



VIA EMAIL

August 26, 2025

Danielle Bulger and Harold Bulger, III
3401 Lowell Street NW
Washington DC 20018

Re: 3401 Lowell Street NW Approval/Exemption

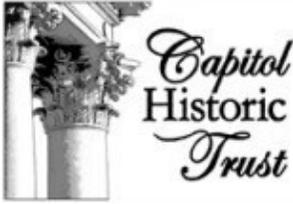
Dear Mrs. and Mr. Bulger III,

This letter is in response to your August 19, 2025, email inquiry regarding the restoration and side/rear expansion at 3401 Lowell Street NW (“the Property”), which is protected by a Conservation Deed of Easement (“the Easement”) donated to Capitol Historic Trust, Inc. (“the Trust”) in 2003.

3401 Lowell Street NW, is a c. 1915 freestanding three-story gable-roofed house located at the corner of 34th Street NW. It is listed as a contributing property to the Cleveland Park Historic District. 3401 Lowell Street NW is subject to a façade-only easement, which restricts the Trust’s review jurisdiction to what can be seen from the sidewalk across Lowell Street.

The project would remove the existing stucco siding and reside the Property in a cement board lap siding, to match the appearance of the original historic wood lap siding. Other restoration and repair work at the Lowell Street façade includes repointing and repainting areas of existing brick; restoring columns and trim and installing standing seam metal roofs at the entry and side porch; new synthetic slate roofing at the roof and dormers, with copper flashing and snow guards; installing a retaining wall and brick infill at the foundation level; replacing railings, trim and downspouts at the side porch; and repairing shutters. A new side dormer, visible from Lowell Street, would be constructed at the west façade roof, to match the existing historic dormer at the east façade.

The Trust reviewed the information provided and the examination by the Trust’s architectural historian, has determined that the request conforms with the terms of the preservation easement on the property. The existing, significantly deteriorated stucco siding is a later addition, the proposed lap siding would return the Property to its original appearance (the Trust has recently approved composite-material substitutes for wood siding where appropriate, as this would be), and the additional restorations and repair work will return the street façade to much of its historic conditions. This project is ***APPROVED***.



Given the Property's façade-only easement, the addition along the 34th Street façade and any work to the rear façade are exempt from the easement restrictions. However, the Trust fully endorses the total project, and commends the prior and current owners, the architectural design team, and the city and neighborhood review groups for moving the project forward.

Please note that the Trust expressly has no authority from, and makes no representation about, approval from the Historic Preservation Review Board of the District of Columbia or any other federal or district governmental entity.

Sincerely Yours,

CAPITOL HISTORIC TRUST

A handwritten signature in black ink, appearing to read "Mario Leonel", written in a cursive style.

Mario Leonel
President