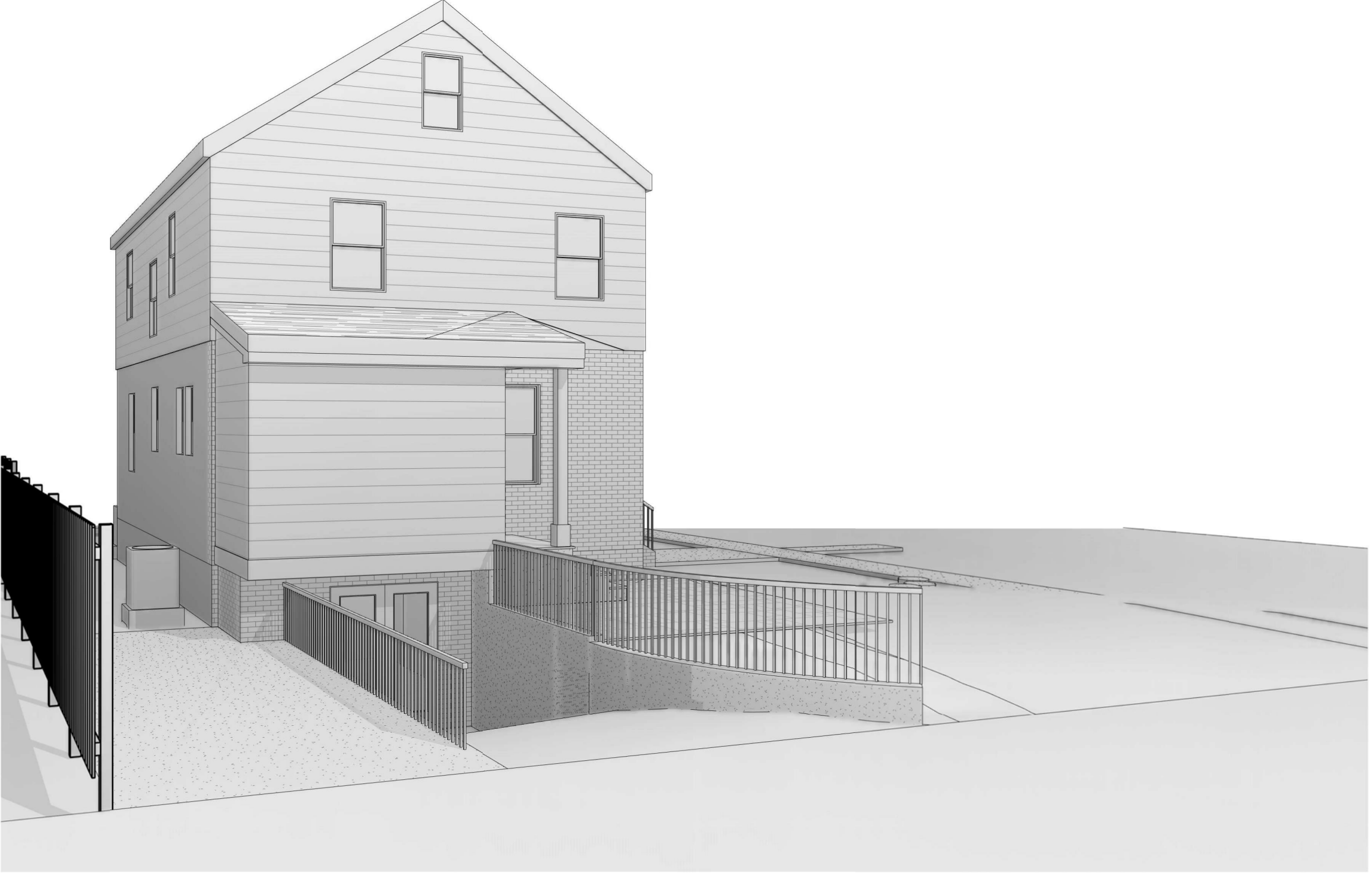
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for:
Williams Donohue Residence
4401 Garrison St NW
Washington, DC 20016

sheet title:
Proposed Elevation
+ sections

A201



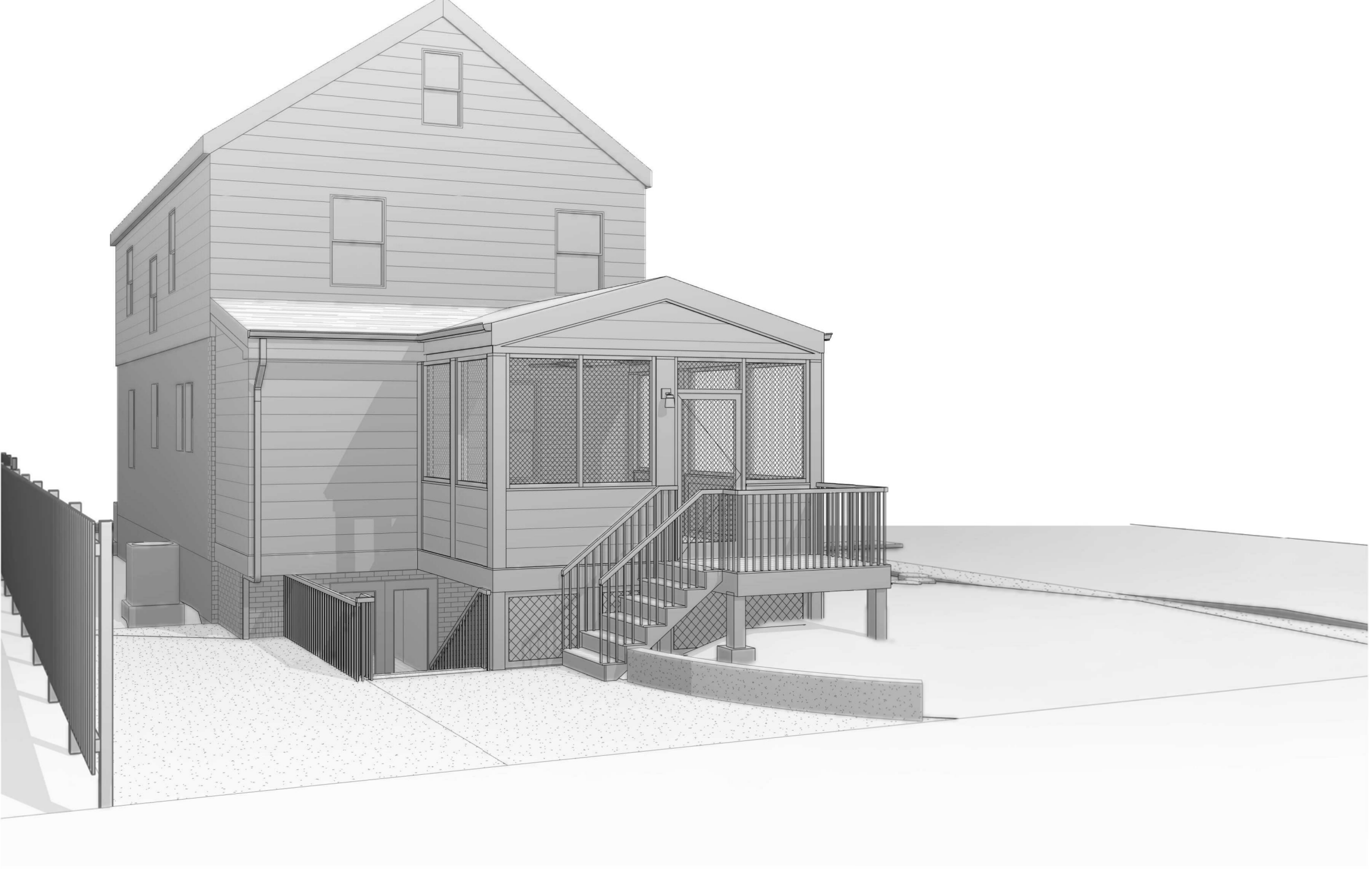
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2 Existing 3D view 1



3 Proposed 3D view 2



4 Proposed 3D view 1

sheet title:

3D Views

sheet scale:

sheet date:

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Williams Donohue Residence
4401 Garrison St NW
Washington, DC 20016

sheet title:

3D Views

A400

24X36