

LOWELL STREET, NW

RENOVATIONS & ADDITION
WASHINGTON D.C. 20016
SQ: 2089 LOT: 0828

3401 LOWELL STREET, N.W.

WASHINGTON D.C.

PROPOSED WORK TO INCLUDE EXTERIOR AND INTERIOR RENOVATIONS, NEW REAR ADDITION, NEW CURB CUT, AND NEW DRIVEWAY TO EXISTING TWO AND ONE-HALF STORY RESIDENCE. NEW DRIVEWAY TO PROVIDE ACCESS TO UNDERGROUND GARAGE. NEW ADDITION TO INCLUDE EXPANDED KITCHEN & FAMILY ROOM ON FIRST FLOOR AND BEDROOMS ON SECOND & ATTIC FLOOR LEVELS. NEW RETAINING WALLS AND LANDSCAPING IN PUBLIC SPACE TO ALLOW FOR NEW DRIVEWAY AND TO LEVEL REAR YARD

- WE ARE SEEKING SPECIAL EXCEPTION RELIEF ON THE FOLLOWING:
1. EXTENDING A NON CONFORMING SIDE YARD SETBACK (D-206.7)

2. FOR NOT MEETING THE PERVIOUS SURFACE REQUIREMENT (D-308.1)

-ALTHOUGH THE TOTAL PERVIOUS SURFACE OF THE LOT IS BEING REDUCED FROM WHAT IS EXISTING.

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THIS PROPOSAL WAS PREVIOUSLY REVIEWED AND APPROVED BY THE HPRB AND BZA IN 2020 UNDER A DIFFERENT PROPERTY OWNER. DESPITE APPROVALS THE OWNER WAS NOT ABLE TO MOVE FORWARD WITH THE PROJECT.

WE ARE NOW SEEKING APPROVALS FOR THE SAME PROJECT FOR A NEW PROPERTY OWNER.

PREVIOUS BZA CASE: #20205
PREVIOUS HPRB CASE; HPA19-270

WE HAVE REMOVED THE PREVIOUSLY APPROVED REQUEST FOR RELIEF FROM REQUIREMENTS FOR ACCESSORY APARTMENT.

ACCESSORY APARTMENT NO LONGER A PART OF THE SCOPE OF WORK ALL OTHER ELEMENTS REMAIN THE SAME

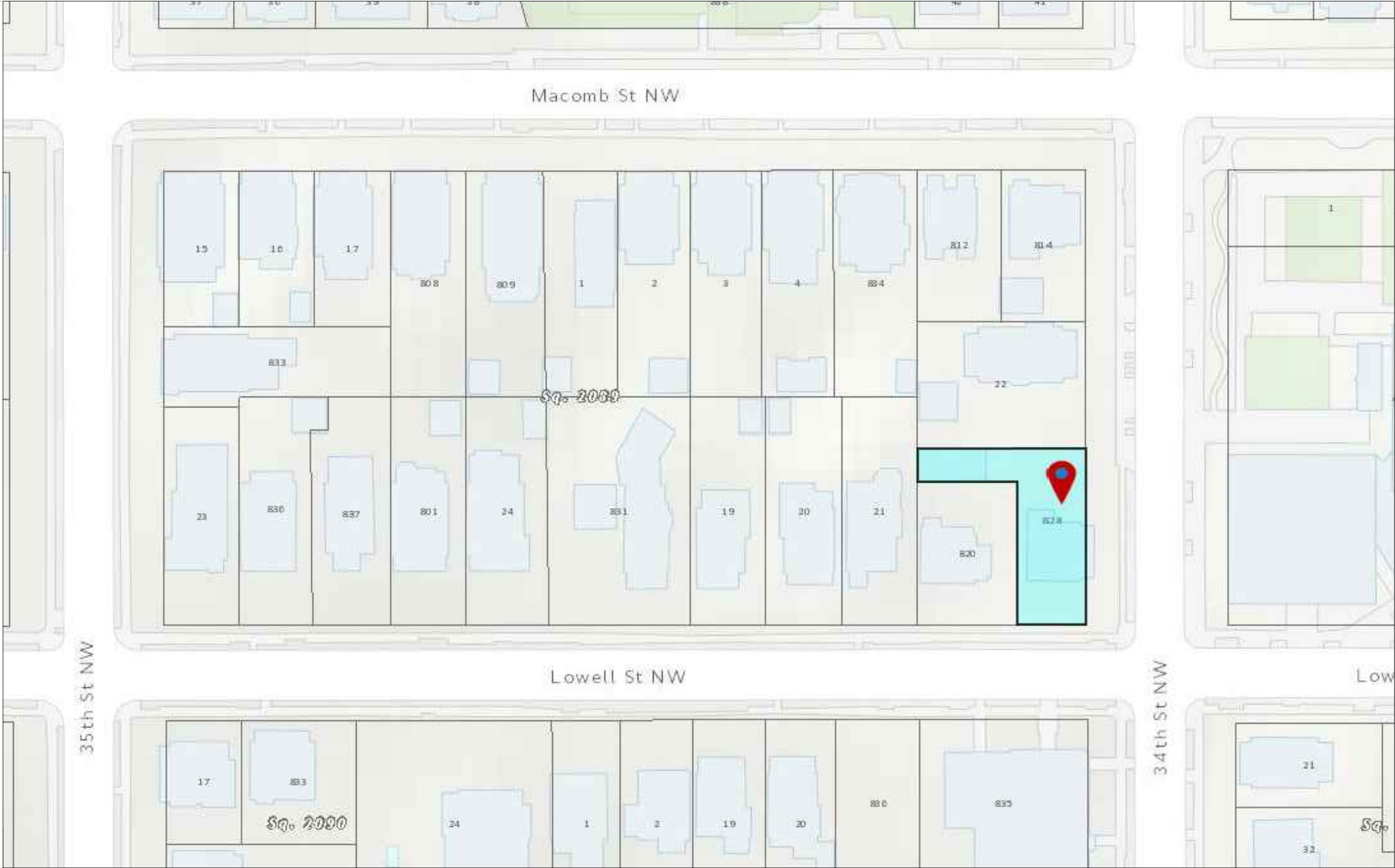
COVER SHEET

Issue: ISSUE TO BZA / HPRB

Date: AUGUST 8TH, 2025

Board of Zoning Adjustment
District of Columbia
CASE NO. 21387
EXHIBIT NO. 7

Scale



3401 LOWELL STREET, NW

RENOVATIONS & ADDITION
WASHINGTON D.C. 20016
SQ: 2089 LOT: 0828

BLOCK PLAN

Issue: ISSUE TO BZA / HPRB

Date: AUGUST 8TH, 2025

A001

Scale N.T.S.

BLOCK PLAN - 3401 LOWELL ST NW



FRONT



FRONT & RIGHT



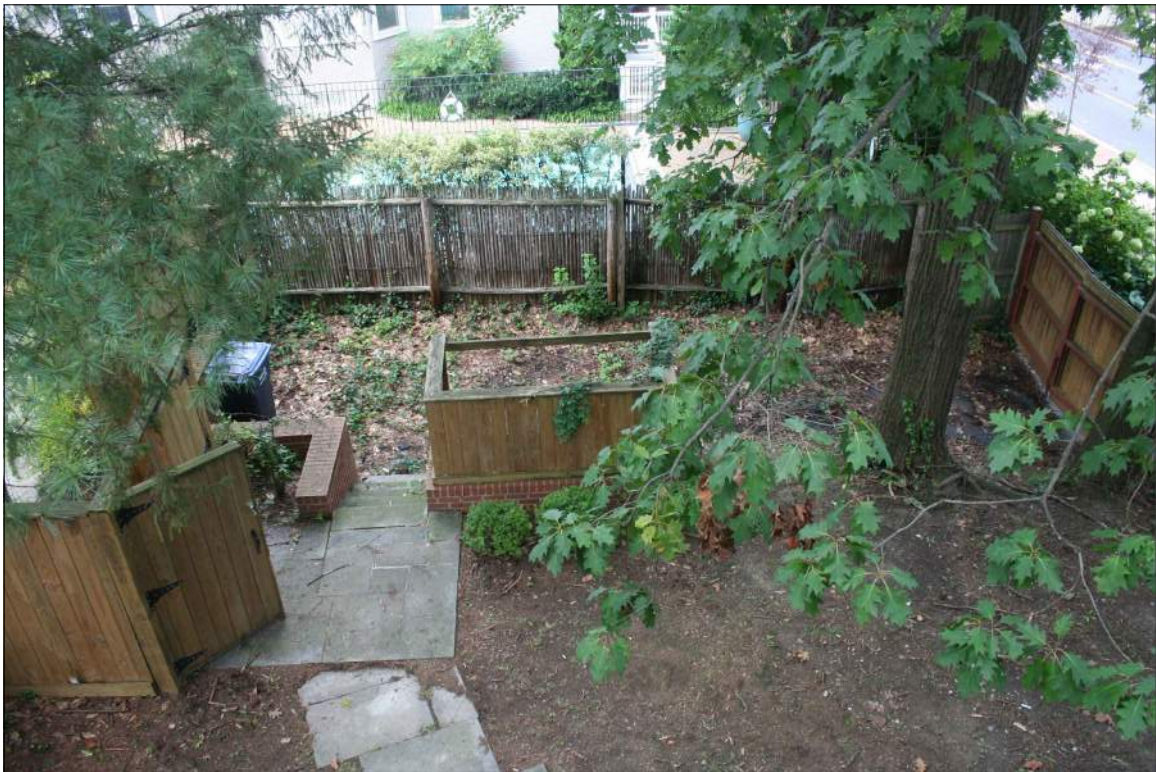
FRONT RIGHT



FRONT ENTRANCE



REAR



NOTE: TREES AND PLANTER SINCE REMOVED

REAR YARD



POOL AT REAR YARD



LEFT SIDE YARD



RIGHT SIDE WITH EXISTING DRIVEWAY



EXISTING DRIVEWAY AT REAR



NEIGHBOR AT REAR



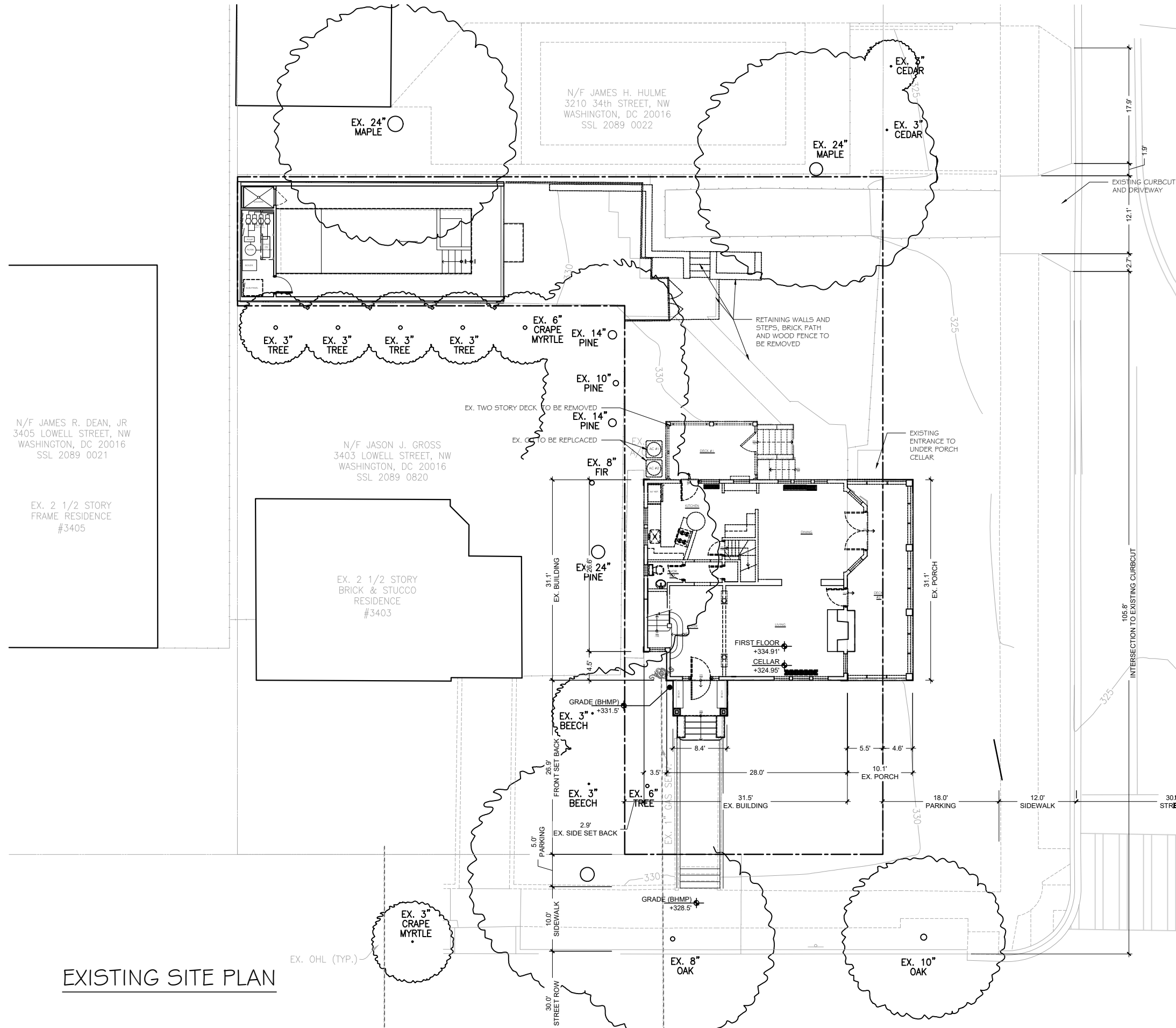
NEIGHBOR ACROSS 34TH STREET NW



NEIGHBOR ACROSS LOWELL ST NW



ADJACENT NEIGHBOR ON LOWELL ST NW



EXISTING SITE PLAN

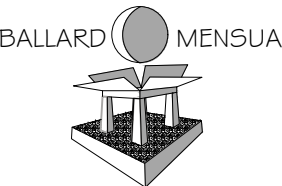
3401 LOWELL STREET, NW
RENOVATIONS & ADDITION
WASHINGTON D.C. 20016
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EXISTING SITE PLAN

Issue: ISSUE TO BZA / HPRB
Date: AUGUST 8TH, 2025

A010

Scale 1/16" = 1'-0"



ARCHITECTURE

5185 MACARTHUR BLVD, NW
SUITE 370
WASHINGTON, DC 20016
www.ballardmensua.com
202.810.6555

3401 LOWELL STREET, NW

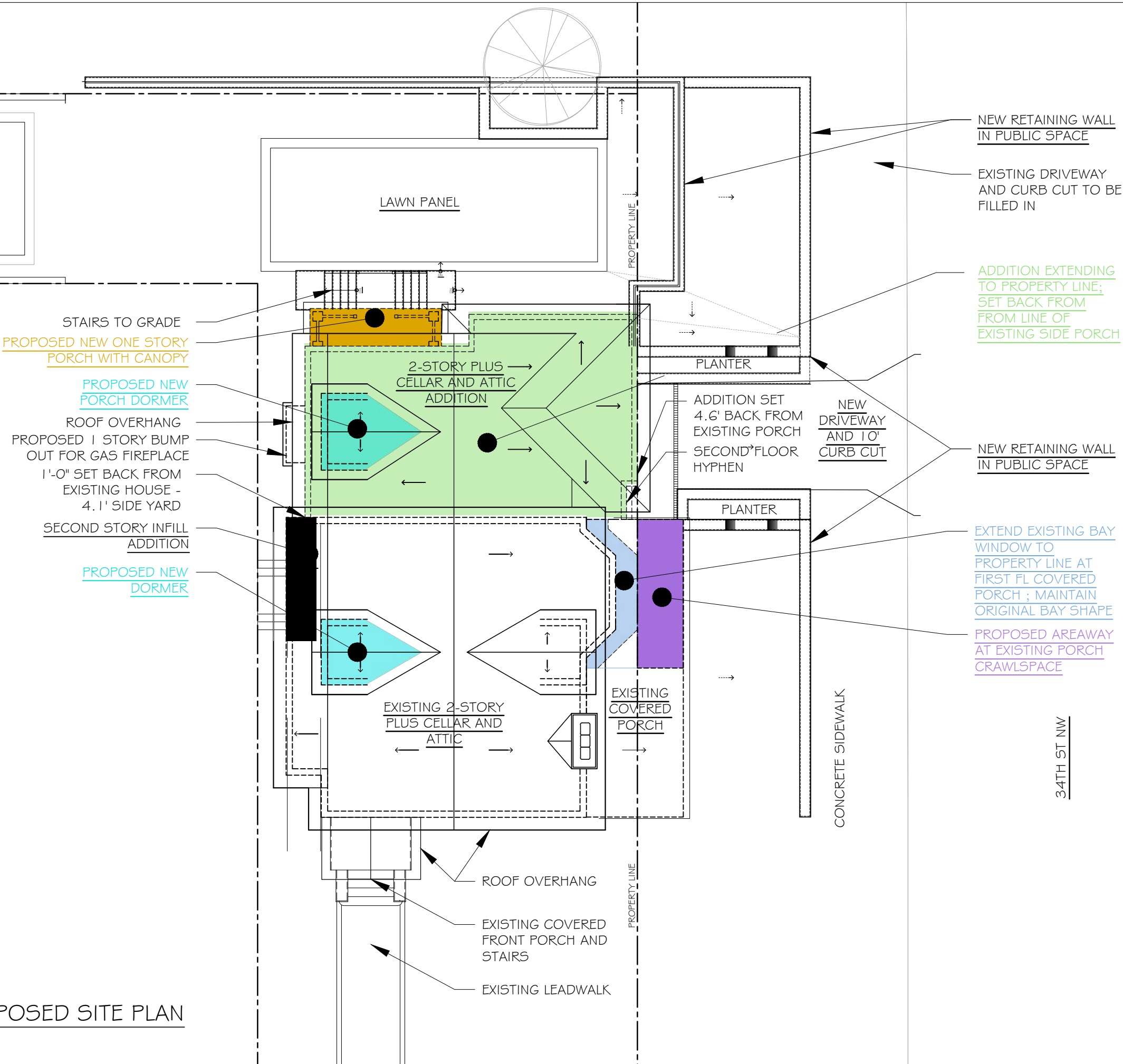
RENOVATIONS & ADDITION
WASHINGTON D.C. 20016
SQ: 2089 LOT: 0828

CONCEPT SITE PLAN

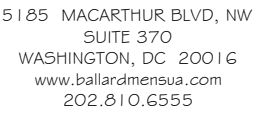
Issue: ISSUE TO BZA / HPRB
Date: AUGUST 8TH, 2025

AO11

Scale 3/32" = 1'-0"



PROPOSED SITE PLAN

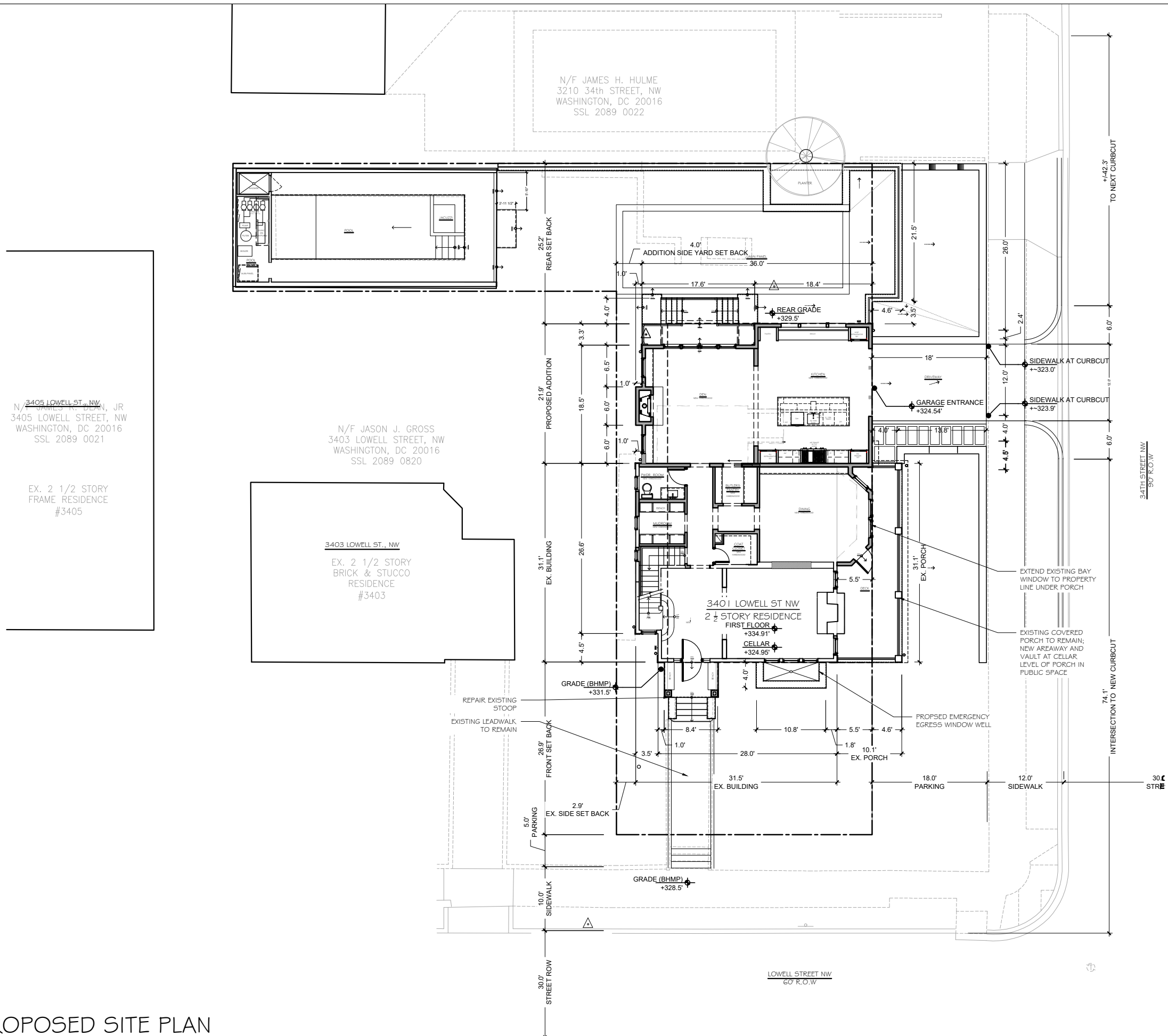


LOWELL STREET, NW
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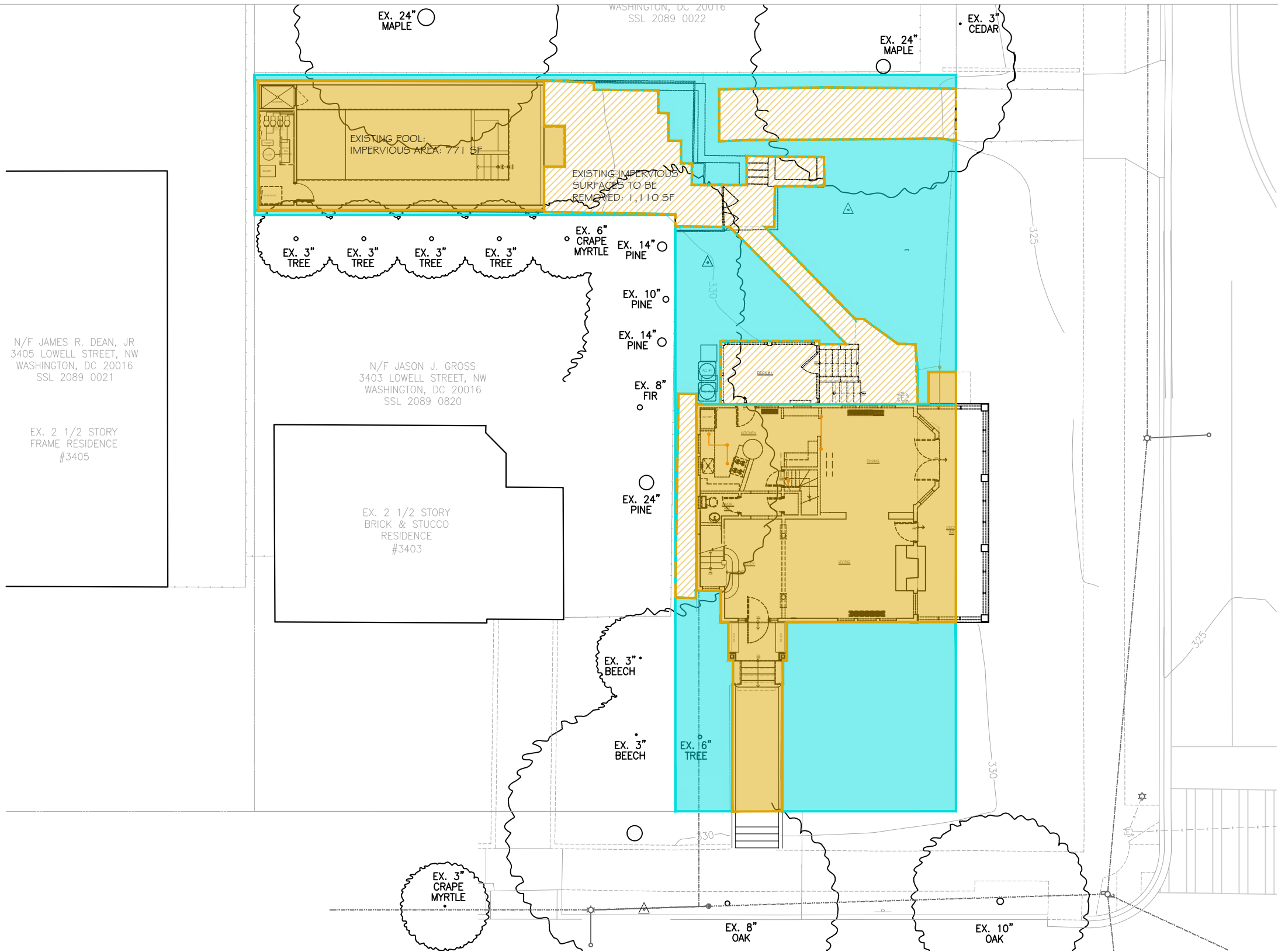
Date: AUGUST 8TH, 2025

AO 12

Scale 1/16" = 1'-0"

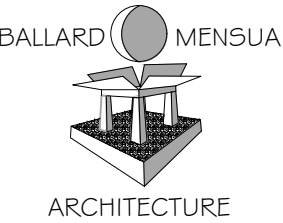


PROPOSED SITE PLAN



EXISTING PERVIOUS SURFACE AREA

- EXISTING PERVIOUS SURFACE
2,173 SF (40.2%)
- EXISTING IMPERVIOUS TO BE REMOVED:
1,110 SF (20.6%)
- EXISTING IMPERVIOUS TO REMAIN:
2,120 SF (39.3%)



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EX. PERVIOUS
SURF. AREA

Issue: ISSUE TO BZA / HPRB
Date: AUGUST 8TH, 2025

A013

Scale 1/16"=1'-0"

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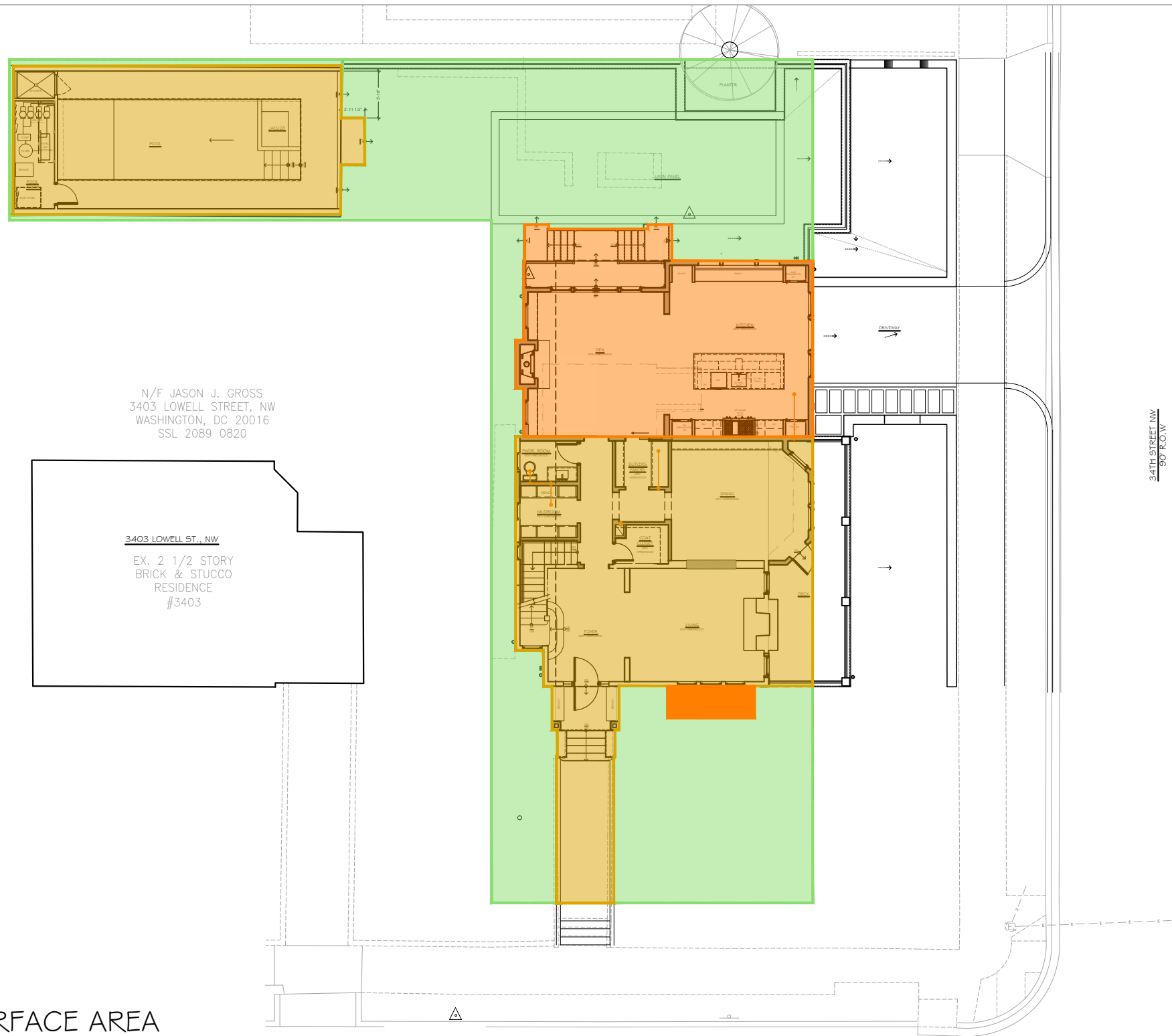
PERVIOUS
SURF. AREA

Issue: ISSUE TO BZA / HPRB

Date: AUGUST 8TH, 2025

A014

Scale 1/16"=1'-0"



PROPOSED PERVIOUS SURFACE AREA

PERVIOUS AREA SUMMARY:

	EXISTING	ALLOWED/REQ'D	PROPOSED
LOT AREA (SF):	5400	N/A	5400
PERVIOUS (SF):	2173 (40.2%)	2700 (50%)	2383 (44.1%)
INCREASE OF 210 SF (3.9 %) OF PERVIOUS SURFACE FROM EXISTING			
317 SF SHORT OF REQUIREMENT			

PROPOSED PERVIOUS SURFACE
2383 SF (44.1%)

EXISTING IMPERVIOUS TO REMAIN:
2120 SF (39.3%)

NEW IMPERVIOUS:
897 SF (16.6%)

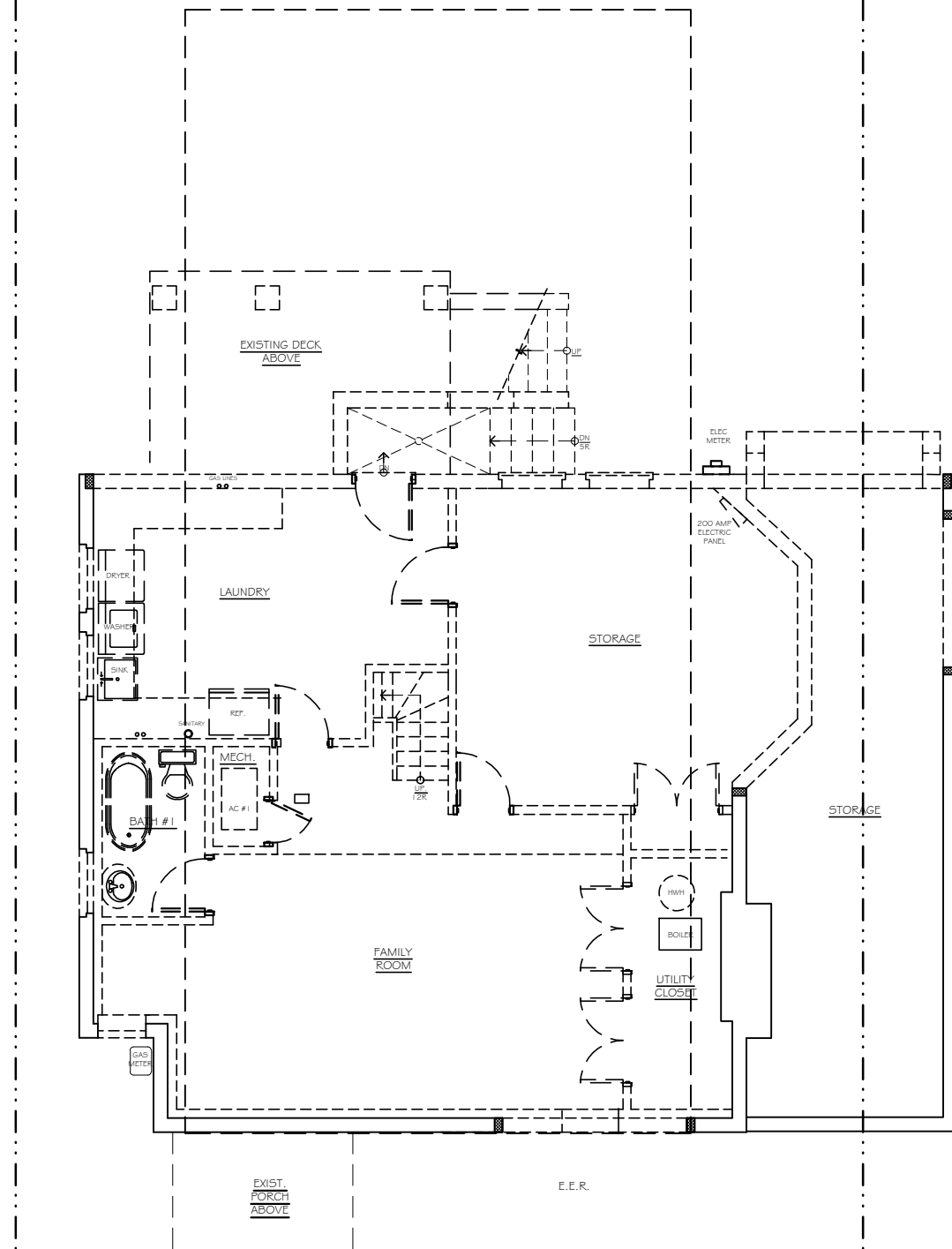
CELLAR
PLANS

Issue: ISSUE TO BZA / HPRB

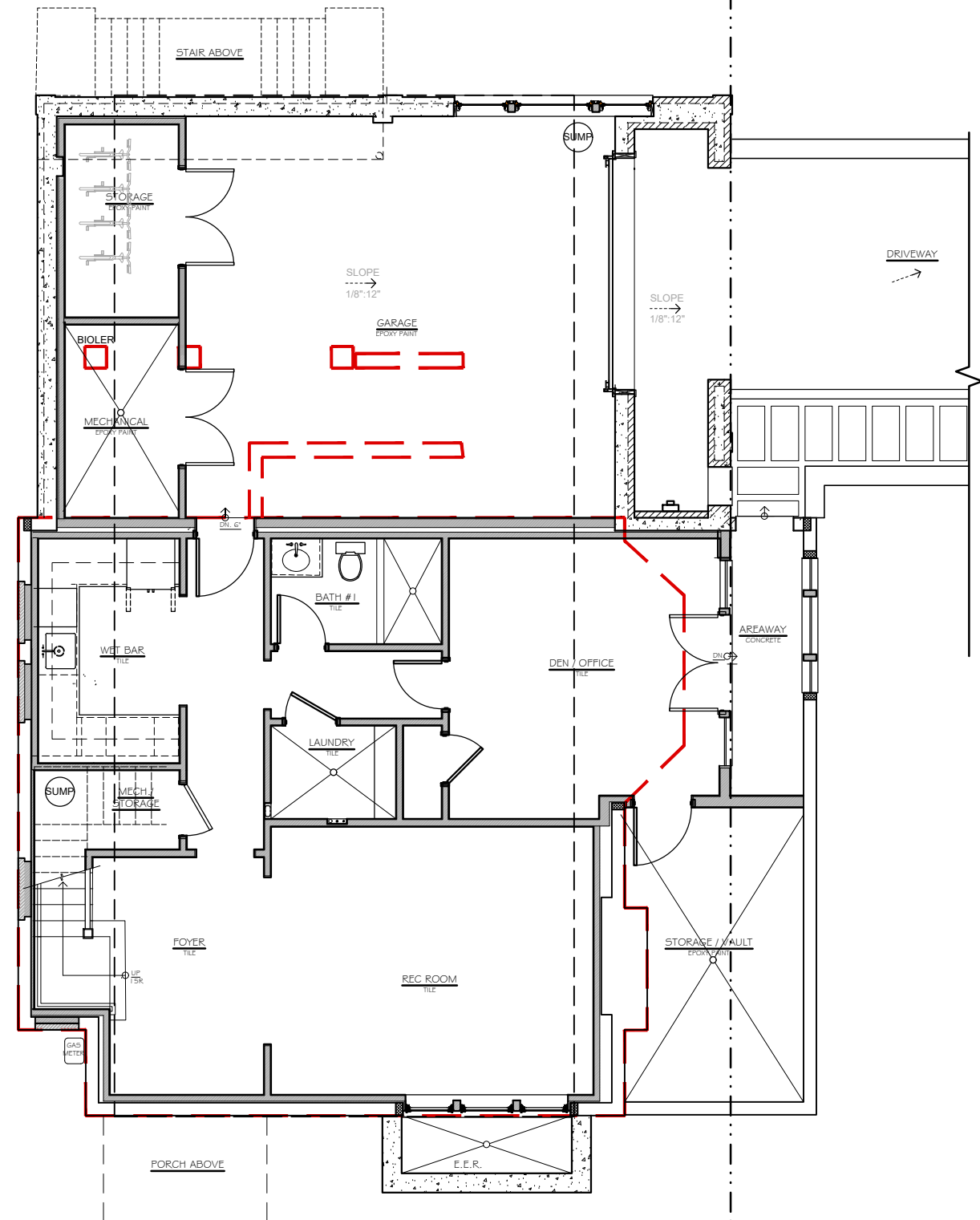
Date: AUGUST 8TH, 2025

A110

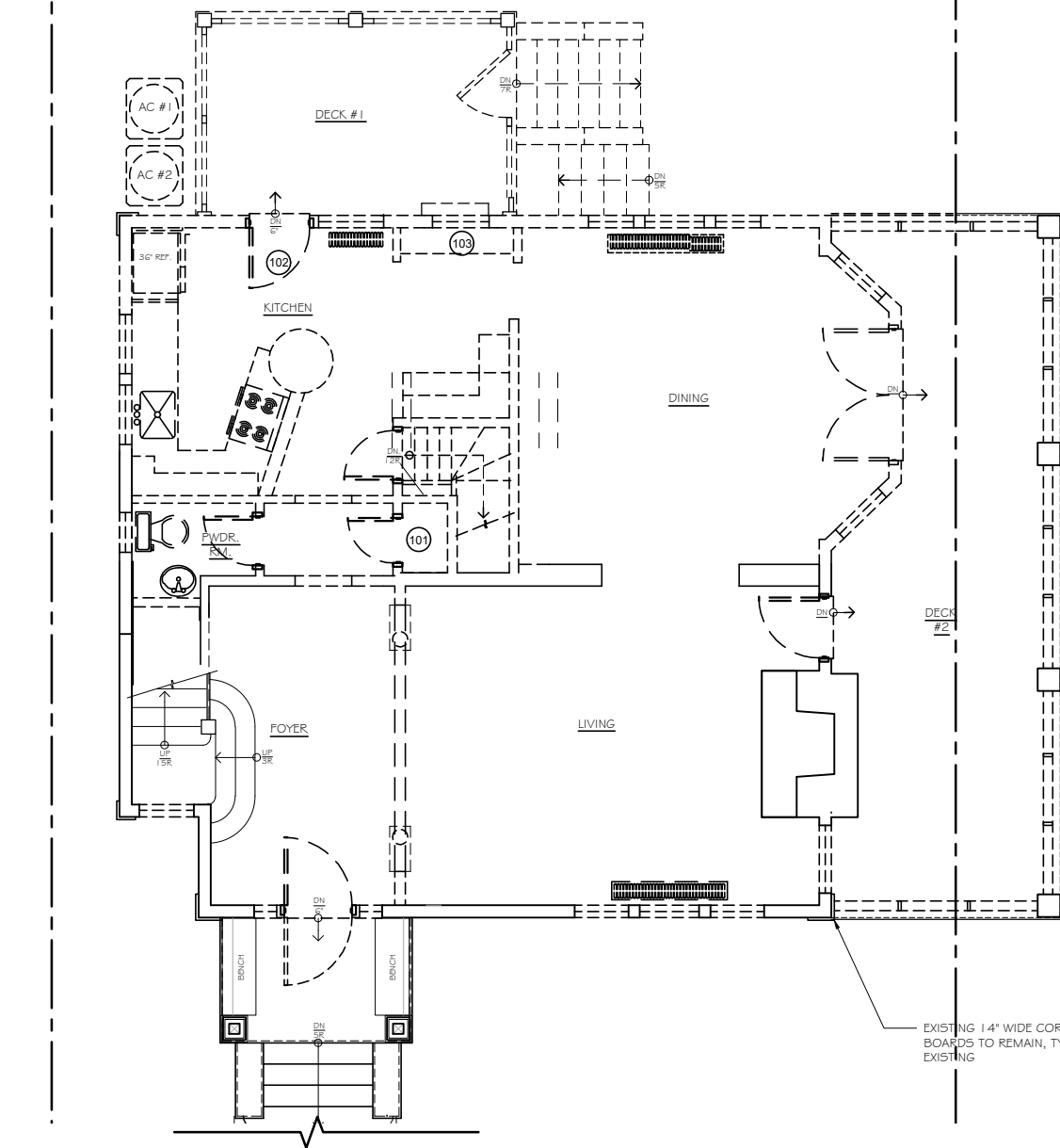
Scale 3/32" = 1'-0"



EXISTING CELLAR PLAN



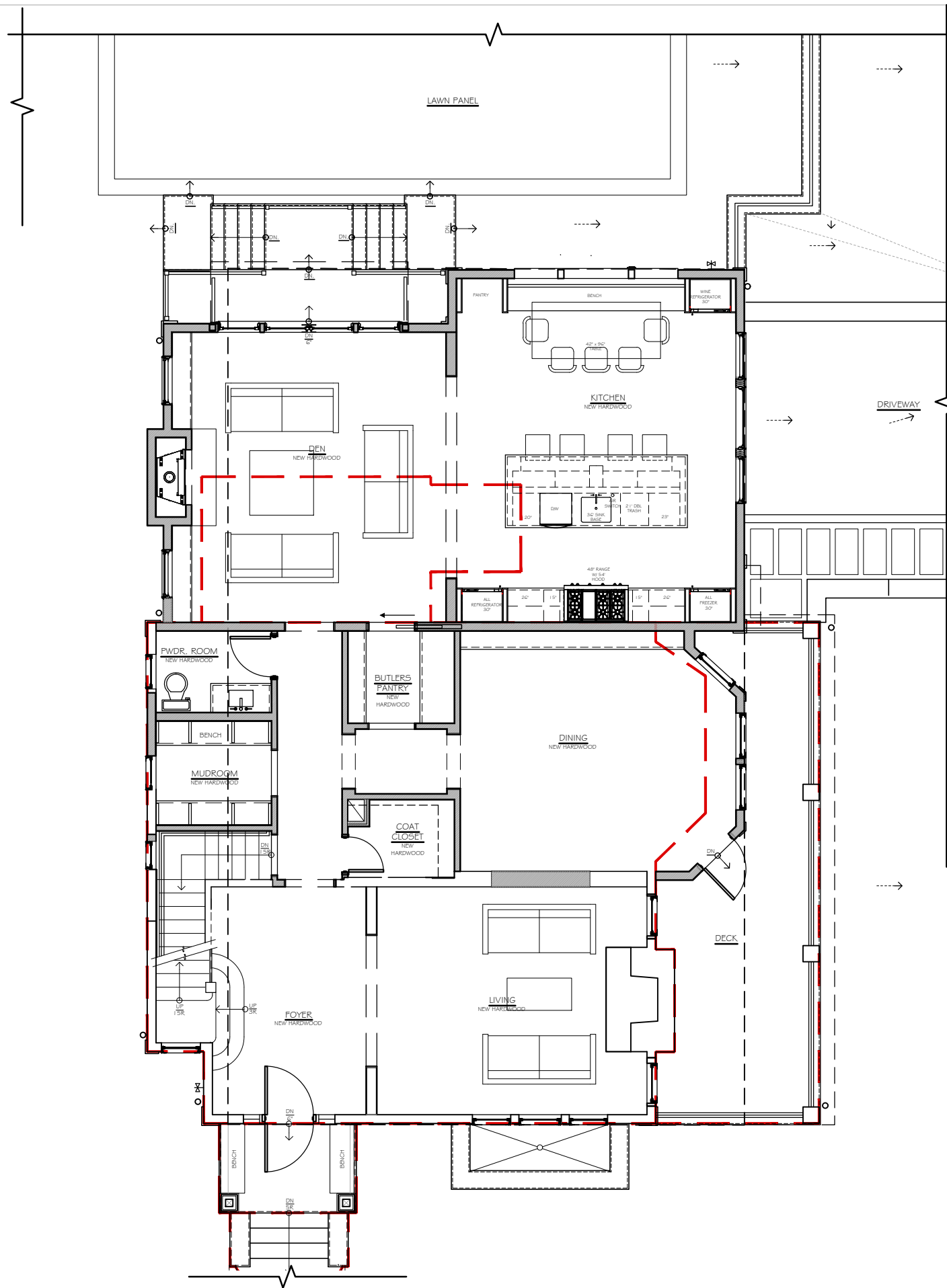
PROPOSED CELLAR PLAN



EXISTING FIRST FLOOR PLAN

OF ADDITION CORNER BOARDS

EXISTING 14" WIDE CORNER
BOARDS TO REMAIN, TYPICAL AT
EXISTING



PROPOSED FIRST FLOOR PLAN

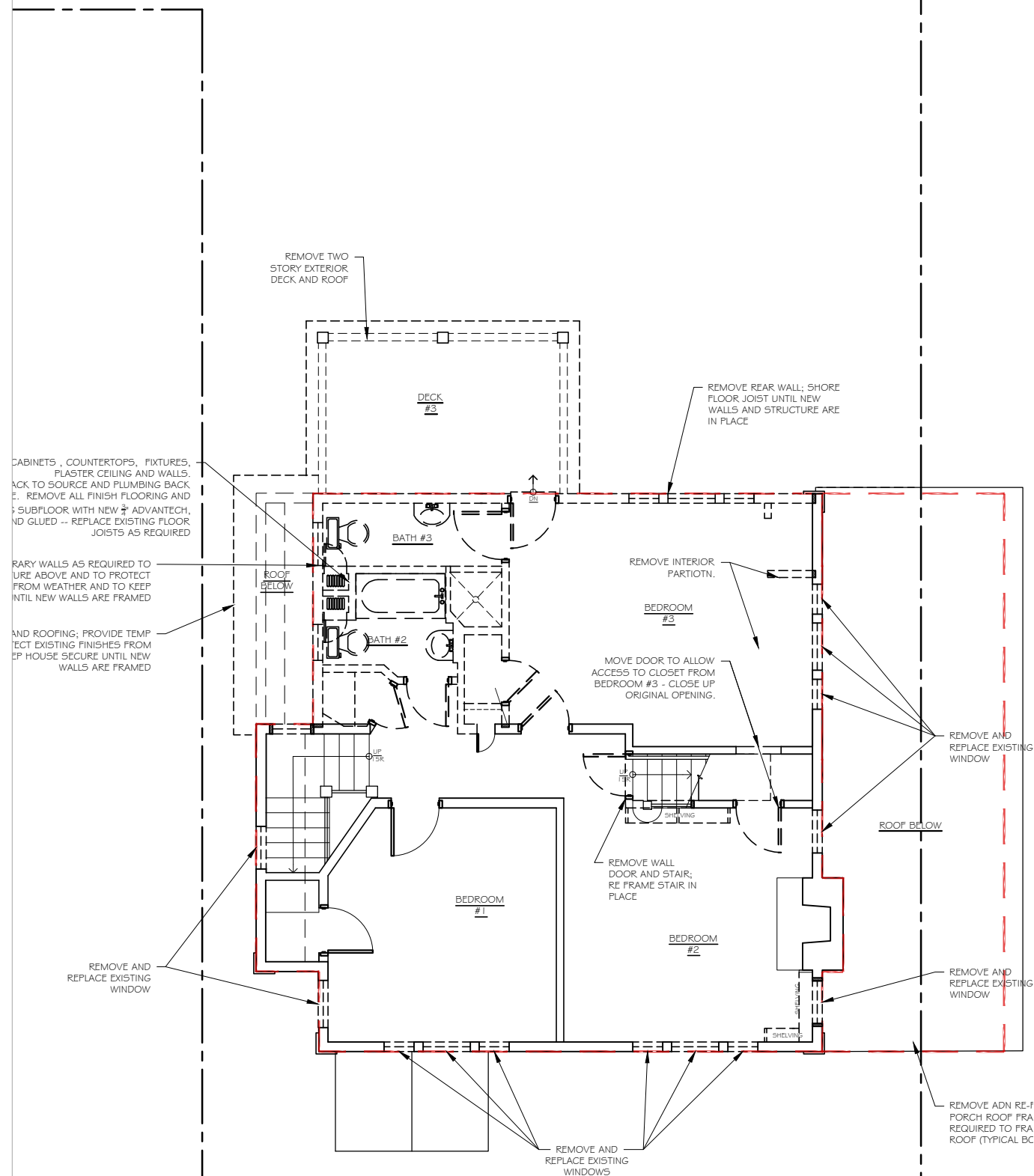
SECOND FLOOR PLANS

Issue: ISSUE TO BZA / HPRB

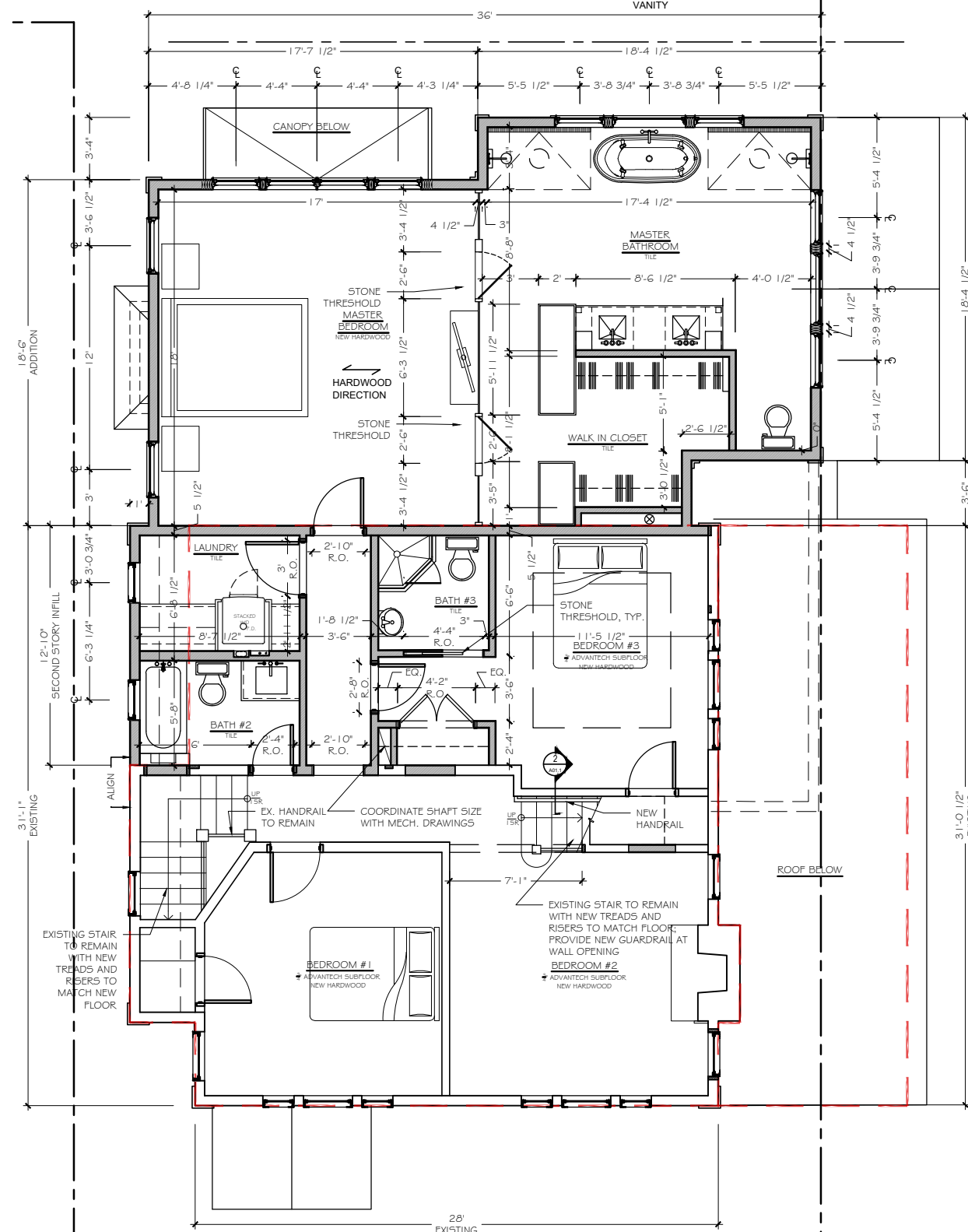
Date: AUGUST 8TH, 2025

A112

Scale 3/32" = 1'-0"



EXISTING SECOND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

3401 LOWELL STREET, NW
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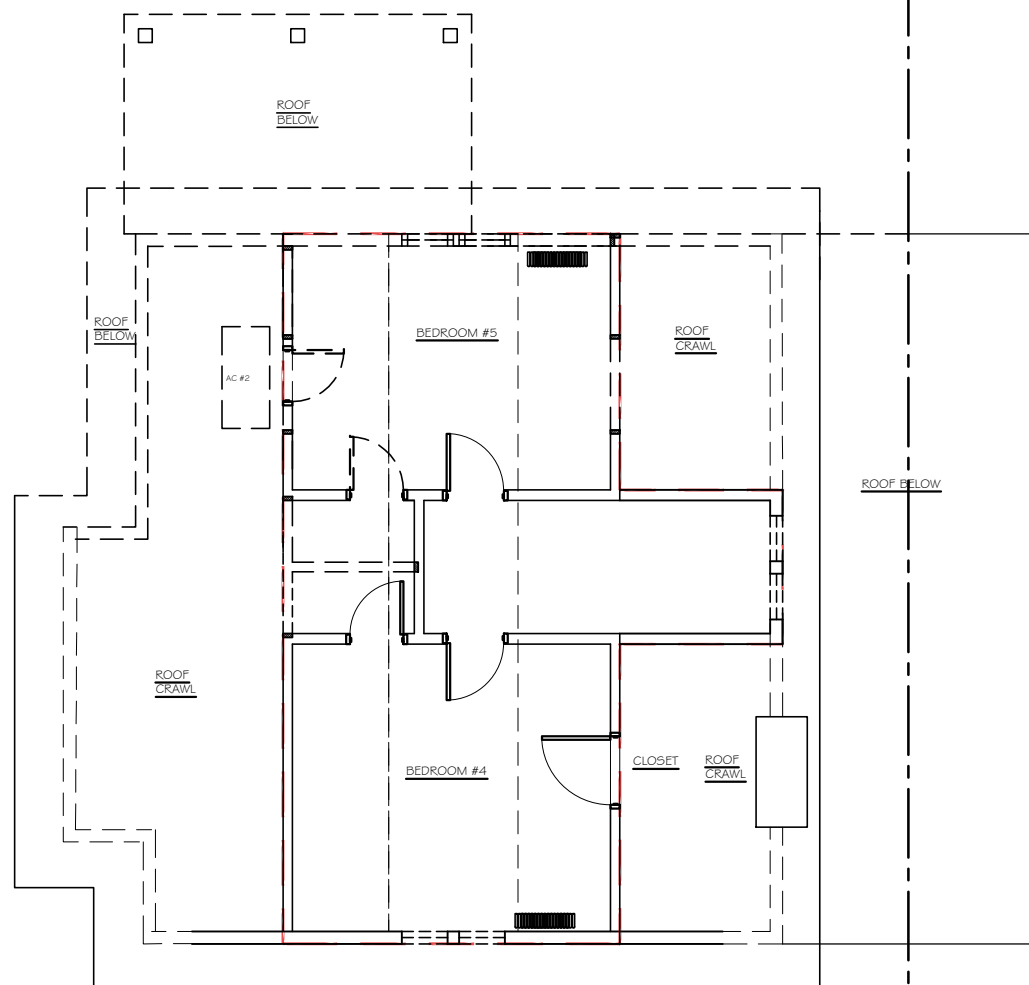
ATTIC FLOOR
PLANS

Issue: ISSUE TO BZA / HPRB

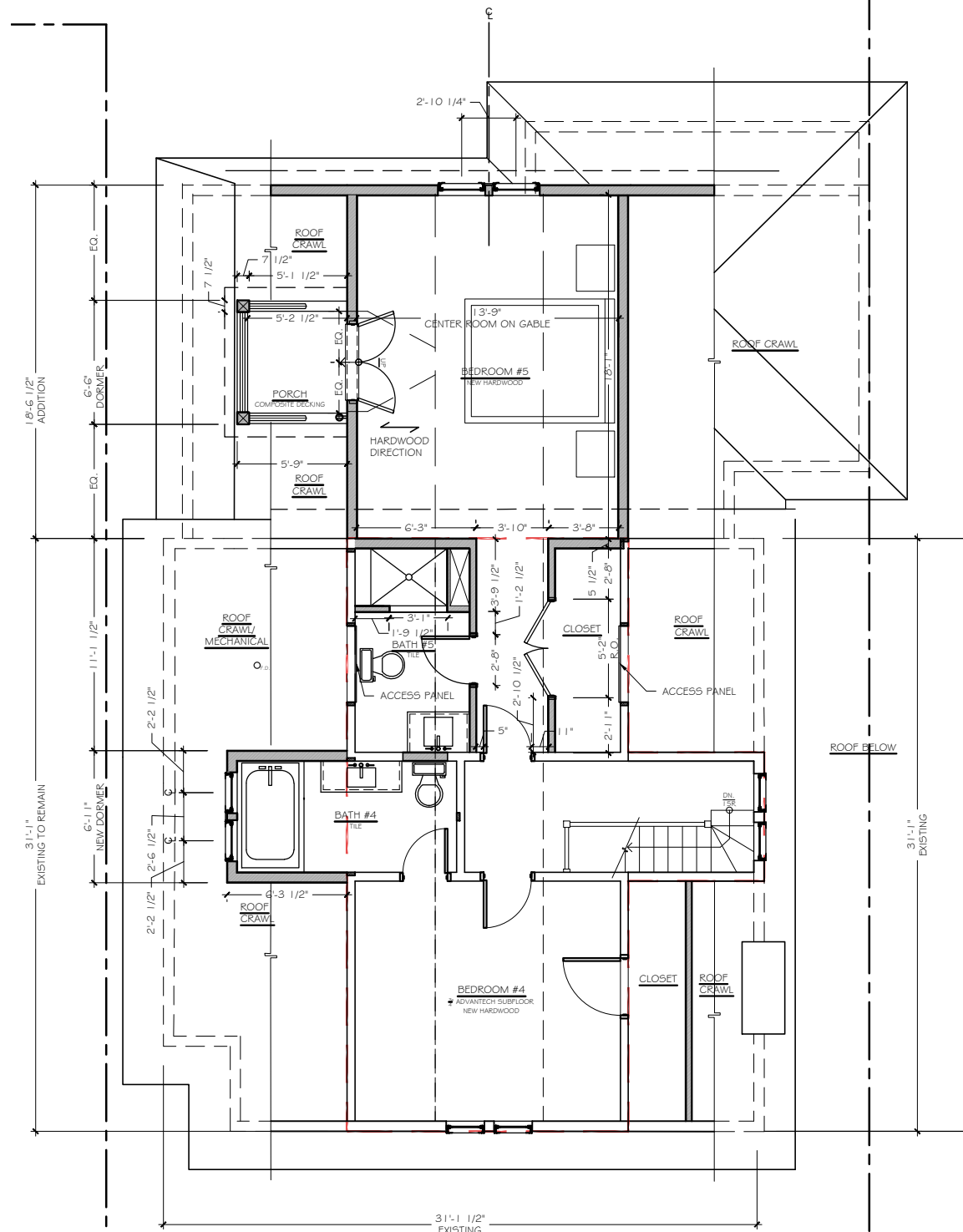
Date: AUGUST 8TH, 2025

A113

Scale 1/8" = 1'-0"



EXISTING ATTIC FLOOR PLAN



PROPOSED ATTIC FLOOR PLAN



3401 LOWELL STREET, NW
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EXISTING ELEVATION - FRONT

EXISTING
ELEVATIONS

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A200

Scale 3/16" = 1'-0"

R



EXISTING ELEVATION - RIGHT

3401 LOWELL STREET, NW

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EXISTING
ELEVATIONS

Issue: ISSUE TO BZA / HPRB

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A202

Scale 3/16" = 1'-0"



EXISTING ELEVATION - REAR



EXISTING ELEVATION - LEFT

3401 LOWELL STREET, NW
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EXISTING
ELEVATIONS

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A203

Scale 3/16" = 1'-0"



- EX. RIDGELINE
+33'-10" +/-
- ADDITION RIDGELINE
+33'-2 1/2"
- EX. ATTIC CLG.
+31'-0 1/2"
- ROOF H.P.
+28'-5" +/-
- ATTIC FLOOR
+23'-1"
- EX. SECOND FL CLG.
+22'-3"
- SECOND FLOOR
+13'-5 1/2"
- EX. FIRST FL CLG.
+12'-5"
- FIRST FLOOR
+3'-5" (+334.91')
- EX. CELLAR - B.O. JOISTS
+2'-6"
- GRADE (BHMP)
+0'-0" (+331.5')
- REAR GRADE
-1'-6" (+330.0')
- EX. CELLAR
-4'-6" (+327.0')
- NEW CELLAR
-6'-0 3/8" (+325.54')
- GARAGE H.P.
-6'-4 3/8" (+325.21')

PROPOSED ELEVATION - FRONT

PROPOSED ELEVATIONS

Issue: ISSUE TO BZA / HPRB

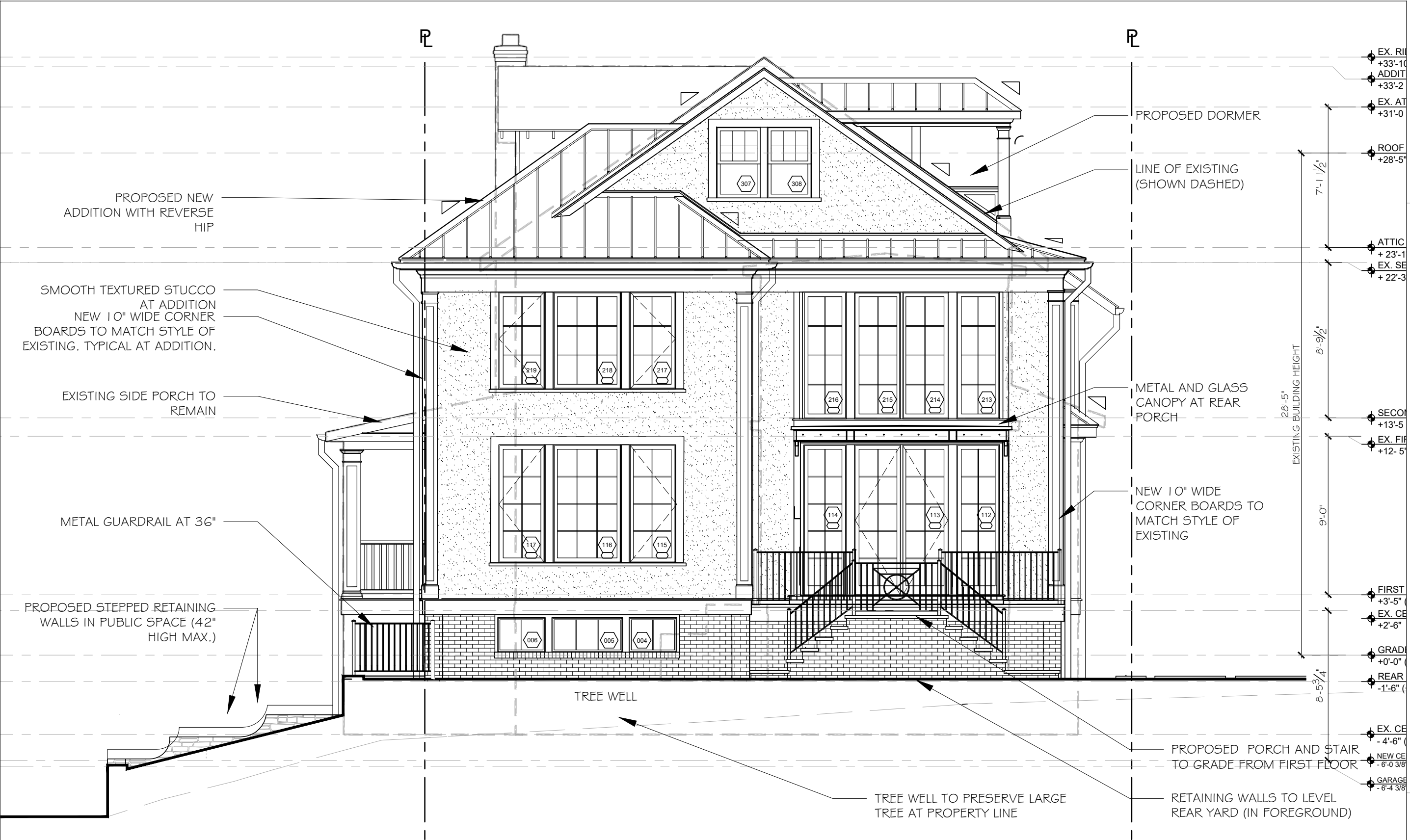
Date: AUGUST 8TH, 2025

A204

Scale 3/16" = 1'-0"



PROPOSED ELEVATION - RIGHT



PROPOSED ELEVATION - REAR

3401 LOWELL STREET, NW

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EXISTING
ELEVATIONS

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A206

Scale 3/16" = 1'-0"

NEW RIDGE LINES TO BE 6"
LOWER THAN EXISTING

PROPOSED REAR ADDITION

STANDING SEAM METAL ROOF
AT PROPOSED ADDITION

PORCH DORMER

LINE OF TWO STORY COVERED
PORCH TO BE REMOVED

NEW SMOOTH TEXTURED
STUCCO

INFILL SECOND STORY
PROPOSED METAL AND GLASS
CANOPY

PROPOSED NEW DORMER TO
MATCH EXISTING ON OPPOSITE
SIDE

LINE OF EXISTING BUILDING
(DASHED)

EX. RIDGELINE
+33'-10" +/-
ADDITION RIDGELINE
+33'-2 1/2"
EX. ATTIC CLG.
+31'-0 1/2"
ROOF H.P.
+28'-5" +/-
ATTIC FLOOR
+23'-1"
EX. SECOND FL CLG.
+22'-3"
EXISTING BUILDING HEIGHT
28'-5"
SECOND FLOOR
+13'-5 1/2"
EX. FIRST FL CLG.
+12'-5"
FIRST FLOOR
+3'-5" (+334.91')
EX. CELLAR - B.O. JOISTS
+2'-6"
GRADE (BHMP)
+0'-0" (+331.5')
REAR GRADE
-1'-6" (+330.0')
EX. CELLAR
-4'-6" (+327.0')
NEW CELLAR
-6'-0 3/8" (+325.54')
GARAGE H.P.
-6'-4 3/8" (+325.21')

PROPOSED ELEVATION - LEFT

PROPOSED
ELEVATIONS

Issue: ISSUE TO BZA / HPRB

Date: AUGUST 8TH, 2025

A207

Scale 3/16" = 1'-0"



FRONT LEFT PERSPECTIVE
SCALE: N.T.S.

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PERSPECTIVES

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A301

Scale N.T.S.



FRONT RIGHT PERSPECTIVE
SCALE: N.T.S.

3401 LOWELL STREET, NW

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PERSPECTIVES

Issue: ISSUE TO BZA / HPRB

Date: AUGUST 8TH, 2025

A302

Scale N.T.S.



EAST PERSPECTIVE
SCALE: N.T.S.



REAR CORNER

SCALE: N.T.S.

3401 LOWELL STREET, NW

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WASHINGTON D.C. 20016
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PERSPECTIVES

Issue: ISSUE TO BZA / HPRB

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A304

Scale N.T.S.



REAR RIGHT PERSPECTIVE

SCALE: N.T.S.